



VII. D.

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Planning Commission Staff Report

Project Type: Amended Site Development Section Plan

Meeting Date: September 30, 2013

From: John Boyer
Senior Planner

Location: Justus Pointe at Chesterfield Village

Applicant: Martin Knobloch and Volz Engineers Inc.

Description: **Justus Pointe at Chesterfield Village:** An Amended Site Development Section Plan, Amended Landscape Plan, Architectural Statement of Design and Architectural Elevations for a 1.132 acre tract of land zoned "R-6" Residential District with "PEU" Planned Environment Unit District located on the north side of Milbridge Drive, approximately 300 feet west of Justus Pointe Road (19S431943).

PROPOSAL SUMMARY

The request is for a modification in an existing development for the construction of three (3) single-family residences and one four (4) unit attached dwelling for a total of seven (7) units. The subject site is zoned R-6 Residential District with a PEU Planned Environment Unit Procedure and is governed under the terms and conditions of City of Chesterfield Ordinance #2021. Associated with the Amended Site Development Section Plan, the Amended Site Development Concept Plan is also up for review under a separate agenda item.

HISTORY OF SUBJECT SITE

On July 17, 1973, St. Louis County approved Ordinances #6814 and #6815 which changed the zoning of the subject site from "NU" Non-Urban District to an "R-6" Residential District with a PEU Planned Environment Unit Procedure. These Ordinances were amended by St. Louis County Ordinances #10,240, #12,717, and #12,755. On August 19th, 1996, the City of Chesterfield approved Ordinance #2021 which incorporates a series of amendments to the original Ordinance into one new Ordinance showing the prior amendments to the St Louis County Ordinance.

On November 25, 2005, the City approved a Site Development Concept and Section Plan for the Justus Pointe subdivision consisting of 2.26 acres. This development plan approved 32 multi-family units, of which only 16 were constructed (see figure 1). The proposed development would complete the remaining section of this plan.

Land Use and Zoning of Surrounding Properties

Direction	Land Use	Zoning
North	Private Development Pool	“R-6/PEU” Residence District/Planned Environment Unit
South	Residential	“R-6/PEU” Residence District/Planned Environment Unit
East	Residential	“R-6/PEU” Residence District/Planned Environment Unit
West	Vacant	“R-6/PEU” Residence District/Planned Environment Unit



Figure 1: Aerial Photo

STAFF ANALYSIS

Zoning

The subject site is currently zoned “R-6/PEU” Residence District/Planned Environment Unit under the terms and conditions of City of Chesterfield Ordinance Number 2021. The submittal was reviewed against the requirements of Ordinance Number 2021 and all applicable Zoning Ordinance requirements.

Traffic Access and Circulation

Slight changes in access are proposed in this plan. The previous plan adopted less direct access points which would allow internal access to the multi-family units. The Amended Development Section Plan indicates the units will have direct access off Midland Drive (private) totaling five (5) driveway cuts.

Architectural Elevations

A total of one multi-family elevation and six (6) single-family elevations have been submitted. Materials include vinyl and fiber-cement siding options with brick and masonry design elements. The single-family units will allow for both a two (2) car and three (3) car attached garage options with the multi-family structure providing two (2) double car attached garages along its frontage.

Elevations associated with this planned development were reviewed by the Architectural Review Board (ARB) on April 11, 2013. During the meeting discussion occurred on additional landscaping around the planned multi-family unit, textured driveways and extension of siding to grade (in lieu of exposed concrete foundations). The following recommendations from ARB are passed on to the Planning Commission;

- A. Encourage consideration of using textured driveways.
- B. On elevations depicting concrete foundations the Board encourages bringing the siding down to within 10-12 inches of finished grade.
- C. Additional landscaping is encouraged on the western elevation of the multi-family unit to reduce the scale of that elevation whether or not the petitioner adds a deck.
- D. If a deck is added, it is recommended that staff handle the amended architectural elevation through its review process.

Elevations and the landscape plan have been updated to reflect these recommendations from the Architectural Review Board.

Landscape Plan

A new landscaped plan was submitted associated with the changes proposed by ARB. The Amended Landscape Plan indicates a combination of deciduous and flowering trees with multiple bushes around the foundations of the planned units. All landscaping meets the City's Tree Preservation and Landscape Requirements.

DEPARTMENT INPUT

Staff has reviewed the Amended Site Development Section Plan, Amended Landscape Plan, Architectural Statement of Design and Amended Architectural Elevations and has found the proposal to be in compliance with the site specific ordinance and all City Code requirements. Staff recommends approval of the 2nd Amended Site Development Section Plan, Amended Architectural Elevations and Amended Landscaping Plan.

MOTION

The following options are provided to the Planning Commission for consideration relative to this application:

- 1) "I move to approve (or deny) the 2nd Amended Site Development Section Plan, Amended Landscape Plan, Architectural Statement of Design and Amended Architectural Elevations for Justus Pointe."
- 2) "I move to approve the 2nd Amended Site Development Section Plan, Amended Landscape Plan, Architectural Statement of Design and Amended Architectural Elevations for Justus Pointe, with the following conditions..." (Conditions may be added, eliminated, altered or modified)

CC: Aimee Nassif, Planning and Development Services Director

Attachments: 2nd Amended Site Development Section Plan
Amended Landscape Plan
Architectural Statement of Design
Amended Architectural Elevations

LAKE, DETENTION AREA, IS LOCATED DOWNSTREAM FROM THE PROPOSED DEVELOPMENT WHICH MAY, IN THE OPINION OF PUBLIC WORKS, BE IMPACTED BY DEVELOPMENT OF SUBJECT SITE. A BOND, IN A FORM ACCEPTABLE TO THE CITY OF CHESTERFIELD, SHALL BE POSTED TO ASSURE COMPLIANCE WITH THIS SECTION. THE DEVELOPER SHALL PERFORM PRECONSTRUCTION AND POST-CONSTRUCTION SURVEYS OF THESE FACILITIES AND DETERMINE ANY CHANGED CONDITION. PRECONSTRUCTION SURVEYS SHALL BE PERFORMED PRIOR TO ANY CLEARING, GRADING, DEMOLITION OR OTHER CONSTRUCTION RELATED TO THE PROPOSED DEVELOPMENT. POST-CONSTRUCTION SURVEYS SHALL BE PERFORMED WITHIN TWELVE (12) MONTHS OF THE COMPLETION OF THE PROPOSED DEVELOPMENT OR TWO (2) YEARS FROM THE START OF THE DEVELOPMENT, WHICHEVER IS GREATER. THE DEVELOPER SHALL RETURN AFFECTED FACILITIES TO THEIR PRECONSTRUCTION CONDITION WITHIN 3 MONTHS OF THE POST-CONSTRUCTION SURVEY. IF THE OWNER/OPERATOR OF POTENTIALLY IMPACTED FACILITIES WILL NOT GRANT THE DEVELOPER THE NECESSARY EASEMENTS TO COMPLETE THE SURVEYS AND/OR RESTORATIVE WORK, THE REQUIREMENTS IN THIS PARAGRAPH ARE NULL AND VOID. THE REQUIRED BOND AND PRECONSTRUCTION SURVEY OF DOWNSTREAM FACILITIES SHALL BE SUBMITTED PRIOR TO APPROVAL OF A GRADING PERMIT OR IMPROVEMENT PLANS.

GENERAL NOTES:

THIS SITE IS IN THE FOLLOWING DISTRICTS:

METROPOLITAN ST. LOUIS SEWER DISTRICT
MONARCH FIRE PROTECTION DISTRICT
PARKWAY SCHOOL DISTRICT
BONHOMME CREEK WATERSHED

THIS SITE IS IN THE FOLLOWING UTILITY SERVICE AREAS:

ST. LOUIS COUNTY WATER COMPANY
LA CLEDE GAS COMPANY
AMEREN UE COMPANY
SOUTHWESTERN BELL TELEPHONE COMPANY
CHARTER COMMUNICATION (CABLE TV)

SANITARY SEWER CONNECTIONS SHALL BE AS APPROVED BY THE METROPOLITAN ST. LOUIS SEWER DISTRICT.

STORMWATER MANAGEMENT SHALL BE DESIGNED PURSUANT TO THE CITY OF CHESTERFIELD AND METROPOLITAN ST. LOUIS SEWER DISTRICT REQUIREMENTS AND DISCHARGED AT AN ADEQUATE NATURAL DISCHARGE POINT.

THE LOCATION OF STORM AND SANITARY SEWER IMPROVEMENTS ARE APPROXIMATE ONLY. ACTUAL CONDITIONS AND SHALL BE INDICATED ON THE LOCATION SHALL BE DETERMINED BY FIELD IMPROVEMENT PLANS.

GRADING SHALL BE PER CITY OF CHESTERFIELD STANDARDS

BE ADVISED, A GRADING PERMIT OR IMPROVEMENT PLAN APPROVAL WILL NEED TO BE OBTAINED PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES ON THE SITE.

SHOULD ANY MODIFICATION BE MADE TO THIS SITE DEVELOPMENT PLAN OR SITE DEVELOPMENT CONCEPT PLAN THE DEVELOPER MUST NOTIFY THE TRUSTEES OF THE OAK AND SYCAMORE SUBDIVISIONS PRIOR TO BEING PLACED ON A PLANNING COMMISSION AGENDA.

PROJECT NOTES:

LOCATOR NUMBER:	19S431943
OWNER OF RECORD:	PREPARED BY: VOLZ Incorporated
MARTIN T KNOBLOCH 16355 JUSTUS POST ROAD CHESTERFIELD, MO 63017	VOLZ INCORPORATED 10849 INDIANHEAD IND. BLVD ST. LOUIS, MISSOURI 63132 314.426.6212 MAIN - 314.8901250 FAX
PREPARED FOR:	MARTIN T KNOBLOCH 16355 JUSTUS POST ROAD CHESTERFIELD, MO 63017
EXISTING ZONING:	"R-6 P.E.U." MULTI FAMILY RESIDENTIAL
AREA OF SITE:	1.132 Acres
PROPOSED USES:	3-SINGLE FAMILY & 4-CONDOMINIUM
NUMBER OF UNITS:	7
TOTAL PARKING REQUIRED & PROPOSED:	3 SINGLE FAMILY x 2 SPACES = 6 SPACES 4 CONDO x 1.5 SPACE = 6 SPACES
1. RECORD PLAT WILL BE REQUIRED TO BE REVIEWED BY THE CITY.	
2. FRONT BUILDING SETBACK - 20'	
SIDE BUILDING SETBACK - 6'	
REAR BUILDING SETBACK - 15'	
TWO EXISTING CONDOMINIUM BUILDINGS & PARKING	
16 UNITS GARAGE PARKING 2 SPACES PER UNIT - 32 SPACES 6 ON SITE SPACES	
THERE ARE NO TREES ON SITE	

BY ORDER OF MARTY KNOBLOCH, WE HAVE PREPARED A SITE DEVELOPMENT SECTION PLAN, THE RESULTS OF WHICH ARE CURRENTLY REPRESENTED ON THIS DRAWING, WHICH IS A SITE DEVELOPMENT SECTION PLAN - NOT FOR CONSTRUCTION AND WAS PREPARED FOR THE SOLE LIMITED PURPOSE OF PROVIDING A CONCEPT FOR THE PROPOSED DEVELOPMENT OF THE TRACT, AND IS INTENDED ONLY FOR THE PRELIMINARY USE OF GOVERNMENTAL REVIEWING AUTHORITIES FOR THE PURPOSE OF OBTAINING APPROVAL OF A CONCEPT, AND IS SUBJECT TO SUCH COMMENTS, RECOMMENDATIONS OR REVISIONS AS MAY BE DEEMED NECESSARY OR APPROPRIATE IN FURTHERANCE OF SUCH PURPOSES.

IN THE PREPARATION OF THIS PLAN, NO GRADING BALANCE HAS BEEN DONE AND THIS PARTIAL FINAL DEVELOPMENT PLAN IS SUBJECT TO THAT WHICH A MORE DETAILED EVALUATION MAY INDICATE. SOILS AND SUBSURFACE INFORMATION HAVE NOT BEEN MADE AVAILABLE AND HENCE NOT TAKEN INTO ACCOUNT. BOUNDARY LINES HAVE BEEN PREPARED FROM INFORMATION SUPPLIED BY THE CLIENT WITHOUT BENEFIT OF TITLE SEARCH OR FIELD SURVEYS. TOPOGRAPHIC DATA HAS BEEN TAKEN FROM EXISTING MAPS AND NOT VERIFIED BY PHYSICAL ELEVATIONS. ZONING DENSITY IS ASSUMED AND THE LOCATION, CAPACITY AND AVAILABILITY OF UTILITIES ARE TAKEN FROM AVAILABLE INFORMATION WITHOUT VERIFICATION. ACCORDINGLY, THE UNDERSIGNED DISCLAIMS RESPONSIBILITY FOR THE ACCURACY OF THE FORESAID MATTERS AND FOR THE DILIGENCE THAT WOULD BE NECESSARY TO ADDRESS ALL OTHER ISSUES OF DEVELOPMENT. THIS PLAN IS A CORRECT REPRESENTATION OF ALL EXISTING AND PROPOSED LAND DIVISIONS THIS SITE DEVELOPMENT CONCEPT PLAN AND SITE DEVELOPMENT PLAN - NOT FOR CONSTRUCTION.

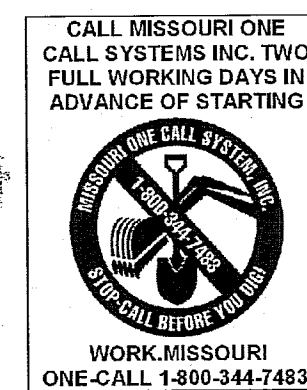
ADDITIONAL NOTES

SIGNAGE WILL BE INSTALLED DURING CONSTRUCTION TO PROHIBIT CONSTRUCTION TRAFFIC FROM USING MILBRIDGE BEYOND THE FIRST PROPOSED ENTRANCE TO THE SITE.

NO CONSTRUCTION PARKING ON MILBRIDGE. PROVIDE ADEQUATE OFF-STREET STABILIZED PARKING AREA(S) FOR CONSTRUCTION EMPLOYEES AND A WASHDOWN STATION FOR CONSTRUCTION VEHICLES ENTERING AND LEAVING THE SITE IN ORDER TO ELIMINATE THE CONDITION WHEREBY MUD FROM CONSTRUCTION AND EMPLOYEE VEHICLES IS TRACKED ONTO THE PAVEMENT CAUSING HAZARDOUS ROADWAY AND DRIVING CONDITIONS. THE STREETS SURROUNDING THIS DEVELOPMENT AND ANY STREET USED FOR CONSTRUCTION ACCESS THERETO SHALL BE CLEANED THROUGHOUT THE DAY. THE DEVELOPER SHALL KEEP THE ROAD CLEAR OF MUD AND DEBRIS AT ALL TIMES.

BENCHMARK

12-49 538.05 "SQ" ON NORTHEAST CORNER OF SIGNAL CONTROL BOX AT SOUTHEAST CORNER OF CHESTERFIELD VILLAGE PARKWAY AND LYDIA HILLS DR.

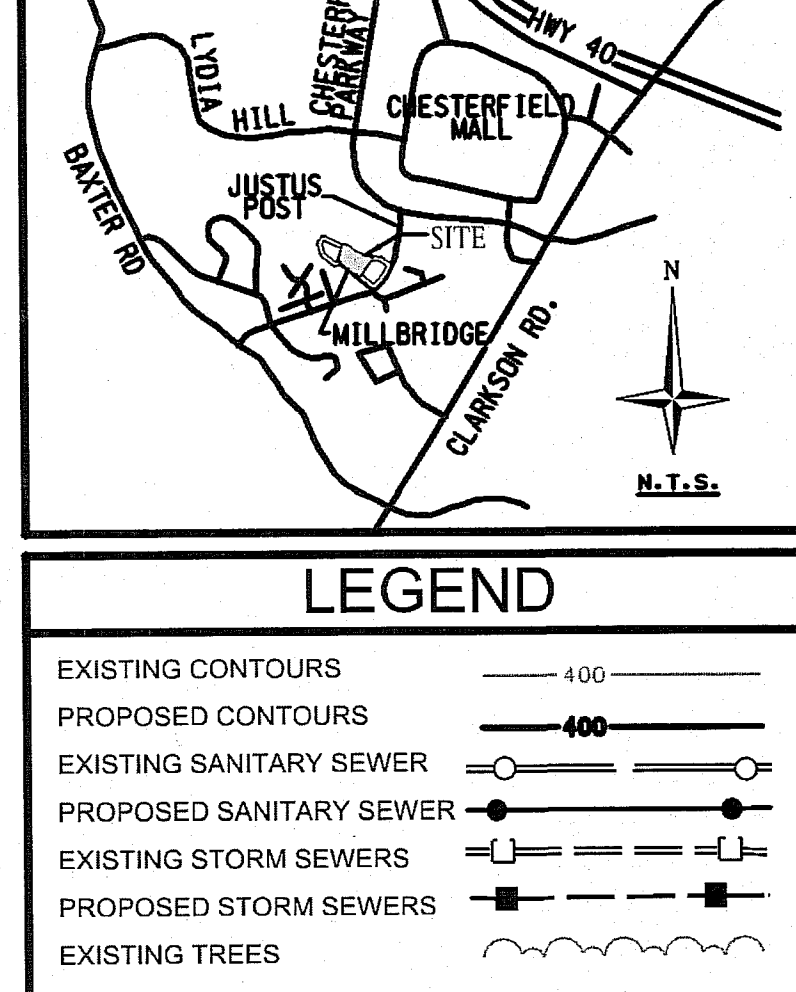
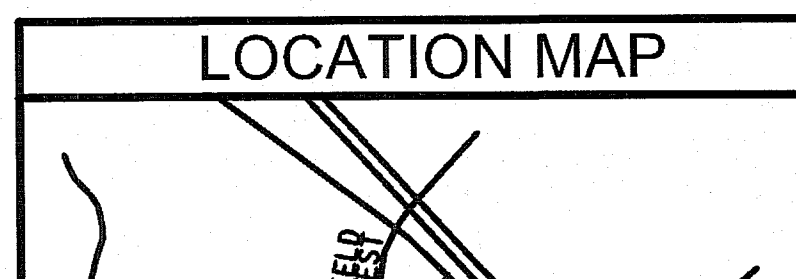
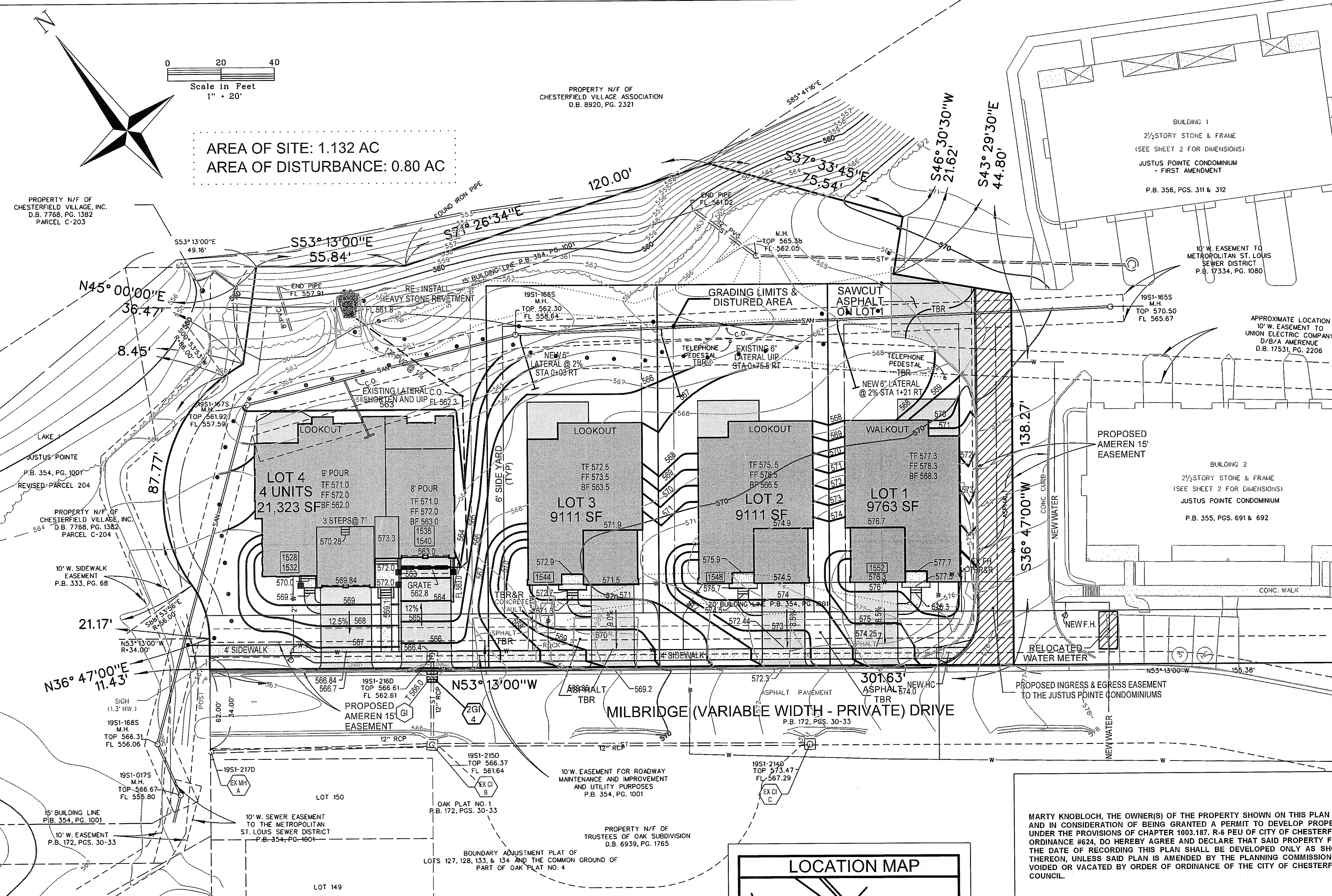


THE UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, OR NONEXISTENCE, SIZE, TYPE, NUMBER, OR LOCATION OF THESE OR OTHER UTILITIES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND UTILITIES IN THE FIELD, SHOWN OR NOT SHOWN, PRIOR TO ANY GRADING, EXCAVATION, OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319, RSMO.

