



VILC

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Planning Commission Staff Report

Project Type: Sign Package

Meeting Date: October 16, 2019

From: Mike Knight, Planner *gmk*

Location: North side of North Outer 40 Road and east of Boone's Crossing.

Description: **Chesterfield Outlets (The District) Sign Package**: A request for a Sign Package to establish sign criteria for the Chesterfield Outlets Subdivision, a 48.2 acre tract of land zoned "PC" Planned Commercial District located north of North Outer 40 Road and east of Boone's Crossing.

PROPOSAL SUMMARY

TSG Chesterfield Lifestyle, LLC has submitted a request for a Comprehensive Sign Package for their parcel, which is 48.2 acres in size. In accordance with the Unified Development Code (UDC), if approved, the proposed Sign Package would serve as the site specific sign regulations for the property.

The purpose of a sign package is to provide comprehensive and complementary signage. City Code states that "in order to encourage superior design, quality and character, comprehensive sign packages allow for specialized review of signs and flexibility from standard signage requirements." The ownership group is planning to reposition and redevelop the current outlet mall into a regional entertainment district known as The District. This re-development is scheduled to be accomplished in phases. Phase 1 is currently submitted for consideration to the Planning Commission. The sign package submittal contains a combination of signs including one project identification sign with an electric message center, a group of signs that when seen as whole read the "The District" on top of an open-air pavilion, a projecting blade sign affixed to a music venue, existing monument and directional signs to remain with new content, wall signage criteria on the existing buildings to remain, wall signage on proposed buildings with known elevations of Phase 1 and wall signage for potential new buildings.

SITE HISTORY

St. Louis County zoned the subject site "NU" Non-Urban District in 1965. On November 21, 2011, the City of Chesterfield approved Ordinance 2682, which zoned the subject site from a "NU" Non-Urban District to a "PC" Planned Commercial District.

Subsequent to the change in zoning, a Site Development Plan was submitted proposing a 472,282 square foot outlet retail center on the site. The plan was approved by the City of Chesterfield on March 26, 2012. A minor amendment was approved in October of 2012 to relocate the management office from the westernmost building to the easternmost building.

In February 2013 the original sign package for the Taubman Prestige Outlets was approved, with an amendment made in 2014 to essentially add a more defined sign band area, as well as additional signage in the entry corridors of the center and window signs on the southern buildings. In 2017 another amendment was approved to allow for temporary signage.

In May of 2019, the current governing ordinance, City of Chesterfield Ordinance 3049, was approved by City Council. The primary purpose of this ordinance amendment was to establish a maximum height of 60 feet for the proposed pavilion and indoor theater uses, including rooftop mechanical equipment, screening, and architectural features.



Figure 1: Aerial Site Photo

SUBMITTAL OVERVIEW

The sign package submittal contains a combination of signs including one project identification sign with an electric message center, a group of signs that when seen as whole read the “The District” on top of an open-air pavilion, a projecting blade sign affixed to a music venue, existing monument and directional signs to remain with new content, wall signage on the existing buildings to remain, wall signage on proposed buildings with known elevations of Phase 1 and wall signage for potential new buildings. There are three restrictions provided by the applicant within the narrative statement that apply to signage for the development. These restrictions are:

- No business wall sign shall exceed 300 square feet;
- No wall sign shall be mounted above 45 feet from the finish floor;
- Wall signs on the building façade facing I-64 shall only be for tenants with a public entrance facing I-64.

Table 1 is a comprehensive look at signage including the type of signs that are being proposed, the metric used to calculate maximum signage, and additional comments for further clarification.

Type	Signage	Maximum			Comment
		Quantity	Height	Combined Sign Area (SF)	
Freestanding	Directional	10	7.0'	192.5	Existing signs to be re-faced
Freestanding	Monument	3	8.5'	629	Existing signs to be re-faced
Freestanding	Identification with EMC	1	45'	496	District Signage = 256 SF EMC Signage = 240 SF
Rooftop	Pavilion	9	60'	432	Individual 48 SF signs spelling "The District"
Projecting	Music Venue	1	50'	315	
Wall	Buildings to remain	N/A- Limit on Sign Area	45'	7.5% of Total wall area	
Wall	Proposed Buildings Phase 1	N/A- Limit on Sign Area	45'	7.5% of Total wall area	
Wall	Potential Buildings Phase 2	N/A- Limit on Sign Area	45'	7.5% of Total wall area	

Table 1: Comprehensive Table

STAFF ANALYSIS

Staff will provide a description by each type of sign and general location in context to the site.

Freestanding: Directional

There are 10 directional signs that are included in this proposal. The directional signs will be the same signs as the existing directional signs on the site. The size of the signs are up to 7' in height depending on the ground elevation they reside on and the overall sign area may reach up to 19.25 square feet.

The location of the signs is seen on pages 15, 15A, and 15B of the sign package referenced as ID2. As seen by their location being near the vehicular entrances and drive aisles, the signs provide direction to patrons as one would enter and navigate through the site.

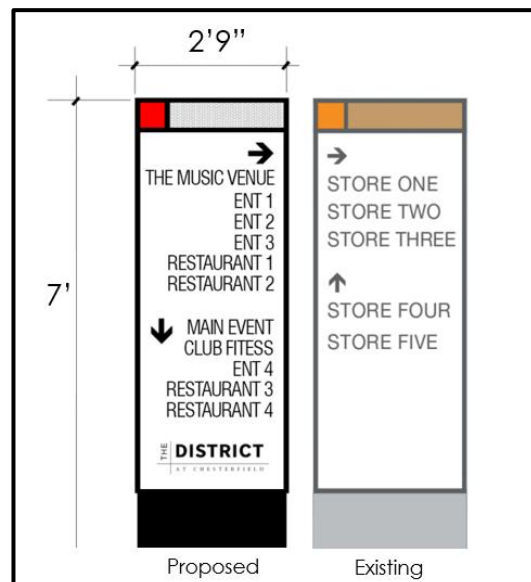


Figure 2: Directional Signage

Freestanding: Monument

There are 3 monument signs that are included in this proposal. The monument signs are the same signs as the existing monument signs on the site. All 3 have the same size and design. The monument signs are 8.5' in height, 34' wide and have 209.6 square feet in outline area. They are located at 3 of the entrances and seen on pages 15 and 15A of the sign package referenced as ID1. The base of all signs will be landscaped as seen on the Landscape Plan.

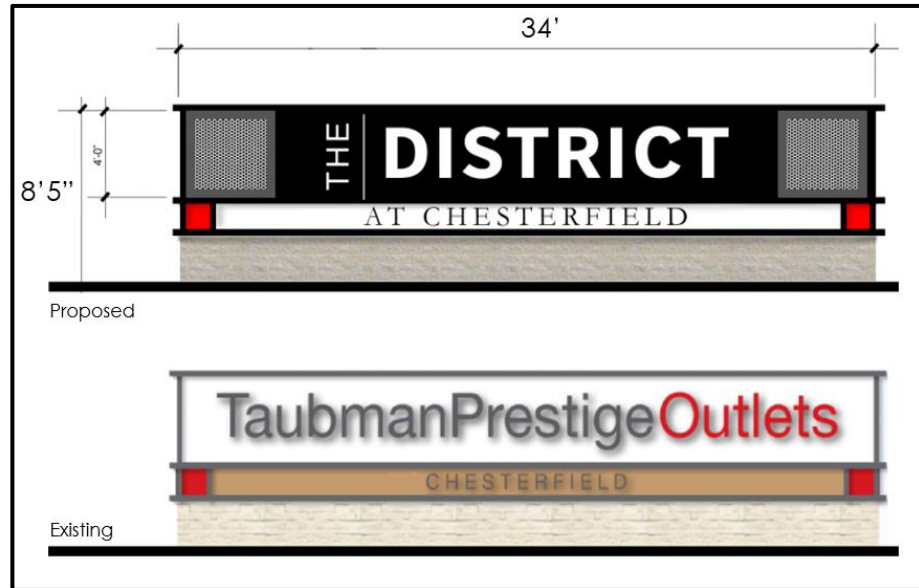


Figure 3: Monument Signage

Freestanding: Identification with EMC

There is one project and tenant identification sign with an electronic message center (EMC) component. The narrative statement states that it is intended for the EMC to provide advertisements for acts performing at the indoor live musical venue and tenants at the site, as well as public service announcements. The Identification Sign shall be located at the specific location as identified on page 15A of the submittal. There are two signage areas defined within the Identification Sign. There is 256 SF of signage across the top and 240 SF of signage with the EMC component as seen in Figure 4.

City of Chesterfield approved Ordinance 3060 in August of 2019 which defined submittal requirements for electronic message center requests. The requirements include distance, duration, presentation, transition, dimmer control, brightness, resolution, and angle. All of the requirements outlined in Ordinance 3060 have been included verbatim on page 1A of the sign package submittal.



Figure 4: Identification Sign with EMC

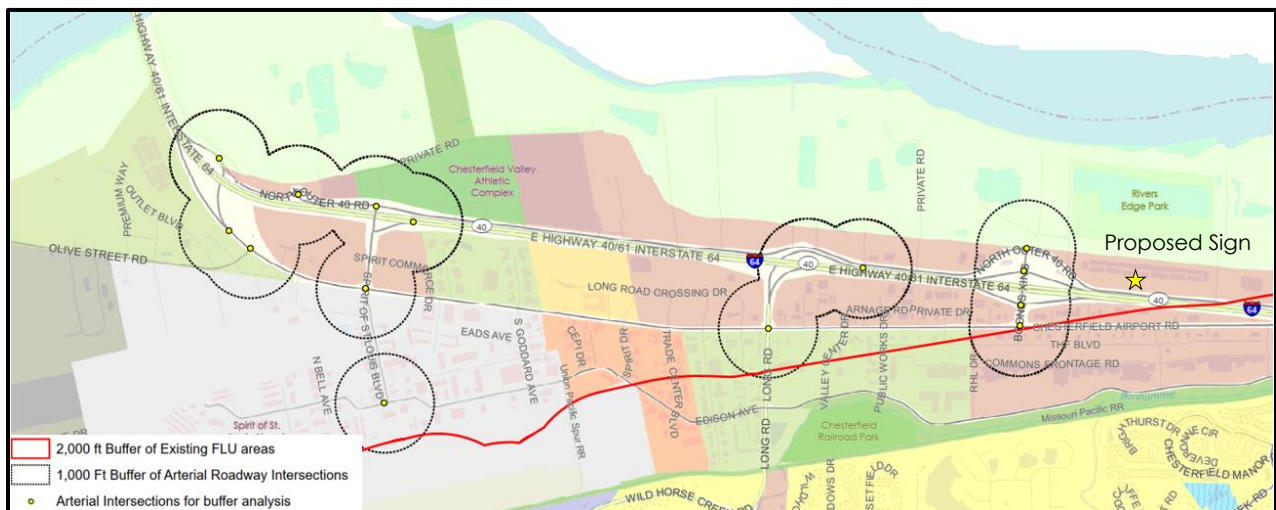
Ordinance 3060 also contains language that states in considering a sign package that includes an electronic message center, the Planning Commission shall consider the following additional items in their review:

1. Proximity of the proposed electronic message center to other similar signs
2. Proximity and impact on adjacent land uses with particular consideration given to residential properties and uses
3. Impact of the total amount of signage on the site in conjunction with the use of the electronic message center
4. Nature and character of the roadway on which the project is located
5. Nature and character of the proposed use and area within which the project is located
6. Size of the project and roadway frontage
7. Resolution of proposed sign accounting for size of sign, roadway characteristics, and other relevant features.

Staff provides additional analysis for each of these items below in context to this request.

1. Proximity of the proposed electronic message center to other similar signs:

This would be the first electronic message center permitted in Chesterfield along the I-64 corridor. Ordinance 3060 states that EMCs that exceed the size requirements eligible for administrative approval per the UDC for permanent freestanding signs shall not be permitted within 1,000 feet from the center point of two intersecting arterial roadways as designated within the City of Chesterfield Street Classification Map and shall not be permitted within 2,000 feet of any property with a land use designation that permits residential uses as determined by the Comprehensive Land Use Plan. For reference, staff created Figure 5 below to generally depict the areas where a similar sign may be approved absent a modification request and 2/3rds vote by Planning Commission given the distance requirements stated above.



