



VII. B.

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Planning Commission Staff Report

Project Type: Residential Addition

Meeting Date: October 26, 2009

From: Shawn Seymour, AICP Annissa McCaskill-Clay, AICP
Project Planner Lead Senior Planner

Location: 1215 Walnut Hill Farm Dr. (Walnut Hill Farms Subdivision)

Applicant: Lauren Strutman Architects PC

Description: 1215 Walnut Hill Farm Dr. (Walnut Hill Farms Subdivision): A request for a detached residential addition northwest of an existing home zoned "NU" Non-Urban District and located at 1215 Walnut Hill Farm Dr., in the Walnut Hill Farms Subdivision.

PROPOSAL SUMMARY

Lauren Strutman Architects, on behalf of Tim and Diane Schoen, have submitted a request for a detached residential addition in excess of 500 square feet. The existing home is two-stories and is 3,220 square feet in size. The detached addition is proposed to be used as a pool house. This structure will include 1,680 square feet of floor space and will be both two-stories and twenty-six (26) feet in height. The proposed detached addition will utilize fiber cement siding and architectural shingles.

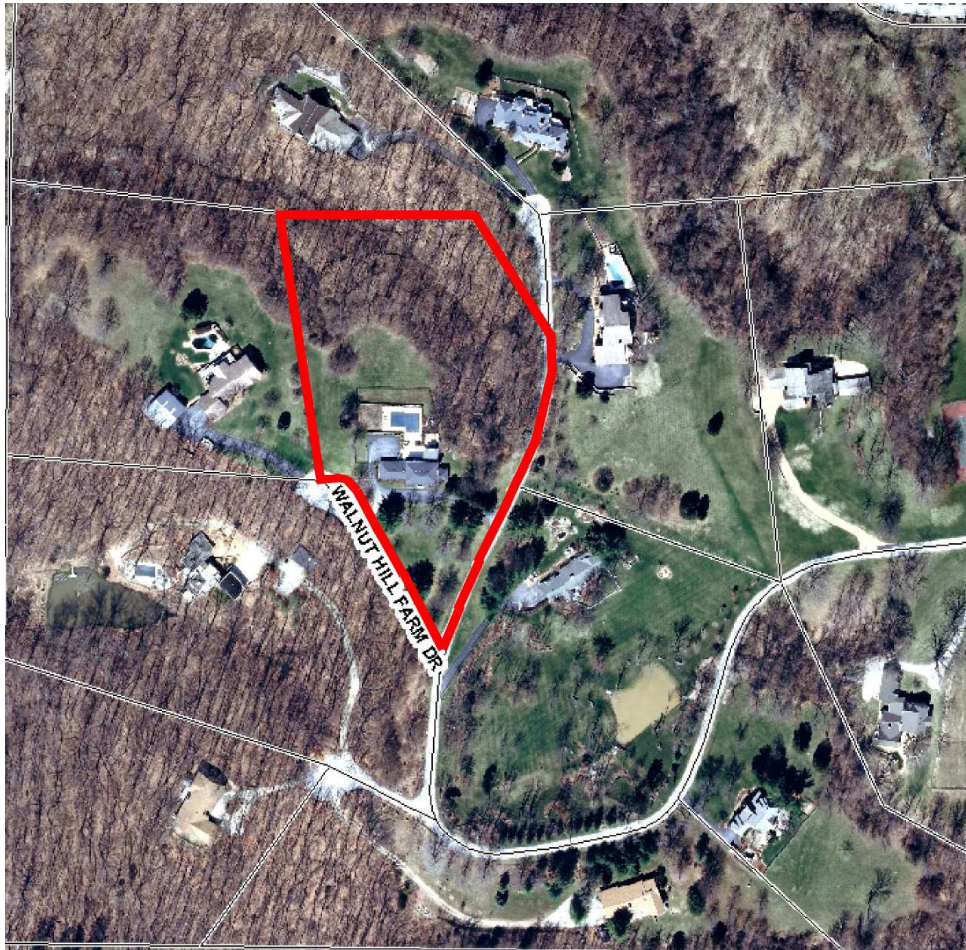
LAND USE AND ZONING HISTORY OF SUBJECT SITE

St. Louis County zoned the subject site "NU" Non-Urban District prior to the incorporation of the City of Chesterfield.

Land Use and Zoning of Surrounding Properties

The property is located in the Walnut Hill Farm subdivision and is surrounded by other residential properties of like sized structures and lots.

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Looking south at existing structure on subject site

STAFF ANALYSIS

Zoning

The subject site is currently zoned "NU" Non-Urban District and was reviewed against its requirements and all applicable Zoning Ordinance requirements. The site adheres to the applicable Zoning Ordinance requirements.

Process

Section 1003.126B "Residential Additions" states that any addition greater than five hundred (500) square feet shall be approved by the City of Chesterfield Planning Commission. The proposed addition is a detached two-story structure with 1,680 square feet of floor area. This section also states, "Residential additions, including the height of all additions, shall be harmonious and compatible with the existing residential dwellings." The proposed height of the structure is twenty-six (26) feet (two-stories) which is not unlike the existing two-story residential home located on this property and the surrounding residential structures located on adjacent properties.

Architectural Elevations

The proposed addition includes fiber cement siding with window shutters and the roof is proposed to be of architectural shingles.