Survey Description:

A tract of land being part of Revised Parcel 203 of "Justus Pointe", a subdivision according to the plat thereof recorded in Plat Book 354 page 1001 of the St. Louis County records and being also part of the property described in "Declaration of Condominium Ownership for Justus Pointe at Chesterfield Village: A Condominium" recorded in Deed Book 17685 page 2747 of the St. Louis County records, in U.S. Survey 2002, Township 45 North - Range 4 East, City of Chesterfield, St. Louis County, Missouri and being more particularly described as:

Beginning at a point in the Southwest line of said Revised Parcel 203, distant North 53 degrees 13 minutes 00 seconds West 155.38 feet from its intersection with the Northwest line of Justus Post Road, 43 feet wide; thence Northwestwardly along said Southwest line of Revised Parcel 203, North 53 degrees 13 minutes 00 seconds West 301.63 feet to a point in the Southeast line of Revised Parcel 204 of said "Justus Pointe"; thence Northwardly along said Southeast line of Revised Parcel 204 the following courses and distances: North 36 degrees 47 minutes 00 seconds East 11.43 feet, along a curve to the left whose radius point bears North 53 degrees 13 minutes 00 seconds West 34.00 feet from the last mentioned point, a distance of 21.17 feet, along a curve to the right whose radius point bears South 88 degrees 53 minutes 56 seconds East 56.00 feet from the last mentioned point, a distance of 87.77 feet, along a curve to the right whose radius point bears South 0 degrees 53 minutes 53 seconds West 86.00 feet from the last mentioned point, a distance of 8.45 feet and North 45 degrees 00 minutes 00 seconds East 36.47 feet to a point in the Southwest line of "Boundary Adjustment Plat of Lake Post Commons Recreation Facility And Tracts Of Land In U.S. Survey 2002, T. 45 N. - R. 4 E., St. Louis County, Missouri", according to the plat thereof recorded in Plat Book 196 page 77 of the St. Louis County records, being also a point in the Northeast line of aforesaid Revised Parcel 203; thence Southwardly and Eastwardly along the dividing line between said Boundary Adjustment Plat and said Revised Parcel 203, South 53 degrees 13 minutes 00 seconds East 55.84 feet and South 71 degrees 26 minutes 34 seconds East 120.00 feet to a point; thence South 37 degrees 33 minutes 45 seconds East 75.54 feet to a point; thence South 46 degrees 30 minutes 30 seconds West 21.62 feet to a point; thence South 43 degrees 29 minutes 30 seconds East 44.80 feet to a point; thence South 36 degrees 47 minutes 00 seconds West 138.27 feet to the point of beginning and containing 1.132 acres according to a survey by Volz Incorporated dated April 6, 2011.



MARTY KNOBLOCH, THE OWNER(S) OF THE PROPERTY SHOWN ON THIS PLAN FOR AND IN CONSIDERATION OF BEING GRANTED A PERMIT TO DEVELOP PROPERTY UNDER THE PROVISIONS OF CHAPTER 1003.187, R-6 PEU OF CITY OF CHESTERFIELD ORDINANCE #624, DO HEREBY AGREE AND DECLARE THAT SAID PROPERTY FROM THE DATE OF RECORDING THIS PLAN SHALL BE DEVELOPED ONLY AS SHOWN THEREON, UNLESS SAID PLAN IS AMENDED BY THE PLANNING COMMISSION, OR VOIDED OR VACATED BY ORDER OF ORDINANCE OF THE CITY OF CHESTERFIELD COUNCIL.

(Signature)
(Name Typed)

STATE OF MISSOURI)
COUNTY OF ST. LOUIS) ss.

ON THIS _____ DAY OF _____, A.D., 2013, BEFORE ME PERSONALLY APPEARED _____ AND _____ HIS WIFE, TO ME KNOWN TO BE THE PERSON(S) DESCRIBED IN, AND WHO EXECUTED THE FOREGOING INSTRUMENT, AND ACKNOWLEDGE THAT HE, SHE OR THEY EXECUTED THE SAME AS HIS, HERS, OR THEIR FREE ACT AND DEED. IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY NOTARIAL SEAL AT MY OFFICE _____, THE DAY AND YEAR LAST ABOVE WRITTEN. MY TERM EXPIRES _____

(Notary Public)

THIS AMENDED SITE DEVELOPMENT SECTION PLAN WAS APPROVED BY THE CITY OF CHESTERFIELD PLANNING COMMISSION AND DULY VERIFIED ON THE _____ DAY OF _____, 20____, BY THE CHAIRPERSON OF SAID COMMISSION, AUTHORIZING THE RECORDING OF THIS SITE PLAN PURSUANT TO CHESTERFIELD ORDINANCE NUMBER 200, AS ATTESTED TO BY THE PLANNING AND DEVELOPMENT SERVICES DIRECTOR AND THE CITY CLERK.

PLANNING AND DEVELOPMENT SERVICES DIRECTOR
CITY CLERK

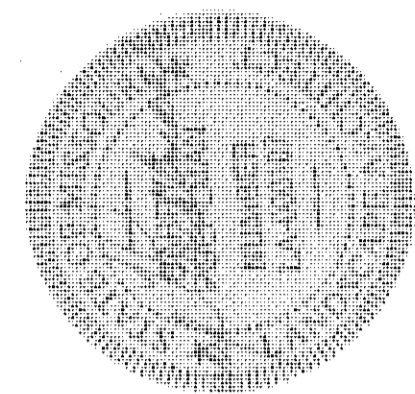
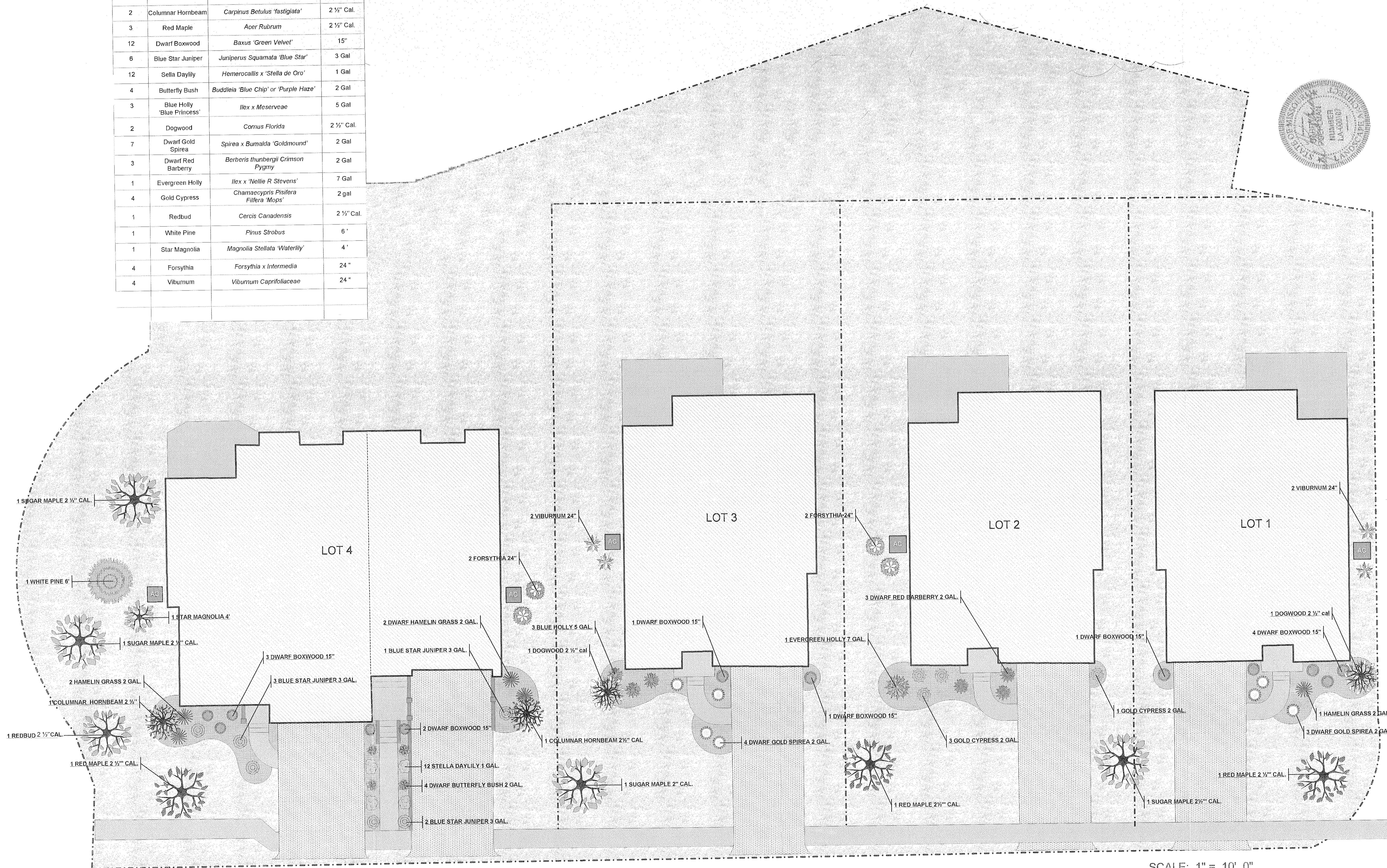
VOLZ Incorporated
10849 INDIANHEAD IND. BLVD
ST. LOUIS, MISSOURI 63132
314.426.6212 MAIN
314.8901250 FAX

REVISED 4-4-2013

PARTIAL FINAL DEVELOPMENT PLAN
CHESTERFIELD @ JUSTUS POINTE VILLAGE
A TRACT OF LAND BEING IN TOWNSHIP 45N. - RANGE 4 W. CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI

SITE DEVELOPMENT SECTION PLAN
Design By: G.A.S.
Drawn By: G.A.S.
Checked By: T.H.M.
Base Map No. 19-S
1-29-2013
10945-1

QUANTITY	COMMON NAME	BOTANICAL NAME	SIZE
4	Sugar Maple	<i>Acer Saccharum</i>	2 1/2" Cal.
5	Dwarf Hamelin Grass	<i>Pennisetum Abreccuroids 'Hameln'</i>	2 Gal
2	Columnar Hornbeam	<i>Carpinus Betulus 'fastigiata'</i>	2 1/2" Cal.
3	Red Maple	<i>Acer Rubrum</i>	2 1/2" Cal.
12	Dwarf Boxwood	<i>Baxus 'Green Velvet'</i>	15"
6	Blue Star Juniper	<i>Juniperus Squamata 'Blue Star'</i>	3 Gal
12	Sella Daylily	<i>Hemerocallis x 'Stella de Oro'</i>	1 Gal
4	Butterfly Bush	<i>Buddleia 'Blue Chip' or 'Purple Haze'</i>	2 Gal
3	Blue Holly 'Blue Princess'	<i>Ilex x Meserveae</i>	5 Gal
2	Dogwood	<i>Cornus Florida</i>	2 1/2" Cal.
7	Dwarf Gold Spirea	<i>Spirea x Bumalda 'Goldmound'</i>	2 Gal
3	Dwarf Red Barberry	<i>Berberis thunbergii 'Crimson Pygmy'</i>	2 Gal
1	Evergreen Holly	<i>Ilex x 'Nellie R. Stevens'</i>	7 Gal
4	Gold Cypress	<i>Chamaecyparis Pisifera 'Filifera Mops'</i>	2 gal
1	Redbud	<i>Cercis Canadensis</i>	2 1/2" Cal.
1	White Pine	<i>Pinus Strobus</i>	6'
1	Star Magnolia	<i>Magnolia Stellata 'Waterlily'</i>	4'
4	Forsythia	<i>Forsythia x Intermedia</i>	24"
4	Viburnum	<i>Viburnum Caprifoliaceae</i>	24"



DESIGNED BY: **Scott Gamblin**
 ORIGINAL DATE: February 13, 2013
 REVISION DATE: 06/05/13
 GRAPHIC ART: BAT / MHS

THE PROFESSIONALS
 "Where Quality is Paramount"

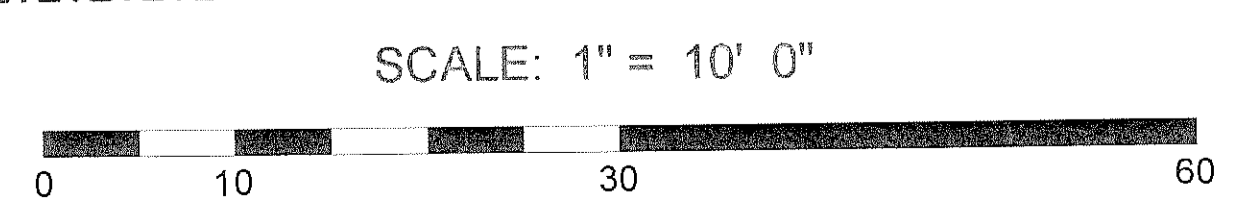
BAXTER GARDENS
festersfield

17259 Withers Creek Road, (636) 532-1033, FAX: (636) 532-1258
 Chesterfield, MO 63005 www.baxtergardens.com

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LANDSCAPE DEVELOPMENT PLAN FOR
HARDESTY HOMES
 Job: Justus Pointe @ Chesterfield Village
 Email: jlowery@hardestyhomes.com

R1



RECEIVED
 City of Chesterfield
 SEP 20 2013
 Department of Public Services

The Cove at Justus Pointe

City of Chesterfield Design Guidelines Architects Statement of Compliance

March 15, 2013

The Cove at Justus Point
Hardesty Homes, LLC and Marty Knobloch

Chapter One / Site Layout

A. Physical Features:

1. Site improvements have been designed to minimize changes to the existing topography given the overall grade changes on site.
2. The site was also designed to maintain as much green space as possible.
3. Natural site amenities are maintained per the existing site. Careful consideration was given to the layout of the site in order to preserve the natural features such as natural slopes and existing cove of the lake. Natural slopes and topography have been retained as much as possible. Grading contours at the perimeter of the site are well coordinate with adjacent properties. Some minor retaining walls of high quality are proposed adjacent to the 4 unit condo building to allow for ingress and egress at the easternmost driveway.
4. The opportunity exists for 2 of the Cottage Homes to have a 3 car garage option with the 3rd car garage door slightly offset from the same plane as the 2 car garage door, providing for another architectural element to be added to the front elevation.

B. Vegetation

1. Site improvements have been designed to minimize changes to the existing topography and maintain the natural environment as much as possible.
2. Landscaping will be incorporated in the construction of each home.

C. Site Relationship of Design:

1. The Seven (7) homes are oriented logically, facing the street in the development.
2. The building design will not impair any adjacent properties. Front yards will face the street, with private rear yards to the back of each home.
3. No unattractive project elements such as storage areas or trash enclosures are proposed.
4. The site plan provides for adequate planting and safe pedestrian movement by way of a sidewalk to be constructed across the fronts of all of the lots. Yard areas are very generous. Rear yard fencing of high quality will be an available option.
5. Generous common ground is included in the development of this site.
6. Phased construction is not proposed for this site.

D. Pedestrian and Vehicular Circulation

1. Circulation patterns are safe and obvious. There is no possibility of "short cuts" through yards.
2. Owner parking is provided for all structures in 2 or 3 car front entry garages. Guest parking is provided for on the proposed driveways to all proposed structures.
3. Pedestrian travel includes a sidewalk adjacent to the street, and a sidewalk from each driveway to the front door of each home. Safe separation has been designed between vehicular and pedestrian traffic.
4. This is not a large commercial development.
5. Bicycles are an ancillary use in this type of development.
6. Shared driveways are not proposed in this residential development.
7. The visual impact of parking is minimized. Cottage Homes will have 2 or 3 car garages. Condo Building has integral garage parking.
8. No separate parking areas are proposed.

E. Pedestrian Orientation

1. Pedestrian scale is incorporated in the design of each type of home.
2. Pedestrian activity is encouraged in the development with continuous sidewalks adjoining walking trails located along the Western portion of the site
3. The existing pedestrian open spaces are not impacted throughout this development.
4. No signage is proposed.
5. No parking lots or service alleys are proposed.

Chapter Two / Buildings

A. General Architectural Guidelines

1. The three detached single family home models and the four family condo building are attractive, very high quality homes.

B. Scale

1. The scale of each proposed home style is one and two story. Cottage homes to have a maximum height of approximately 29 to 35 feet and 42 to 43 feet for the Condominium Building.
2. The design of each home achieves a sense of human scale.
3. The design of each home compliments surrounding building types.

C. Design

1. Each single family home is unique, with very high quality design features.
2. No linear, repetitive streetscape facades are proposed.
3. No corporate or franchise style is associated with this design.
4. No parapet wall or this type of construction is proposed.
5. All building elevations have been considered to achieve the desired design intent.
6. Harmony and continuity of design is considered in the exterior design of each home.
7. No roof top equipment is proposed.
8. Building entries provide protection from the elements and create a sense of entry / arrival.

9. The building design considers energy conservation.
10. Phased construction is not proposed for this development.

D. Relations to Adjacent Development

1. This development respects, compliments and improves architectural features of the existing neighboring developments.
2. The architectural design respects, compliments and improves features of neighboring developments.
3. Each home built on this site will be visually cohesive.
4. Building colors proposed are subdued and will not compete with neighboring structures.
5. Each house is sited to create a functional and livable small neighborhood of homes.

E. Materials / Colors:

1. materials (brick/stone veneer, fiber cement siding or vinyl siding etc.) are of excellent architectural character, durable and compatible with the adjoining properties.
2. Material and color changes will be consistent, subtle and define each home.
3. Architectural consistency will be provided on all building elevations.
4. Driveways will not be a large portion of the front elevation.
5. Soffits and other architectural elements will be finished compatibly with each of the other exterior materials.

II. Residential Architecture

A. General Residential Architecture

1. The Cottage Home buildings are an appropriate use for the site.
2. This residential development is sensitively designed to respect existing residential patterns and surrounding development.
3. The architectural design of these homes does not overly dominate the natural landscape.
4. Design consideration has been given to all elevations.

B. Multiple-Family Architecture

1. The 4 unit condo building is an appropriate use for the site
2. This residential development is sensitively designed to respect existing residential patterns and surrounding development.
3. The architectural design of these homes does not overly dominate the natural landscape.
4. Design consideration has been given to all elevations.

III. Non-Residential Architecture Not Applicable

Chapter Three / Landscape Design

1. Landscaping is designed to keep in and character with the residential nature of the project.
2. Consistency is displayed in the maintaining of existing species and strengthened by the proposed plantings.

3. There are no ancillary parking areas; however, the street and individual home sites will be landscaped to soften any impact on the residential nature of the developments.
4. No art work or sculptures are planned for this residential development.
5. Landscaping is "consistent" throughout the development.
6. In this residential development, lighting enhancements will be in the form of existing street lights and front door entry lighting. Coach lights on either side of the cottage home garage doors are an available option. Fencing on private lots may be offered – consistent with typical architectural standards in the neighborhood. There will be no trash enclosures.
7. Landscaping is "consistent" throughout the development and the interior plantings have been selected accordingly.
8. The developer is utilizing the services of contractors experienced in residential irrigation. Each home site will be regulated by individual controls.

Chapter Four / Miscellaneous

- A. Signage
Not applicable
- B. Lighting
Not applicable
- C. Utilities
1. All on-site utilities shall be installed underground.
- D. Storm Water Drainage
1. In a fashion typical to residential development, roof drainage will be discharged into lawn areas.
2. Storm water drainage will be conveyed via the existing storm sewer system and existing drainage discharge points.
- E. Energy Conservation
1. Building orientation, design and materials will be in accordance with the principles of good energy conservation, utilizing low maintenance and environmentally conscious materials, energy efficient appliances, upgraded ceiling insulation, low-e windows, low flow toilets and faucets, and high efficiency HVAC equipment.
- F. Screen (Fences and Walls)
1. Fencing on private lots may be offered, consistent with typical architectural standards in the neighborhood.

Sincerely,

As relating to the 4 Unit Condominium Building:
RJL Design and Architecture



Rick J. Lee



The Cove at Justus Pointe

City of Chesterfield Design Guidelines

March 15, 2013

The Cove at Justus Point
Hardesty Homes, LLC and Marty Knobloch

Chapter One / Site Layout

A. Physical Features:

1. Site improvements have been designed to minimize changes to the existing topography given the overall grade changes on site.
2. The site was also designed to maintain as much green space as possible.
3. Natural site amenities are maintained per the existing site. Careful consideration was given to the layout of the site in order to preserve the natural features such as natural slopes and existing cove of the lake. Natural slopes and topography have been retained as much as possible. Grading contours at the perimeter of the site are well coordinate with adjacent properties. Some minor retaining walls of high quality are proposed adjacent to the 4 unit condo building to allow for ingress and egress at the easternmost driveway.
4. The opportunity exists for 2 of the Cottage Homes to have a 3 car garage option with the 3rd car garage door slightly offset from the same plane as the 2 car garage door, providing for another architectural element to be added to the front elevation.

B. Vegetation

1. Site improvements have been designed to minimize changes to the existing topography and maintain the natural environment as much as possible.
2. Landscaping will be incorporated in the construction of each home.

C. Site Relationship of Design:

1. The Seven (7) homes are oriented logically, facing the street in the development.
2. The building design will not impair any adjacent properties. Front yards will face the street, with private rear yards to the back of each home.
3. No unattractive project elements such as storage areas or trash enclosures are proposed.



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4. The site plan provides for adequate planting and safe pedestrian movement by way of a sidewalk to be constructed across the fronts of all of the lots. Yard areas are very generous. Rear yard fencing of high quality will be an available option.
5. Generous common ground is included in the development of this site.
6. Phased construction is not proposed for this site.

D. Pedestrian and Vehicular Circulation

1. Circulation patterns are safe and obvious. There is no possibility of "short cuts" through yards.
2. Owner parking is provided for all structures in 2 or 3 car front entry garages. Guest parking is provided for on the proposed driveways to all proposed structures.
3. Pedestrian travel includes a sidewalk adjacent to the street, and a sidewalk from each driveway to the front door of each home. Safe separation has been designed between vehicular and pedestrian traffic.
4. This is not a large commercial development.
5. Bicycles are an ancillary use in this type of development.
6. Shared driveways are not proposed in this residential development.
7. The visual impact of parking is minimized. Cottage Homes will have 2 or 3 car garages. Condo Building has integral garage parking.
8. No separate parking areas are proposed.

E. Pedestrian Orientation

1. Pedestrian scale is incorporated in the design of each type of home.
2. Pedestrian activity is encouraged in the development with continuous sidewalks adjoining walking trails located along the Western portion of the site
3. The existing pedestrian open spaces are not impacted throughout this development.
4. No signage is proposed.
5. No parking lots or service alleys are proposed.

Chapter Two / Buildings

A. General Architectural Guidelines



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1. The three detached single family home models and the four family condo building are attractive, very high quality homes.

B. Scale

1. The scale of each proposed home style is one and two story. Cottage homes to have a maximum height of approximately 29 to 35 feet and 42 to 43 feet for the Condominium Building.
2. The design of each home achieves a sense of human scale.
3. The design of each home compliments surrounding building types.

C. Design

1. Each single family home is unique, with very high quality design features.
2. No linear, repetitive streetscape facades are proposed.
3. No corporate or franchise style is associated with this design.
4. No parapet wall or this type of construction is proposed.
5. All building elevations have been considered to achieve the desired design intent.
6. Harmony and continuity of design is considered in the exterior design of each home.
7. No roof top equipment is proposed.
8. Building entries provide protection from the elements and create a sense of entry / arrival.
9. The building design considers energy conservation.
10. Phased construction is not proposed for this development.

D. Relations to Adjacent Development

1. This development respects, compliments and improves architectural features of the existing neighboring developments.
2. The architectural design respects, compliments and improves features of neighboring developments.
3. Each home built on this site will be visually cohesive.
4. Building colors proposed are subdued and will not compete with neighboring structures.
5. Each house is sited to create a functional and livable small neighborhood of homes.

E. Materials / Colors:

1. Materials (brick/stone veneer, fiber cement siding or vinyl siding etc.) are of excellent architectural character, durable and compatible with the adjoining properties.
2. Material and color changes will be consistent, subtle and define each home.
3. Architectural consistency will be provided on all building elevations.



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Architecture & Interiors

4. Driveways will not be a large portion of the front elevation.
5. Soffits and other architectural elements will be finished compatibly with each of the other exterior materials.