2. Proximity and impact on adjacent land uses with particular consideration given to residential properties and uses:

This sign is located within the Chesterfield Valley which does not contain a land use designation that permits residential uses as determined by the Comprehensive Land Use Plan. The nearest existing residential property to the south would be roughly 2,500 feet in distance, to the east 3,050 feet in distance, and no existing residential to north or west within 5,000 feet.

3. Impact of the total amount of signage on the site in conjunction with the use of the electronic message center

The applicant has stated that the indoor music facility will hold approximately 150 concert events per year and that the operator will not proceed to build and open the music venue without the EMC component. A letter from Contemporary Productions (proposed operator of music venue) is attached within the sign package submittal specifically page 1.B. The EMC may also be used for other tenant signage in addition to the music venue. Each image displayed shall have a minimum duration of ten (10) seconds as stated in the restrictions on page 1A of the sign package.

4. Nature and character of the roadway on which the project is located

The site is bordered to the south by both North Outer 40 Road and Interstate 64. Both of the roadways are major arterial roads in accordance to the City of Chesterfield street classification map. North Outer 40 Road is owned and operated by St. Louis County and has a speed limit of 40 miles per hour, and Interstate 64 is owned and operated by the Missouri Department of Transportation with a speed limit of 60 miles per hour.

5. Nature and character of the proposed use and area within which the project is located

The land used designation for the site is “Mixed Commercial Use” in accordance to the City of Chesterfield Comprehensive Land Use Plan. The ownership group is planning to reposition and redevelop the current outlet mall into a regional entertainment district known as The District.

6. Size of the project and roadway frontage

The subject site is just over 48 acres in size, with the project itself in excess of 300,000 square feet. The site has approximately 3,363 feet of roadway frontage.

7. Resolution of proposed sign accounting for size of sign, roadway characteristics, and other relevant features.

The applicant provided a rendered image of the Identification/EMC sign and rooftop pavilion sign (Figure 6) as seen from one traveling east on I-64.



Figure 6: Rendered image of Identification/EMC and Rooftop Pavilion Sign

The Identification sign has high visibility from both eastbound and westbound lanes of I-64. The sign is unique in the fact that it would be the largest in regards to both height and width for a freestanding sign along the corridor through the City of Chesterfield.

Rooftop: Pavilion

There are 9 rooftop signs that are 48 square feet each on top of the Pavilion proposed in Phase 2. Rooftop signs are prohibited signs in accordance to Section 31-04-05 of the City of Chesterfield Unified Development Code. A roof sign is defined as a sign erected on, over or above the roofline of a building. The applicant has provided an image of the rooftop sign on the conceptual pavilion. The signage spells out *The District* in the current image, but as municipalities do not regulate the content of the signage; approval is essentially for 9 separate 48 square foot signs exclusive of content shown on the image. The individual letters on top of the pavilion have a light at the bottom of the letter lighting the letter up. The maximum height including the signage for the pavilion is 60' in height.

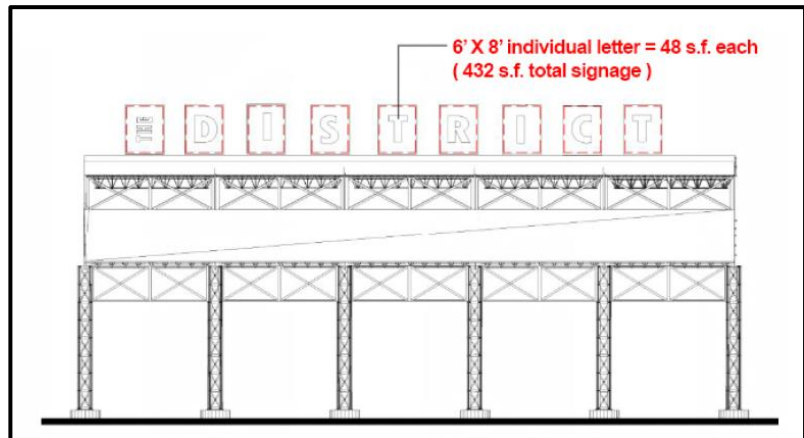


Figure 7: Rendered image of Identification/EMC and Rooftop Pavilion

Projecting: Music Venue

There is one projecting sign to be attached to the front of the Music Venue. The sign itself is 35' in height and 9' in width. The total sign area for the face of the sign is 315 square feet and the top of blade would not exceed 50' in height. Projecting signs are prohibited signs in accordance to Section 31-04-05 of the City of Chesterfield Unified Development Code. A projecting sign is defined as any sign, other than a flat or wall sign, affixed to a building or wall in such a manner that its back edge extends more than 6 inches beyond the surface of such building or wall.

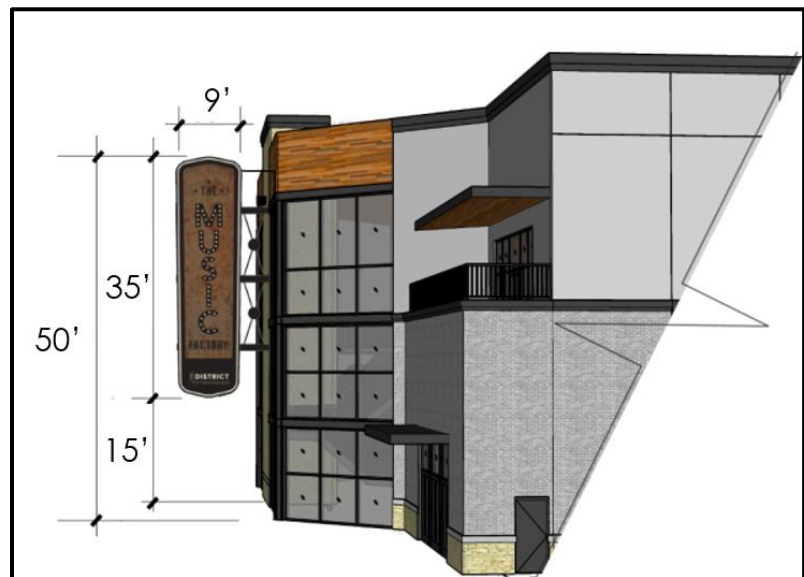


Figure 8: Projecting Music Venue Sign

Wall Signage: Overall

The previous sign package for the outlet mall in general allocated the total amount of wall signage by a percentage (7.5%) of the total wall area for the entire development. The location of signage was defined by a specific band depicted on each building elevation for the entire site.

The proposed sign package has wall signage broken down in three categories (existing buildings to remain, proposed buildings with known elevations in Phase 1 of the redevelopment of The District, and proposed building with unknown elevation in Phase 2 of the redevelopment of The District). There are three restrictions provided by the applicant within the narrative statement that apply to wall signage for the development. These restrictions are:

- No business wall sign shall exceed 300 square feet;
- No wall sign shall be mounted above 45 feet from the finish floor;
- Wall signs on the building façade facing I-64 shall only be for tenants with a public entrance facing I-64.

Below (Figure 9) is an image depicting the location of each of the three categories of wall signage across the proposed development. It should be noted that the sign package states that no building mounted signs are proposed in the sign package facing the north parking/levee trail.

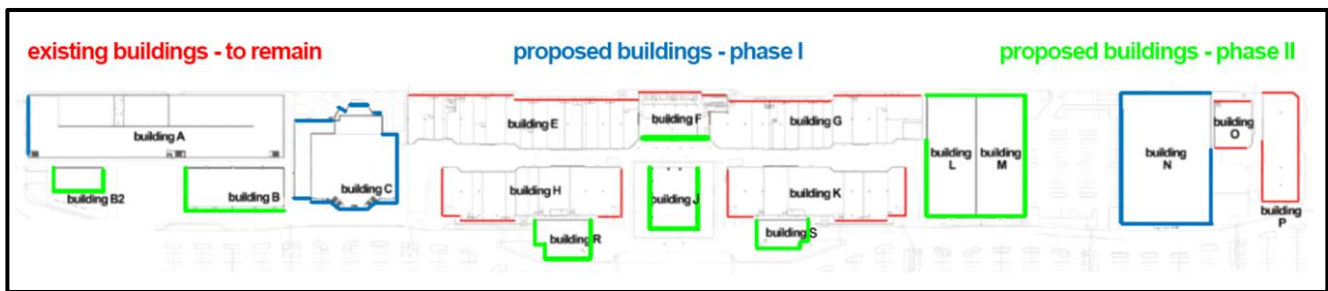


Figure 9: Location of Wall Signage by Category

Wall: Buildings to remain

Outlined in red in Figure 9 is each building scheduled to remain in the redevelopment of The District. The applicant has provided elevations for each building to remain, the areas of possible signage, and the total wall area of signage permitted.

Wall: Proposed Buildings Phase 1

Phase 1 has three primary components: a 3,000 seat indoor theatre, a 2-story structured parking garage, and a 48,559 square foot recreational facility. The three proposed buildings (A,C, and N) are outlined in blue seen in Figure 9 above. Provided in the sign package are elevations for all three buildings in which signage is requested. No business sign shall exceed 300 square feet and no single elevation of signage exceeds 7.5% of signage per wall area.

Wall: Potential Buildings Phase 2

Outlined in green in Figure 9 are potential buildings to be added within the redevelopment of The District. The sign package defines Phase 2 signage as 7.5% of the wall on which the sign is located, only one sign per tenant, per elevation with a maximum of 300 square feet per sign allowed.

COMPREHENSIVE PLAN

There are two specific Plan Policies that have been adopted as part of the Comprehensive Plan which are relevant to this request.

- **Plan Policy 3.4 Signage Considerations** – Signage along the I-64/US 40 corridor and State Highways should be evaluated in terms of height, size and location while recognizing individual uses’ need for identity and visibility.
- **Plan Policy 3.4.1 Preserve Aesthetics and Public Safety** – To preserve the high aesthetic quality and public safety interests along the corridor and other major highways/roads, signs of ever-increasing size, brightness and garishness should be prohibited.

All tenants, businesses, and owners within the property shall receive a copy of the Comprehensive Sign Package at the time of sale/lease. All signage within the property shall be in conformance with the Comprehensive Sign Package. Any signage not specifically identified in the Comprehensive Sign Package shall conform to Chapter 30 Section 04-05 of the Unified Development Code.

STAFF RECOMMENDATION

Staff has reviewed the Sign Package request and found that it meets the requirements to be presented to the Planning Commission for review, and staff recommends action. Please note, any amendments to the provisions of the approved Sign Package would require review and approval by the Planning Commission.

MOTION

The following options are provided to the Planning Commission for consideration relative to this application:

- 1) “I move to approve (or deny) the sign package for Chesterfield Outlets (The District).
- 2) “I move to approve the Sign Package for Chesterfield Outlets (The District) ...” (Conditions may be added, eliminated, altered or modified).

Attachments: Proposed Sign Package

THE

Environmental Graphics
DISTRICT

A T C H E S T E R F I E L D

Tenant sign square footage, quantity, and placement are all approximate and will vary based upon tenant names, logos, and dimensions. Architectural features will not be altered. The sum total of all installed individual tenant signage will not exceed the maximum approved square footage.

Exterior Signage

18 SEPTEMBER 2019

Revised: 23 SEPTEMBER 2019

Revised: 26 SEPTEMBER 2019

D E V E L O P E R



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Statement of Intent: The District is an "Entertainment Mall" without a roof. As such, all the signage found in the interior pedestrian shopping areas will be treated similarly to the interior signage found in the shopping areas of the traditional enclosed mall. All signage that is "interior" to the project, meaning the signage that does not face the "public realm" (such as parking lots, streets, and trails) will be handle and approved solely by the ownership / landlord.

