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690 Chesterfield Pkwy W • Chesterfield MO 63017-0760  
Phone: 636-537-4000 • Fax 636-537-4798 • www.chesterfield.mo.us

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## **Planning Commission Staff Report**

**Project Type:** Residential Addition

**Meeting Date:** October 26, 2009

**From:** Mara M. Perry, AICP  
Senior Planner

**Location:** Claymont Estates Subdivision at the intersection of Redondo Drive and Corley Drive

**Applicant:** George J. And Sandra H. Brenner

**Description:** **508 Redondo Drive (Claymont Estates Subdivision):** A request for a detached residential addition behind an existing home on the west side of the lot zoned "R1" Residential District, located at 508 Redondo Drive in the Claymont Estates Subdivision.

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### **PROPOSAL SUMMARY**

George J. and Sandra H. Brenner have submitted a request for a residential addition in excess of 500 square feet for your review. The proposed addition is a 1,380 square foot one and a half story detached carriage house. Exterior building materials for the addition are proposed to match the existing residential structure on the lot with brick veneer on the front face of the structure and "Hardy" cement siding on the other sides. The architectural shingle roof will match the roofing materials on the existing residential structure.

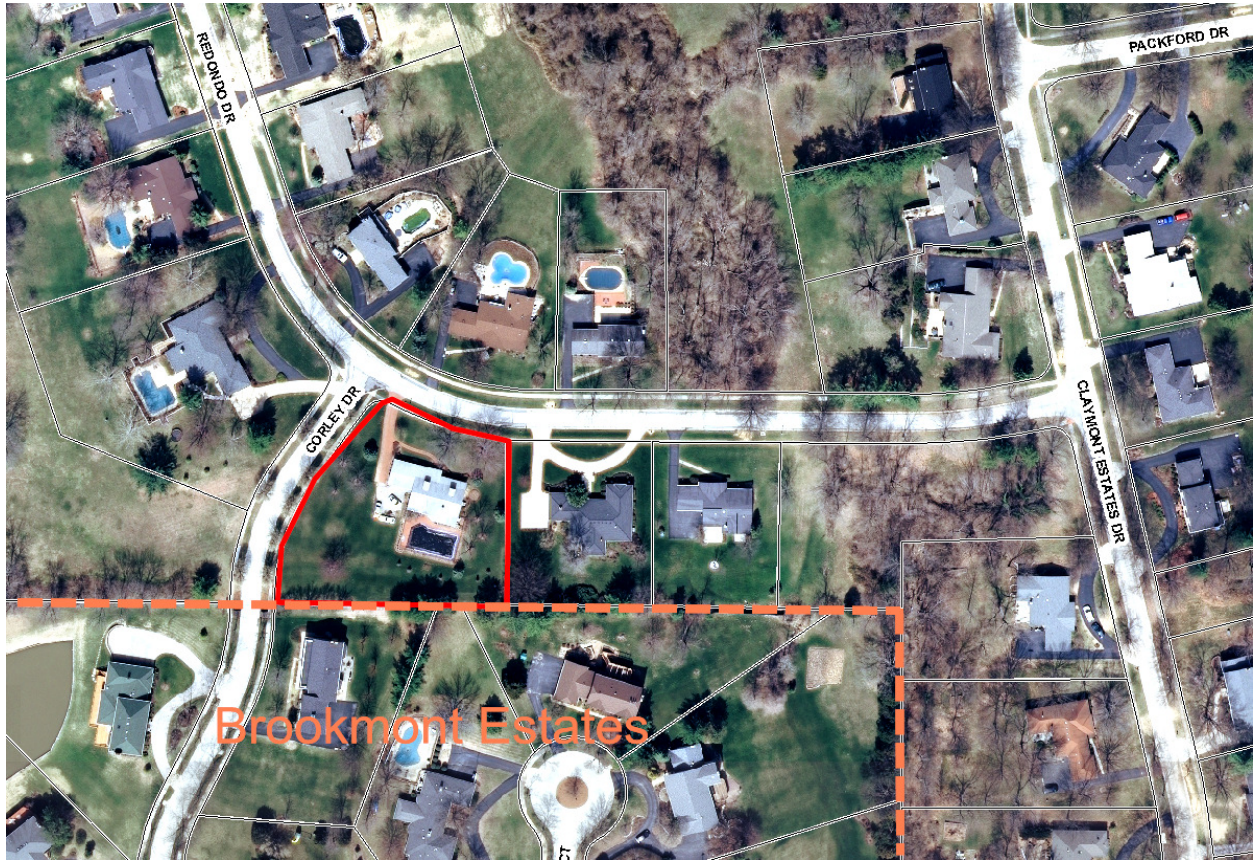
### **LAND USE AND ZONING HISTORY OF SUBJECT SITE**

Prior to the incorporation of the City of Chesterfield this property was zoned "R1" Residence District. The record plats for the development were recorded with St. Louis County in 1966 and 1967. The house on this lot was built in 1967.

### **Land Use and Zoning of Surrounding Properties:**

The property is located in the Claymont Estates Subdivision which is zoned "R1" Residence District. The southern property line of this lot is the Brookmont Estates Subdivision which is also zoned "R1" Residence District.





Birds Eye View of the Lot

## **STAFF ANALYSIS**

- **Zoning**

The subject site is currently zoned “R1” Residence District and was reviewed against its requirements and all applicable Zoning Ordinance requirements. The site adheres to the applicable Zoning Ordinance requirements.

- **Process**

Section 1003.126B “Residential Additions” states that any addition greater than five hundred (500) square feet shall be approved by the City of Chesterfield Planning Commission. The proposed addition would add 1,380 square feet of an accessory structure to the existing 2,579 square foot home.