Landscaping and Tree Preservation

The property has not submitted a Tree Stand Delineation as they are not disturbing any tree masses, as defined by the Tree Preservation and Landscape Requirements. Section III. Exceptions, B. 2. states that single family residential properties greater than one acre are not required to submit a Tree Preservation Plan or Tree Stand Delineation if, "No Tree Mass, as defined in Section IV of this ordinance, is being disturbed."

DEPARTMENTAL INPUT

Staff has reviewed the submittal and has found the application to be in conformance with the Comprehensive Plan, Zoning Ordinance and all other requirements and standards.

MOTION

The following options are provided to the Planning Commission relative to this application:

1. "I move to approve (or deny) the residential detached addition for 1215 Walnut Hill Farm Dr., located in the Walnut Hill Farms Subdivision."
2. "I move to approve the residential detached addition for 1215 Walnut Hill Farm Dr., located in the Walnut Hill Farms Subdivision with the following conditions (Conditions may be added, eliminated, altered or modified)."

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Cc: City Administrator
City Attorney
Department of Planning and Public Works

Attachments: Site Plan
Architectural Elevations

GENERAL NOTES:

- DIMENSIONS SHALL BE TAKEN FROM FACE OF STUDS OR CONCRETE FOUNDATIONS. NUMERICALLY NOTED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT SO ALL FIXTURES, EQUIPMENT, ETC. WILL FIT. (DO NOT SCALE DRAWINGS)
- SURVEY INFORMATION HAS BEEN TAKEN FROM DRAWINGS SUPPLIED BY OTHERS AND IS NOT THE RESPONSIBILITY OF THE ARCHITECT.
- SUBSURFACE CONDITIONS SHALL NOT BE THE RESPONSIBILITY OF THE ARCHITECT SINCE NO SOIL TESTS, BEYOND STANDARD PERCOLATION TESTS HAVE BEEN DONE. CONTRACTOR SHALL PLACE ALL FOOTINGS ON VIRGIN SOIL, MIN. 30" BELOW GRADE. THERE WILL BE NO EXTRAS FOR OVERDIGGING AND EXTRA FILLING.
- UNDERGROUND PIPES, TANKS, SERVICES, ETC., SHALL BE LOCATED BY THE CONTRACTOR WHO SHALL TAKE ALL NECESSARY PRECAUTIONS FOR THEIR PROTECTION.
- FINISH GRADES SHALL BE 6" MIN. BELOW TOP OF FOUNDATION AND MUST SLOPE AWAY FROM THE BUILDING A MIN. 6" DROP WITHIN THE FIRST 10'-0" OR TO A SWALE. ALL AREAS SHALL BE SLOPED TO LOWER ELEVATIONS OF DRAINAGE STRUCTURES ON OR NEAR SITE.
- SHORING AND BRACING SHALL BE DESIGNED AND PROVIDED AS NEEDED TO PREVENT UNWANTED MOVEMENT, SETTLEMENT, OR COLLAPSE DURING WORK.
- MANUFACTURED MATERIALS AND EQUIPMENT SHALL BE INSTALLED, CONNECTED, OR ERECTED AS PER MANUFACTURER'S RECOMMENDATIONS, UNLESS SPECIFIED DIFFERENTLY IN THE CONTRACT DOCUMENTS.
- WARRANTIES AND GUARANTEES SHALL BE FURNISHED TO THE OWNER IN WRITING.
- MINIMUM COMPRESSIVE STRENGTH OF CONCRETE AT 28 DAYS SHALL BE:
2800 PSI - BASEMENT SLABS
3000 PSI - BASEMENT WALLS, FOUNDATION WALLS, AND FOOTINGS.
3500 PSI - PORCHES, WALKS, PATIOS, STEPS, GARAGE AND CARPORT FLOOR SLABS AND DRIVEWAYS. ALL EXTERIOR CONCRETE SHALL BE AIR ENTRAINED ACCORDING TO 2003 I.R.C. (INCLUDES FOUND., BASEMENT WALLS, & GARAGE SLAB)
- POLY VAPOR BARRIER - 6 MIL POLY VAPOR BARRIER IS REQUIRED UNDER BASEMENT SLABS WITH JOINTS LAPPED A MIN. OF 6" .
- BASEMENT WALLS AND FLOORS OF HABITABLE AND OCCUPIED SPACE ARE TO BE WATER TIGHT AND PROPERLY REINFORCED TO WITHSTAND WATER PRESSURE AS NECESSARY.
- INSTALL A MINIMUM OF 2 - #5 REINFORCING BARS AROUND ALL WINDOW AND DOOR OPENINGS IN CONCRETE FOUNDATIONS AND BASEMENT WALLS. BARS SHALL EXTEND A MINIMUM OF 24" BEYOND THE CORNERS OF THE OPENINGS.