TSG Chesterfield Lifestyle, LLC (“TSG”) is requesting a sign package for the property located at 17057 North Outer 40 Road (the “Property”). TSG is planning to redevelop and reposition the Property into a regional entertainment district known as The District (the “Project”). The Project will include, among other things, dining, retail, entertainment uses, and an indoor live music venue.

The details of the proposed signs, including outline areas where signs will be permitted, are included in the renderings submitted with this Narrative Statement. No business wall sign shall exceed three hundred (300) square feet in outline area. No wall sign shall be mounted above forty five (45) feet from finished floor.

Additionally, wall signs on the building façade facing I-64 shall only be permitted for tenants with a public entrance facing I-64. This change will reduce the number of wall signs, eliminate sign clutter along the I-64 facing façade, and improve the architectural character of the Project by allowing installation of architectural features on the façade. These features will replace the current monotony of the I-64 facing façade and make the façade an inviting entrance to the Project. Despite removal of tenant signs on the I-64 facing façade, tenants will still have appropriate signage and advertising on-site with the Identification Sign (defined below).

In order to complete the Project, the requested sign package must include the following signs:

- One project and tenant identification sign (“Identification Sign”) with an electronic message center (“EMC”). It is intended that the EMC will provide advertisements for acts performing at the indoor live musical venue and tenants at the Project, as well as public service announcements. The Identification Sign shall be located at the specific location identified on the Site Development Plan submitted with this Narrative Statement. The height and size of the Identification Sign is necessary for visibility and readability, given the Project’s location in Chesterfield Valley, elevation change and distance between the Project and I-64, and the large scale of the Project.
- A sign that will read “THE DISTRICT” in individual letters (the “Pavilion Sign”), to be located on top of the open-air pavilion to be constructed during future phase at the center of the Project. The specific location of the pavilion is identified on the Site Development Plan submitted with this Narrative Statement. See “Building J” in the enclosed renderings. The Pavilion Sign will serve as the “welcome” sign to the Project and will be an architectural feature that sets the tone for the design theme of the entire Project.
- A projecting sign (“blade sign”), to be located on the southern façade of “Building C”. This blade sign will be three hundred fifteen (300) square feet and identify the live music venue.

The existing monument and directional signage will remain in place, with the content changed to identify the Project and Project tenants.

The unique, superior quality and character of the Project justifies the requested amendments in this circumstance. The Project is the first of its kind in the St. Louis area. It adds another significant entertainment amenity that continues the growth of the North Outer 40 corridor into a regional entertainment district. Additionally, all of the signs and architectural features will be designed in accordance with the “retro-industrial” design theme of the Project and will promote superior architectural design and quality.

The Project will include an indoor music facility that will attract regional and national acts. Such a facility does not presently exist anywhere in West St. Louis County. The indoor music facility will hold approximately 150 concerts and events per year. The Identification Sign with EMC is required to advertise those events. The operators of the indoor music facility will not proceed to build and open the music venue without the requested Identification Sign (see attached letter from Contemporary Productions).

This sign package will not have a substantial negative physical impact on any neighboring properties and will conform with the requirements of the City’s lighting code, permit the efficient navigation of traffic visiting the Property for concerts and other events, and mitigate excess signs on the Property by removing the majority of the tenant wall signs facing I-64. The landscaping around the monument signs shall be in conformance with the approved Landscape Plan for the Property.

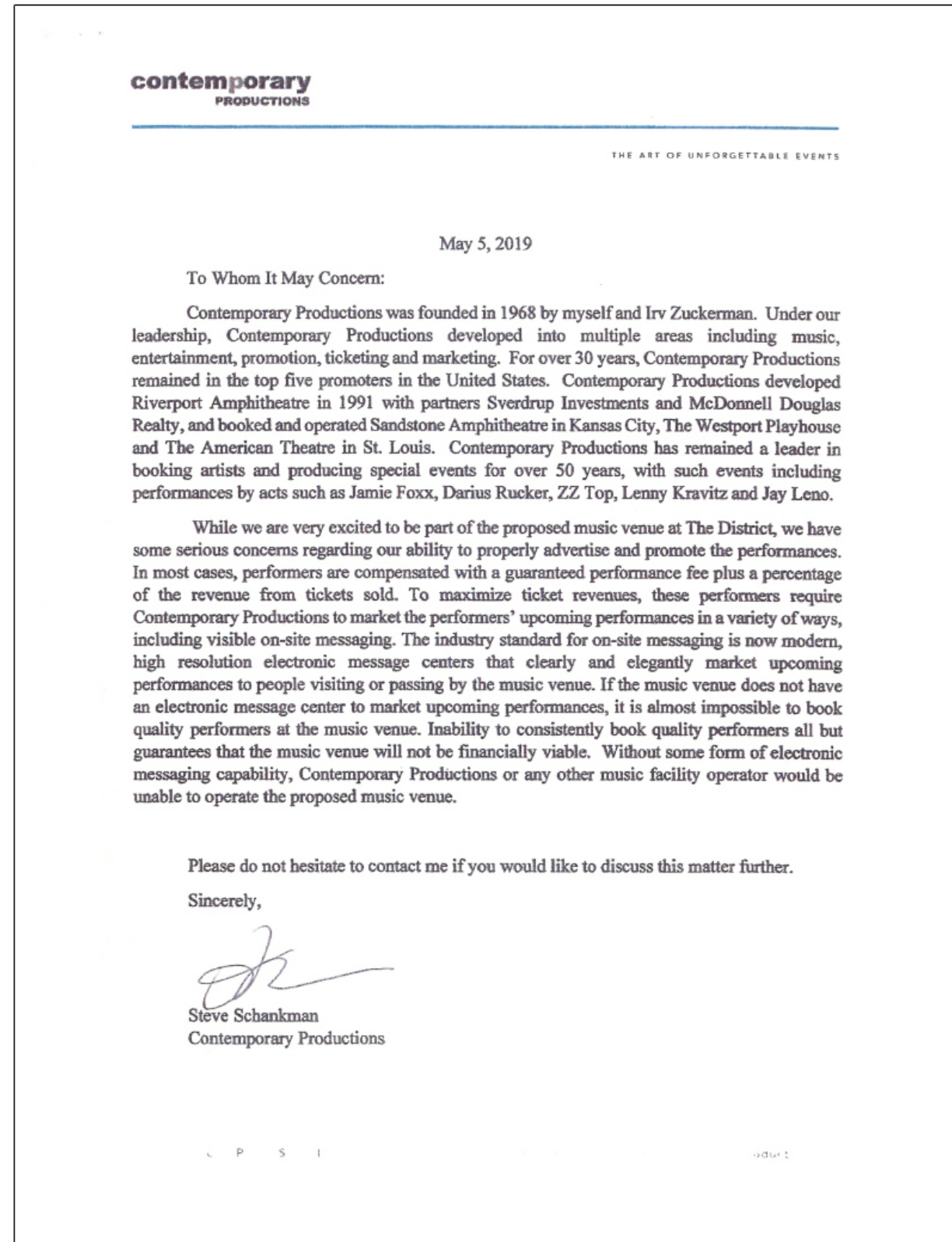
Understanding the sensitivity with respect to the EMC, the following additional factors are submitted as justification of one such display board in the unique circumstances surrounding this Project:

- The Project is located along the I-64 corridor in Chesterfield Valley;
- The Project is abutted by the Monarch levee and undevelopable floodplain;
- The Project is entirely fronted by public right-of-way;
- The Project has approximately 3,363 feet of roadway frontage;
- The Project is adjacent to the TopGolf subdivision;
- The Project is over 40 acres in size;
- The Project is in excess of 300,000 square feet;
- The Project is not located near any residential development;
- The Project will be the only regional entertainment district in the City;
- The Project will include the only large indoor live music venue in the City; and
- There are no other EMCs near the Project.

Furthermore, the EMC will be subject to the following restrictions:

- **Distance.** The EMC shall not be permitted within two thousand (2,000) feet of any property with a land use designation that permits residential uses as determined by the Comprehensive Land Use Plan.
- **Distance.** The EMC shall not be permitted within one thousand (1,000) feet from the center point of two intersecting arterial roadways as designated within the City of Chesterfield Street Classification Map.
- **Duration of image display.** Each image displayed shall have a minimum duration of ten (10) seconds.
- **Presentation.** The image shall be a static display. No portion of the image shall flash, scintillate, fade in or fade out, scroll, swirl, change color, or in any manner imitate movement. No motion imagery, special effect to imitate movement, or presentation of graphics displayed in a progression of frames that give the illusion of motion shall be permitted.
- **Transition.** When the image or any portion thereof changes, the change sequence shall only be accomplished by means of instantaneous repixelization.
- **Dimmer control.** The EMC shall be equipped with an automatic dimmer control to automatically produce a distinct illumination change from a higher illumination level to a lower level according to ambient light conditions and for the time period between sundown and sunrise.
- **Brightness.** The EMC shall not exceed a maximum of seven thousand (7,000) nits (candelas per square meter) during daylight hours and a maximum illumination of six hundred (600) nits candelas per square meter) between sundown and sunrise measured from the sign's face at maximum brightness.
- **Fluctuating or flashing illumination.** No portion of the EMC may fluctuate in light intensity or use intermittent, strobe or moving light or light that changes in intensity in sudden transitory bursts, streams, zooms, twinkles, sparkles or that in any manner creates the illusion of movement.
- **Malfunction and noncompliance.** In the case of malfunction, digitally-illuminated signs are required to contain a default design to freeze the sign message in one position.
- **Resolution and pixel spacing.** The EMC shall not have a pixel pitch larger than sixteen (16) millimeters (mm).
- **Angle.** If the interior angle formed by the faces of a V-shaped sign is less than one hundred eighty (180) degrees, both faces of the sign will display the same image.

Any signage not specifically identified in the Comprehensive Sign Package shall conform to Section 04-05 of the Unified Development Code.



Dimensions of building signage are listed for letter and symbol dimensions only, and shall not include the electrical raceway such sign elements sit upon. Tenant sign square footage, quantity, and placement are all approximate and will vary based upon tenant names, logos, and dimensions. Architectural features will not be altered. The sum total of all installed individual tenant signage will not exceed the maximum approved square footage.

september 26, 2019

Narrative to the Comprehensive Sign package, including purpose, scope, design, and consistency with the development's architectural themes. The narrative addresses how the comprehensive sign package promotes superior design, quality and character

The District is a redevelopment of the former Taubman Prestige Outlets Chesterfield (TPOC) on North Outer Rd 40, just east of the intersection of Boone's Crossing & Interstate 64/Highway 40.

The sign package for The District was designed and tailored to integrate both into the surrounding environment and the architectural design of the project. The materials & colors from the architectural palette have been integrated directly into the sign program.

All signage found in the interior pedestrian shopping areas will be treated similarly to the interior signage found in the shopping areas of the traditional enclosed mall; All signage that is "interior" to the project, meaning that signage that does not face the "public realm" (such as parking lots, streets, and trails), will be handled and approved solely by the ownership/ landlord.

Sign lighting in all instances complies with City of Chesterfield requirements. LED lighting is integrated within all illuminated sign types and in no instances is light projected directly into the dark sky. Brightness levels will be controlled to fit within the City of Chesterfield requirements.

"All tenants, businesses, owners within the development shall receive a copy of the Comprehensive Sign Package from the owner at the time of lease/sale."

"All signage within the development shall be in conformance with the Comprehensive Sign Package."

Wall Signs / Tenant Identity

The proposed sign area outlined in the Sign Package is for the center as a whole and tenant placement within these areas is subject to developer/ landlord approval.

No building mounted signs are proposed in the Sign Package facing the North Parking Area/ Levee Trail.

Existing cumulative area for all four exterior facades is 133,429 SQ. FT. Exterior facing wall-mounted signage will not exceed a total area of 10,007 SQ. FT. total.

As of September 2019 submittal, the new cumulative area for all 4 exterior facades is 212,763 SQ. FT. Exterior facing wall-mounted signage will not exceed a total area of 15,956 SQ. FT. total.