This section also states, “Residential additions, including the height of all additions, shall be harmonious and compatible with the existing residential dwellings.” The proposed addition is approximately 23’-6” and is not taller than the overall height of the existing structure.

- **Architectural Elevations**

The proposed detached addition uses materials to match the materials on the existing residential structure.

- **Landscaping and Tree Preservation**

The property has not submitted a Tree Stand Delineation as the property is exempt from the requirements of the Tree Preservation and Landscape Requirements. Section III. Exceptions, A. states, “Single residential lots of less than one (1) acre that have been subdivided for more than two (2) years, are exempt from the provisions of this section of the City of Chesterfield Code.” The petitioner’s request will not disturb any existing trees on the lot.

## **DEPARTMENTAL INPUT**

Staff has reviewed the submittal and has found the application to be in conformance with the Comprehensive Plan, Zoning Ordinance and the site specific ordinance.

## **MOTION**

The following options are provided to the Planning Commission for consideration relative to this application:

- 1) “I move to approve (or deny) the residential addition at 508 Redondo Drive.”
- 2) “I move to approve the residential addition at 508 Redondo Drive with the following conditions...” (Conditions may be added, eliminated, altered or modified)

Cc: City Administrator  
City Attorney  
Department of Planning and Public Works

Attachments: Statement from the petitioners  
Plot Plan  
Architectural Elevations



**CARRIAGE HOUSE 508 Redondo Dr 636-256-3936**  
**Home of George J. and Sandra H. Brenner**

**Purpose: Carriage House** (to be constructed by Bella Homes)

Storage ONLY (cars, boats, lawn tractor, etc.)

Bathroom & Changing Room for adjacent Pool (separate personnel entrance on east side)

**CARRIAGE HOUSE**

**Architecture:**

Architecturally similar to residence

Materials and colors similar to residence

Dormers with shutters

Windows on West, East & North Side

Matching brick veneer

Matching 40 year architectural shingles

Five inch "Hardy" cement siding (premium siding which will also be used to upgrade house)

Concrete turnaround (replaces worn out blacktop)

**Landscaping/Grounds:**

No trees removed

Trees and landscaping to enhance area. Includes evergreens and deer resistant plantings.

Comprehensive drainage program: Includes roof and turnaround to drain into existing 6" pvc drain system

**SUMMARY:**

Upgrades property.

Upgrades house siding.

Upgrades driveway.

Resolves drainage issues.