II. Residential Architecture

A. General Residential Architecture

1. The Cottage Home buildings are an appropriate use for the site.
2. This residential development is sensitively designed to respect existing residential patterns and surrounding development.
3. The architectural design of these homes does not overly dominate the natural landscape.
4. Design consideration has been given to all elevations.

B. Multiple-Family Architecture

1. The 4 unit condo building is an appropriate use for the site
2. This residential development is sensitively designed to respect existing residential patterns and surrounding development.
3. The architectural design of these homes does not overly dominate the natural landscape.
4. Design consideration has been given to all elevations.

III. Non-Residential Architecture Not Applicable

Chapter Three / Landscape Design

1. Landscaping is designed to keep in and character with the residential nature of the project.
2. Consistency is displayed in the maintaining of existing species and strengthened by the proposed plantings.
3. There are no ancillary parking areas; however, the street and individual home sites will be landscaped to soften any impact on the residential nature of the developments.
4. No art work or sculptures are planned for this residential development.
5. Landscaping is "consistent" throughout the development.
6. In this residential development, lighting enhancements will be in the form of existing street lights and front door entry lighting. Coach lights on either side of the cottage home garage doors are an available option. Fencing on private lots may be offered – consistent with typical architectural standards in the neighborhood. There will be no trash enclosures.
7. Landscaping is "consistent" throughout the development and the interior plantings have been selected accordingly.



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Architecture & Interiors

8. The developer is utilizing the services of contractors experienced in residential irrigation. Each home site will be regulated by individual controls.

Chapter Four / Miscellaneous

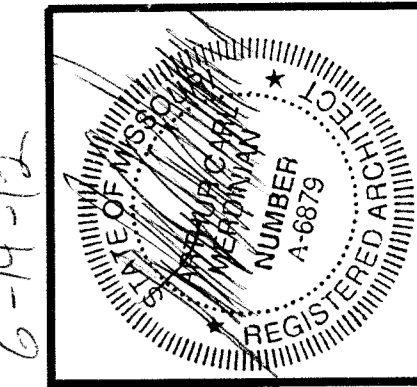
- A. Signage
Not applicable
- B. Lighting
Not applicable
- C. Utilities
 1. All on-site utilities shall be installed underground.
- D. Storm Water Drainage
 1. In a fashion typical to residential development, roof drainage will be discharged into lawn areas.
 2. Storm water drainage will be conveyed via the existing storm sewer system and existing drainage discharge points.
- E. Energy Conservation
 1. Building orientation, design and materials will be in accordance with the principles of good energy conservation, utilizing low maintenance and environmentally conscious materials, energy efficient appliances, upgraded ceiling insulation, low-e windows, low flow toilets and faucets, and high efficiency HVAC equipment.
- F. Screen (Fences and Walls)
 1. Fencing on private lots may be offered, consistent with typical architectural standards in the neighborhood.

Sincerely,

As relating to the 3 Cottage
Boland-Merdinian Group L.L.C.

By 
Arthur Merdinian, Owner





6-H-12

REV.	REVISION	DATE	DRWN

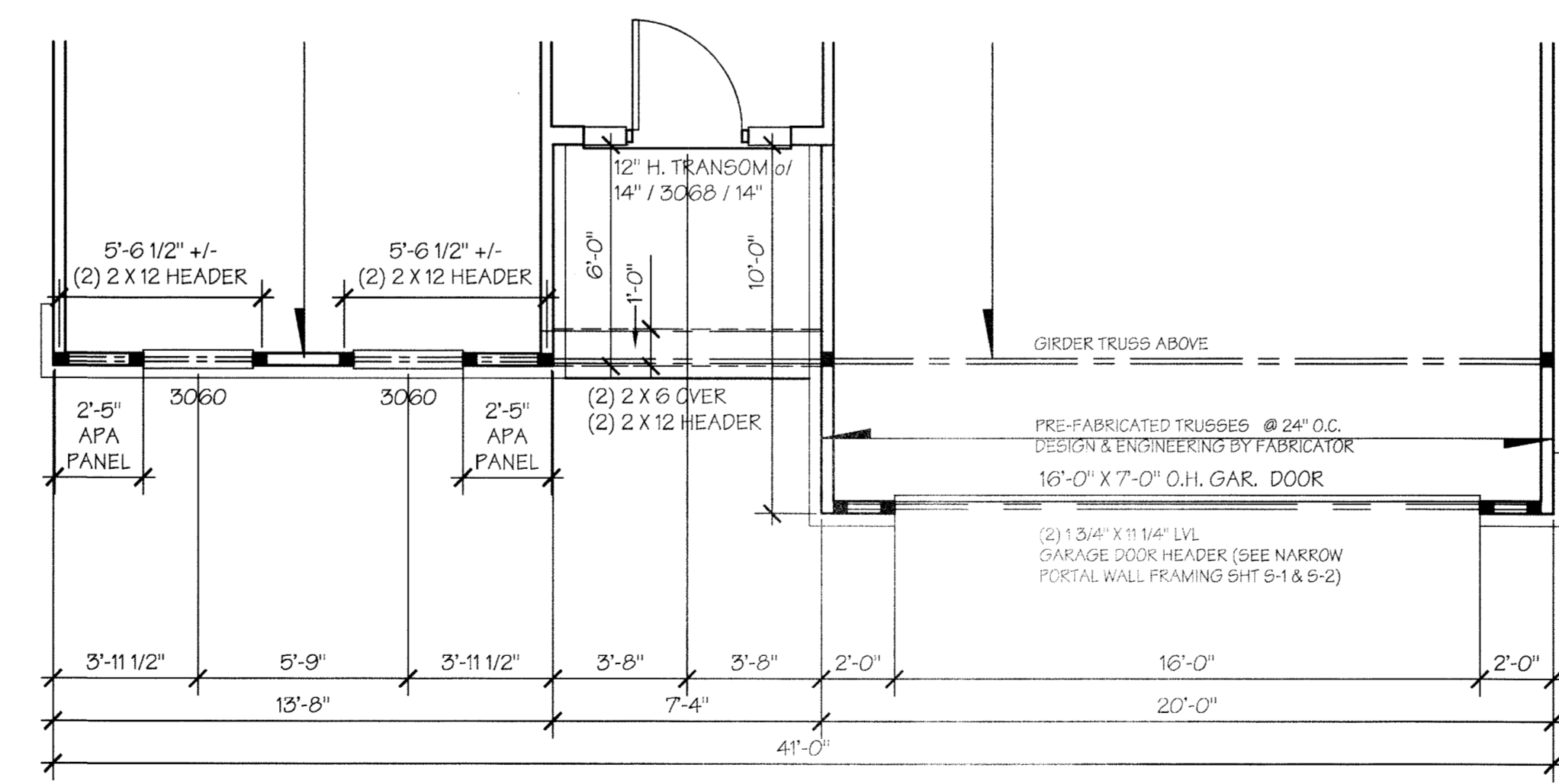
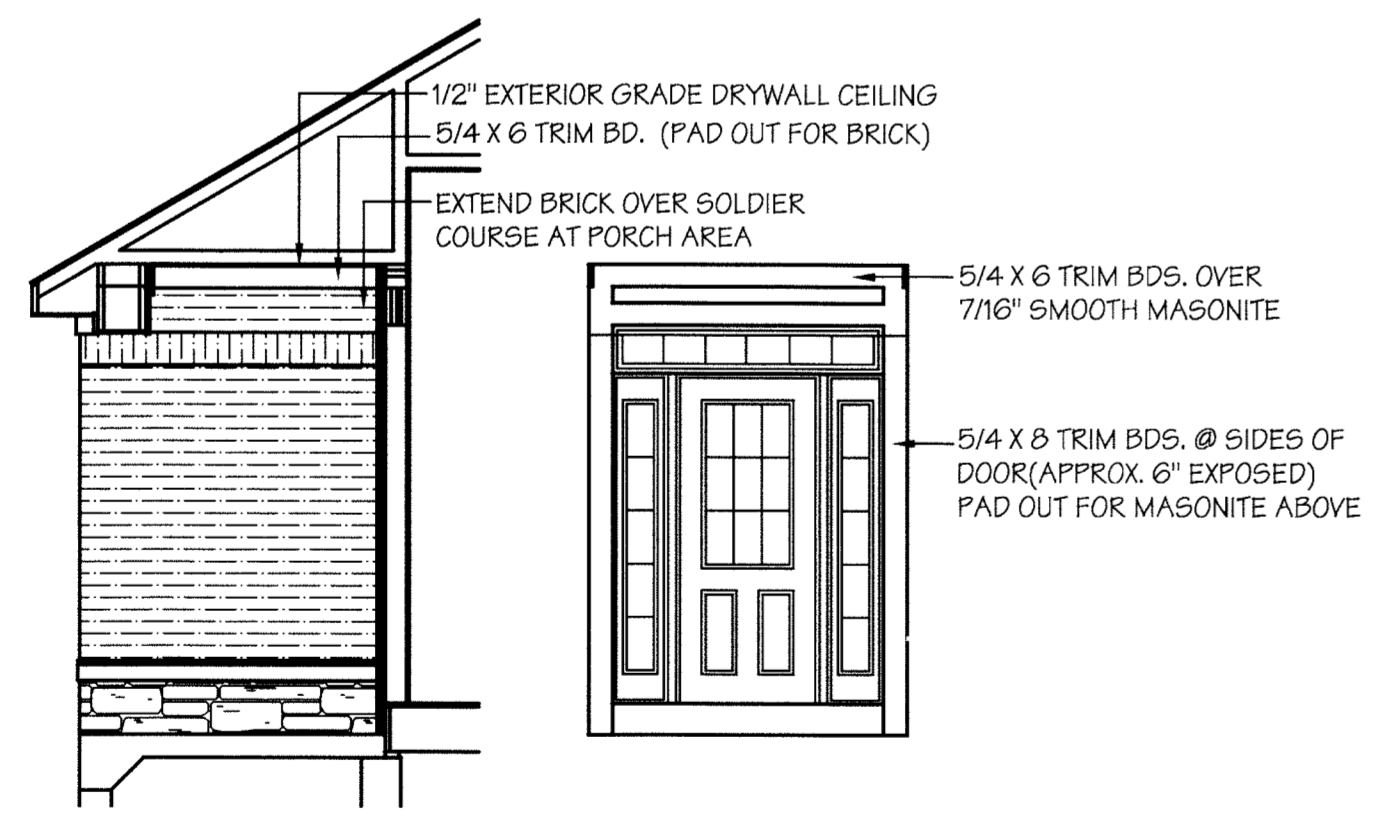
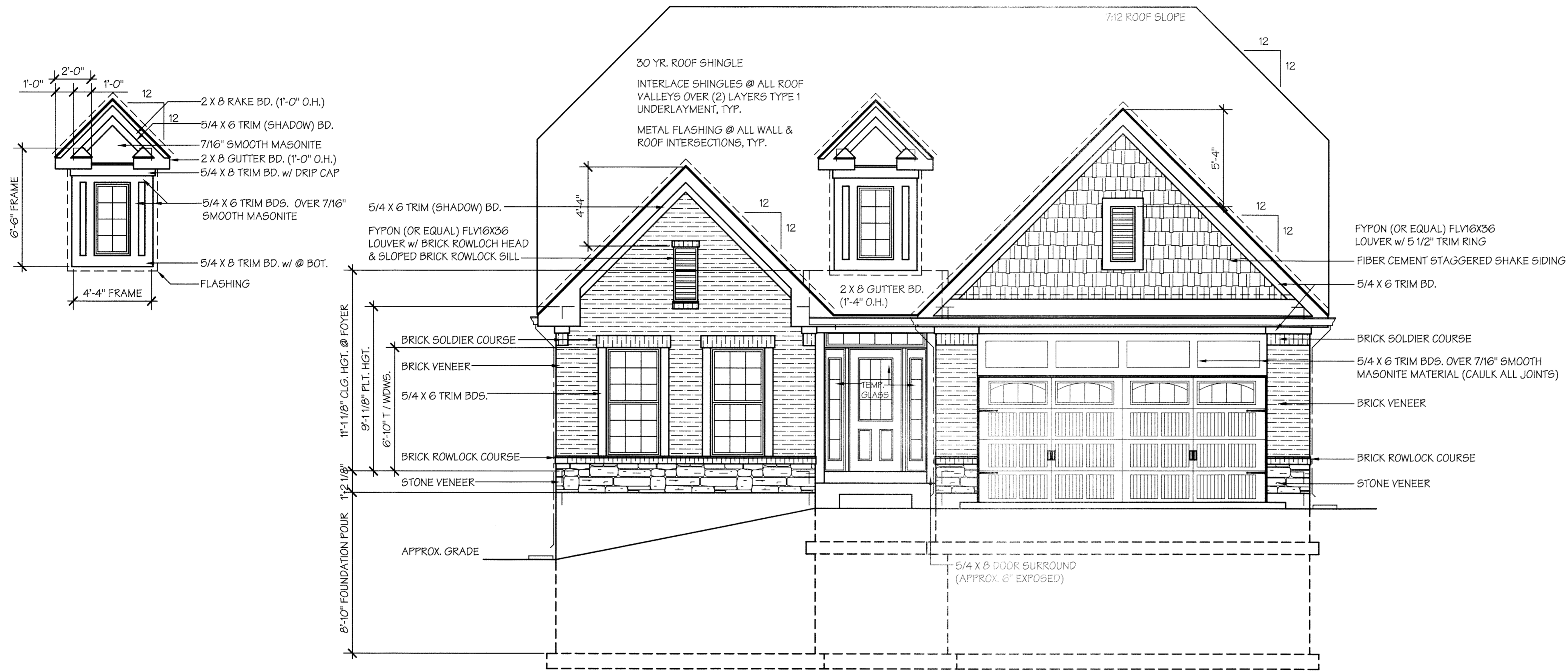
BOLAND-MERDIAN GROUP, LLC
 Architecture & Interiors
 34 Heather Hill Lane
 St. Louis, MO 63132
 arthur@bmgarchitects.com
 314-280-6674

HARDESTY BUILDING COMPANY, LLC
 232 CHESTERFIELD INDUSTRIAL BLVD.
 CHESTERFIELD, MO 63005
 PHONE: (636) 530-9777
 FAX: (636) 530-0831

SHEET NAME:
 FRONT ELEVATION "A"

PLAN NAME:
 THE RESERVE
 PLAN "A" "THE AUGUSTA"

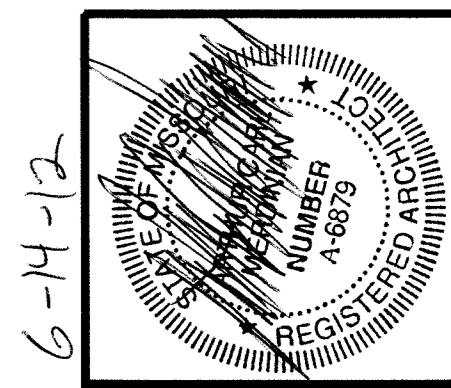
SHEET NO.
A3a
 OF



- GENERAL ELEVATION NOTES:**
1. ALL DOOR & WINDOW HEADERS TO BE (2) 2x10 UNLESS OTHERWISE NOTED.
 2. 30 YR. ROOF SHINGLE, TYPICAL.
 3. INTERLACE SHINGLES AT ALL ROOF VALLEYS OVER (2) LAYERS TYPE 1 UNDERLAYMENT (15# ROOF FELT)
 4. METAL FLASHING AT ALL WALL AND ROOF INTERSECTIONS, TYPICAL.
 5. 5/4 x 6 PREFINISHED CORNER BOARDS AT FRONT ELEVATION (TRIM COLOR) WHERE APPLICABLE WITH ALL SIDING MATERIAL. 5/4 x 6 PREFINISHED CORNER BOARDS AT SIDES AND REAR ELEVATIONS (SIDING COLOR) WITH PREFINISHED FIBER-CEMENT SIDING.
 6. 2x8 GUTTER BOARDS (1'-4" OVERHANG) TYP. WRAPPED IN ALUM. MATERIAL WITH VENTED VINYL SOFFIT SYSTEM.
 7. 2x8 RAKE BOARDS (1'-4" OVERHANG) TYP. WRAPPED IN ALUM. MATERIAL WITH VENTED VINYL SOFFITS.
 8. 5" ALUM. GUTTERS - DOWNSPOUTS WITH SPLASH BLOCKS BELOW (TYPICAL)
 9. STANDARD FIBER CEMENT PREFINISHED 3/4" HORIZONTAL LAP SIDING.
 10. STANDARD JELD-WEN BUILDERS SERIES VINYL WINDOWS (PREFINISHED WHITE)
- SEE GENERAL SPECIFICATIONS FOR ADDITIONAL INFORMATION.



Ken Robinson #15200



6-14-12

REV.	REVISION:	DATE	DRWN

BOLAND-MERDIAN GROUP, LLC
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 St. Louis, MO 63132
 arthur@bmgarchitects.com
 314-280-6674

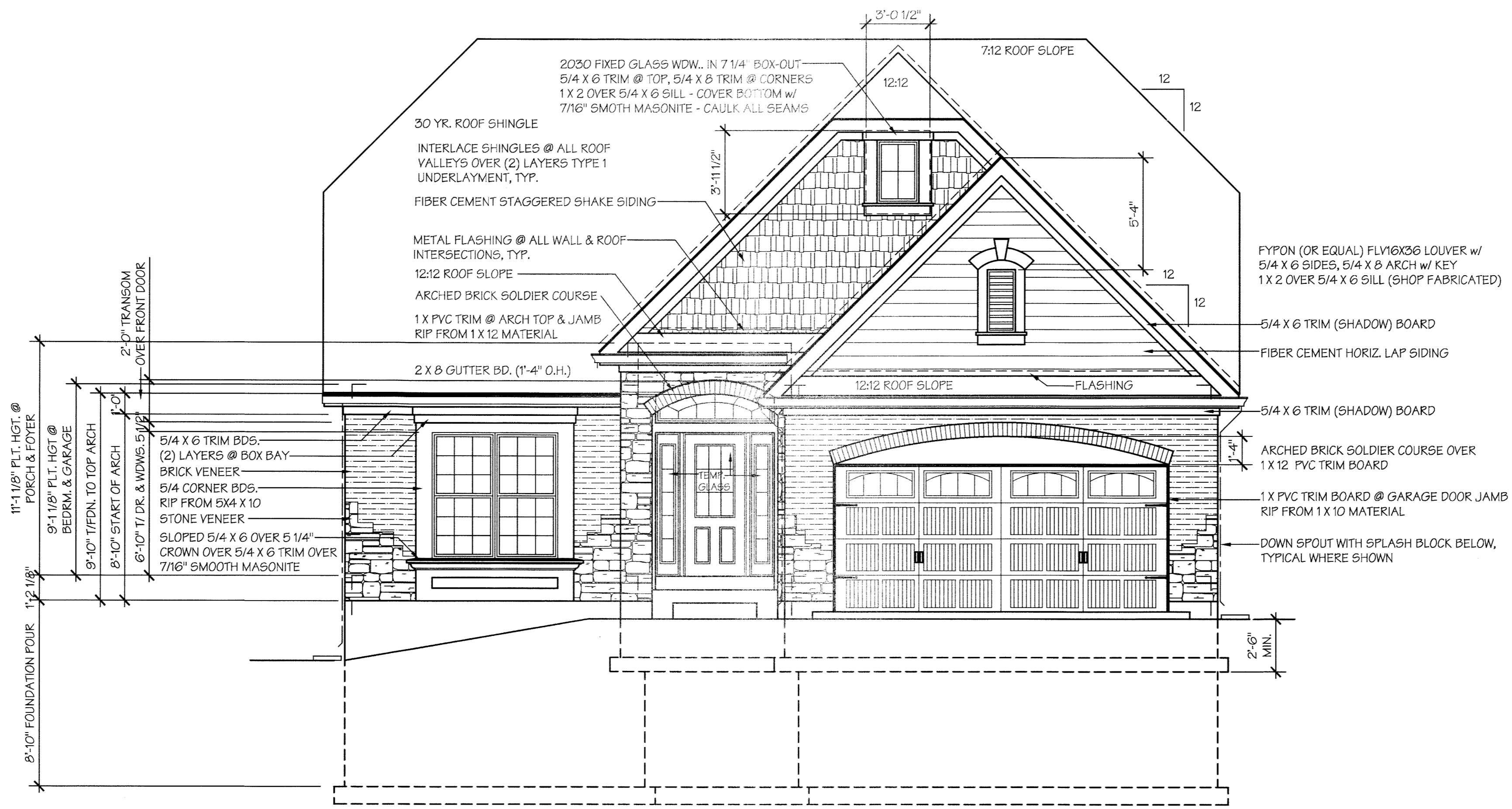
HARDESTY BUILDING COMPANY, LLC
 232 CHESTERFIELD INDUSTRIAL BLVD
 CHESTERFIELD, MO. 63005
 PHONE: (636) 530-9777
 FAX: (636) 530-0831

PLAN NAME:
 THE RESERVE
 PLAN "A" "THE AUGUSTA"