Proposed Allowable Wall Signage Area

existing buildings - to remain

Building H - south elevation	3,500 S.F.
Building H - west elevation	1,406 S.F.
Building H - east elevation	1,406 S.F.
Building K - south elevation	3,500 S.F.
Building K - west elevation	1,414 S.F.
Building K - east elevation	1,414 S.F.
Building O - south elevation	1,500 S.F.
Building P - south elevation	2,205 S.F.
Building P - east elevation	5,958 S.F.
Building P - west elevation	3,300 S.F.

proposed buildings - phase I

Building A - west elevation	2,300 S.F.
Building C - south elevation	10,150 S.F.
Building C - east elevation	10,450 S.F.
Building N - south elevation	6,300 S.F.
Building N - west elevation	8,900 S.F.
Building N - east elevation	5,650 S.F.

proposed buildings - phase II

Building B - south elevation	8,900 S.F.
Building B - west elevation	4,000 S.F.
Building B2 - south elevation	2,100 S.F.
Building B2 - west elevation	1,200 S.F.
Building B2 - east elevation	1,200 S.F.
Building F - south elevation	2,500 s.f.
Building J - south elevation	3,600 S.F.
Building J - west elevation	6,300 S.F.
Building J - east elevation	6,300 S.F.
Building R - south elevation	2,400 S.F.
Building R - west elevation	1,800 S.F.
Building R - east elevation	1,800 S.F.
Building S - south elevation	2,200 S.F.
Building S - west elevation	1,200 S.F.
Building S - east elevation	1,200 S.F.
Building L/M - south elevation	5,800 S.F.
Building L/M - west elevation	4,200 S.F.
Building L/M - east elevation	6,500 S.F.

total north elevation 23,700 S.F.

total north elevation 25,300 S.F.

total north elevation 31,200 S.F.

existing buildings 49,303 S.F.

proposed phase I 69,050 S.F.

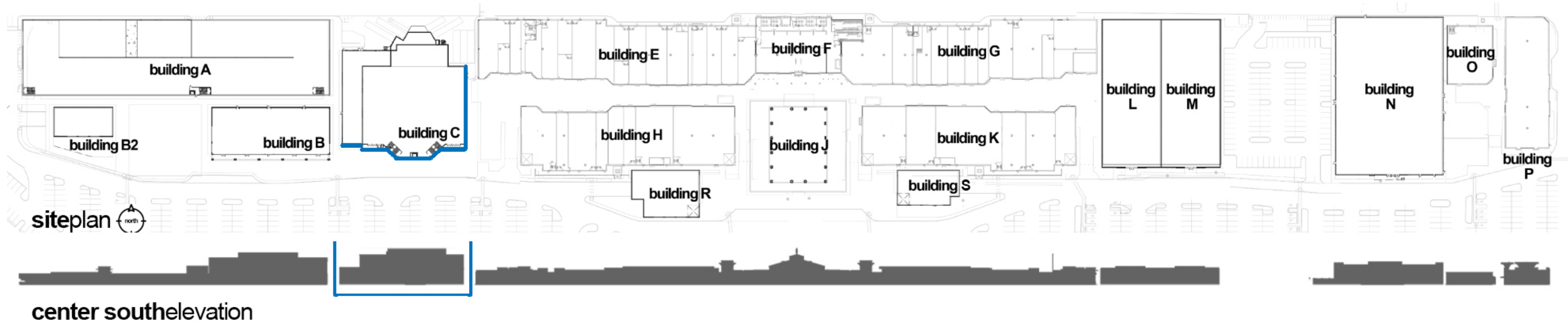
proposed phase II 94,400 S.F.

The Phase 2 signage is allowed 7.5% of the wall on which the sign is located on, only one (1) sign per tenant, per elevation with a maximum of 300 sq ft per sign allowed

total wall area = 212,753 S.F. x 0.075 = 15,956 S.F. total allowable sign area



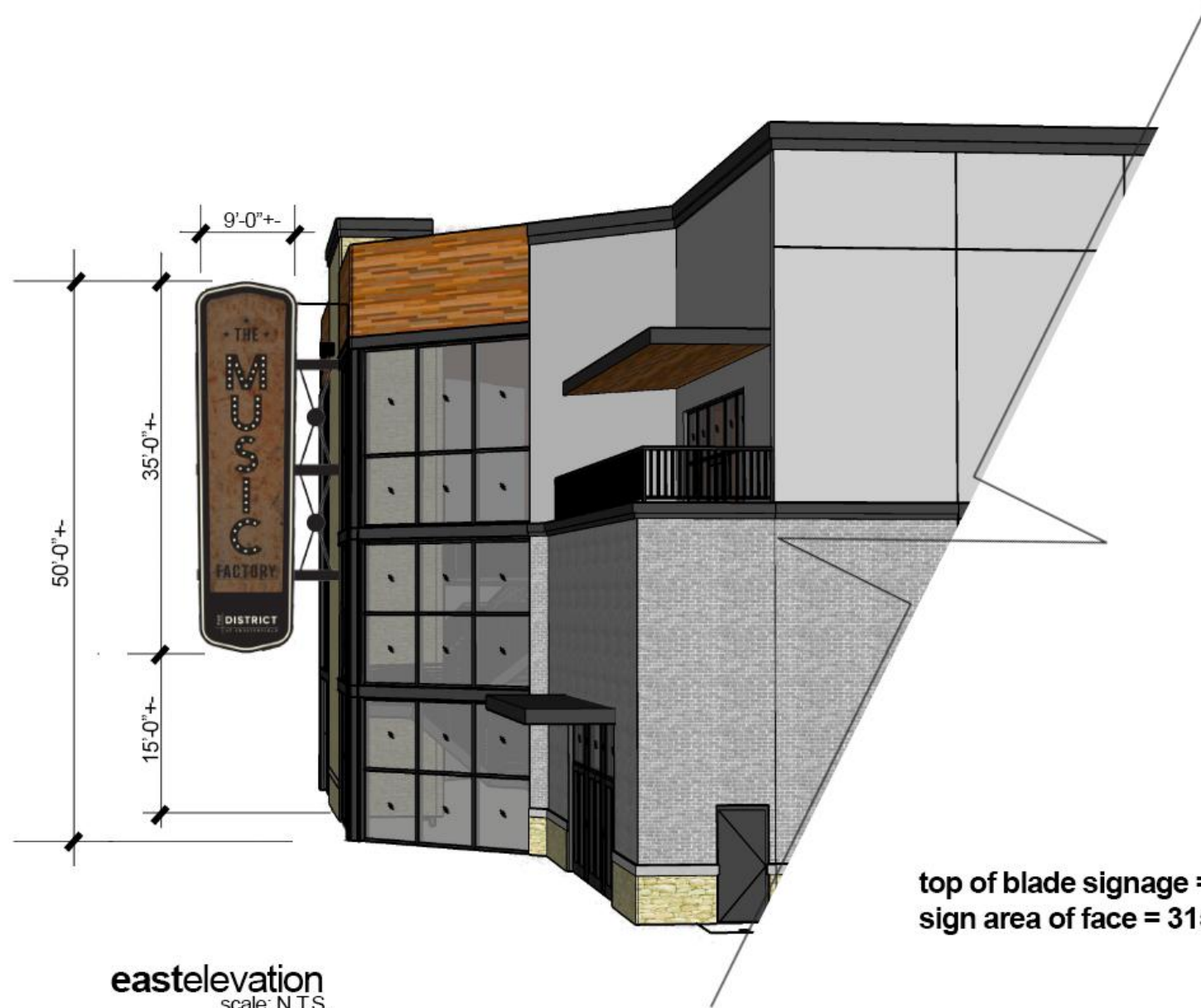
Dimensions of building signage are listed for letter and symbol dimensions only, and shall not include the electrical raceway such sign elements sit upon. Tenant sign square footage, quantity, and placement are all approximate and will vary based upon tenant names, logos, and dimensions. Architectural features will not be altered. The sum total of all installed individual tenant signage will not exceed the maximum approved square footage.



NOTE:
NO WALL SIGNAGE MOUNTED ABOVE 45' FROM FINISH FLOOR

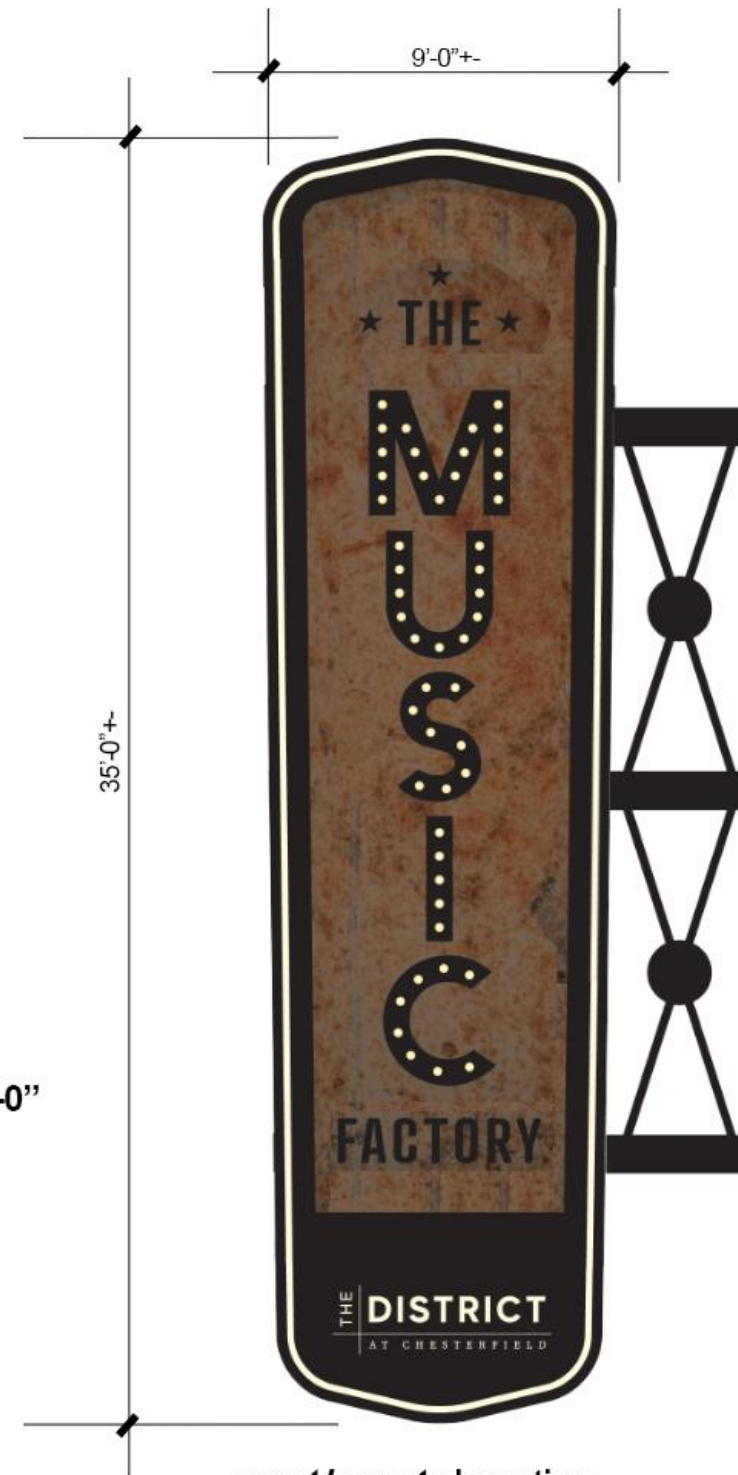
building C - south wall = 10,150 s.f x 0.075 = 761.25 s.f allowed
building C - east wall = 10,450 s.f x 0.075 = 783.75 s.f allowed
total wall area s.f. = 20,600 s.f. x 0.075 = 1,545 s.f. allowed

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eastelevation
 scale: N.T.S.

top of blade signage = 50'-0"
 sign area of face = 315'-0"

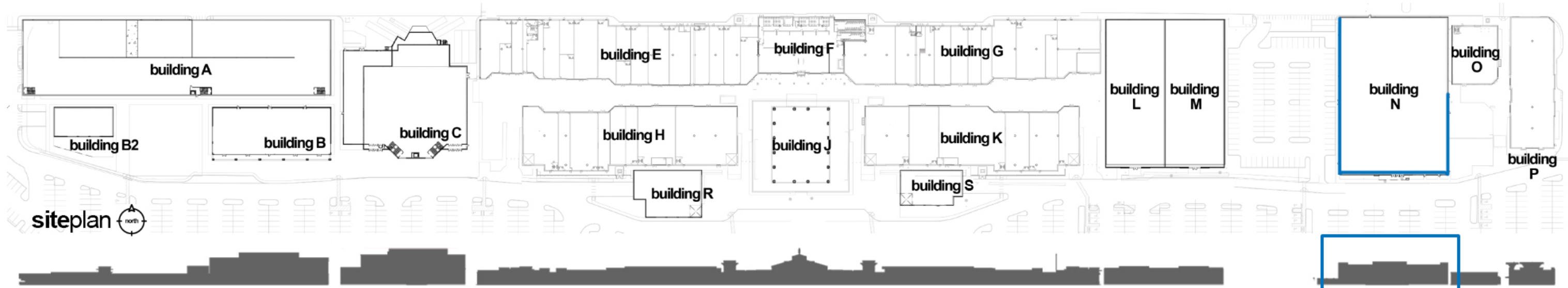


east/west elevation
 scale: N.T.S.