- BASEMENT AREA WAY DRAINS AND FOUNDATION DRAIN TILES ARE NOT TO BE CONNECTED TO A SANITARY SEWER.
- ANCHORS, BOLTS, HANGERS, AND ACCESSORIES SHALL BE AUTOMATICALLY INSTALLED AS REQUIRED. IF INADEQUATE SUBSTRATE EXISTS, PROVIDE APPROPRIATE BLOCKING OR ANCHORAGE.
- STRUCTURAL LUMBER SHALL HAVE A FIBER STRESS OF 975 P.S.I. MIN. ON 2" X 12" S, AND 1050 P.S.I. MIN. ON 2" X 10" S, AND A MODULUS OF ELASTICITY OF 1.6 MILLION P.S.I. MIN. UNLESS SPECIFIED OTHERWISE IN THE DRAWINGS.
- STRUCTURAL COLUMNS OR POSTS SHALL RUN OR BE BLOCKED CONTINUOUSLY FROM THE POINT OF BEARING TO THE CONCRETE FOUNDATION OR FOOTING.
- FRAMING HEADERS SHALL BE A MINIMUM OF TWO (2" X 10") S UNLESS OTHERWISE CALLED OUT IN THE CONSTRUCTION DOCUMENTS.
- DOUBLE FLOOR JOISTS SHALL BE INSTALLED BELOW PARALLEL PARTITIONS, UNDER BATHTUBS, AND AT STAIR AND FLOOR OPENINGS. (THIS DOES NOT APPLY ON LOWER LEVELS OR WHERE STRUCTURE IS CONSTRUCTED ON A SLAB.
- STUD FRAME WALLS - TOP AND BOTTOM OF ALL CONVENTIONAL, DOUBLE STUD, FURRED SPACES AND STAGGERED STUD FRAME WALLS SHALL BE FIREBLOCKED VERTICALLY AT THE CEILING AND FLOOR LEVELS AND HORIZONTALLY AT INTERVALS NOT EXCEEDING 10'-0" .
- ALL FLOOR FRAMING SHALL BE DESIGNED TO SUPPORT THE FOLLOWING MINIMUMS:
FLOOR AREAS OTHER THAN SLEEPING ROOM - LIVE LOAD : 40' / SQ. FT.
SLEEPING ROOMS - LIVE LOAD : 30' / SQ. FT.
BALCONY (EXTERIOR) LESS THAN 100 S.F. - LIVE LOAD : 60' / SQ. FT.
DECKS - LIVE LOAD : 60' / SQ. FT.
- NAILING MUST COMPLY WITH THE 2003 I.R.C. CODE. CUTTING, NOTCHING, AND / OR BORING HOLES ON WOOD BEAMS, JOISTS, OR STUDS SHALL NOT EXCEED THE LIMITATIONS NOTED IN SECTIONS R502.8 OF THE 2003 I.R.C. REINFORCEMENT / FASTENING OF STUDS SHALL BE DONE IN ACCORDANCE WITH R602.
- DROPPED CEILINGS BELOW WOOD JOISTS OR ATTACHED DIRECTLY TO WOOD FLOOR TRUSSES SHALL BE DRAFT STOPPED AT 1000 S.F. INTERVALS AND PARALLEL TO FRAMING MEMBERS. A 22" X 30" MINIMUM ACCESS OPENING IS REQUIRED FOR ATTIC AREAS WHICH HAVE A CLEAR HEIGHT OF AT LEAST 30" . ACCESS DOORS IN DRAFT STOPPING SHALL BE SELF-CLOSING AND OF APPROVED MATERIALS.
- BOFFITS AND DROPPED CEILINGS SHALL BE FIRESTOPPED.
- EXPOSED MATERIALS FOR PORCHES, SOFFITS, OVERHANGS, ETC., SHALL BE APPROVED EXTERIOR GRADE MATERIALS.
- FLASHING: CORROSION RESISTANT FLASHING IS REQUIRED AT THE TOP AND SIDES OF ALL EXTERIOR WINDOW AND DOOR OPENINGS. ALL WALL AND ROOF INTERSECTIONS, CHANGES IN ROOF SLOPE OR DIRECTION, AROUND ALL ROOF OPENINGS, INTERSECTION OF CHIMNEYS, INTERSECTION OF EXTERIOR WALLS AND PORCHES AND DECKS, VALLEY FLASHING SHALL BE INSTALLED PER R505.2.8.2
- ROOF OVERHANGS - 2 LAYERS OF #5 FLET (TYPE I PER ASTM D226) CEMENTED TOGETHER FROM EAVE TO 2' - 0" INSIDE EXTERIOR WALL.
- DOWNSPOUTS ARE NOT TO BE CONNECTED TO SANITARY SEWER. DOWNSPOUTS SHALL BE DIRECTED AWAY FROM FOUNDATION.
- CAULKING AND SEALANTS: EXTERIOR JOINTS AROUND WINDOWS AND DOOR FRAMES, BETWEEN WALL CAVITIES AND WINDOW OR DOOR FRAMES, BETWEEN WALL AND ROOF, BETWEEN WALL PANELS AT ROOFS AND ALL OTHER OPENINGS IN THE EXTERIOR ENVELOPE SHALL BE SEALED IN AN APPROVED MANNER.
- INSULATION: CONTRACTOR SHALL STUFF FIBERGLASS BATT INSULATION SOLIDLY AROUND WINDOWS AND DOORS SO THAT NO AIR FLOWS IN AROUND WINDOWS AND DOORS. FILL VOIDS COMPLETELY AND INCLUDE FACING IF NECESSARY TO HOLD BATTS IN PLACE. ALL CORNERS AND HEADERS IN FRAMING SHALL BE COMPLETELY FILLED WITH INSULATION.