Fn/carriage house



# CLAYMONT ESTATES PLAT NO. 1

709



N02°26'25"E 160.91'

710

REDONDO DRIVE 50' W.  
 C. = 136.94'  
 R. = 307'  
 5' Esmt. to St. Louis County Water Co.

R = 2866'  
 C = 2866'



CORLEY DRIVE 50' W.  
 N35°54'24"E 87.11'  
 C. = 126.32'  
 R. = 204.03'  
 5' Esmt. to St. Louis County Water Co.

Job No. 85-10667

This is to certify that we have, on February 6, 1985, by order of Laura McCarthy Inc. Realtors, made a Mortgage Inspection Report on Lot 710 of "CLAYMONT ESTATES PLAT NO. 1", a subdivision recorded in Plat Book 118 Page 83 of the St. Louis County Records, and that the result of said inspection is correctly represented on this plat.

508 Redondo Drive

REVISED 08 OCT. 2009

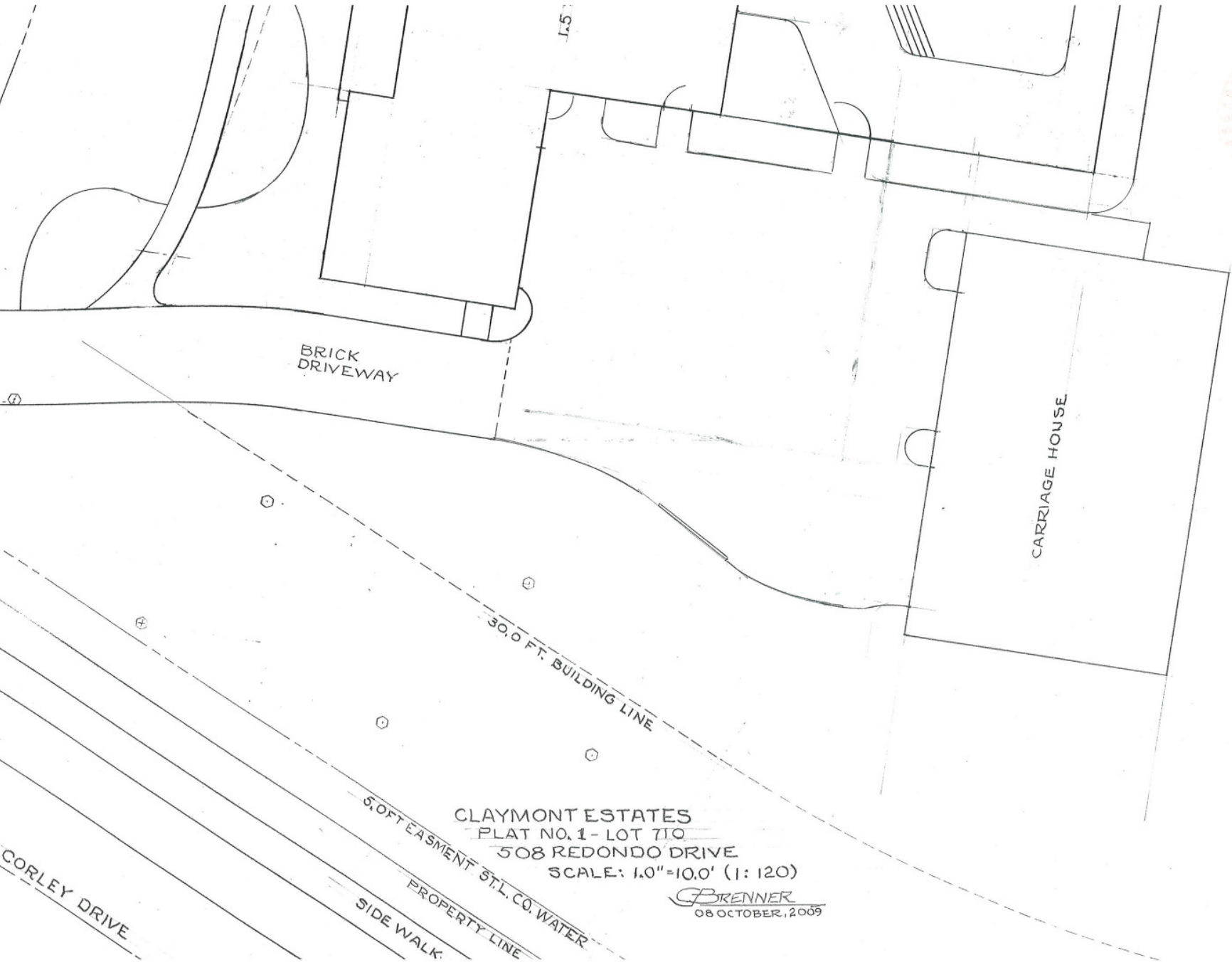
CPRENNER

TURNER SURVEYING COMPANY, INC.

By Ernest P. Turner

President

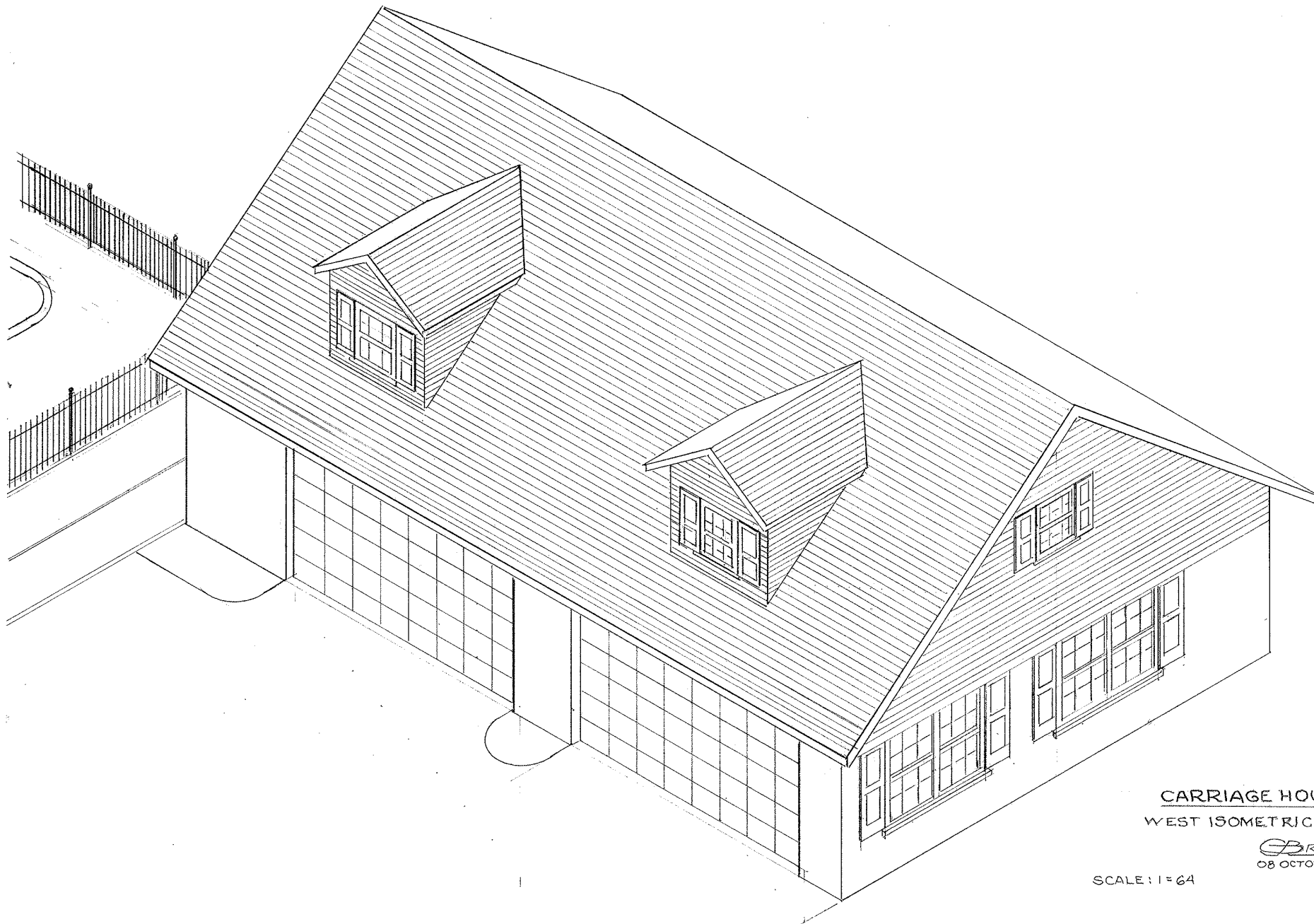
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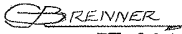
CLAYMONT ESTATES  
PLAT NO. 1 - LOT 710  
508 REDONDO DRIVE  
SCALE: 1.0" = 10.0' (1:120)