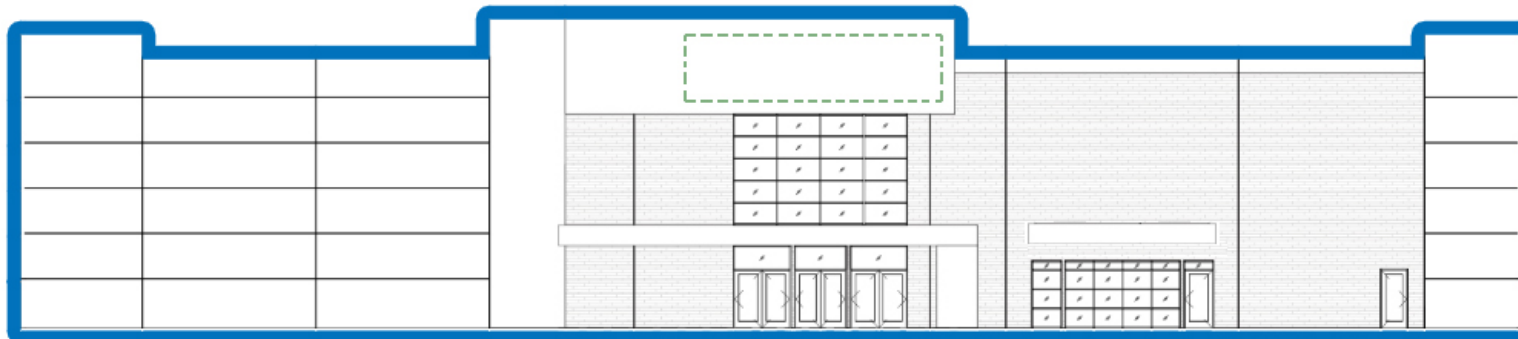
southelevation
 scale: N.T.S.

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center southelevation

“No business sign shall exceed three hundred (300) square feet in outline area”



southelevation
scale: N.T.S.

building N signage calculations for south elevation
total elevation area = 6,300 s.f. x 0.075 = 472.5 allowable signage
(-40% for any window graphics)

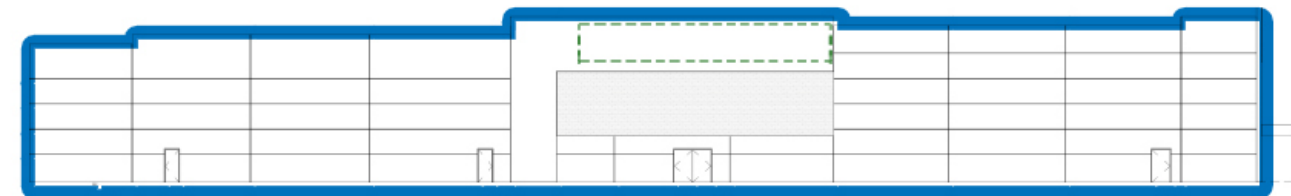
building N - south wall = 6,300 s.f x 0.075 = 472.5 s.f allowed
building N - east wall = 5,650 s.f x 0.075 = 423.75 s.f allowed
building N - west wall = 8,900 s.f x 0.075 = 667.5 s.f allowed
total wall area s.f. = 20,850 s.f. x 0.075 = 1,563.75 s.f. allowed



eastelevation
scale: N.T.S.

*dashed areas are “possible” areas for signage

building N signage calculations for east elevation
total elevation area = 5,650 s.f. x 0.075 = 423.75 allowable signage
(-40% for any window graphics)

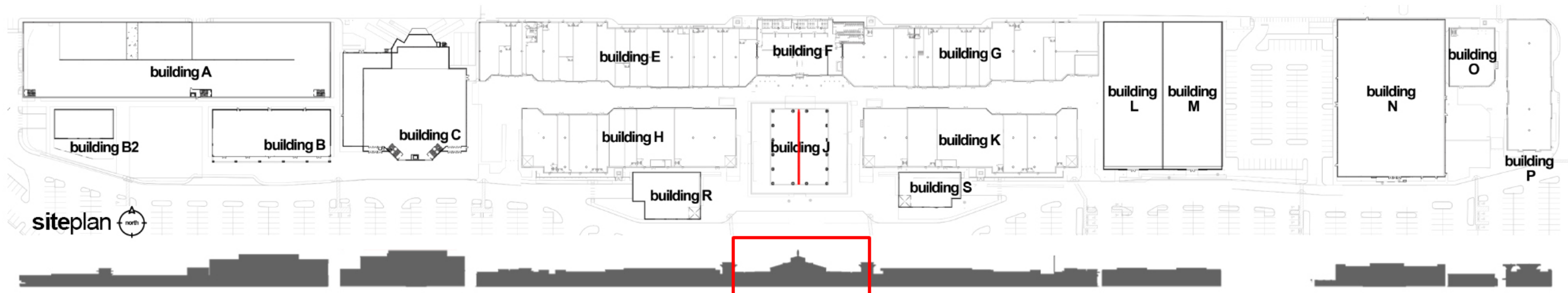


westelevation
scale: N.T.S.

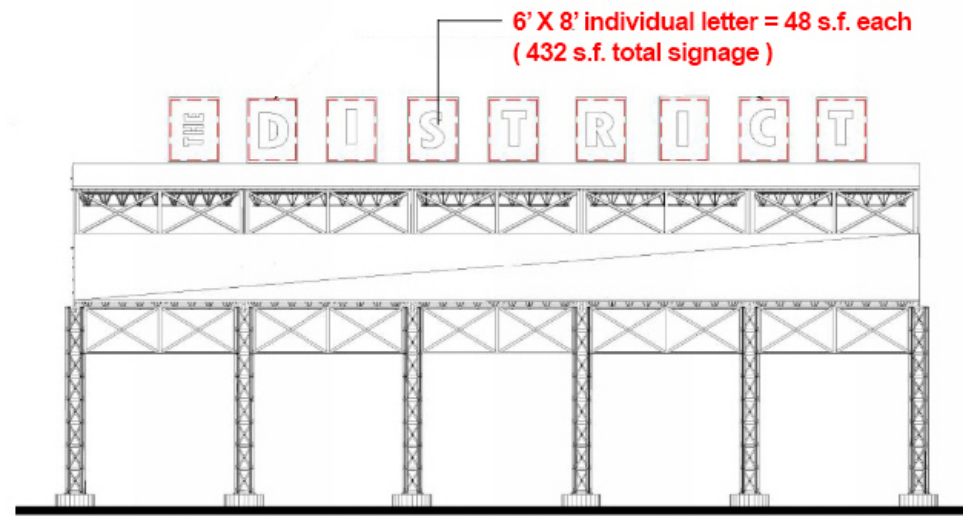
*dashed areas are “possible” areas for signage

building N signage calculations for west elevation
total elevation area = 8,900 s.f. x 0.075 = 667.5 allowable signage
(-40% for any window graphics)

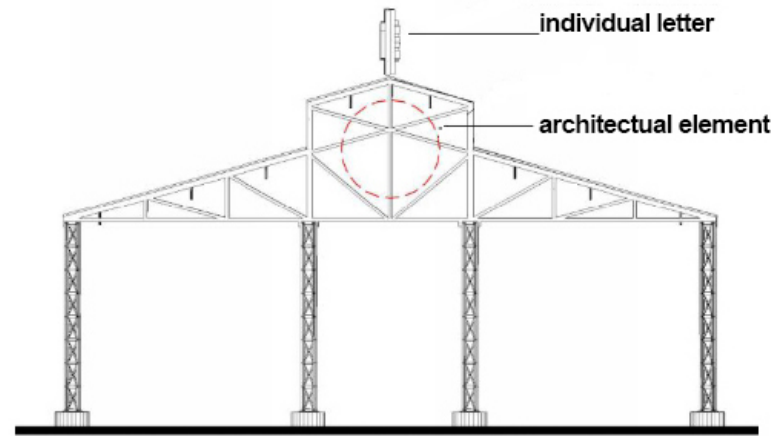
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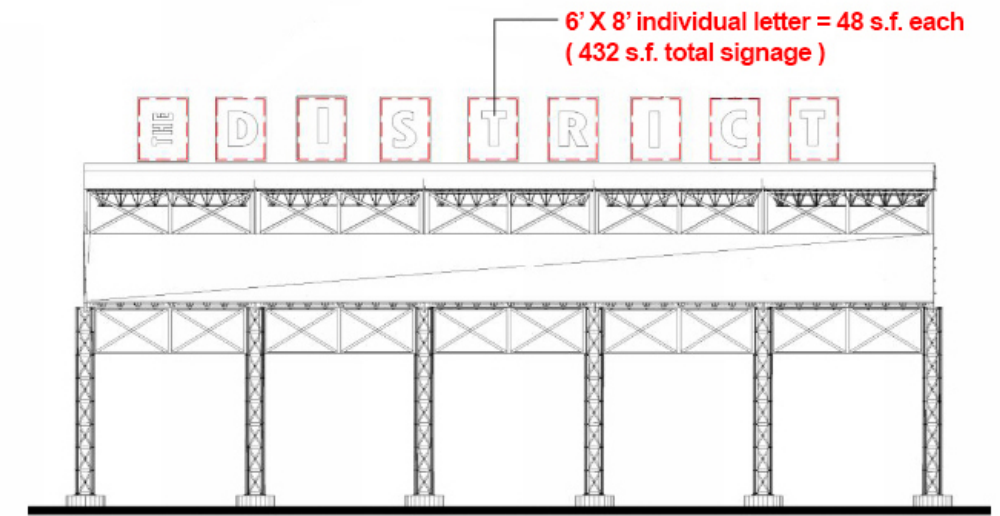
center southelevation



west elevation
scale: N.T.S.