- VAPOR RETARDER (SEE SPEC'S. FOR TYPE) SHALL BE STAPLED TO INTERIOR OF ALL EXTERIOR WALLS, AND FASTENED CLOSELY TO FLOOR. SEAL WITH DUCT TAPE OR TRENCO ACOUSTICAL SEALANT * LAPPED AREAS OF VAPOR RETARDER SHEETS.
- DRYWALL INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE GYPSUM ASSOC. RECOMMENDED PRACTICES AS TO THICKNESS, NAILING, AND TAPING ON CORRECT STUD SPACING.
- WATER RESISTANT GYPSUM BACKER BOARD IS REQUIRED IN ALL BATHTUB AREAS, SHOWER AREAS AND ALL WALLS WITH PLUMBING PENETRATIONS.
- FIRE RATED DRYWALL ASSEMBLIES SHALL BE INSTALLED IN ACCORDANCE WITH SPECIFICATIONS OF APPROVED TEST ASSEMBLY.
- FIREBLOCKING REQUIRED BETWEEN STAIRWAY STRINGERS AT THE TOP AND BOTTOM OF THE RUN.
- INTERIOR FINISH MATERIALS SHALL NOT HAVE A FLAME SPREAD RATING EXCEEDING 200. BATT INSULATION INCLUDING THE VAPOR RETARDER, SHALL NOT BE LEFT EXPOSED IN BASEMENTS UNLESS THE MATERIAL HAS A FLAME SPREAD RATING OF 25 OR LESS AND A SMOKE DEVELOPMENT RATING OF 450 OR LESS. FOAM PLASTIC INSULATION SHALL BE SEPARATED FROM THE INTERIOR OF THE BUILDING BY 1/2" GYPSUM WALL BOARD, OR 5/8" GYPSUM WALL BOARD WHERE LOCAL CODES GOVERN AND FLAME SPREAD RATING PER 2003 I.R.C. SECTION R314.1.1.
- SHOWER AND BATHTUB / SHOWER ENCLOSURES SHALL HAVE WALLS CONSTRUCTED OF SMOOTH, NONCORROSIVE, NONABSORBENT, AND WATERPROOF MATERIALS TO A HEIGHT OF NOT LESS THAN 5' - 0" ABOVE THE ROOM FLOOR LEVEL. SHOWER FLOOR SURFACES TO BE SMOOTH, NONCORROSIVE, NONABSORBENT, AND WATERPROOF MATERIALS.
- HAND AND GUARDRAILS SHALL BE SECURED TO WITHSTAND A FORCE OF 200' / LF VERTICALLY AND HORIZONTALLY.
- AIR INFILTRATION RATE FOR WINDOWS SHALL NOT EXCEED 0.5 CFM PER FOOT OF SASH TRACK. DOORS SHALL NOT EXCEED 0.5 CFM PER SQUARE FOOT OF DOOR AREA.
- WINDOWS SHALL BE DOUBLE GLAZED. (SEE SPEC'S.) THE INTERIOR LAYER OF SKYLIGHT GLAZING SHALL BE LAMINATED GLASS WITH A MINIMUM 0.015" POLYVINYL BUTYRAL INTERLAYER, WIRED GLASS, OR APPROVED PLASTIC MATERIAL. AN APPROVED SCREEN TO PROTECT OCCUPANTS IS REQUIRED IF HEAT STRENGTHENED OR TEMPERED GLASS IS USED AS THE INTERIOR LAYER OF GLAZING. WINDOWS SHALL HAVE A U-VALUE OF .49 MAXIMUM.
- DOORS SHALL BE WEATHERSTRIPPED AND SHALL HAVE A U-VALUE OF .49 MAXIMUM.
- SMOKE DETECTORS SHALL BE A.C. POWERED, U.L. APPROVED WITH BATTERY BACKUP AND INSTALLED PER NFPA 72 - 99. DETECTORS SHALL BE INTERCONNECTED SO THAT ALL UNITS GO OFF SIMULTANEOUSLY.
- BATHROOMS REQUIRE 50 CFM MINIMUM EXHAUST FROM VENT TO EXTERIOR. (IT IS NOT PERMISSIBLE TO DISCHARGE EXHAUST TO THE ATTIC). NOTE THAT IF AN AIR TO AIR HEAT EXCHANGER IS USED INSTEAD OF AN EXHAUST FAN, THIS PROVIDES MORE THAN THE MINIMUM REQUIRED EXHAUST.
- KITCHENS REQUIRE 100 CFM MINIMUM EXHAUST FROM VENT TO EXTERIOR. (IT IS NOT PERMISSIBLE TO DISCHARGE EXHAUST TO THE ATTIC).
- CLOTHES DRYERS SHALL BE INDEPENDENT OF ALL OTHER SYSTEMS, AND EXHAUST SHALL BE TO THE EXTERIOR.
- GAS PIPING SHALL BE IDENTIFIED AT INTERVALS OF NO MORE THAN 25 FEET IN CONCEALED LOCATIONS AND NOT MORE THAN 50 FEET IN EXPOSED LOCATIONS.
- EACH GAS APPLIANCE SHALL HAVE A GAS SHUTOFF VALVE AND GROUND JOINT UNION. A SEDIMENT TRAP IS REQUIRED AT EACH APPLIANCE OR GROUP OF APPLIANCES.
- LEAD - FREE SOLDER IS REQUIRED ON ALL COPPER WATER SUPPLY PIPING.
- ENTRY DOOR LOCK MAY HAVE EITHER THUMB TURN ON INSIDE OR INSIDE KEY OPERATION IF KEY CANNOT BE REMOVED FROM LOCK WHEN DOOR IS LOCKED FROM THE INSIDE.
- FOOTING, SUMP PUMP AND DOWNSPOUT DRAINAGE SHALL NOT BE DISCHARGED CLOSER THAN 10'-0" FROM PROPERTY LINE.
- CONTRACTOR SHALL INSTALL SPLASH BLOCKS AT ALL NEW DOWNSPOUT LOCATIONS.