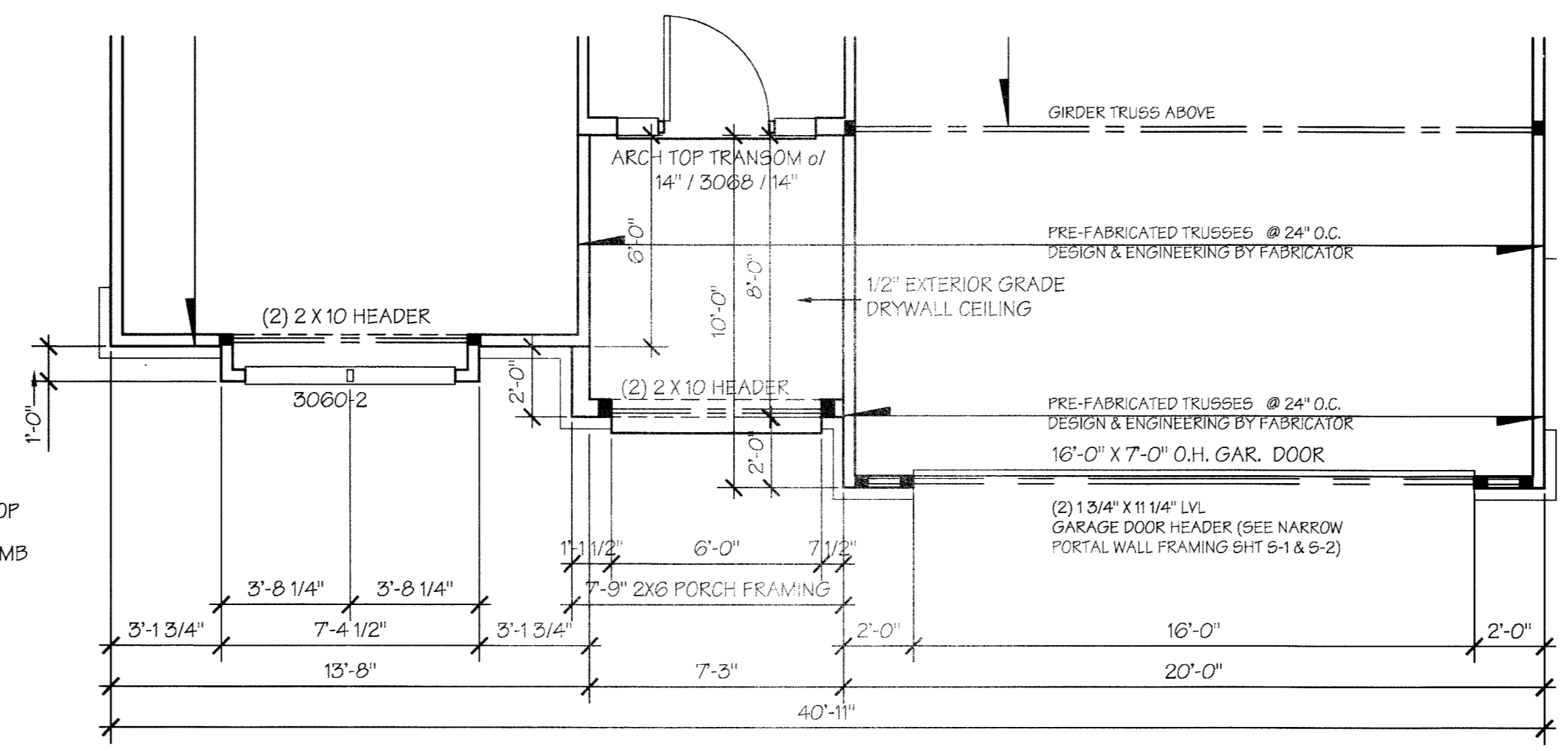
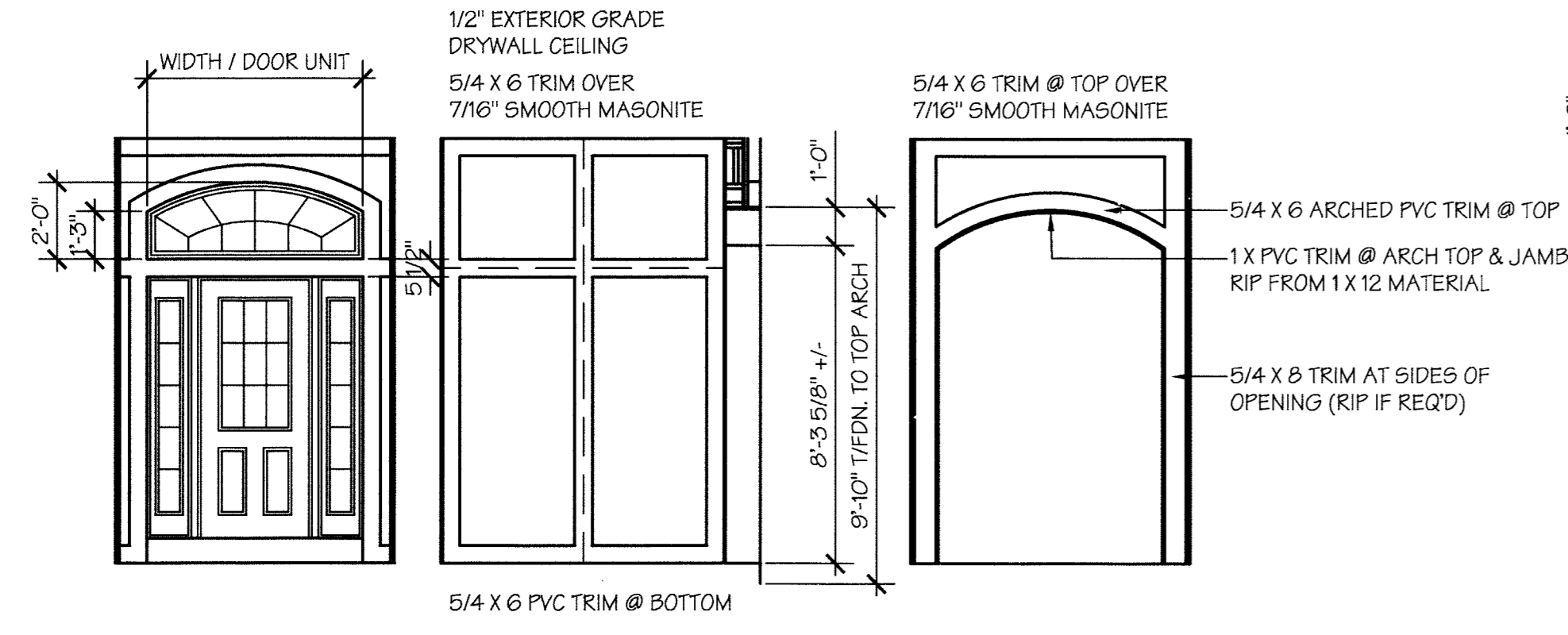
SHEET NAME:
 FRONT ELEVATION "B"

LOT # 57 OF THE RESERVE - PLAN "A" "THE AUGUSTA"
 BUILD AS DRAWN - RIGHT HAND

SHEET NO.
A3b
 OF



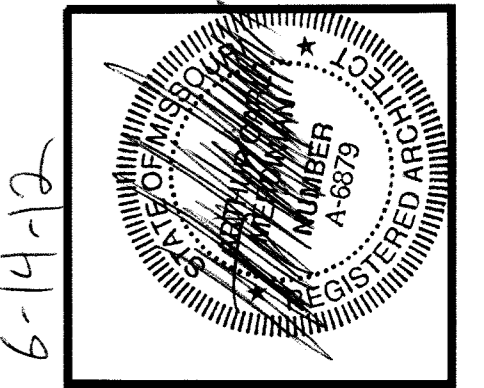
FRONT ELEVATION "B"
 SCALE: 1/4" = 1'-0"



PARTIAL PLAN FRONT ELEVATION "B"
 SCALE: 1/4" = 1'-0"

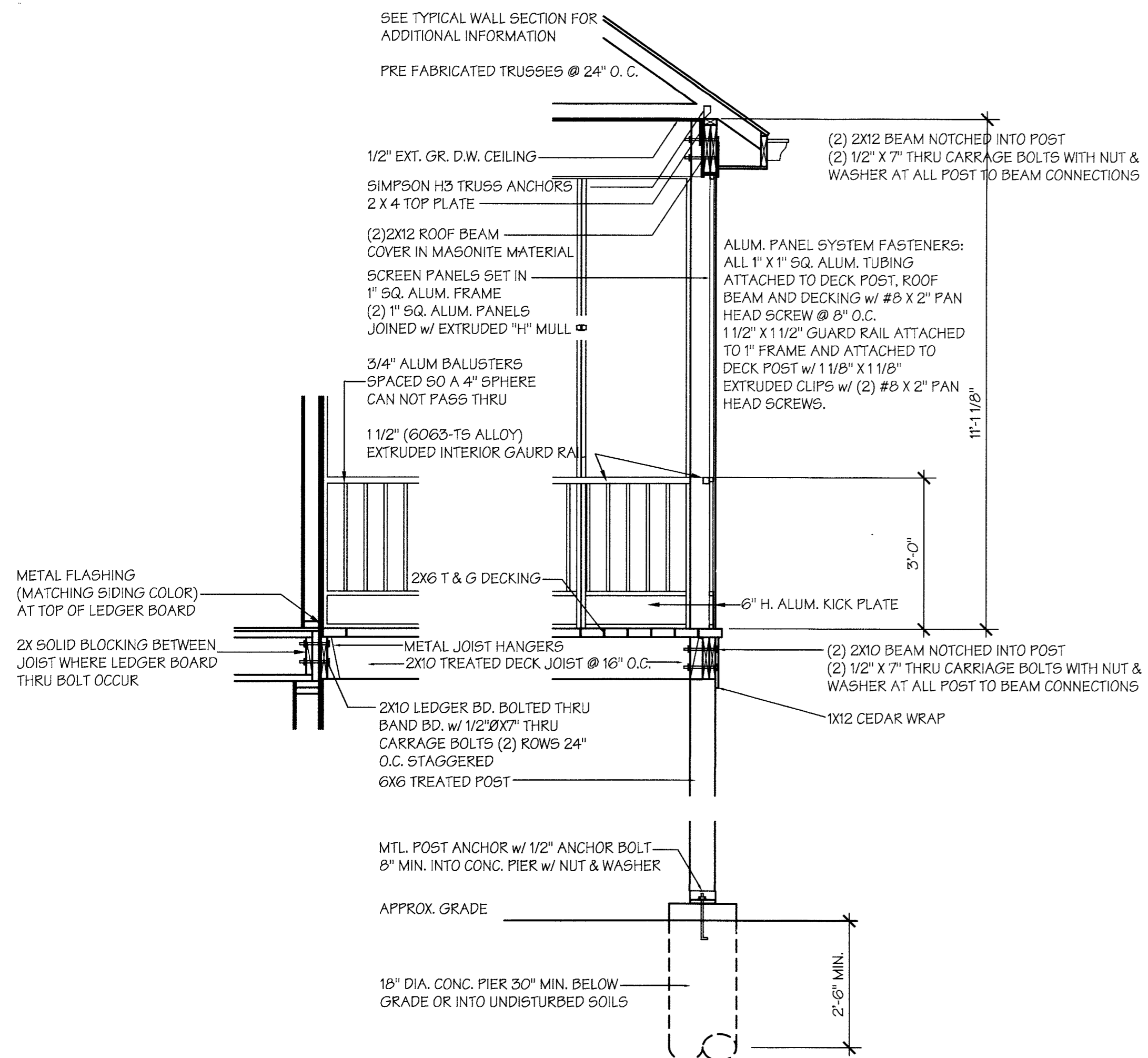
- GENERAL ELEVATION NOTES:**
1. ALL DOOR & WINDOW HEADERS TO BE (2) 2X10 UNLESS OTHERWISE NOTED.
 2. 30 YR. ROOF SHINGLE, TYPICAL.
 3. INTERLACE SHINGLES AT ALL ROOF VALLEYS OVER (2) LAYERS TYPE 1 UNDERLAYMENT (15# ROOF FELT)
 4. METAL FLASHING AT ALL WALL AND ROOF INTERSECTIONS, TYPICAL.
 5. 5/4 x 6 PREFINISHED CORNER BOARDS AT FRONT ELEVATION (TRIM COLOR) WHERE APPLICABLE WITH ALL SIDING MATERIAL. 5/4 x 6 PREFINISHED CORNER BOARDS AT SIDES AND REAR ELEVATIONS (SIDING COLOR) WITH PREFINISHED FIBER-CEMENT SIDING.
 6. 2x8 GUTTER BOARDS (1'-4" OVERHANG) TYP. WRAPPED IN ALUM. MATERIAL WITH VENTED VINYL SOFFIT SYSTEM.
 7. 2x8 RAKE BOARDS (1'-4" OVERHANG) TYP. WRAPPED IN ALUM. MATERIAL WITH VENTED VINYL SOFFITS.
 8. 5" ALUM. GUTTERS - DOWNSPOUTS WITH SPLASH BLOCKS BELOW, (TYPICAL)
 9. STANDARD FIBER CEMENT PREFINISHED 5/16" HORIZONTAL LAP SIDING.
 10. STANDARD JELD-WEN BUILDERS SERIES VINYL WINDOWS (PREFINISHED WHITE)
- SEE GENERAL SPECIFICATIONS FOR ADDITIONAL INFORMATION.

Revised Plans

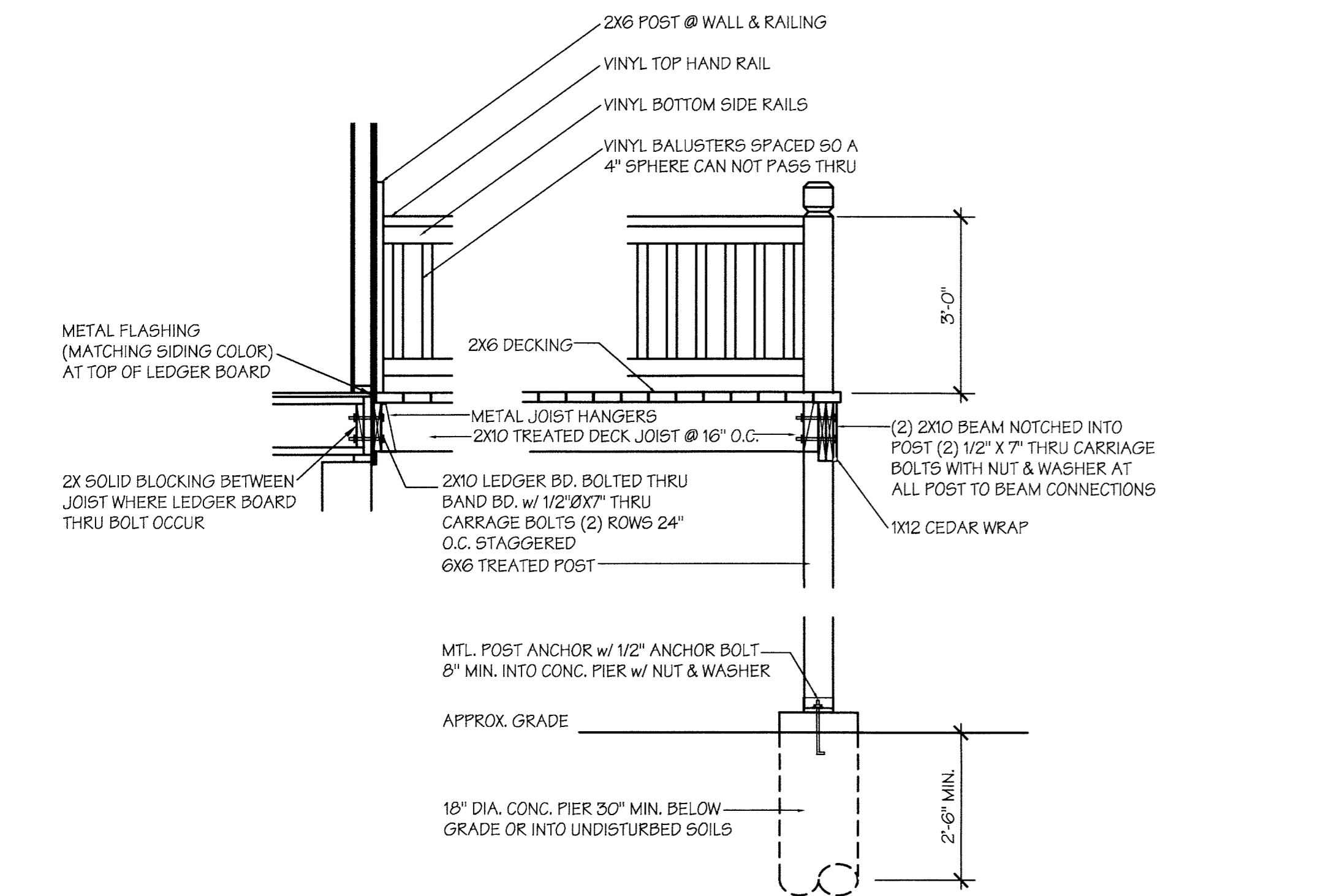


6-14-12

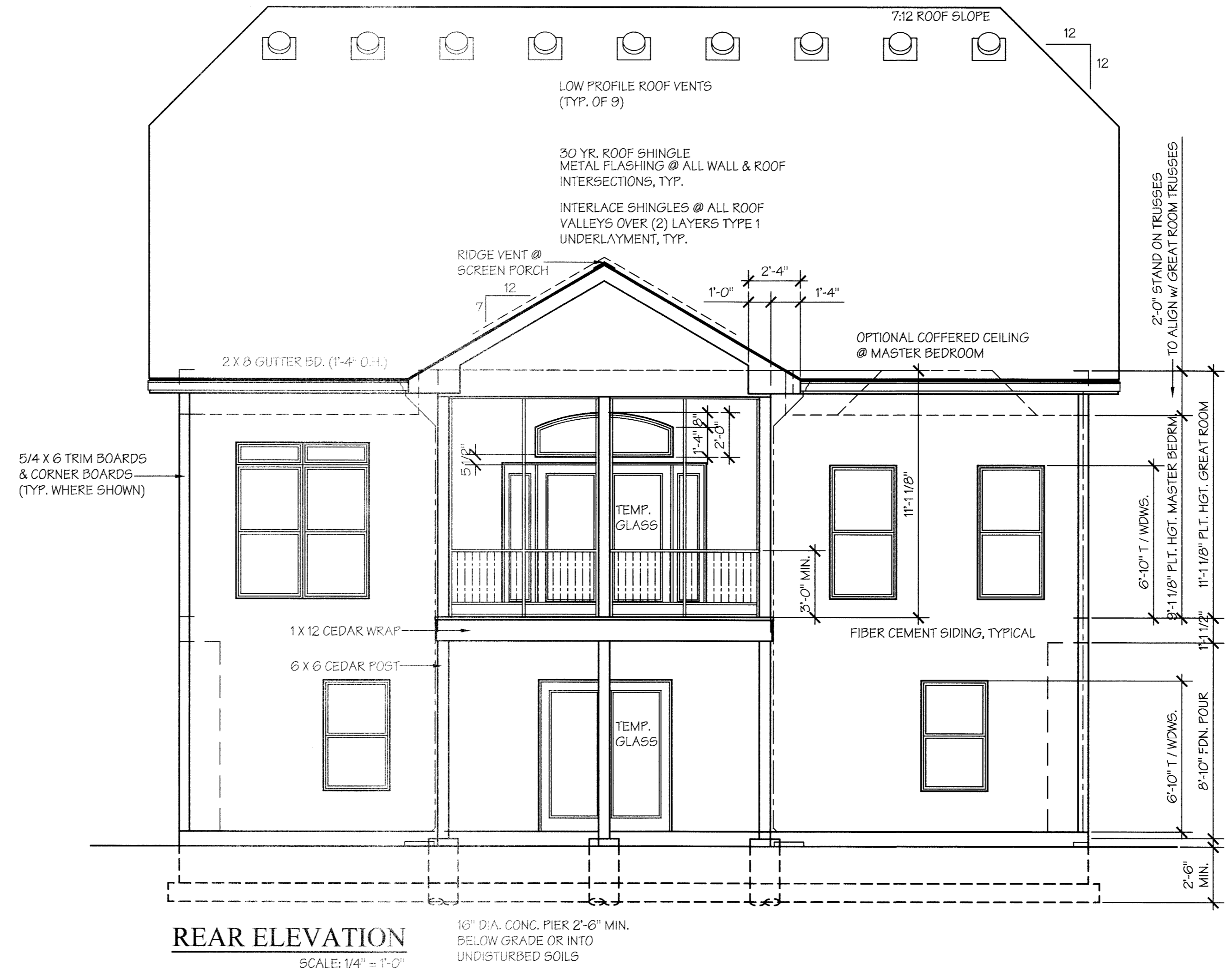
- GENERAL ELEVATION NOTES:**
1. ALL DOOR & WINDOW HEADERS TO BE (2) 2X10 UNLESS OTHERWISE NOTED.
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 9. STANDARD FIBER CEMENT PREFINISHED 3/4" HORIZONTAL LAP SIDING.
 10. STANDARD JELD-WEN BUILDERS SERIES VINYL WINDOWS. (PREFINISHED WHITE)
- SEE GENERAL SPECIFICATIONS FOR ADDITIONAL INFORMATION.



SCREEN PORCH SECTION
SCALE: 1/2" = 1'-0"



DECK RAILING SECTION
SCALE: 1/2" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"

REV.	REVISION	DATE	DRWN
01	11' C.L.G. HGT. SCREEN PORCH	05/21	

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CHESTERFIELD, MO 63005
PHONE: (636) 530-9777
FAX: (636) 530-0831

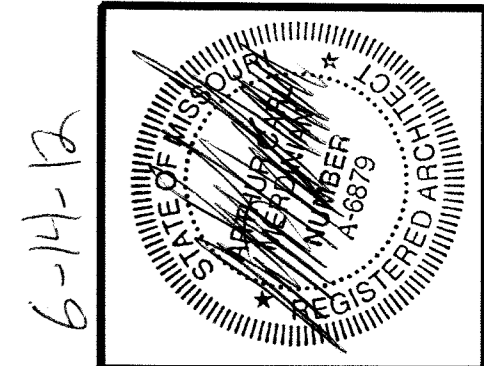
SHEET NAME:
REAR ELEVATION (WALK-OUT)

PLAN NAME:
THE RESERVE
PLAN "A" "THE AUGUSTA"