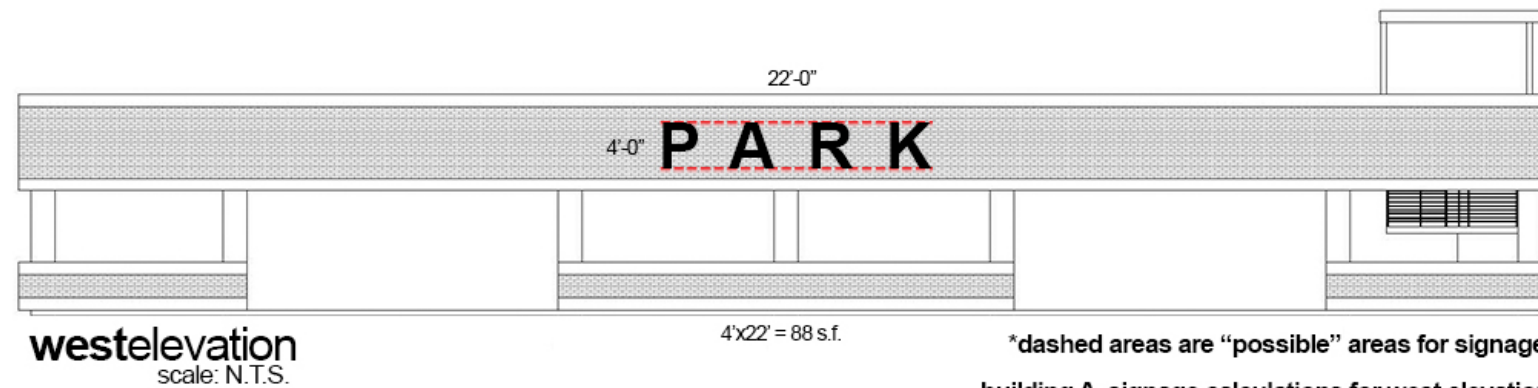
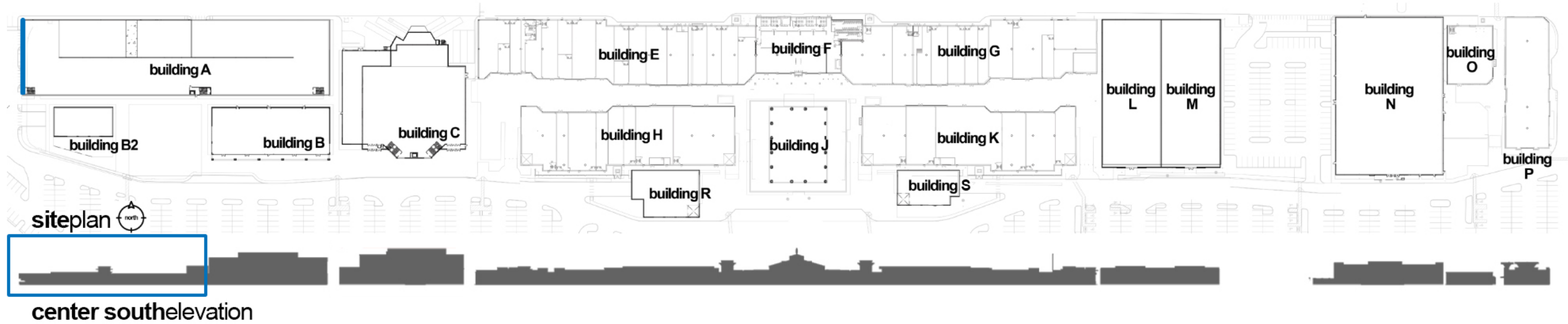
south / north elevation
scale: N.T.S.



east elevation
scale: N.T.S.

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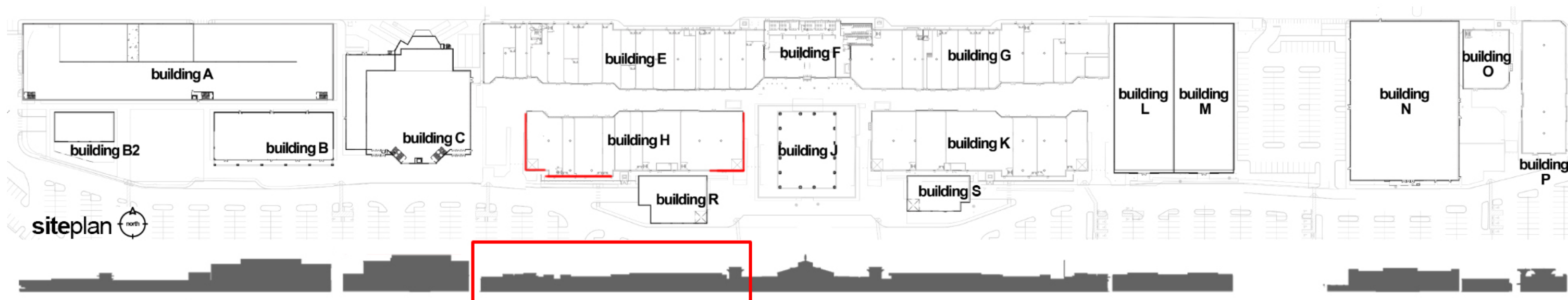
september 26, 2019



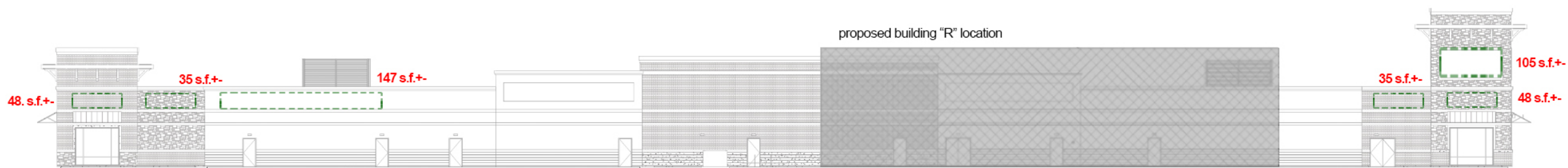
building A signage calculations for west elevation
total elevation area = 2,300 s.f. x 0.075 = 172 allowable signage

building A - west wall = 2,300 s.f x 0.075 = 172 s.f allowed

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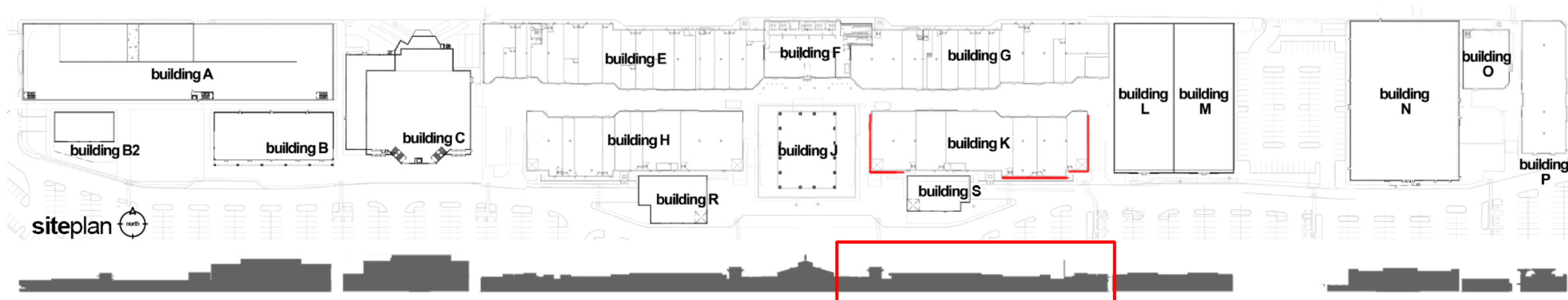


center southelevation

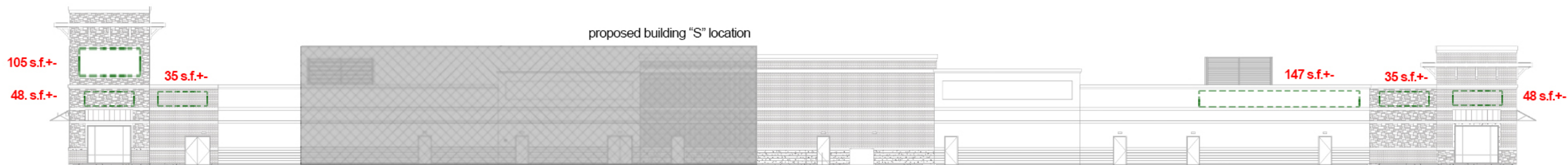


building H southelevation (proposed signage s.f. = 418 s.f.+ of sign area)
scale: N.T.S.

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center southelevation

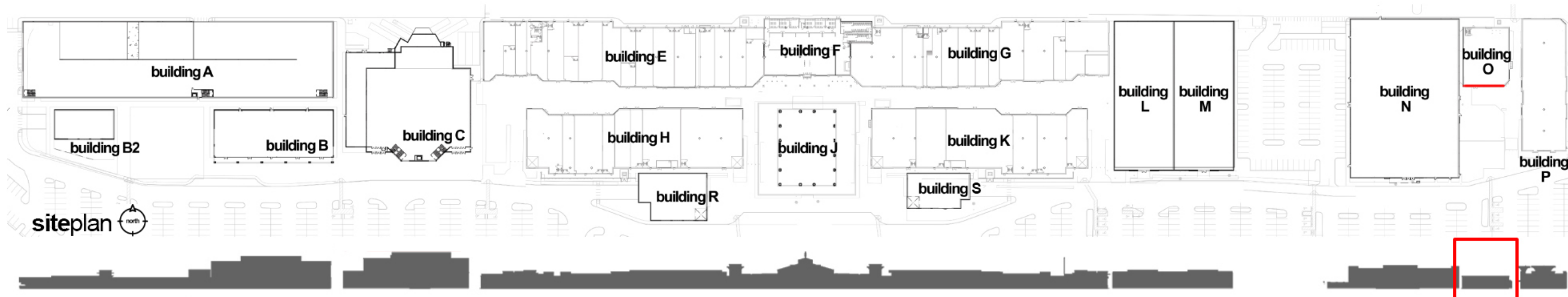


building K southelevation (proposed signage s.f. = 418 s.f.+ of sign area)

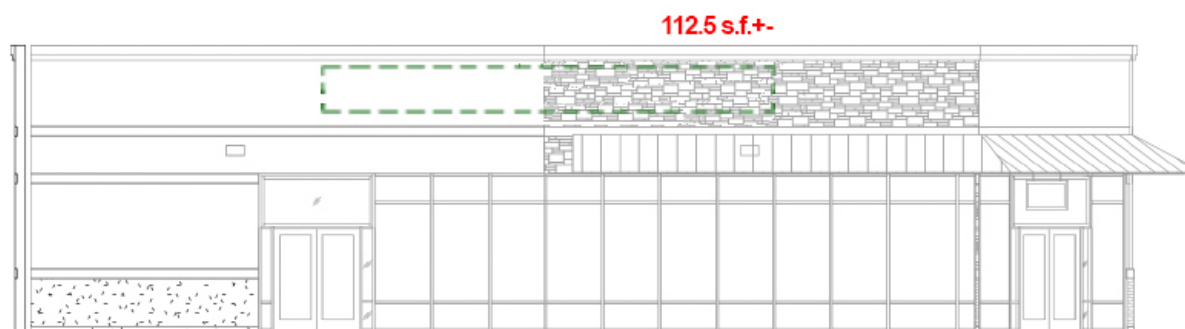
scale: N.T.S.

*dashed areas are "possible" areas for signage

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center south elevation



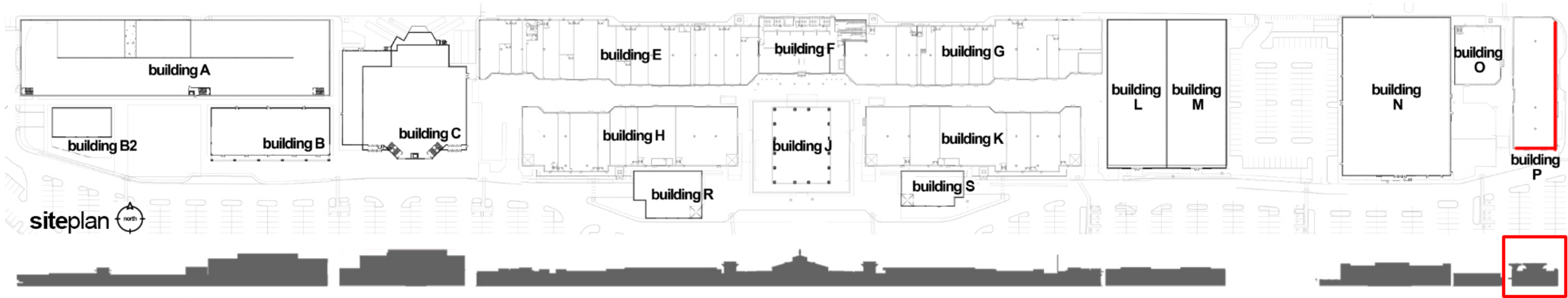
*dashed areas are "possible" areas for signage

building O south elevation
scale: N.T.S.