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HOUSE FOR:
TAM AND DIANE SCHOEN

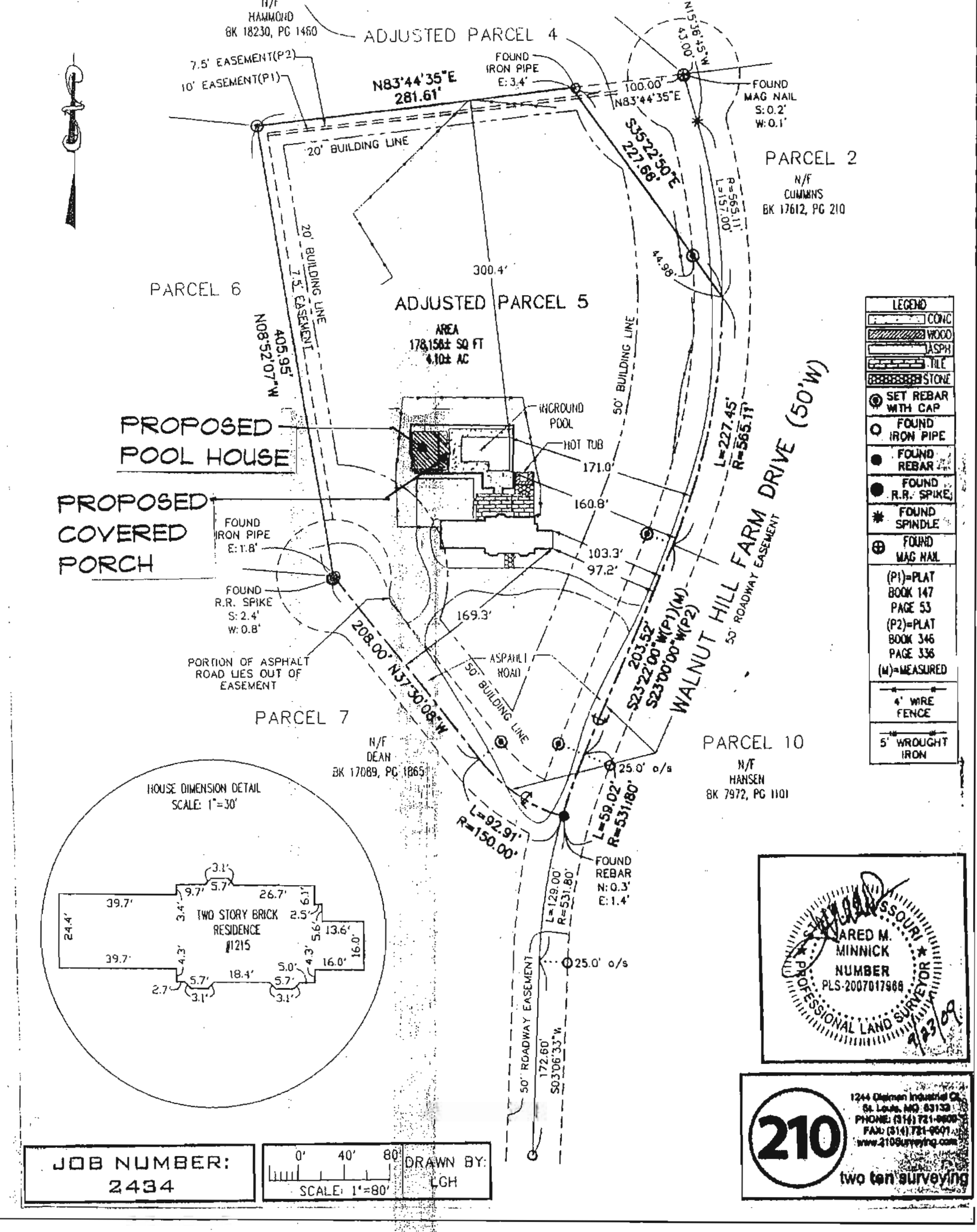
1215 WALNUT HILL FARM DRIVE
CHESTERFIELD MO. 63005

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REVISIONS
DRAWN BY: R.T.D.
JOB NO.
DATE: 10-9-09
SHEET:

BOUNDARY SURVEY
ADJUSTED PARCEL 5 OF THE BOUNDARY ADJUSTMENT PLAT OF PARCELS 4 AND 5 OF A TRACT OF LAND KNOWN AS WALNUT HILLS PLAT BOOK 346 PAGE 336 ST. LOUIS COUNTY, MISSOURI

NOTES:
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- SUBJECT PROPERTY NOW OR FORMERLY OWNED BY: SCHOEN, TIMOTHY J. BK 14819 PG 1
- BASIS OF BEARING: THE NORTH LINE OF ADJUSTED PARCEL 5 OF THE BOUNDARY ADJUSTMENT PLAT OF PARCELS 4 AND 5 OF A TRACT OF LAND KNOWN AS WALNUT HILLS AS RECORDED IN PLAT BOOK 346 PAGE 336 OF THE ST. LOUIS COUNTY RECORDS