*BRENNER*  
08 OCTOBER, 2009

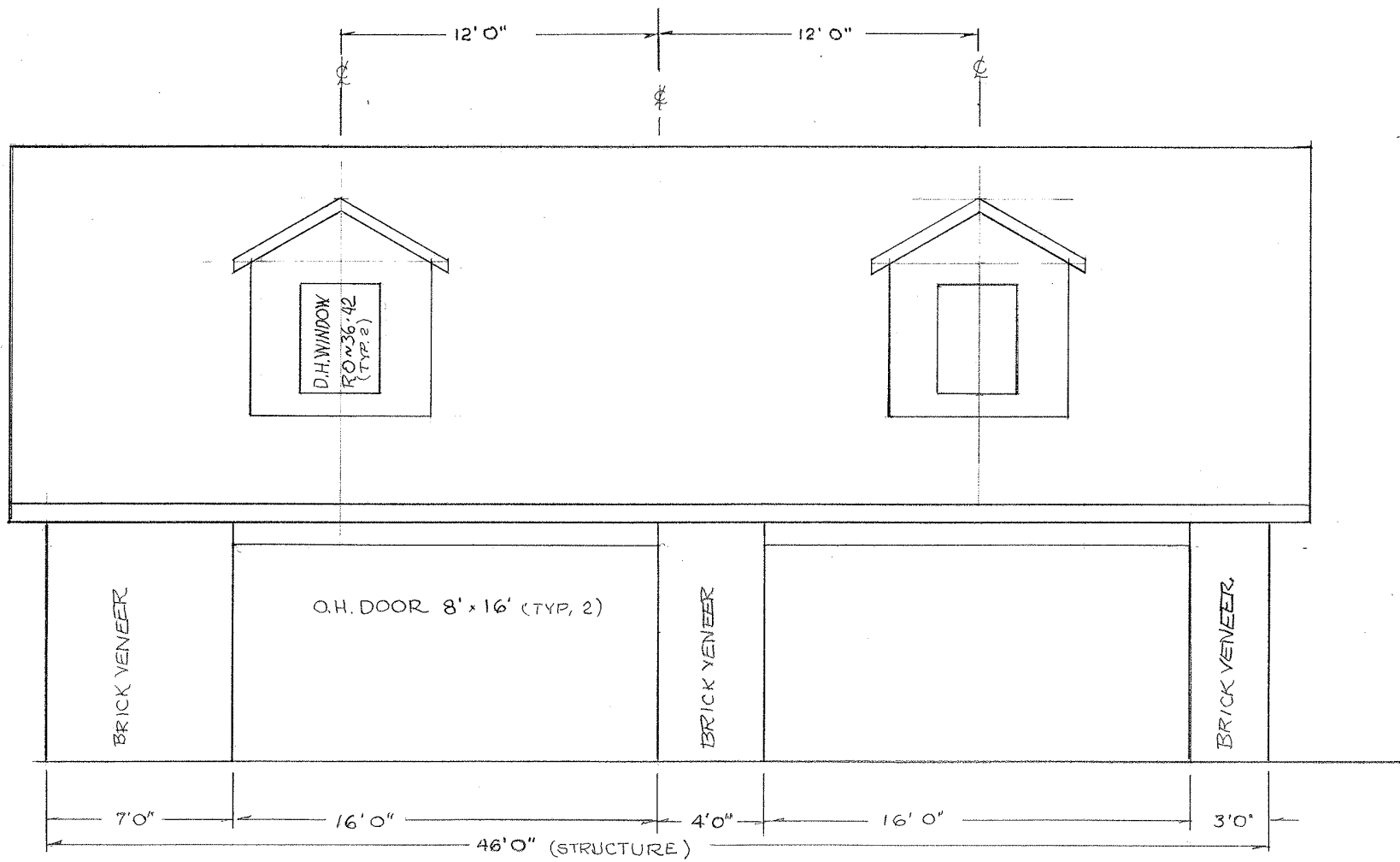
15.0 FT. EASEMENT



CARRIAGE HOUSE  
WEST ISOMETRIC VIEW