SHEET NO.
A5
OF

LOT # 57 OF THE RESERVE - PLAN "A" "THE AUGUSTA"
BUILD AS DRAWN - RIGHT HAND

Revised Plans



6-11-12

REV.	REVISION:	DATE	DRAWN
01	11' CLG. HGT. SCREEN PORCH	05/21	

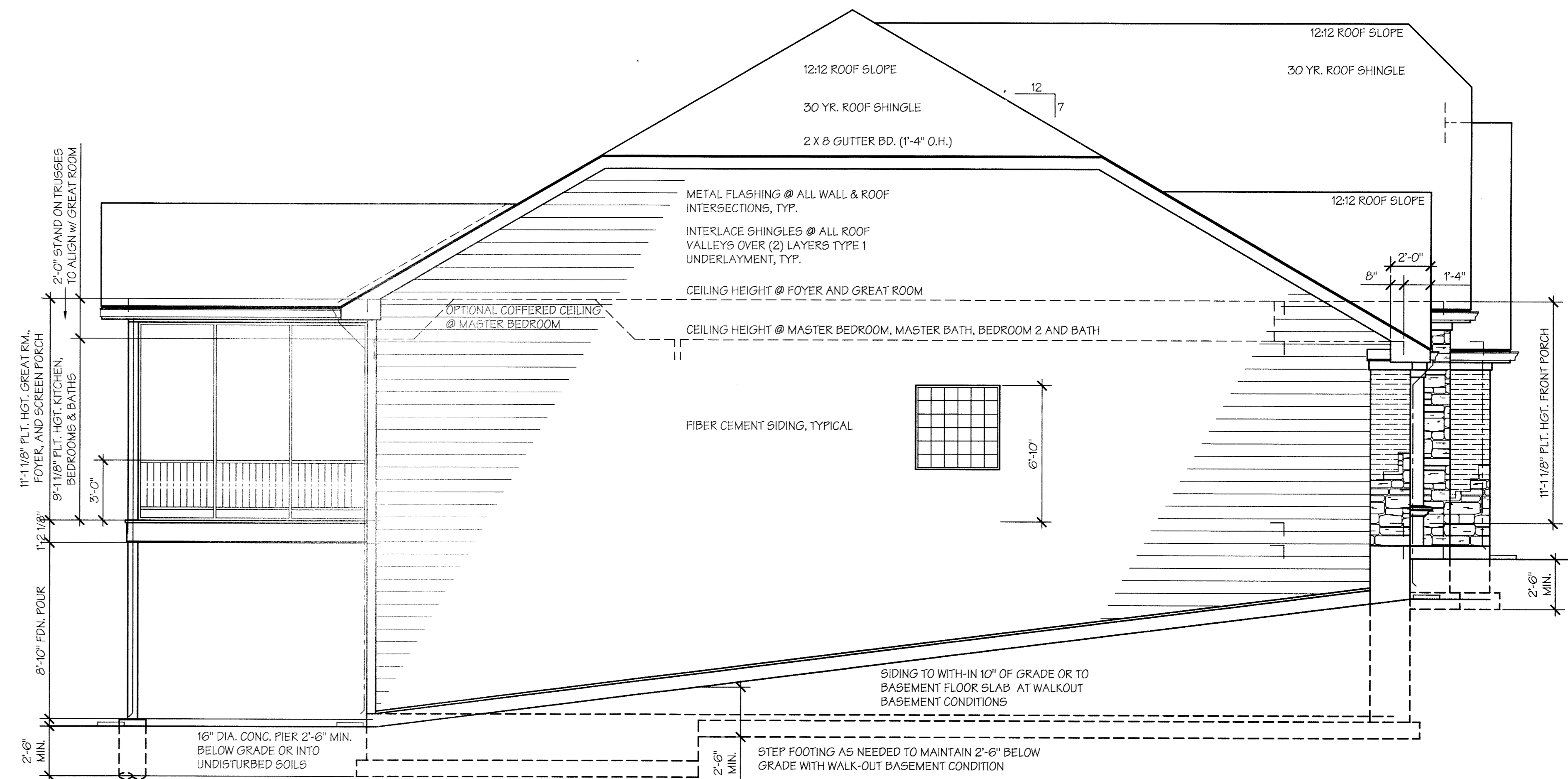
BOLAND-MERDIAN GROUP, LLC
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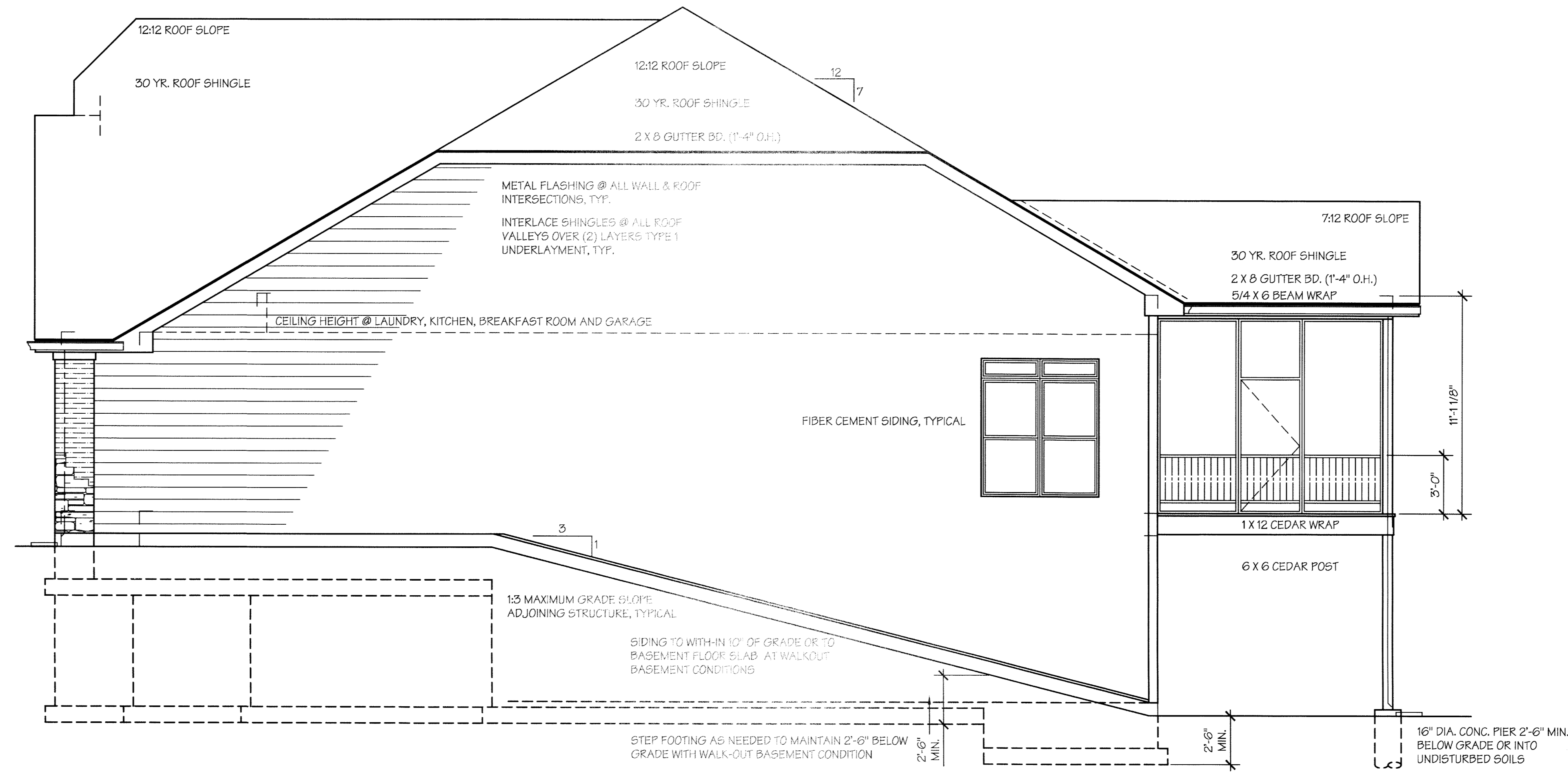
SHEET NAME:
 ELEVATION "B"
 SIDE ELEVATIONS

PLAN NAME:
 THE RESERVE
 PLAN "A" "THE AUGUSTA"

SHEET NO.
A4b
 OF



LEFT SIDE ELEVATION "B"
 SCALE: 1/4" = 1'-0"



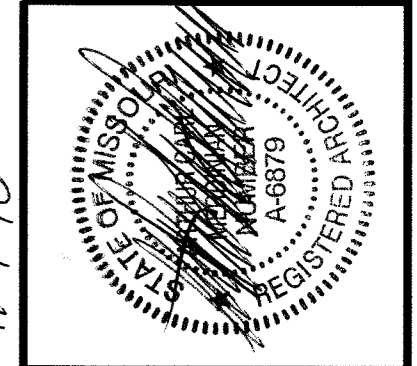
RIGHT SIDE ELEVATION "B"
 SCALE: 1/4" = 1'-0"

- GENERAL ELEVATION NOTES:**
1. ALL DOOR & WINDOW HEADERS TO BE (2) 2x10 UNLESS OTHERWISE NOTED.
 2. 30 YR. ROOF SHINGLE, TYPICAL.
 3. INTERLACE SHINGLES AT ALL ROOF VALLEYS OVER (2) LAYERS TYPE 1 UNDERLAYMENT (15# ROOF FELT)
 4. METAL FLASHING AT ALL WALL AND ROOF INTERSECTIONS, TYPICAL.
 5. 5/4 x 6 PREFINISHED CORNER BOARDS AT FRONT ELEVATION (TRIM COLOR) WHERE APPLICABLE WITH ALL SIDING MATERIAL.
 - 5/4 x 6 PREFINISHED CORNER BOARDS AT SIDES AND REAR ELEVATIONS (SIDING COLOR) WITH PREFINISHED FIBER-CEMENT SIDING.
 6. 2x8 GUTTER BOARDS (1'-4" OVERHANG) TYP. WRAPPED IN ALUM. MATERIAL WITH VENTED VINYL SOFFIT SYSTEM.
 7. 2x8 RAKE BOARDS (1'-4" OVERHANG) TYP. WRAPPED IN ALUM. MATERIAL WITH VENTED VINYL SOFFITS.
 8. 5" ALUM. GUTTERS - DOWNSPOUTS WITH SPLASH BLOCKS BELOW.(TYPICAL)
 9. STANDARD FIBER CEMENT PREFINISHED 8 1/4" HORIZONTAL LAP SIDING.
 10. STANDARD JELD-WEN BUILDER SERIES VINYL WINDOWS (PREFINISHED WHITE)
- SEE GENERAL SPECIFICATIONS FOR ADDITIONAL INFORMATION.

LOT # 57 OF THE RESERVE - PLAN "A" "THE AUGUSTA"
 BUILD AS DRAWN - RIGHT HAND

Revised Plans





11-1-10

REV.	REVISION:	DATE	DRWN
	BID SET	7/22/10	

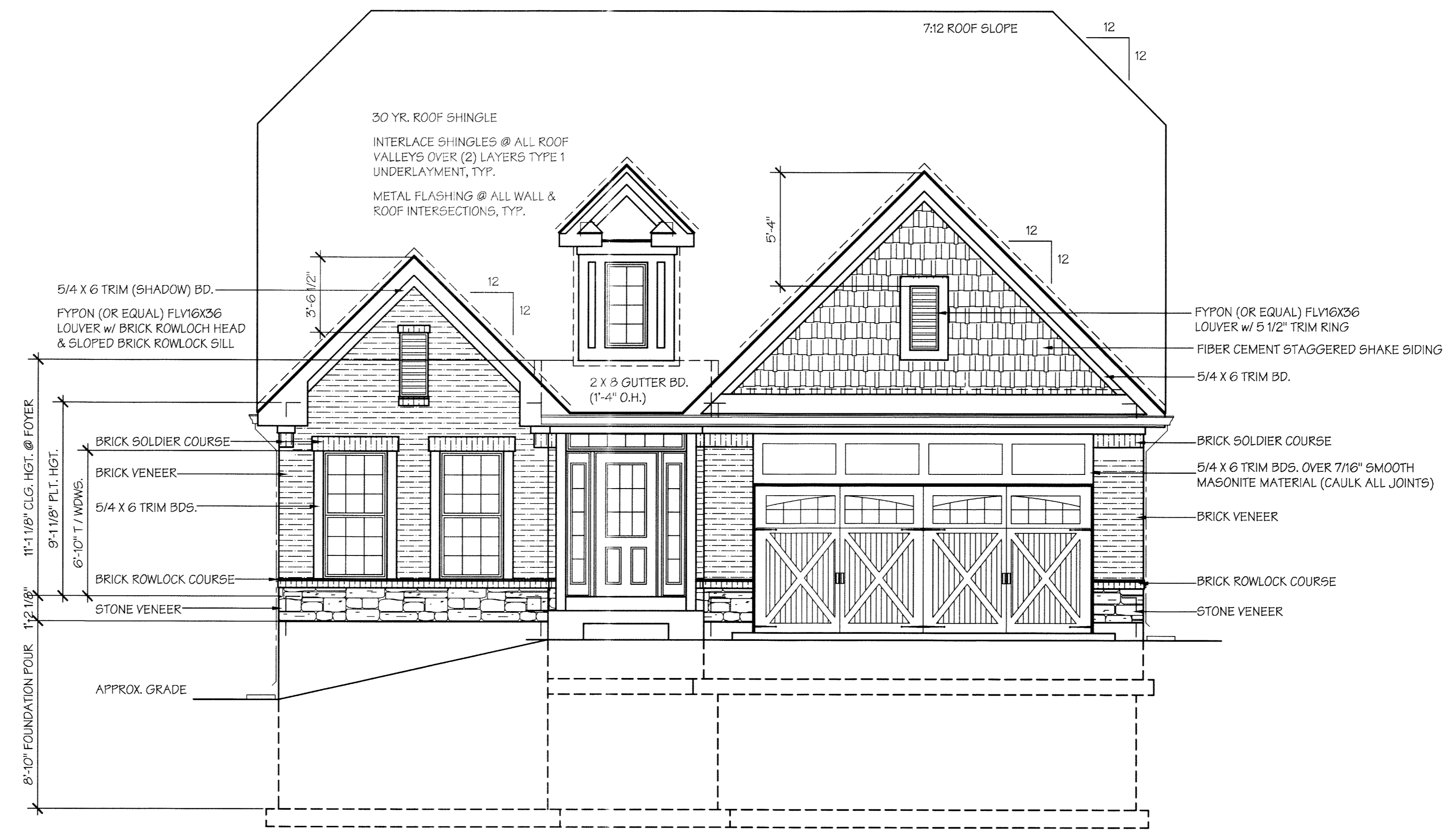
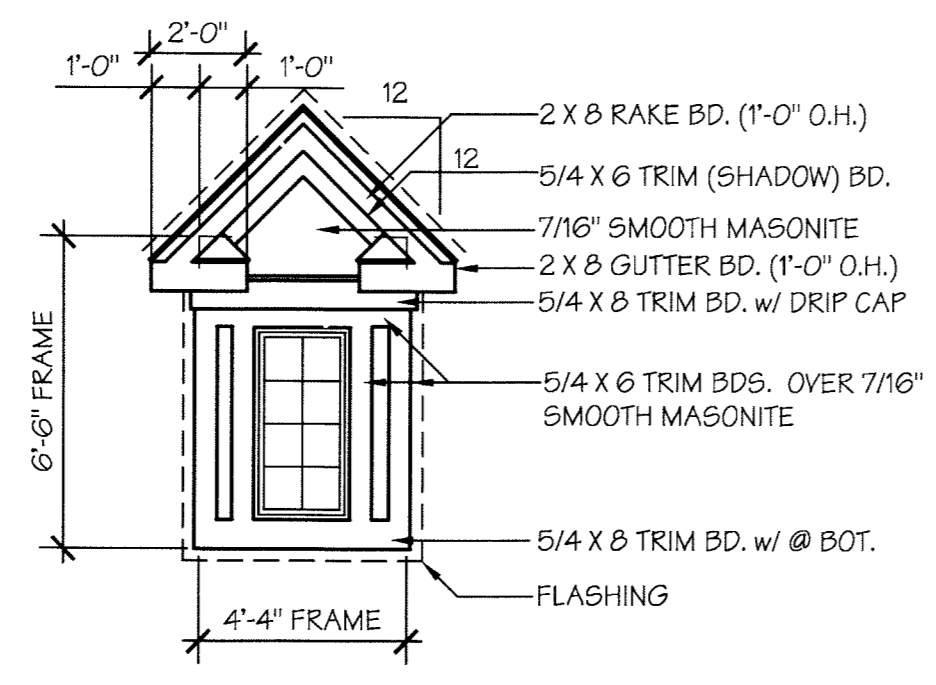
BOLAND-MERDINIAN GROUP, LLC
 Architecture & Interiors
 727 Old Frontenac Square
 St. Louis, MO 63131
 314-991-3222
 F 314-991-3260

HARDESTY BUILDING COMPANY, LLC
 232 CHESTERFIELD INDUSTRIAL BLVD.
 CHESTERFIELD, MO 63005
 PHONE: (636) 530-9777
 FAX: (636) 530-0831

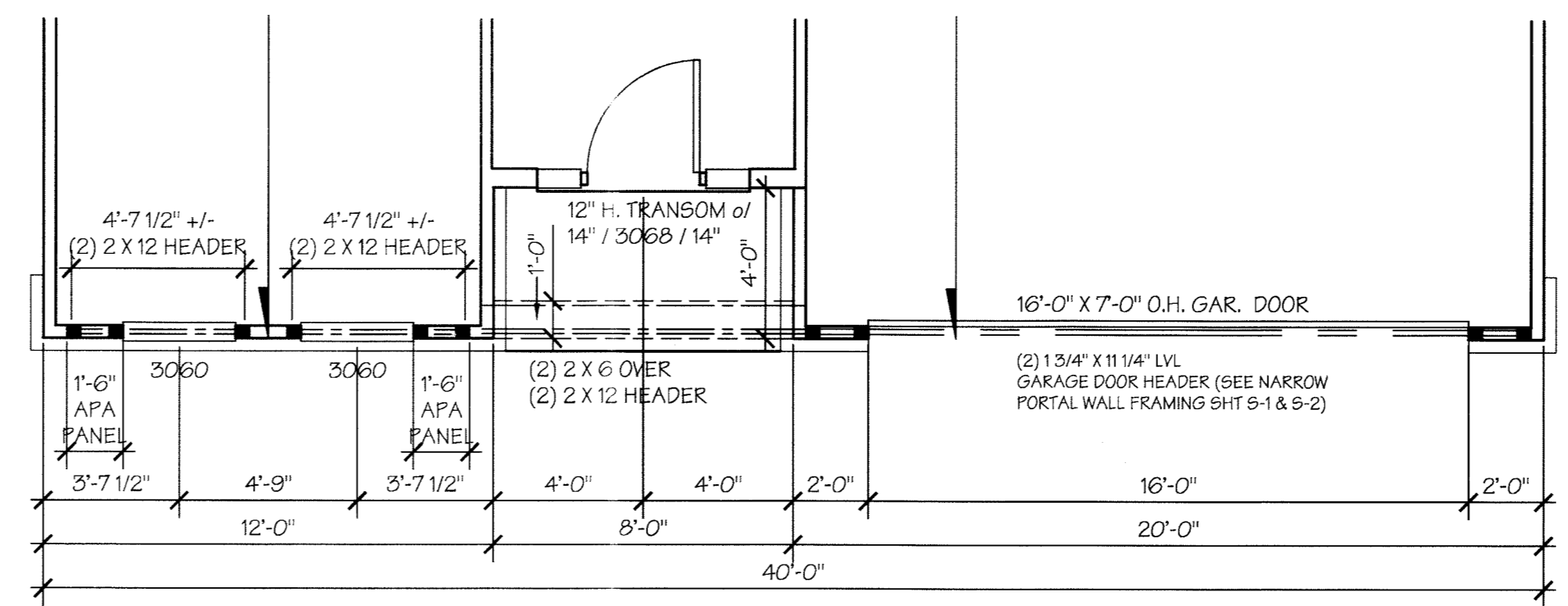
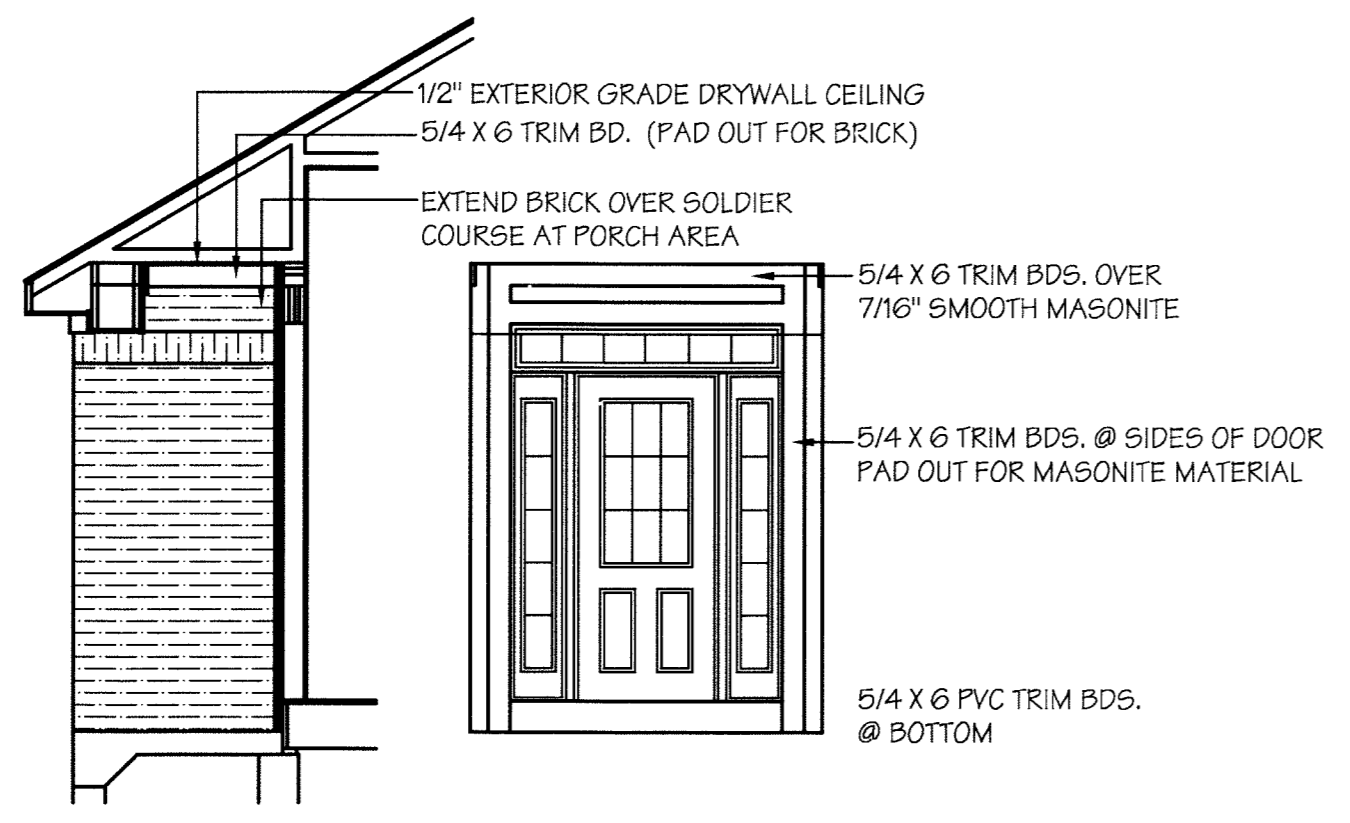
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 FRONT ELEVATION "A"

PLAN NAME:
 THE RESERVE
 PLAN "B" - "THE BOURDEAUX"

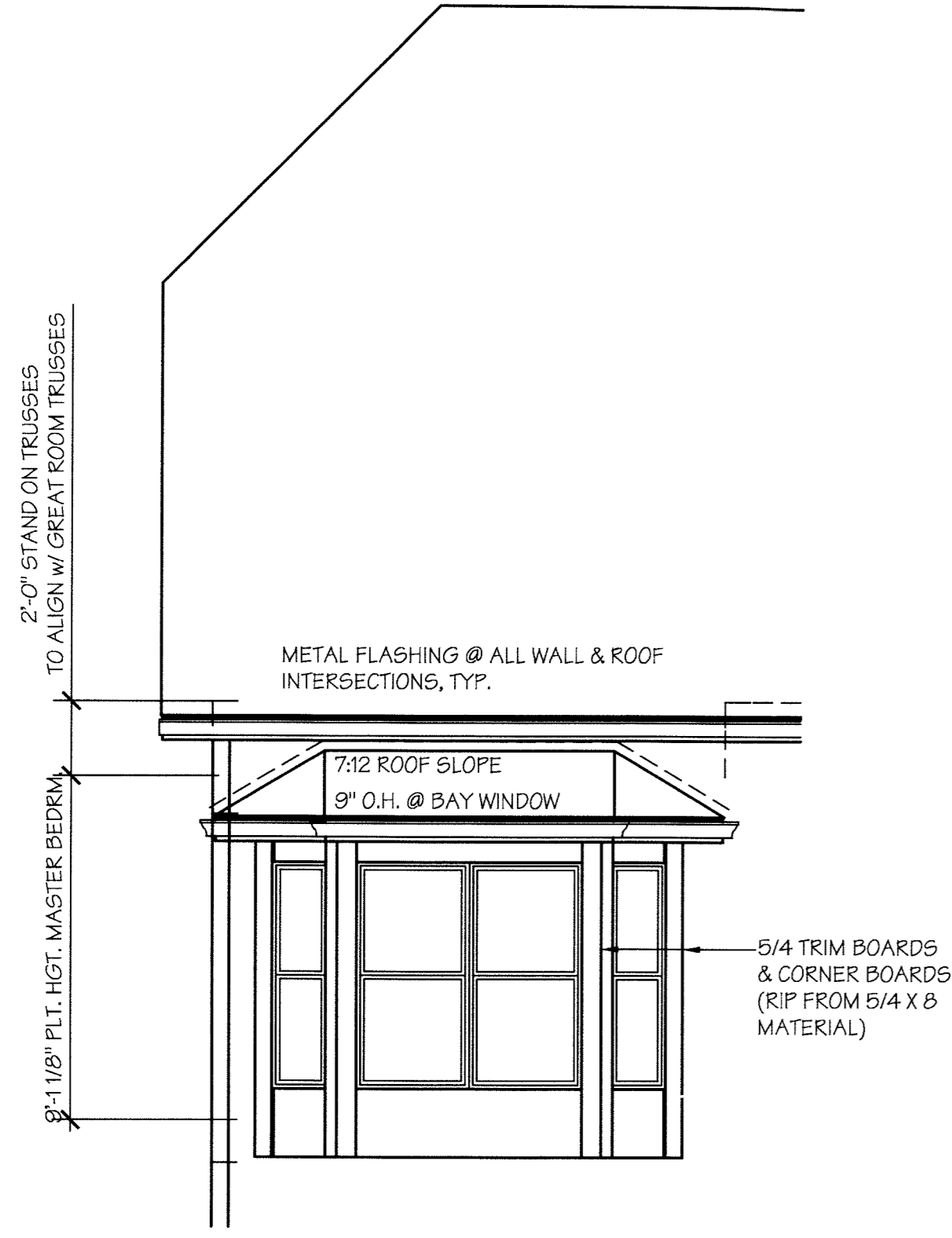
SHEET NO.
A3a
 OF



FRONT ELEVATION "A"
 SCALE: 1/4" = 1'-0"