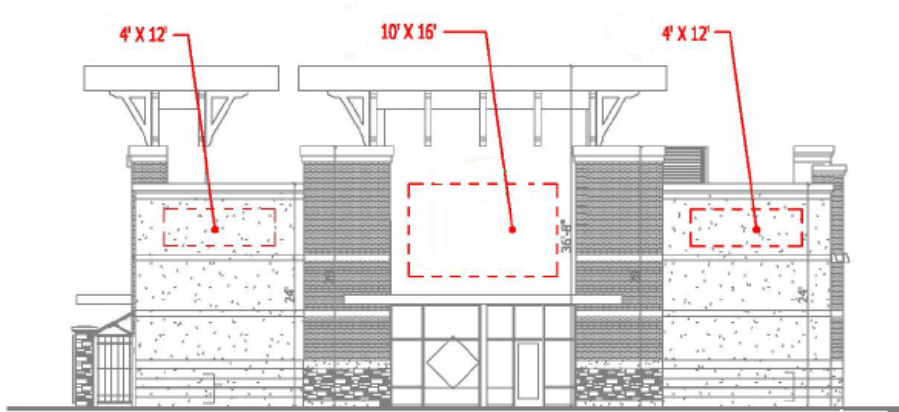
building O signage calculations for south elevation
total elevation area = 1,500 s.f. x 0.075 = 112.5 allowable signage
(-40% for any window graphics)

building O - south wall = 1,500 s.f x 0.075 = 112.5 s.f allowed

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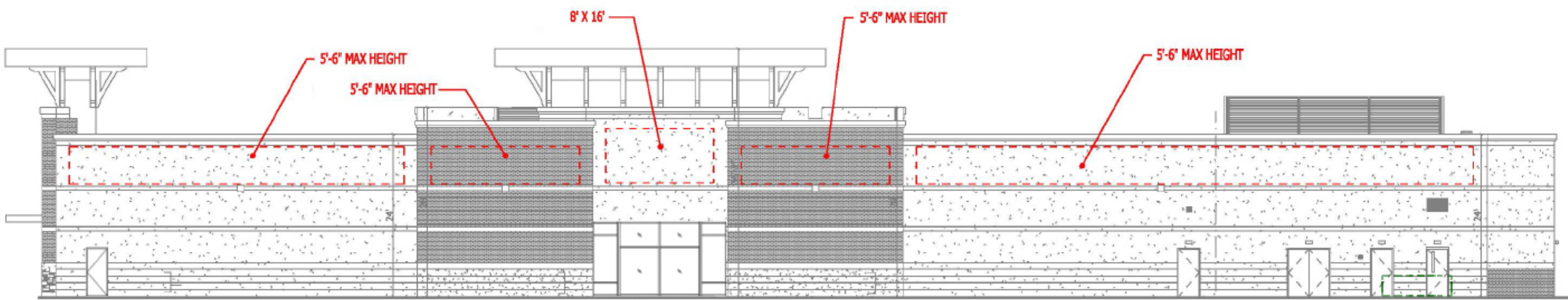


center southelevation



building P southelevation
scale: N.T.S.

building P signage calculations for south elevation
total elevation area = 8,163 s.f. x 0.075 = 612 allowable signage
(-40% for any window graphics)

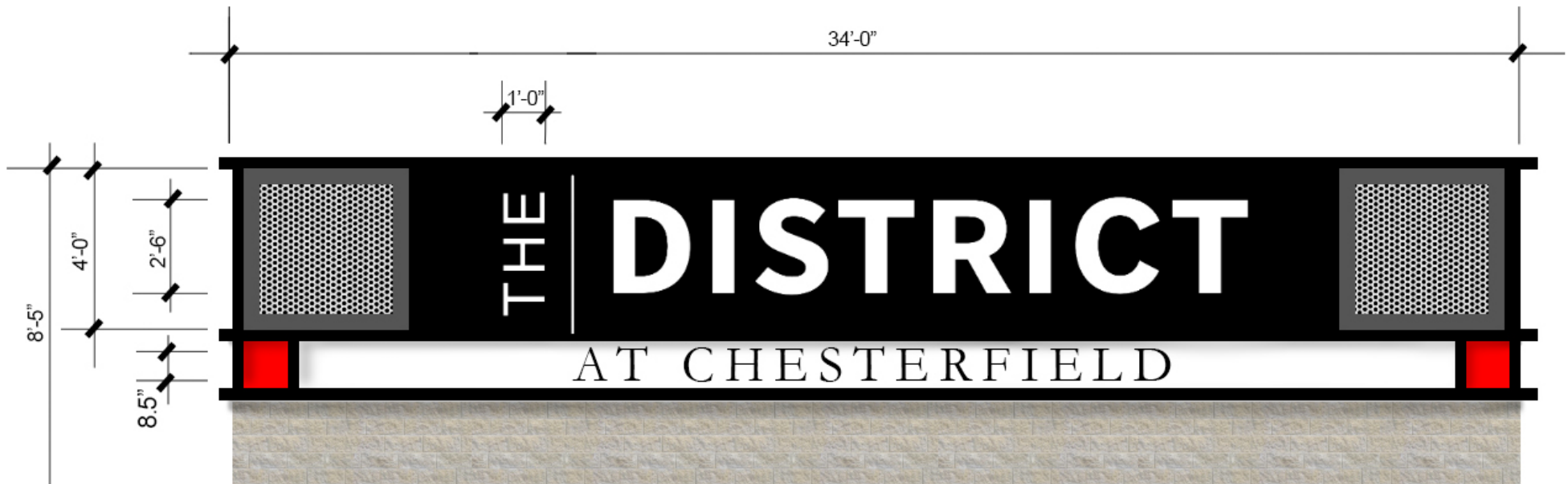


building P eastelevation
scale: N.T.S.

*dashed areas are "possible" areas for signage

building P - south wall = 2,205 s.f x 0.075 = 165.75 s.f allowed
building P - east wall = 5,958 s.f x 0.075 = 447 s.f allowed
total wall area s.f. = 8,163 s.f. x 0.075 = 612 s.f. allowed

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EXISTING LETTERING TO BE REMOVED.
EXISTING SIGN TO BE PATCHED AND REPAIRED AS NEED.
EXISTING SIGN TO BE REPAINTED - GLOSS BLACK AND WHITE WITH RED SQUARES.

1"x1" METAL TUBING INSERTS.
PAINTED "GUN METAL" GRAY - ALL SIDES
WITH PERFORATED METAL PANEL - PAINTED SAME.

1/2" SINTRA OR EQUAL LETTER APP. TO FACE.
PAINTED GLOSS WHITE "THE DISTRICT" AND
GLOSS BLACK "CHESTERFIELD"

EXISTING LANDSCAPE TO TOREMAIN

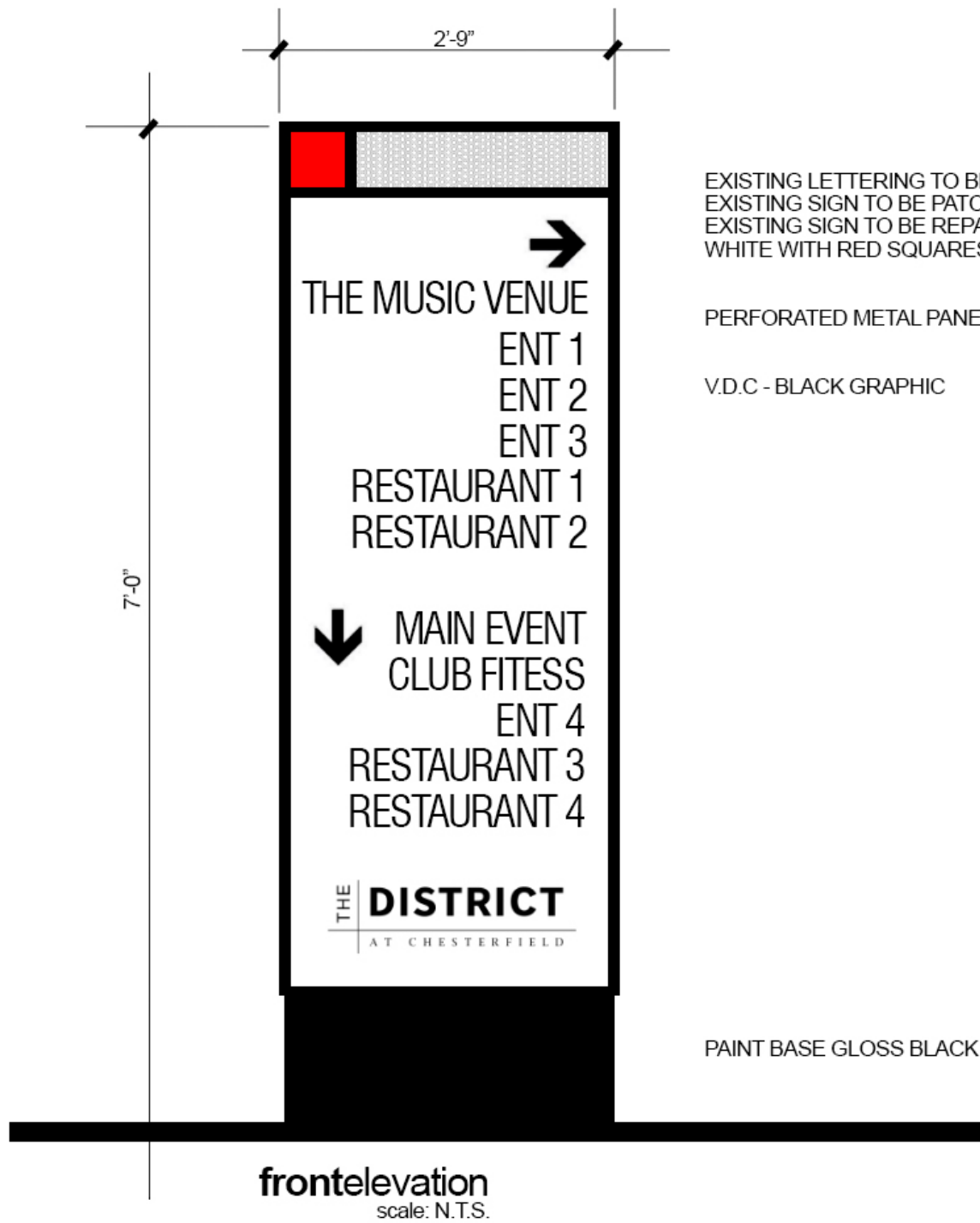
frontelevation
scale: N.T.S.



existing frontelevation
scale: N.T.S.