 **BRENNER**  
08 OCTOBER, 2008

SCALE: 1/64

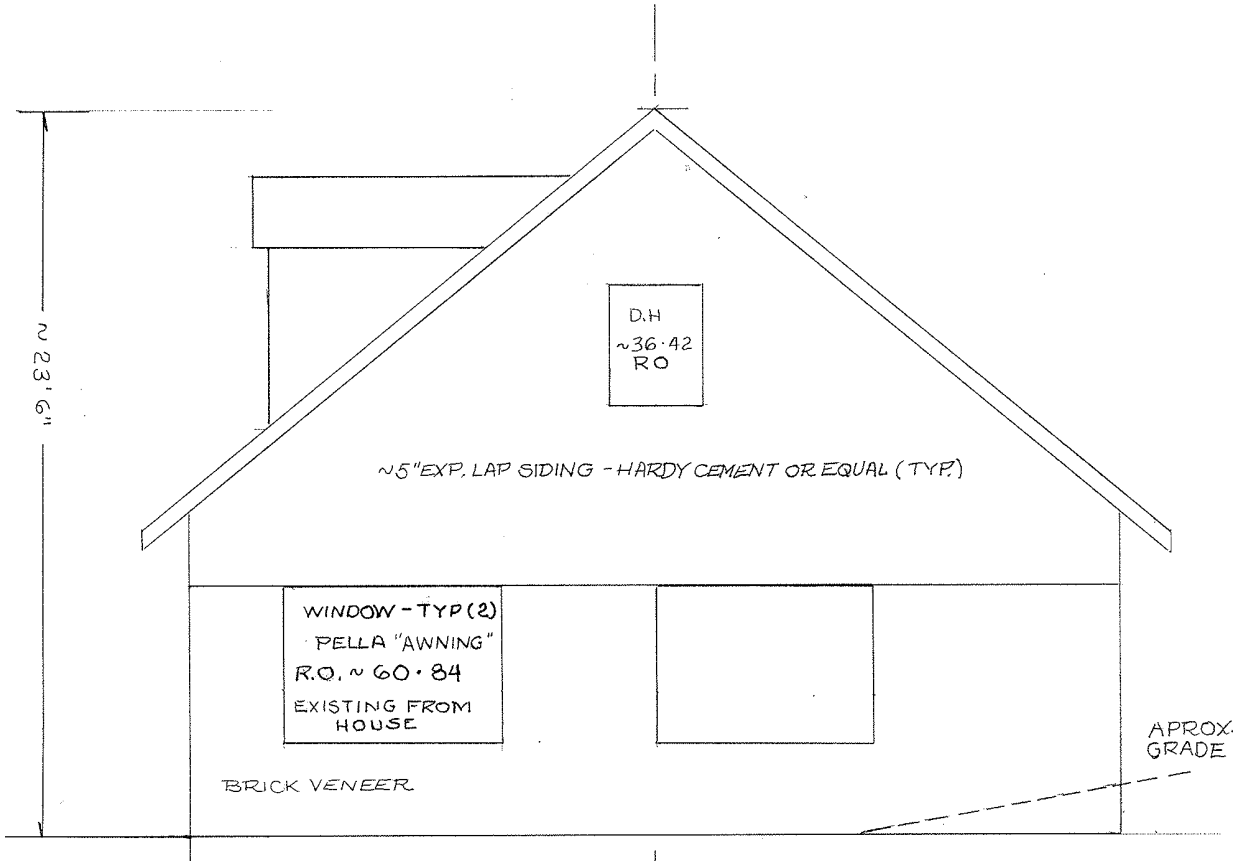


SCALE: 1/48

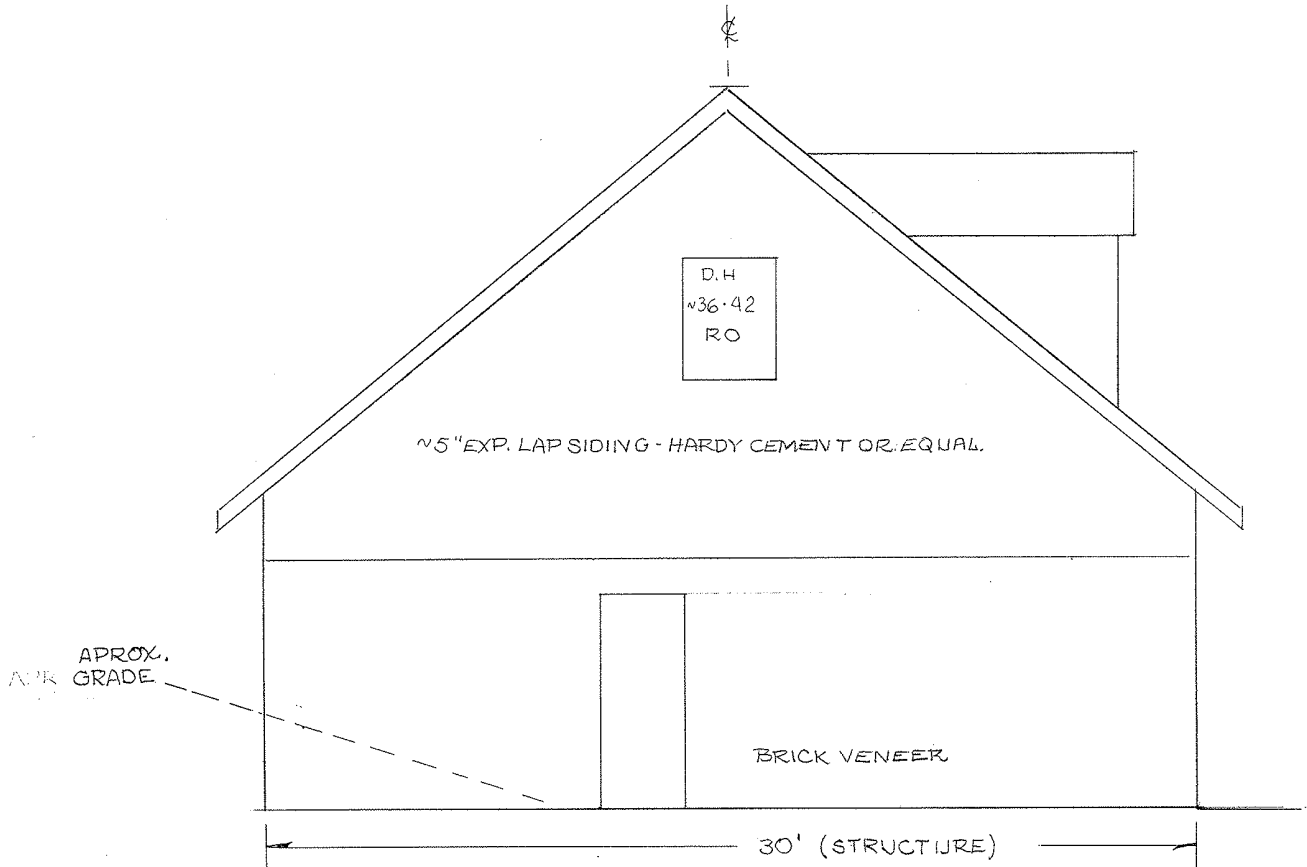
CARRIAGE HOUSE  
NORTH ELEVATION

BRENNER  
08 OCTOBER '09





WEST ELEVATION



EAST ELEVATION

CARRIAGE HOUSE

SCALE: 1/4" = 1'-0"

BRENNER  
08 OCTOBER, 2009