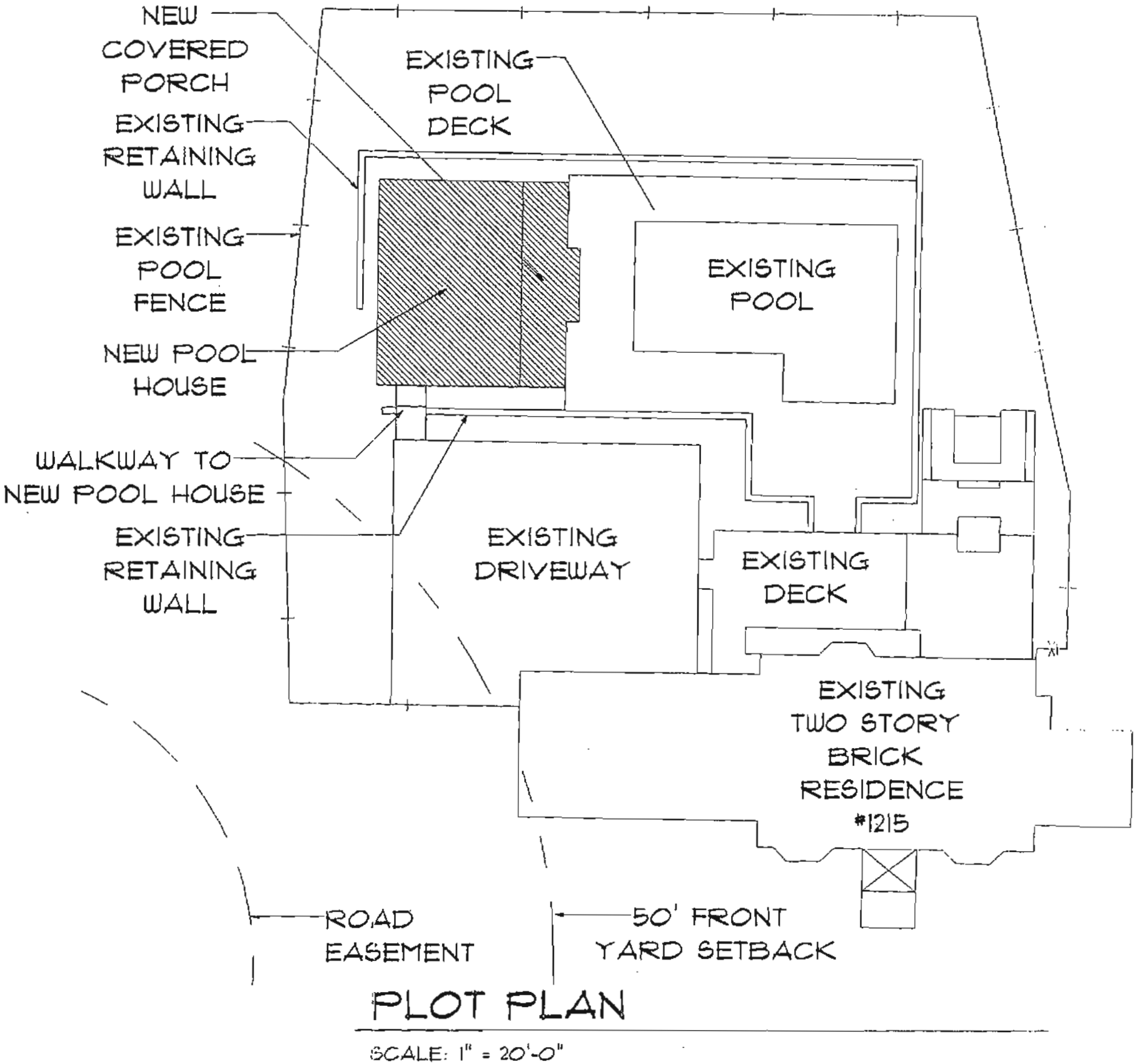
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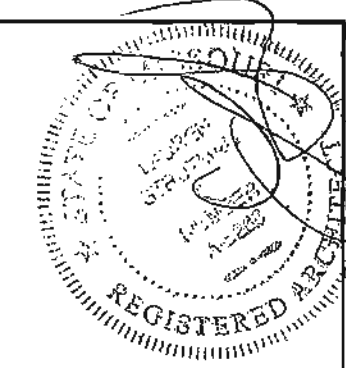
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POOL HOUSE FOR:
TIM AND DIANE SCHOEN
#1215 WALNUT HILL FARM DRIVE
CHESTERFIELD MO, 63005



POOL HOUSE RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



POOL HOUSE REAR ELEVATION
SCALE: 1/4" = 1'-0"