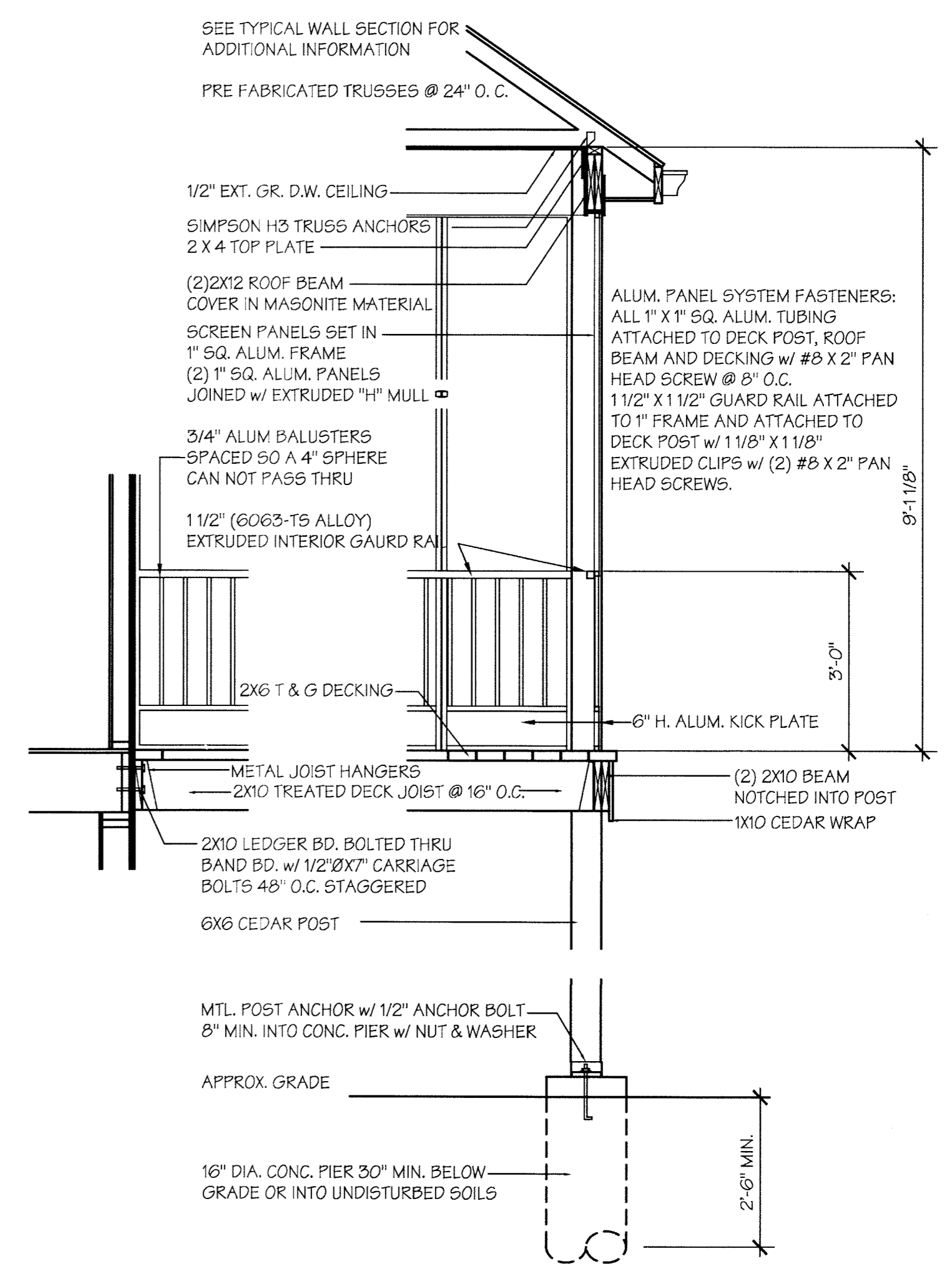




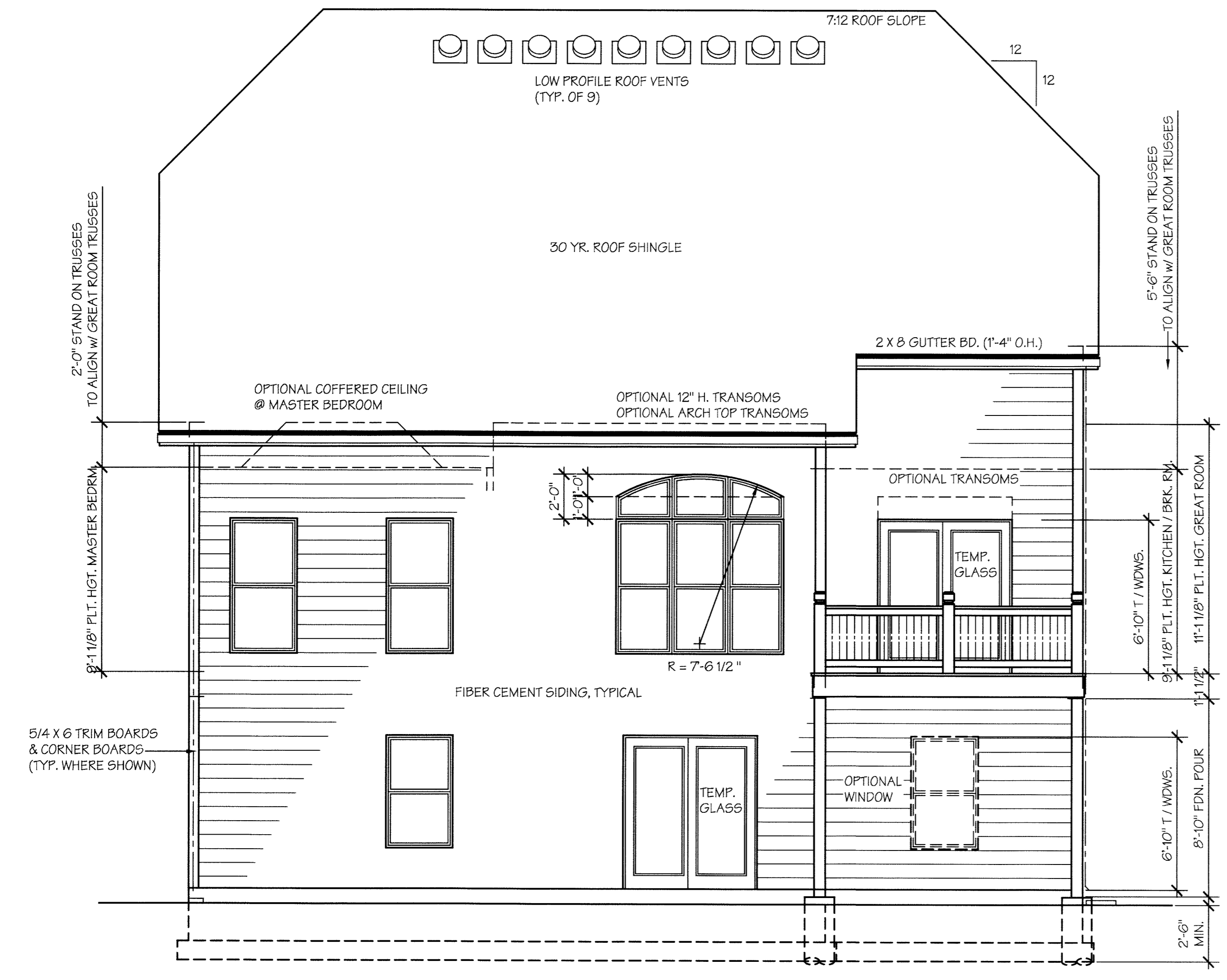
REAR ELEVATION - OPTIONAL BAY
SCALE: 1/4" = 1'-0"

- GENERAL ELEVATION NOTES:**
1. ALL DOOR & WINDOW HEADERS TO BE (2) 2x10 UNLESS OTHERWISE NOTED.
 2. 30 YR. ROOF SHINGLE, TYPICAL.
 3. INTERLACE SHINGLES AT ALL ROOF VALLEYS OVER (2) LAYERS TYPE 1 UNDERLAYMENT (15# ROOF FELT)
 4. METAL FLASHING AT ALL WALL AND ROOF INTERSECTIONS, TYPICAL.
 5. 5/4 x 6 PREFINISHED CORNER BOARDS AT FRONT ELEVATION (TRIM COLOR) WHERE APPLICABLE WITH ALL SIDING MATERIAL.
 - 5/4 x 6 PREFINISHED CORNER BOARDS AT SIDES AND REAR ELEVATIONS (SIDING COLOR) WITH PREFINISHED FIBER-CEMENT SIDING.
 6. 2x8 GUTTER BOARDS (1'-4" OVERHANG) TYP. WRAPPED IN ALUM. MATERIAL WITH VENTED VINYL SOFFIT SYSTEM.
 7. 2x8 RAKE BOARDS (1'-4" OVERHANG) TYP. WRAPPED IN ALUM. MATERIAL WITH VENTED VINYL SOFFITS.
 8. 5" ALUM. GUTTERS - DOWNSPOUTS WITH SPLASH BLOCKS BELOW. (TYPICAL)
 9. STANDARD FIBER CEMENT PREFINISHED 8 1/4" HORIZONTAL LAP SIDING.
 10. STANDARD JELD-WEN BUILDERS SERIES VINYL WINDOWS. (PREFINISHED WHITE)

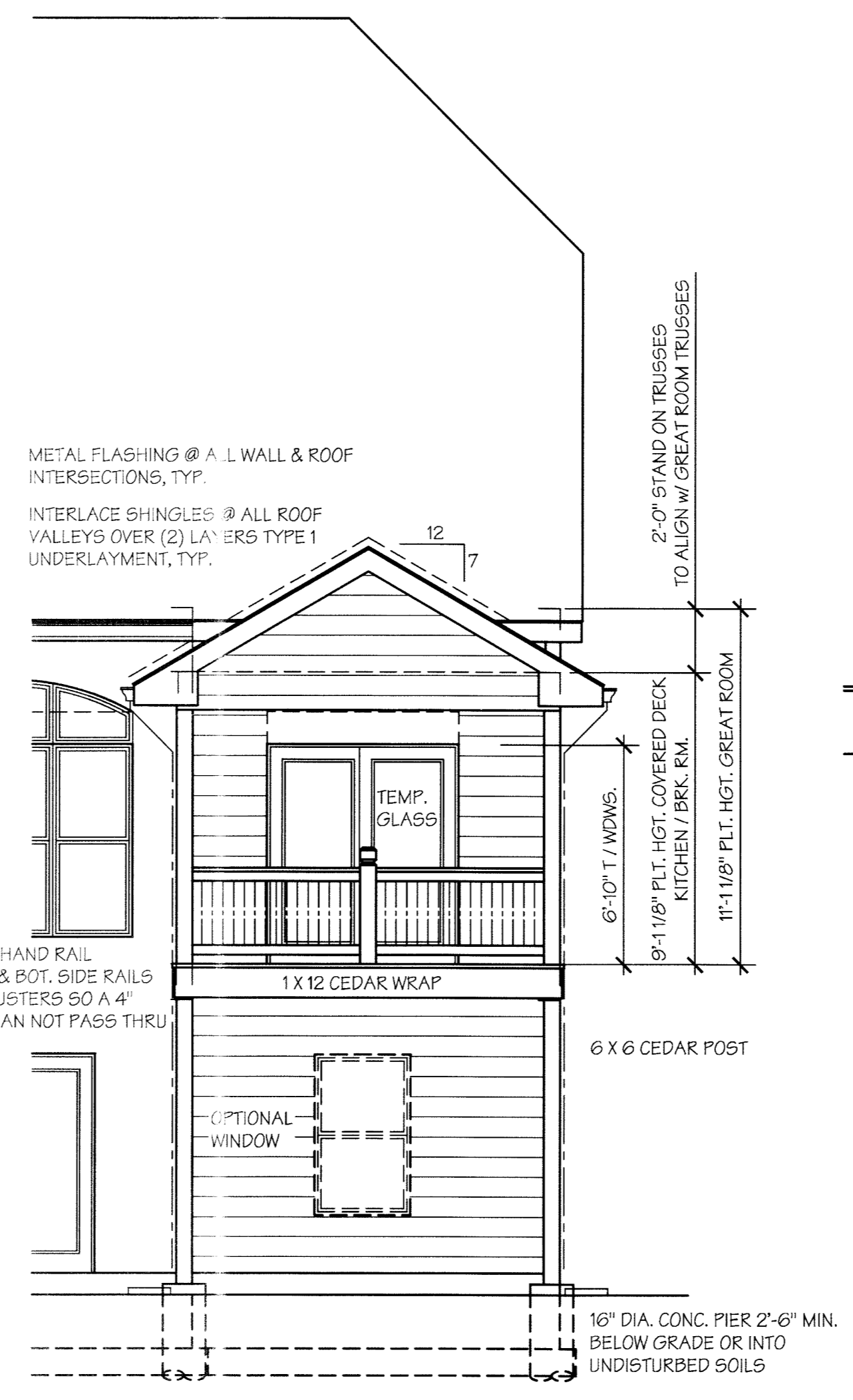
SEE GENERAL SPECIFICATIONS FOR ADDITIONAL INFORMATION.



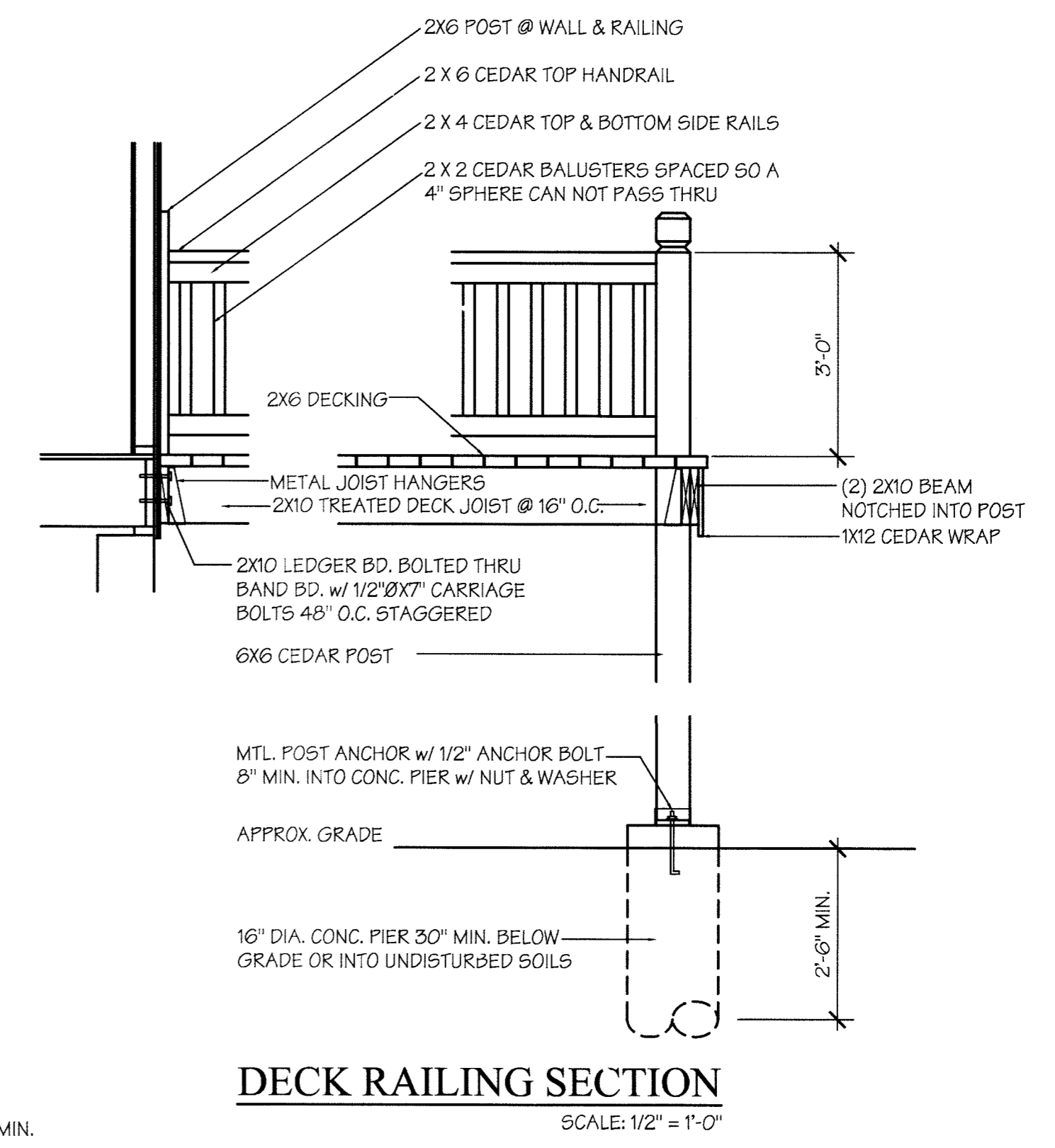
COVERED PORCH SECTION
SCREEN PORCH SECTION
SCALE: 1/2" = 1'-0"



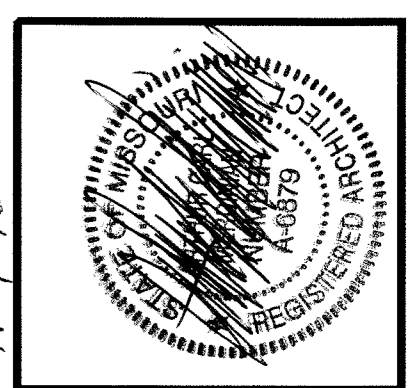
REAR ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION - COVERED DECK
SCALE: 1/4" = 1'-0"



DECK RAILING SECTION
SCALE: 1/2" = 1'-0"



REV.	REVISION:	DATE:	DRWN:
BID SET		7/22/10	

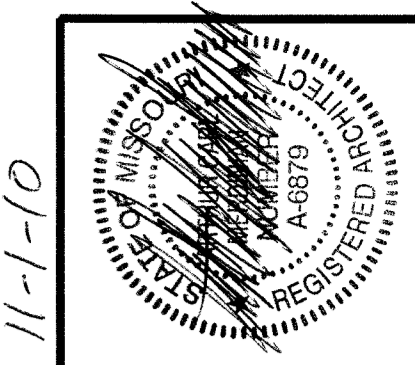
BOLLAND-MERDINIAN GROUP, LLC
Architecture & Interiors
727 Old Frontenac Square
St. Louis, MO 63131
314-991-3222
F 314-991-3260

HARDESTY BUILDING COMPANY, LLC
232 CHESTERFIELD INDUSTRIAL BLVD
CHESTERFIELD, MO. 63005
PHONE: (636) 630-9777
FAX: (636) 530-0831

SHEET NAME:
REAR ELEVATION (WALK-OUT)

PLAN NAME:
THE RESERVE
PLAN "B" - "THE BOURDEAUX"

SHEET NO.
A5
OF



11-1-10

REV.	REVISION:	DATE	DRWN
BID SET		7/22/10	

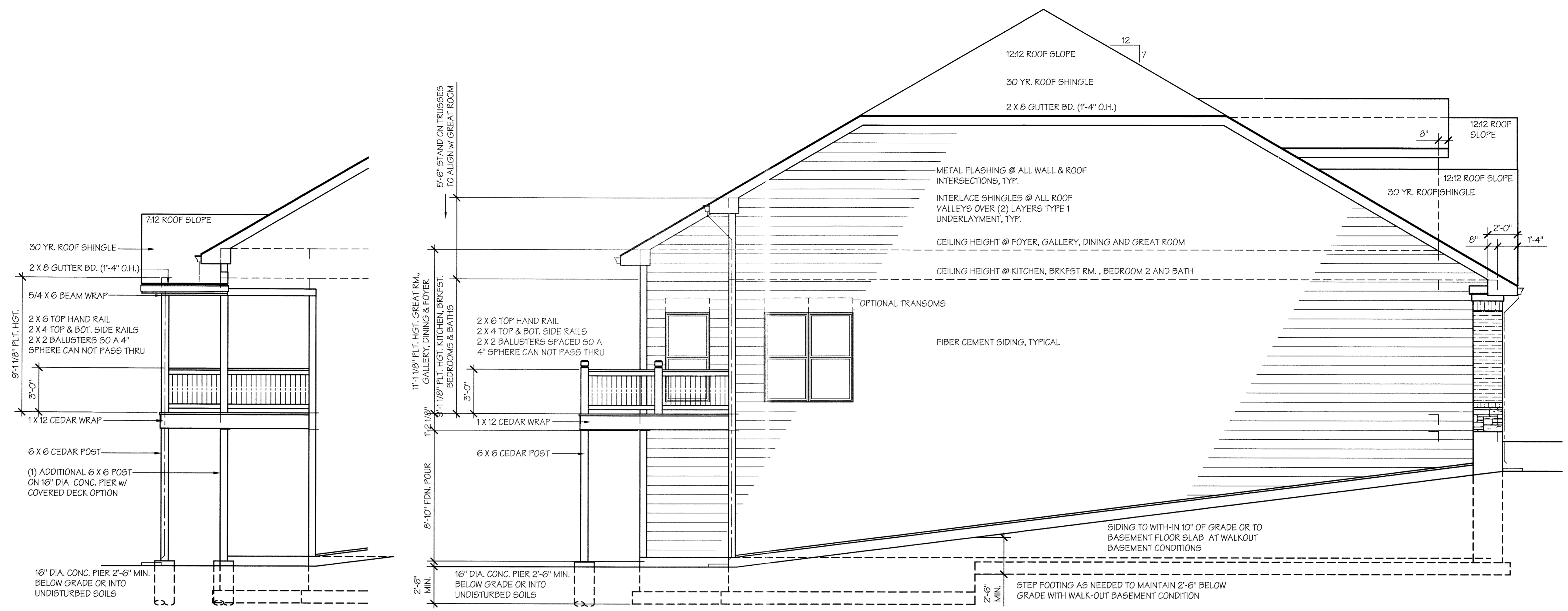
BOLAND-MERIDIAN GROUP, LLC
 Architecture & Interiors
 727 Old Frontenac Square
 St. Louis, MO 63131
 314-991-3222
 F 314-991-3260