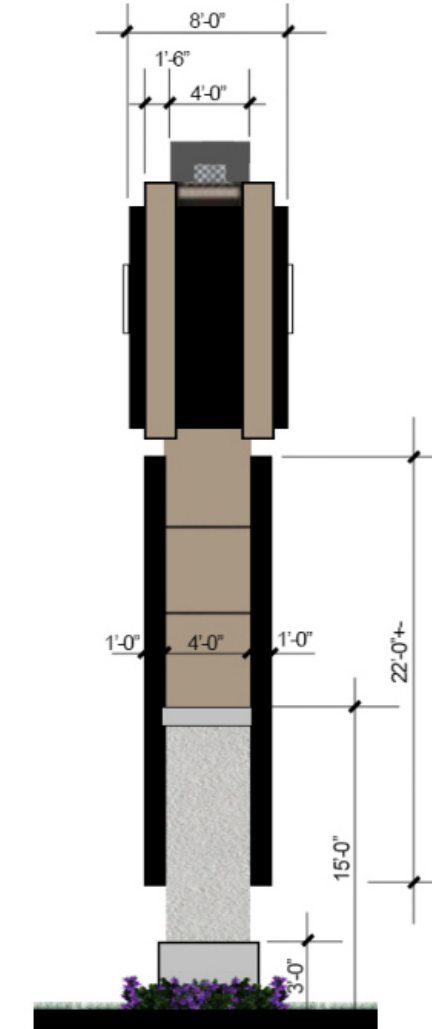
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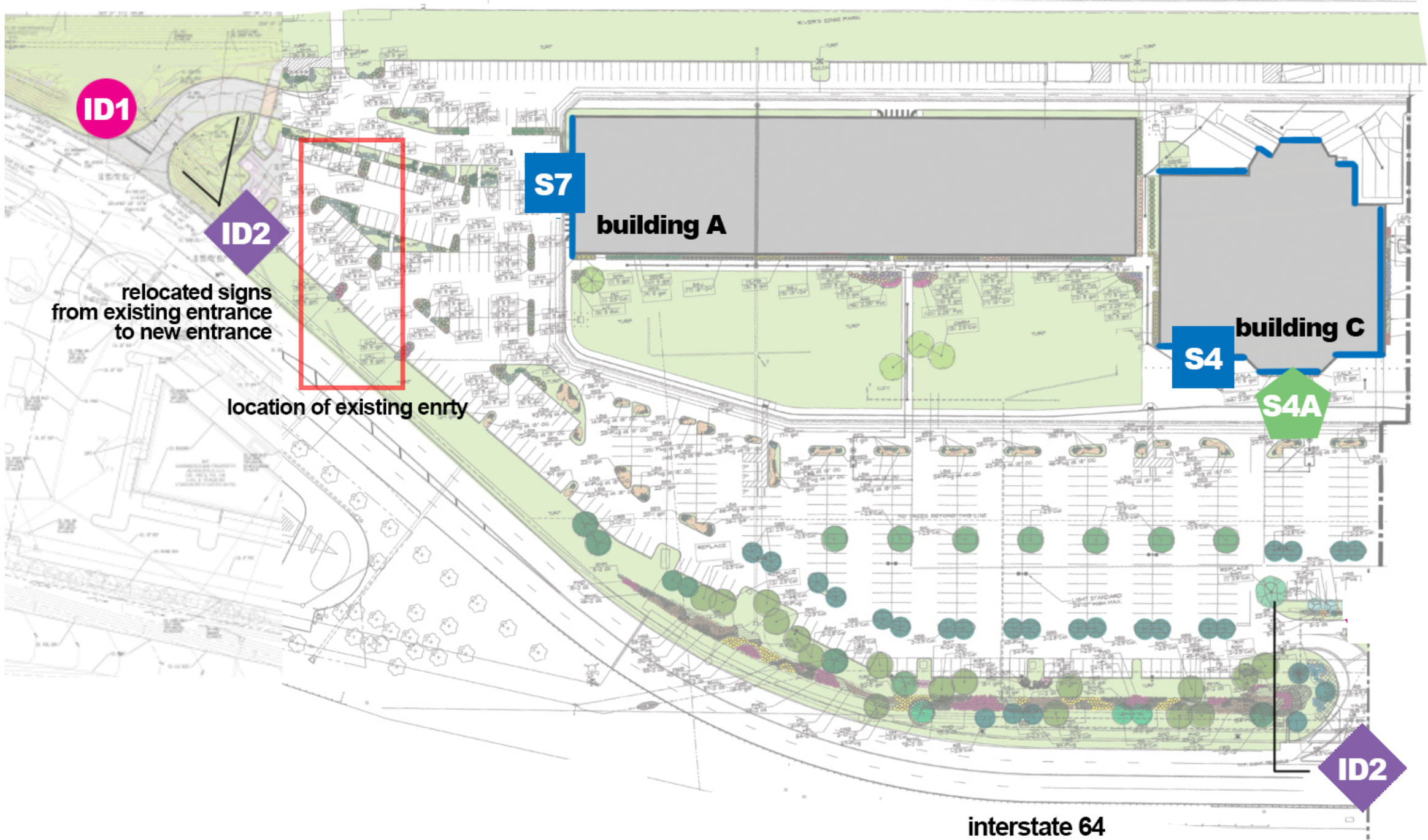


front elevation (east/west)
scale: N.T.S.

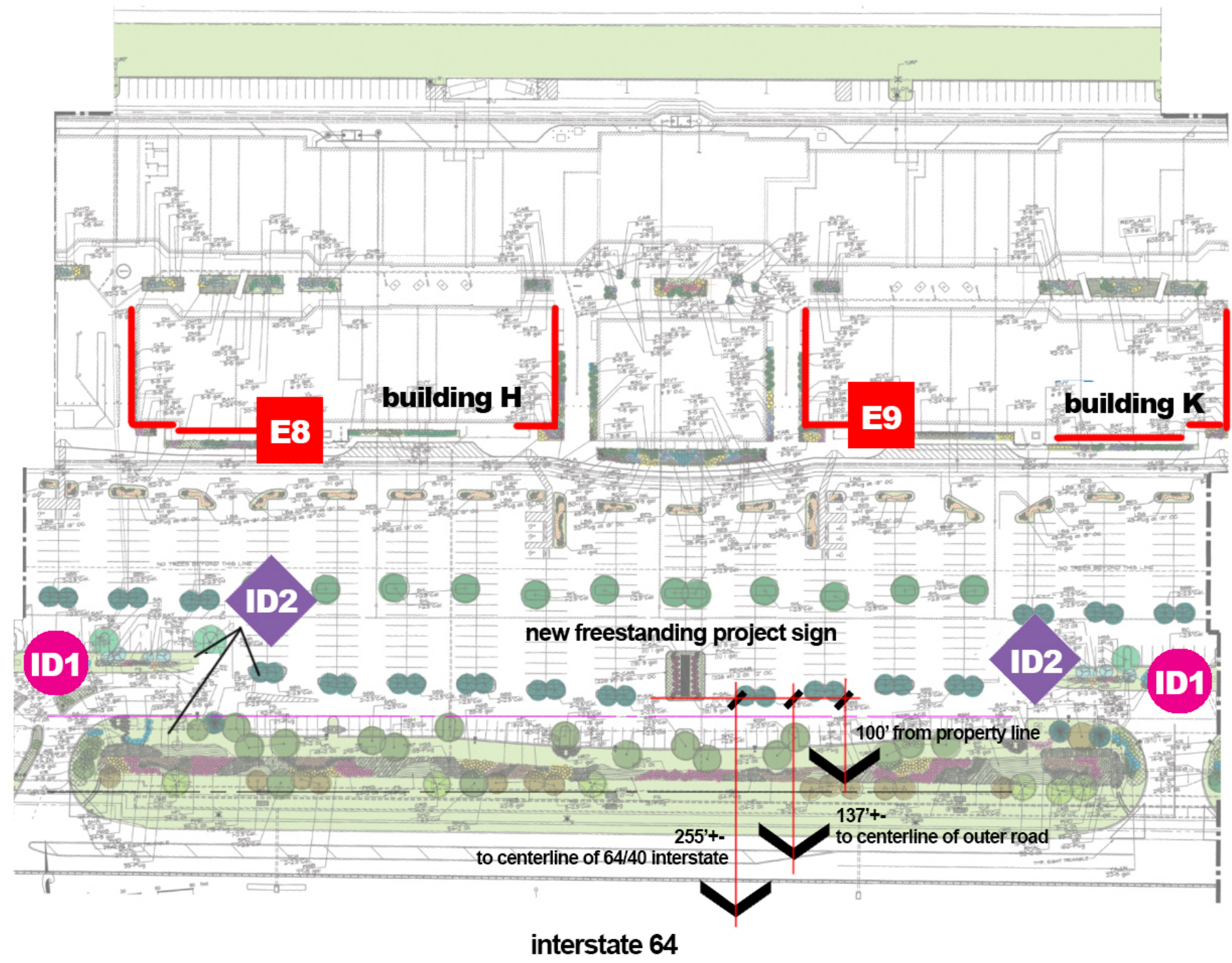


side elevation (south)

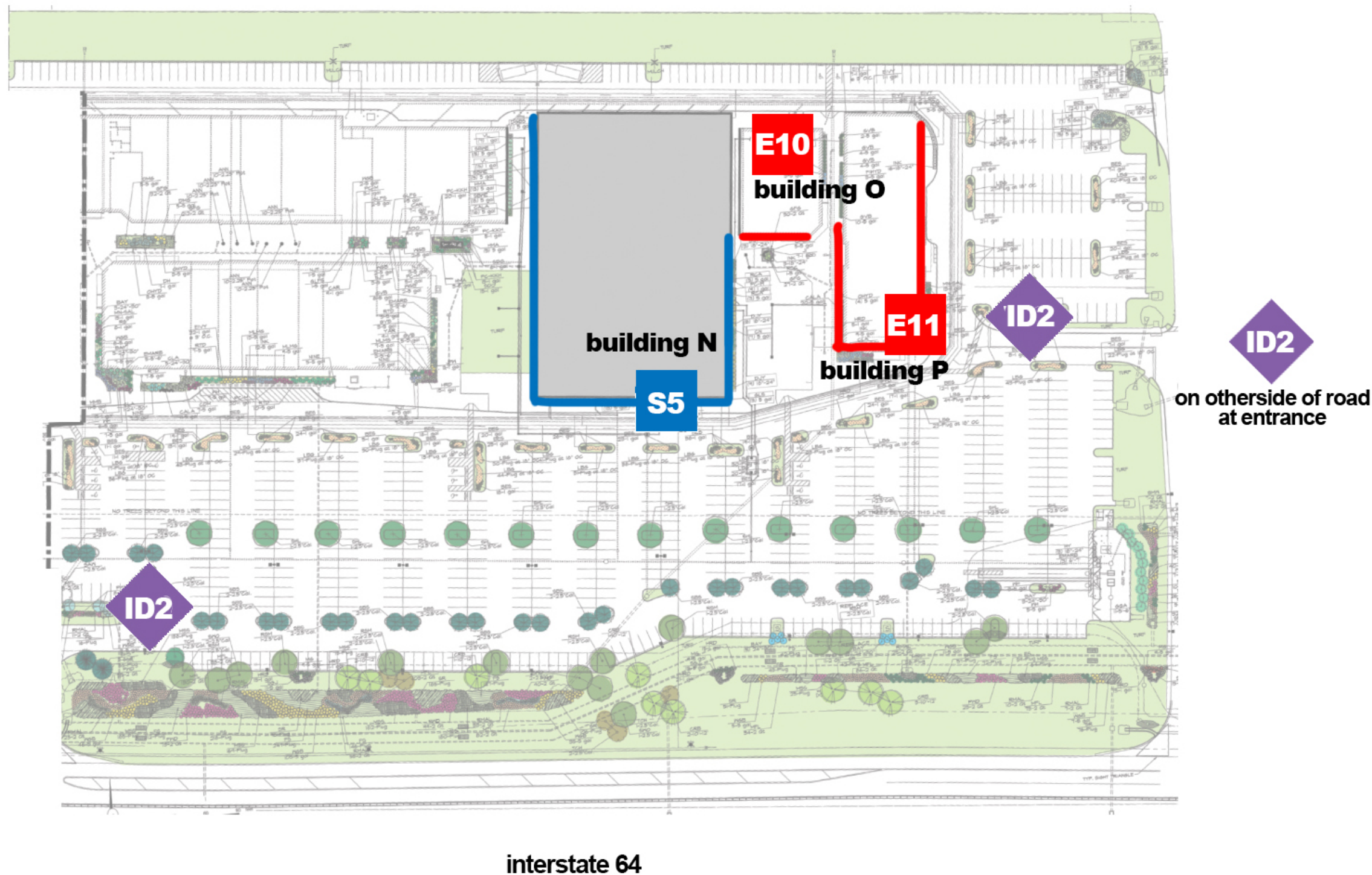
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interstate 64 looking north/east



interstate 64 looking north/west

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