- DECORATIVE WOOD BRACKET
- WROUGHT IRON NEWEL POST, RAILING, AND BALUSTERS. -SEE SPECS

GENERAL NOTES FOR ELEVATIONS

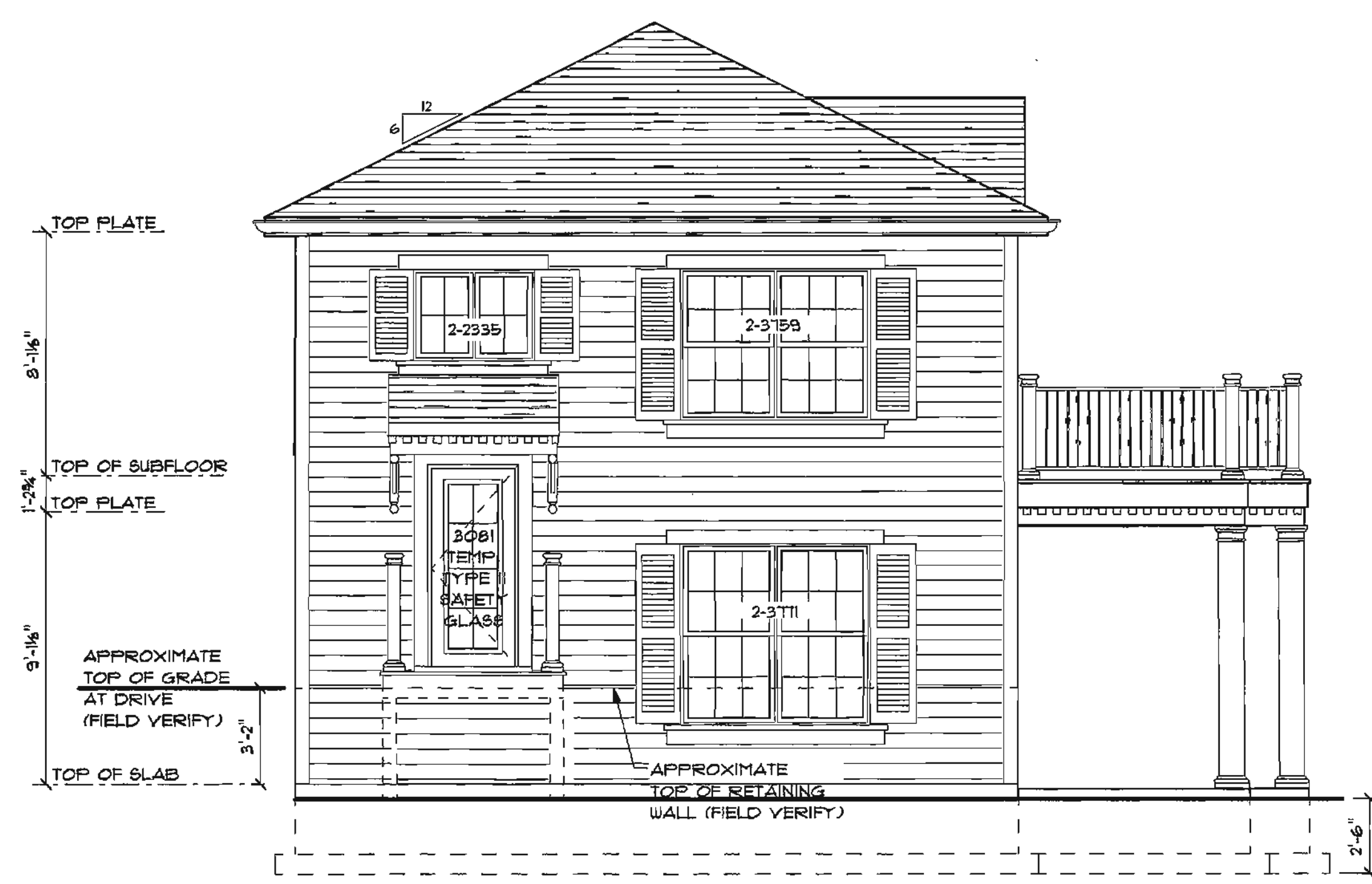
1. FOR ROOFING MATERIALS AND UNDERLAYMENT SEE SPECIFICATIONS.
2. EXTERIOR FINISH OF POOL HOUSE SHALL BE ALL FIBER CEMENT SIDED POOL HOUSE. ALL FASCIA'S AND RAKE BOARDS SHALL BE 1" X 8" AZEK WITH 2 X BACKER OR EQUAL. ALL SOFFITS SHALL BE VENTED HARDIESOFFIT.
3. INSTALL BEAMLESS ALUMINUM GUTTERS AND DOWNSPOUTS WITH A BAKED - ON ENAMEL FINISH (SEE SPECIFICATIONS). VERIFY LOCATION OF DOWNSPOUTS WITH OWNER AND INSTALL ONE DOWNSPOUT PER 25' (MAX.) GUTTER RUN.
4. INSTALL 1/2" PLYWOOD SHEATHING FOR LATERAL BRACING OVER ENTIRE EXTERIOR OF POOL HOUSE.
5. ROOFING CONTRACTOR OR GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ROOF VENTS TO PROPERLY VENT ROOF.
6. CONCRETE FOUNDATIONS SHALL BE A MINIMUM OF 30" BELOW FINISHED GRADE, AND THE BOTTOM OF THE FOOTING SHALL ALWAYS REST ON VIRGIN SOIL. FOUNDATIONS INDICATED ON THE ELEVATIONS MAY NEED TO BE CONSTRUCTED TALLER THAN INDICATED ON THE PLANS TO BEAR ON VIRGIN SOIL.
7. WINDOW MODEL NUMBERS SHOWN ON ELEVATIONS ARE FOR PELLA ARCHITECTURAL SERIES CLAD WINDOW UNITS. NOTE: ALL WINDOW MODEL NUMBERS AND SIZES SHALL BE CAREFULLY REVIEWED WITH THE OWNER BEFORE ORDERING.