HARDESTY
 BUILDING COMPANY, LLC
 232 CHESTERFIELD INDUSTRIAL BLVD
 CHESTERFIELD, MO. 63005
 PHONE: (636) 530-9777
 FAX: (636) 530-0831

SHEET NAME:
 ELEVATION "A"
 SIDE ELEVATIONS

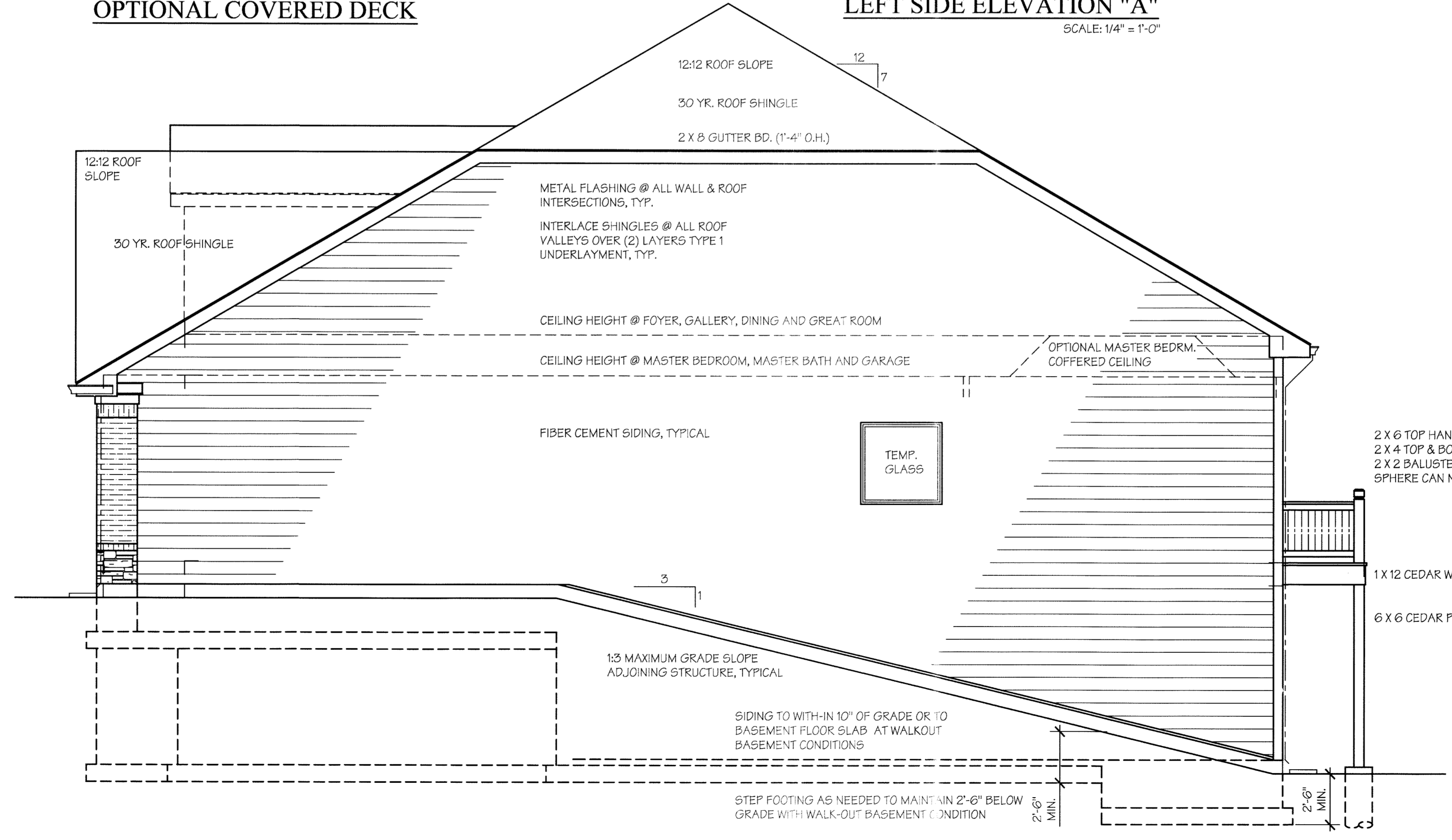
PLAN NAME:
 THE RESERVES
 PLAN "B" THE BOURDEAUX

SHEET NO.
A4a
 OF

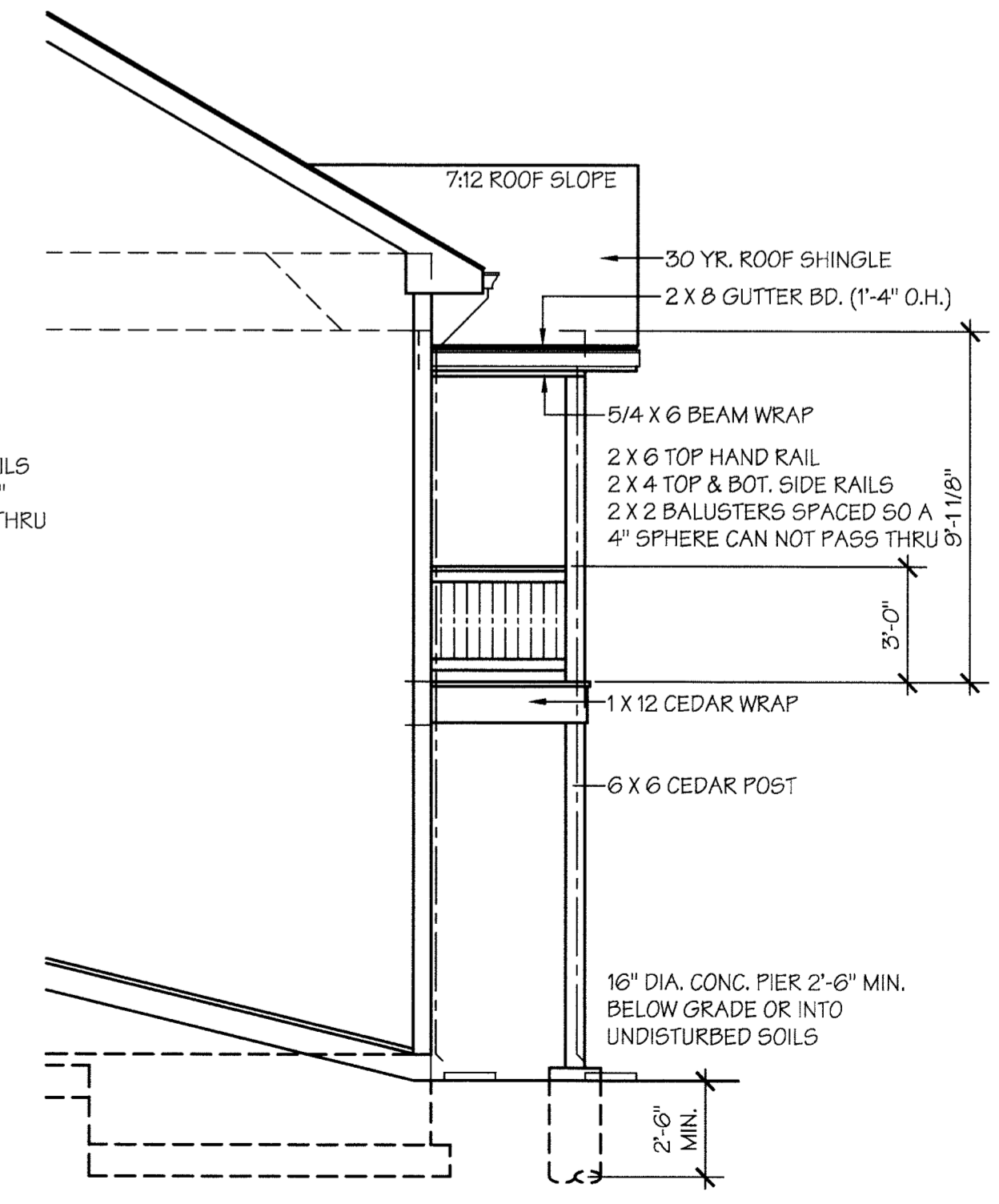


OPTIONAL COVERED DECK

LEFT SIDE ELEVATION "A"
 SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION "A"
 SCALE: 1/4" = 1'-0"

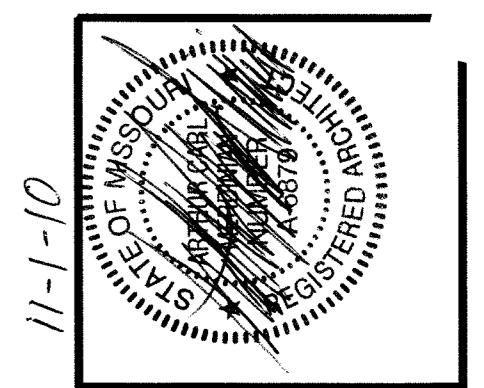


OPTIONAL COVERED DECK

- GENERAL ELEVATION NOTES:**
1. ALL DOOR & WINDOW HEADERS TO BE (2) 2X10 UNLESS OTHERWISE NOTED.
 2. 30 YR. ROOF SHINGLE, TYPICAL.
 3. INTERLACE SHINGLES AT ALL ROOF VALLEYS OVER (2) LAYERS TYPE 1 UNDERLAYMENT (15# ROOF FELT)
 4. METAL FLASHING AT ALL WALL AND ROOF INTERSECTIONS, TYPICAL.
 5. 5/4 x 6 PREFINISHED CORNER BOARDS AT FRONT ELEVATION (TRIM COLOR) WHERE APPLICABLE WITH ALL SIDING MATERIAL. 5/4 x 6 PREFINISHED CORNER BOARDS AT SIDES AND REAR ELEVATIONS (SIDING COLOR) WITH PREFINISHED FIBER-CEMENT SIDING.
 6. 2x8 GUTTER BOARDS (1'-4" OVERHANG) TYP. WRAPPED IN ALUM. MATERIAL WITH VENTED VINYL SOFFIT SYSTEM.
 7. 2x8 RAKE BOARDS (1'-4" OVERHANG) TYP. WRAPPED IN ALUM. MATERIAL WITH VENTED VINYL SOFFITS.
 8. 5" ALUM. GUTTERS - DOWNSPOUTS WITH SPLASH BLOCKS BELOW (TYPICAL)
 9. STANDARD FIBER CEMENT PREFINISHED 8 1/4" HORIZONTAL LAP SIDING.
 10. STANDARD JELD-WEN BUILDER SERIES VINYL WINDOWS (PREFINISHED WHITE)
- SEE GENERAL SPECIFICATIONS FOR ADDITIONAL INFORMATION.



Tom Robinson 2000



REV.	REVISION:	DATE	DRWN
	BID SET	8/12/10	

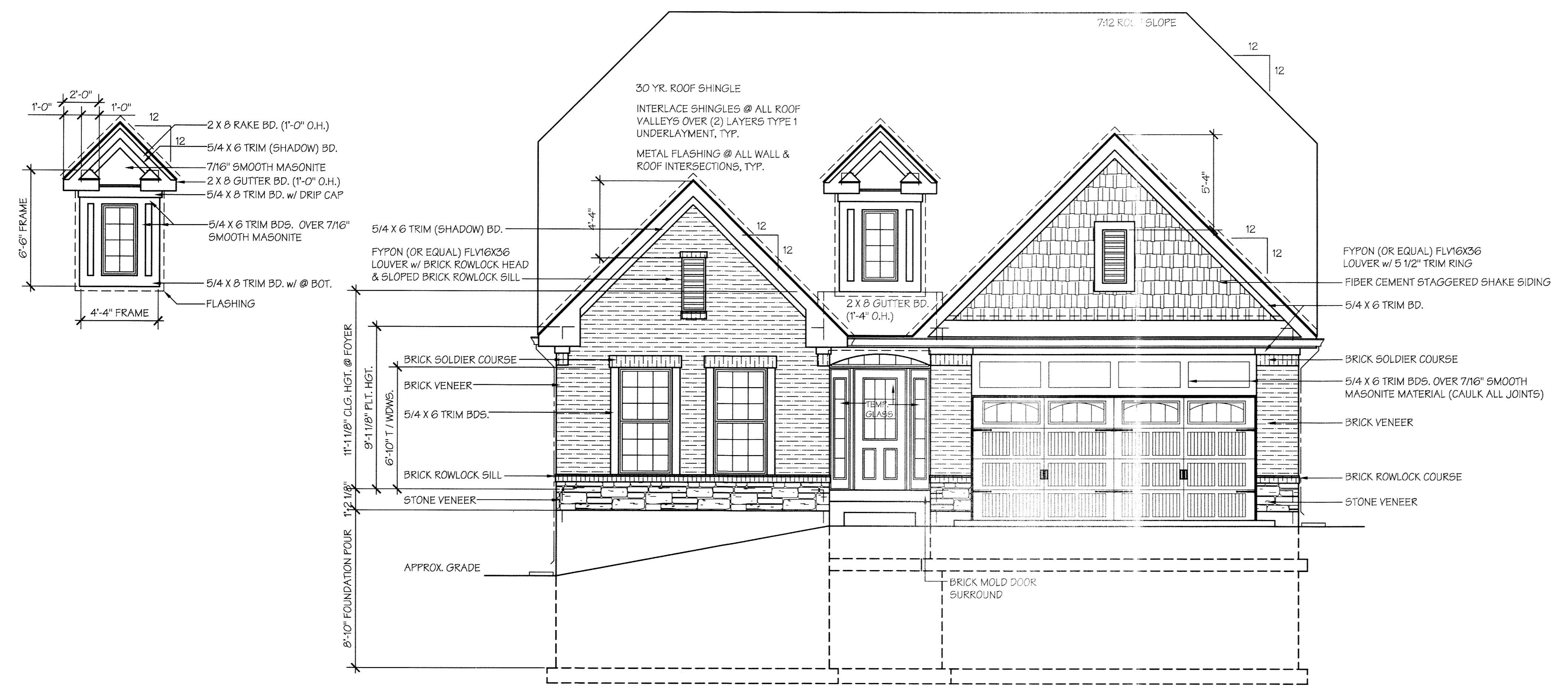
BOLAND-MERIDIAN GROUP, LLC
 Architecture & Interiors
 727 Old Frontenac Square
 St. Louis, MO 63131
 314-991-3222
 F 314-991-3260

HARDESTY BUILDING COMPANY, LLC
 282 CHESTERFIELD INDUSTRIAL BLVD.
 CHESTERFIELD, MO 63005
 PHONE: (636) 530-9777
 FAX: (636) 530-0831

PLAN NAME:
 THE RESERVE of CHESTERFIELD
 PLAN "C" "THE CABERNET"

SHEET NAME:
 FRONT ELEVATION "A"

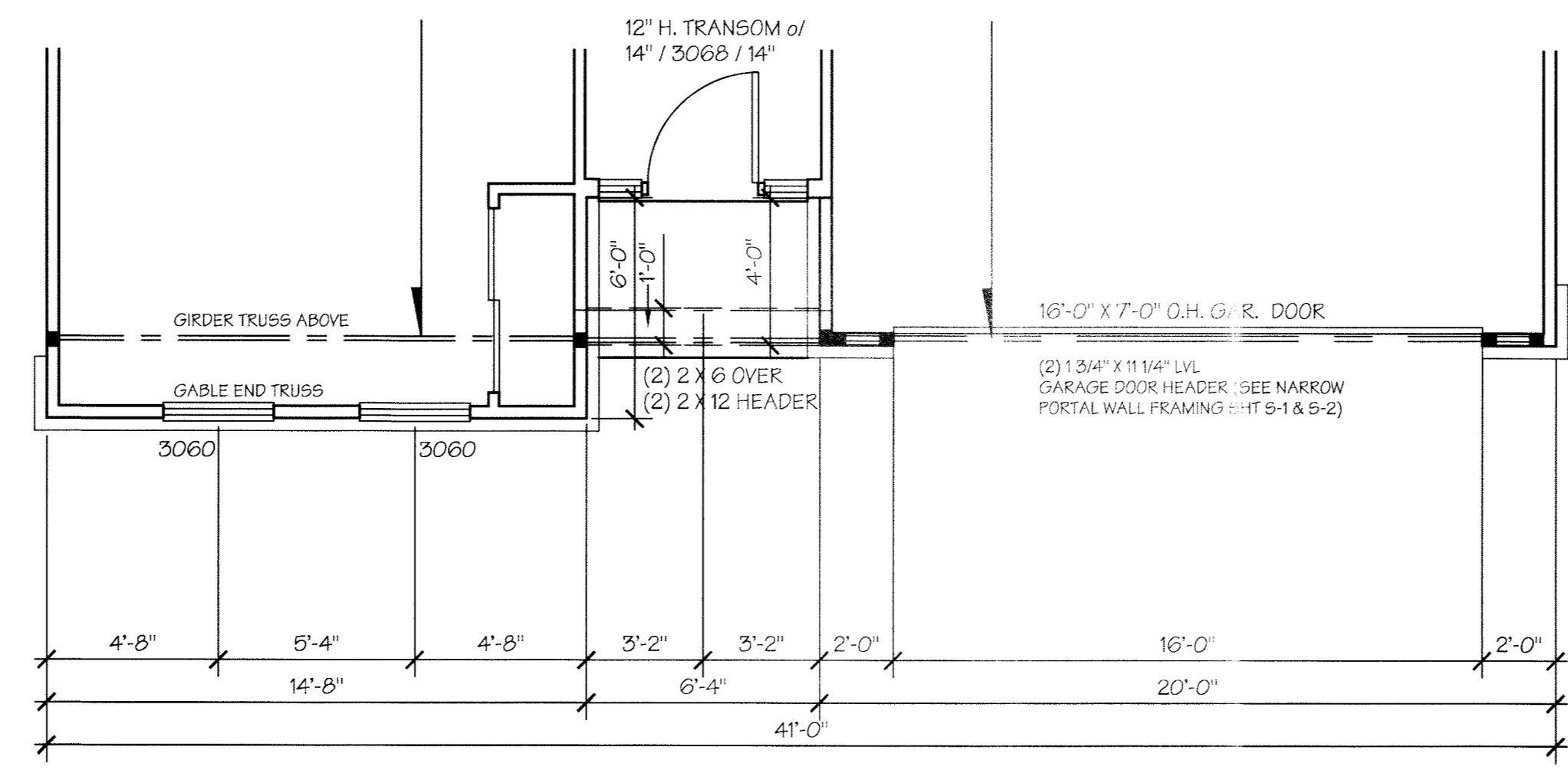
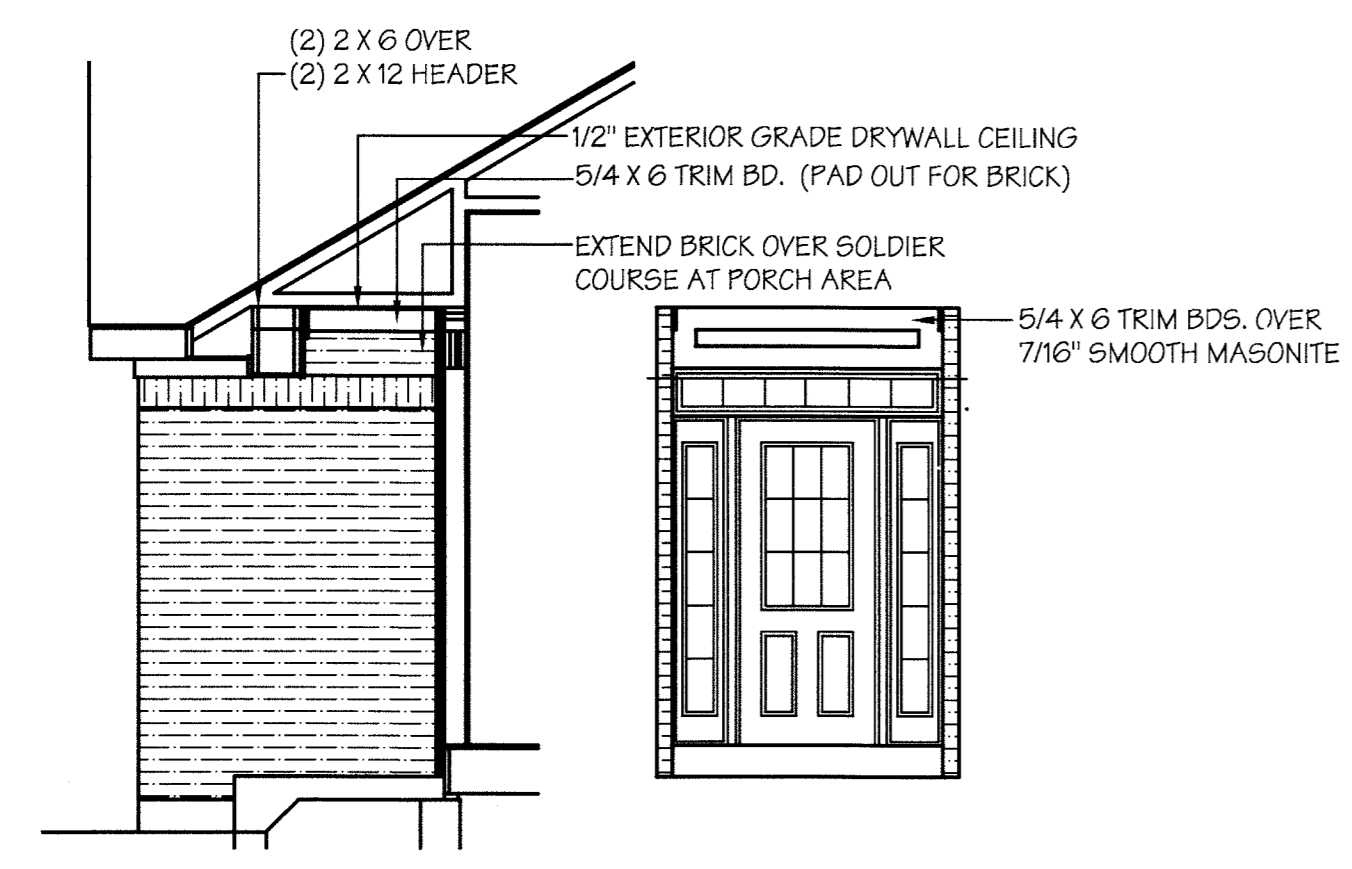
SHEET NO.
A3a
 OF



FRONT ELEVATION "A"
 SCALE: 1/4" = 1'-0"

- GENERAL ELEVATION NOTES:**
1. ALL DOOR & WINDOW HEADERS TO BE (2) 2X10 UNLESS OTHERWISE NOTED.
 2. 30 YR. ROOF SHINGLE, TYPICAL.
 3. INTERLACE SHINGLES AT ALL ROOF VALLEYS OVER (2) LAYERS TYPE 1 UNDERLAYMENT (15# ROOF FELT)
 4. METAL FLASHING AT ALL WALL AND ROOF INTERSECTIONS, TYPICAL.
 5. 5/4 x 6 PREFINISHED CORNER BOARDS AT FRONT ELEVATION (TRIM COLOR) WHERE APPLICABLE WITH ALL SIDING MATERIAL. 5/4 x 6 PREFINISHED CORNER BOARDS AT SIDES AND REAR ELEVATIONS (SIDING COLOR) WITH PREFINISHED FIBER-CEMENT SIDING.
 6. 2x8 GUTTER BOARDS (1'-4" OVERHANG) TYP. WRAPPED IN ALUM. MATERIAL WITH VENTED VINYL SOFFIT SYSTEM.
 7. 2x8 RAKE BOARDS (1'-4" OVERHANG) TYP. WRAPPED IN ALUM. MATERIAL WITH VENTED VINYL SOFFITS.
 8. 5" ALUM. GUTTERS - DOWNSPOUTS WITH SPLASH BLOCKS BELOW.(TYPICAL)
 9. STANDARD FIBER CEMENT PREFINISHED 8 1/4" HORIZONTAL LAP SIDING.
 10. STANDARD JELD-WEN BUILDERS SERIES VINYL WINDOWS (PREFINISHED WHITE)

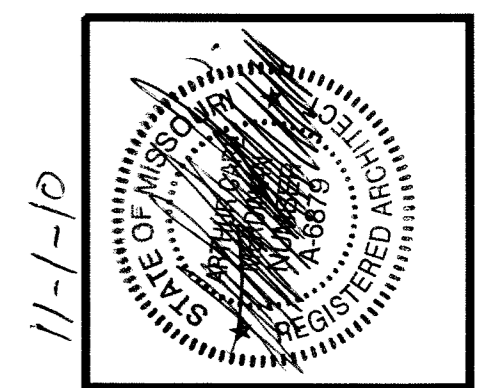
SEE GENERAL SPECIFICATIONS FOR ADDITIONAL INFORMATION.