ATTIC VENTILATION NOTE:

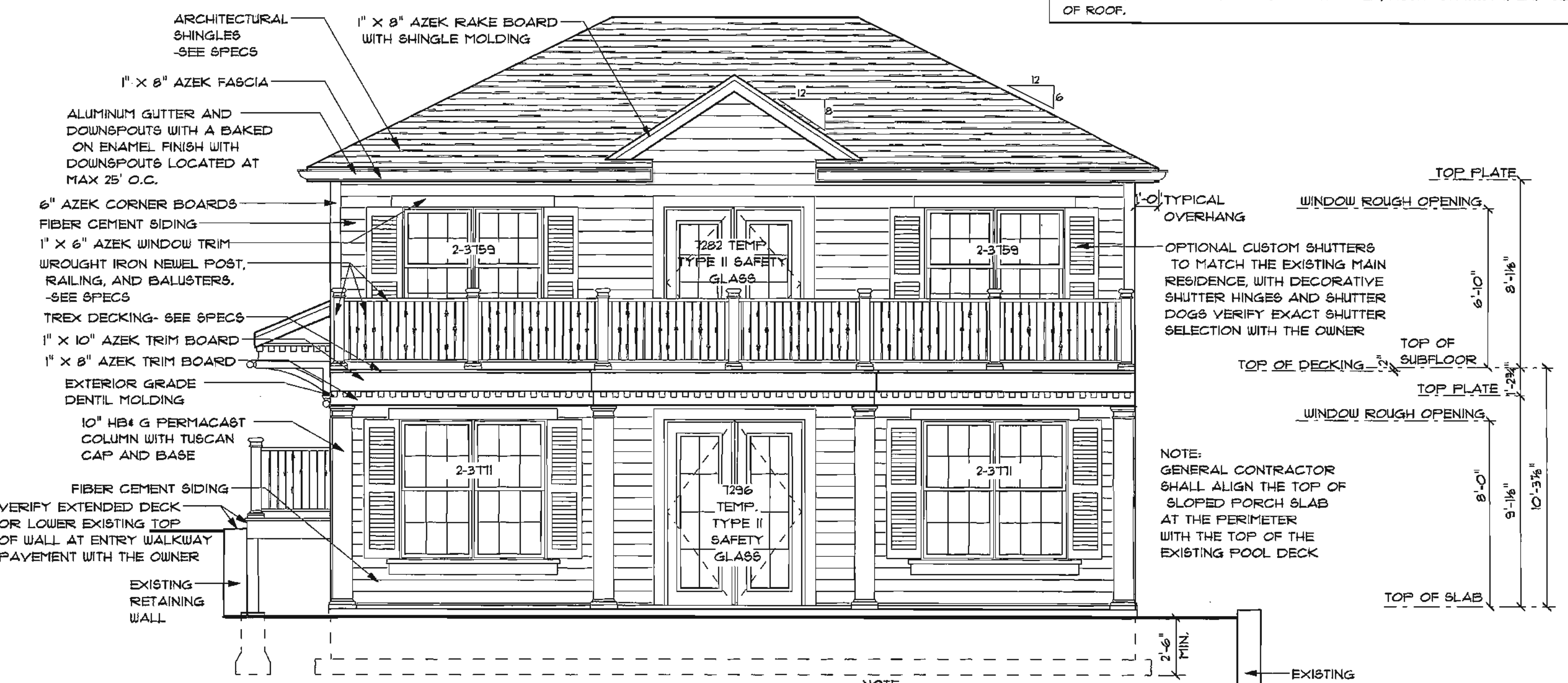
ATTIC AND ENCLOSED RAFTER SPACE VENTILATION (NET FREE) AREA SHALL BE MIN. 1/50 OF THE AREA SERVED. TWO REMOTE VENTS REQUIRED FOR EACH (MINIMUM). WHERE RIDGE OR GABLE VENTS ARE USED, 1/2 OF THE AREA TO BE PROVIDED BY RIDGE OR GABLE VENTS AND 1/2 BY EAVE OR CORNICE VENTS.

EXCEPTION: REQUIRED VENTILATION AREA MAY BE REDUCED TO 1/300 WHERE THE VAPOR RETARDER IS PROVIDED ON THE CONDITIONED SIDE OF THE INSULATION; OR IF THE GABLE OR RIDGE VENTS ARE LOCATED IN THE UPPER 1/3 OF THE ATTIC OR ENCLOSED RAFTER SPACE.

INSTALL "AIRHAWK" PVC-200 POWER VENTILATOR'S (COLOR TO MATCH ROOFING) (OR EQUAL) FIELD VERIFY EXACT NUMBER REQUIRED - FIELD VERIFY EXACT LOCATIONS WITH OWNER, MOUNT ON WEST (REAR SIDE) OF ROOF.



POOL HOUSE LEFT ELEVATION
SCALE: 1/4" = 1'-0"



POOL HOUSE FRONT ELEVATION
SCALE: 1/4" = 1'-0"

NOTE: VERIFY STEP (4'-6") BETWEEN PORCH AND POOL HOUSE OR FLUSH CONDITION WITH THE OWNER ADJUST STAIRS AS REQUIRED

OPTIONAL CUSTOM SHUTTERS TO MATCH THE EXISTING MAIN RESIDENCE, WITH DECORATIVE SHUTTER HINGES AND SHUTTER DOGS VERIFY EXACT SHUTTER SELECTION WITH THE OWNER

NOTE: GENERAL CONTRACTOR SHALL ALIGN THE TOP OF SLOPED PORCH SLAB AT THE PERIMETER WITH THE TOP OF THE EXISTING POOL DECK

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DATE:	10-10-09
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