PARTIAL PLAN FRONT ELEVATION "A"
 SCALE: 1/4" = 1'-0"



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REV.	REVISION:	DATE	DRWN
	BID SET	8/12/10	

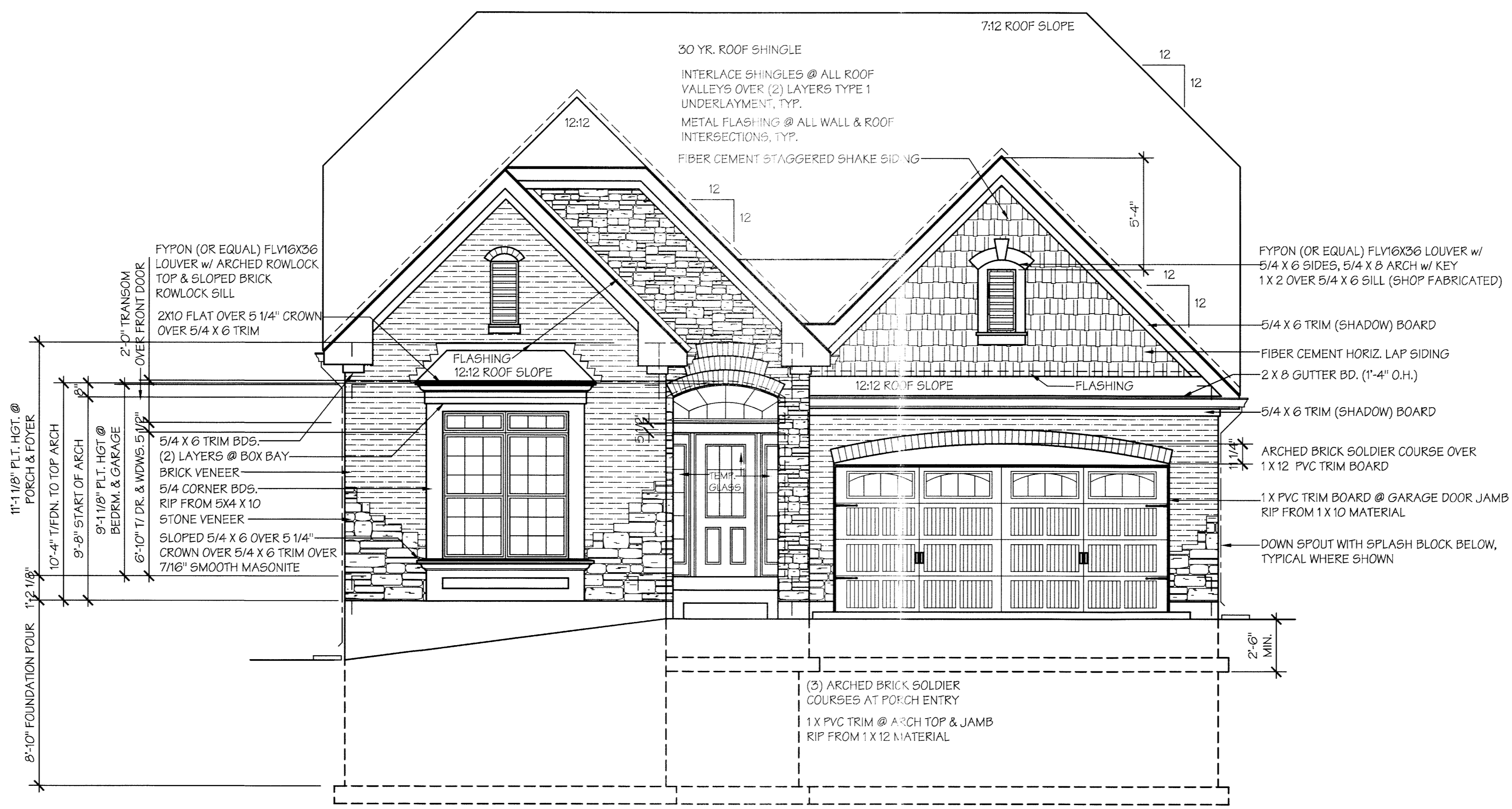
BOLAND-MERIDIAN GROUP, LLC
 Architecture & Interiors
 727 Old Frontenac Square
 St. Louis, MO 63131
 314-991-3222
 F 314-991-3260

HARDESTY BUILDING COMPANY, LLC
 232 CHESTERFIELD INDUSTRIAL BLVD.
 CHESTERFIELD, MO 63005
 PHONE: (636) 530-9777
 FAX: (636) 530-0831

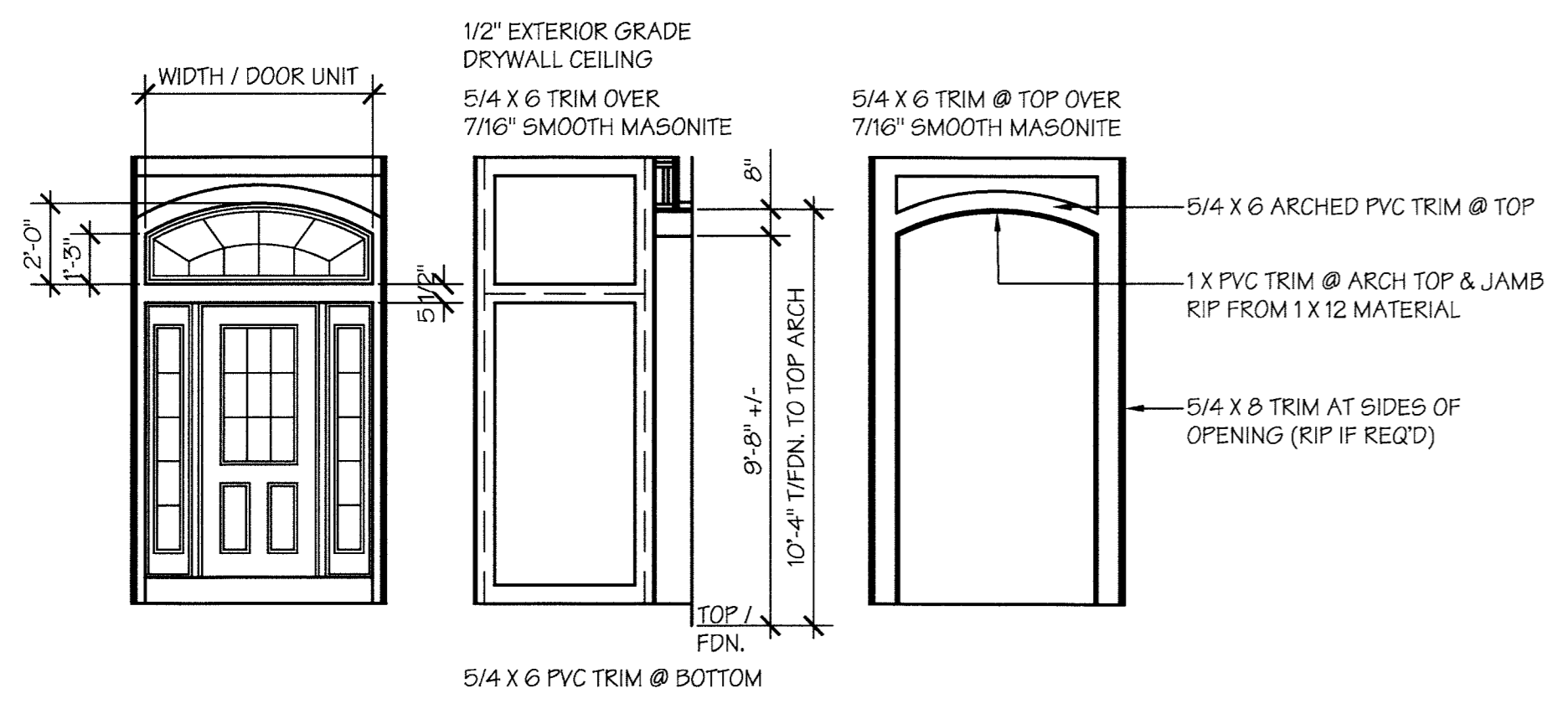
SHEET NAME:
FRONT ELEVATION "B"

PLAN NAME:
**THE RESERVE of CHESTERFIELD
 PLAN "C" "THE CABERNET"**

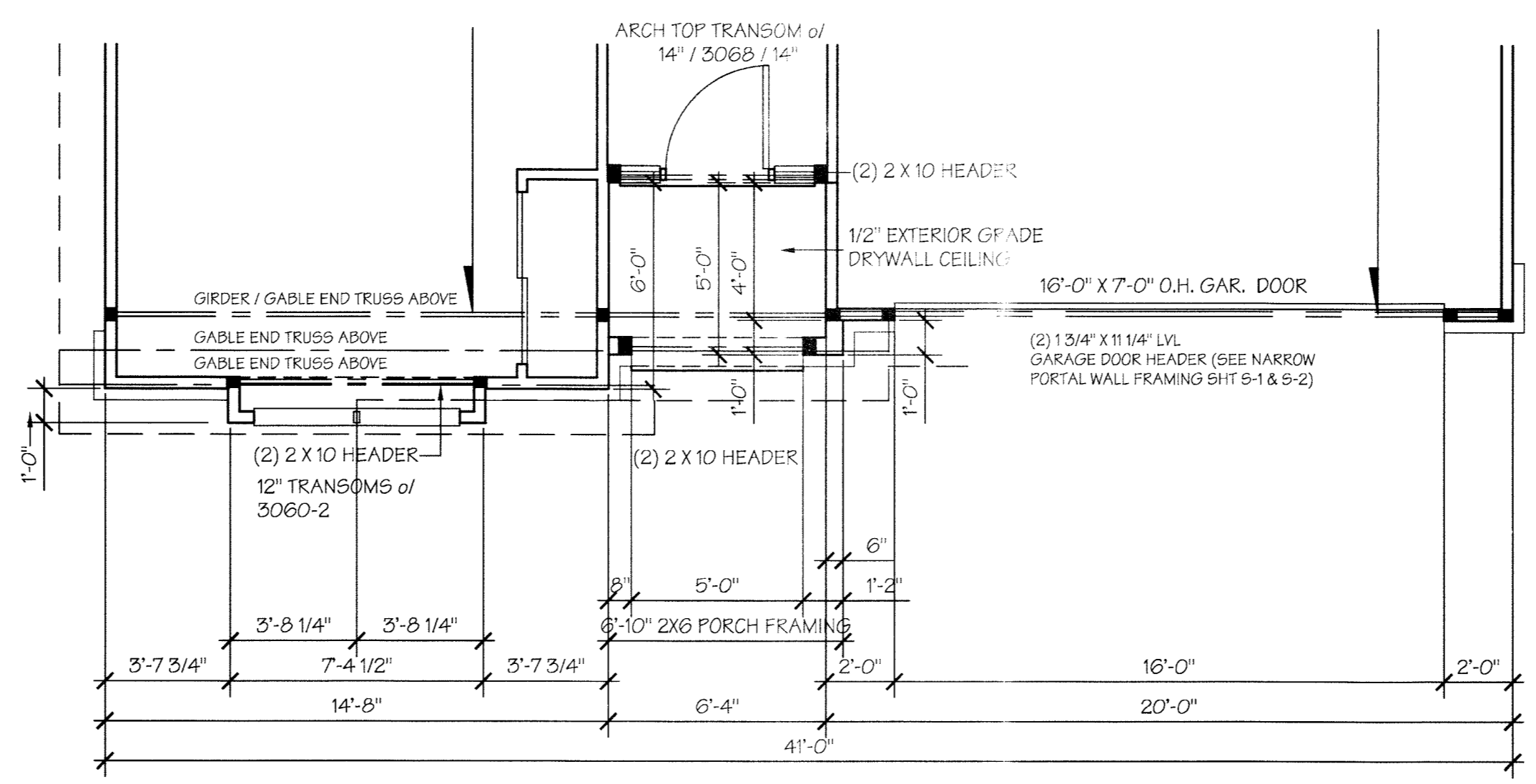
SHEET NO.
A3b
 OF



FRONT ELEVATION "B"
 SCALE: 1/4" = 1'-0"

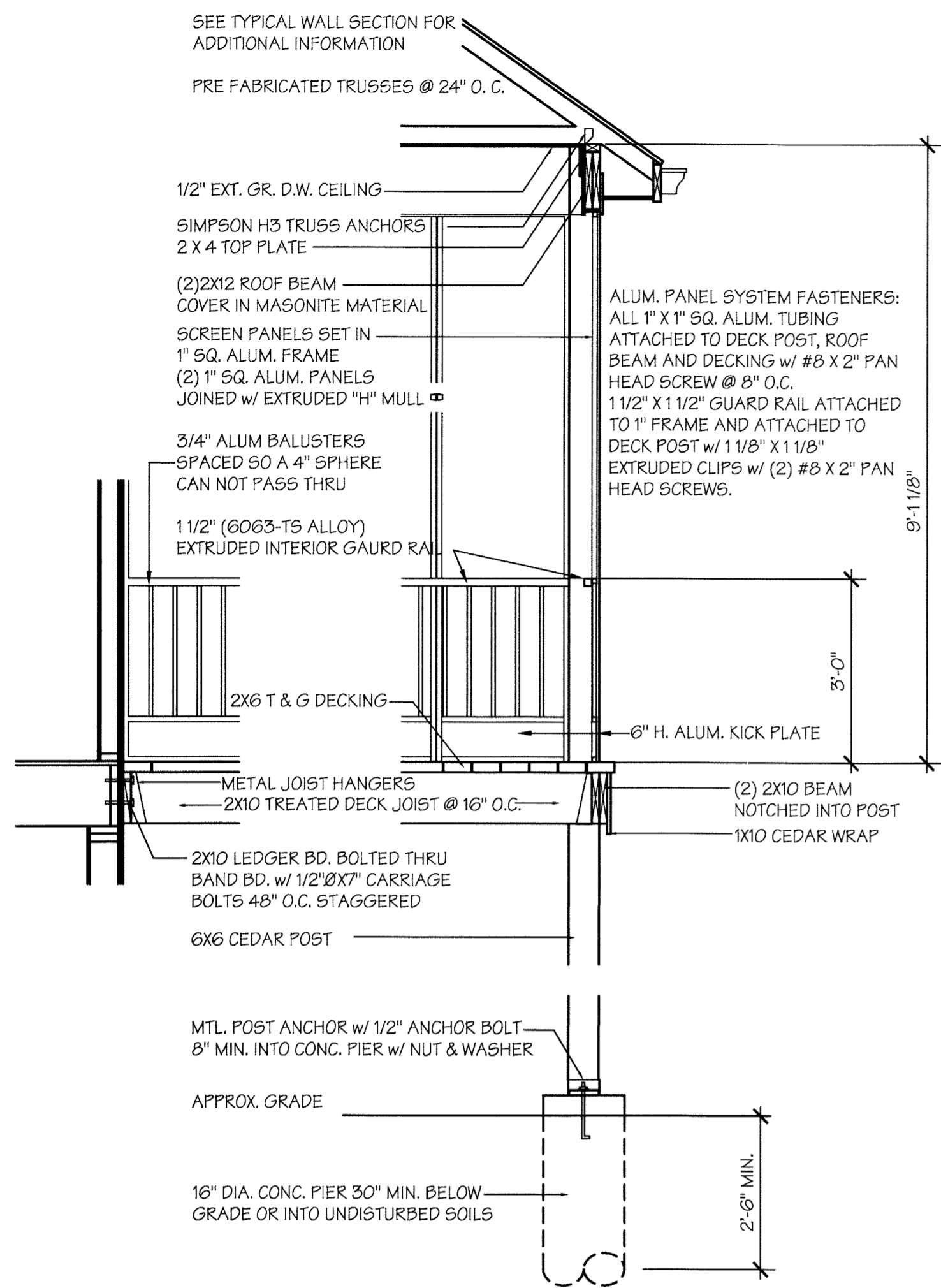


INTERIOR of PORCH



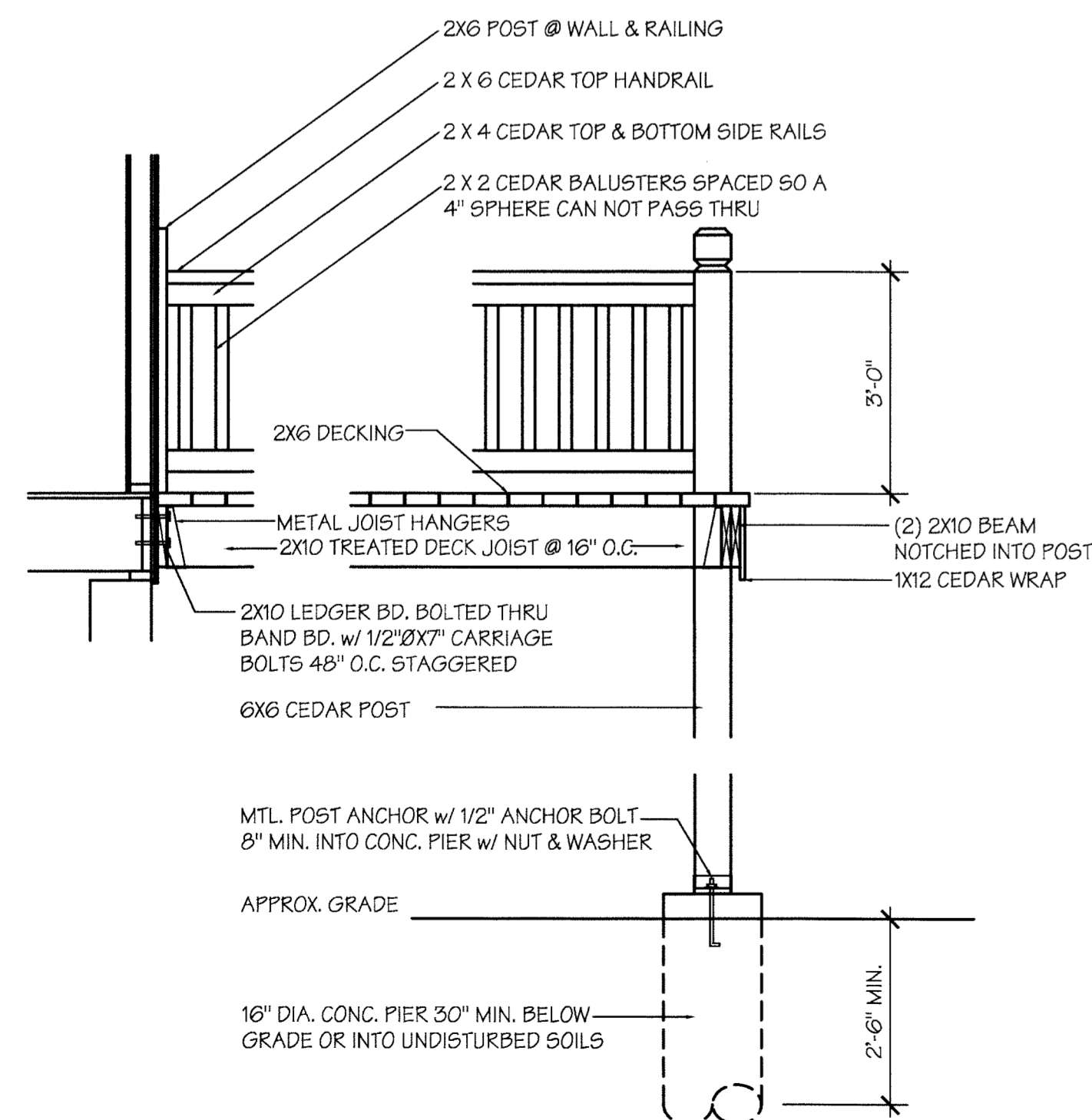
PARTIAL PLAN FRONT ELEVATION "B"
 SCALE: 1/4" = 1'-0"

- GENERAL ELEVATION NOTES:**
1. ALL DOOR & WINDOW HEADERS TO BE (2) 2x10 UNLESS OTHERWISE NOTED.
 2. 30 YR. ROOF SHINGLE, TYPICAL.
 3. INTERLACE SHINGLES AT ALL ROOF VALLEYS OVER (2) LAYERS TYPE 1 UNDERLAYMENT (15# ROOF FELT)
 4. METAL FLASHING AT ALL WALL AND ROOF INTERSECTIONS, TYPICAL.
 5. 5/4 x 6 PREFINISHED CORNER BOARDS AT FRONT ELEVATION (TRIM COLOR) WHERE APPLICABLE WITH ALL SIDING MATERIAL.
 6. 5/4 x 6 PREFINISHED CORNER BOARDS AT SIDES AND REAR ELEVATIONS (SIDING COLOR) WITH PREFINISHED FIBER-CEMENT SIDING.
 7. 2x8 GUTTER BOARDS (1'-4" OVERHANG) TYP. WRAPPED IN ALUM. MATERIAL WITH VENTED VINYL SOFFIT SYSTEM.
 8. 2x8 RAKE BOARDS (1'-4" OVERHANG) TYP. WRAPPED IN ALUM. MATERIAL WITH VENTED VINYL SOFFITS.
 9. 5" ALUM. GUTTERS - DOWNSPOUTS WITH SPLASH BLOCKS BELOW, (TYPICAL)
 10. STANDARD FIBER CEMENT PREFINISHED 3/16" HORIZONTAL LAP SIDING.
 11. STANDARD JELD-WEN BUILDERS SERIES VINYL WINDOWS (PREFINISHED WHITE)
- SEE GENERAL SPECIFICATIONS FOR ADDITIONAL INFORMATION.



**COVERED PORCH SECTION
SCREEN PORCH SECTION**

SCALE: 1/2" = 1'-0"



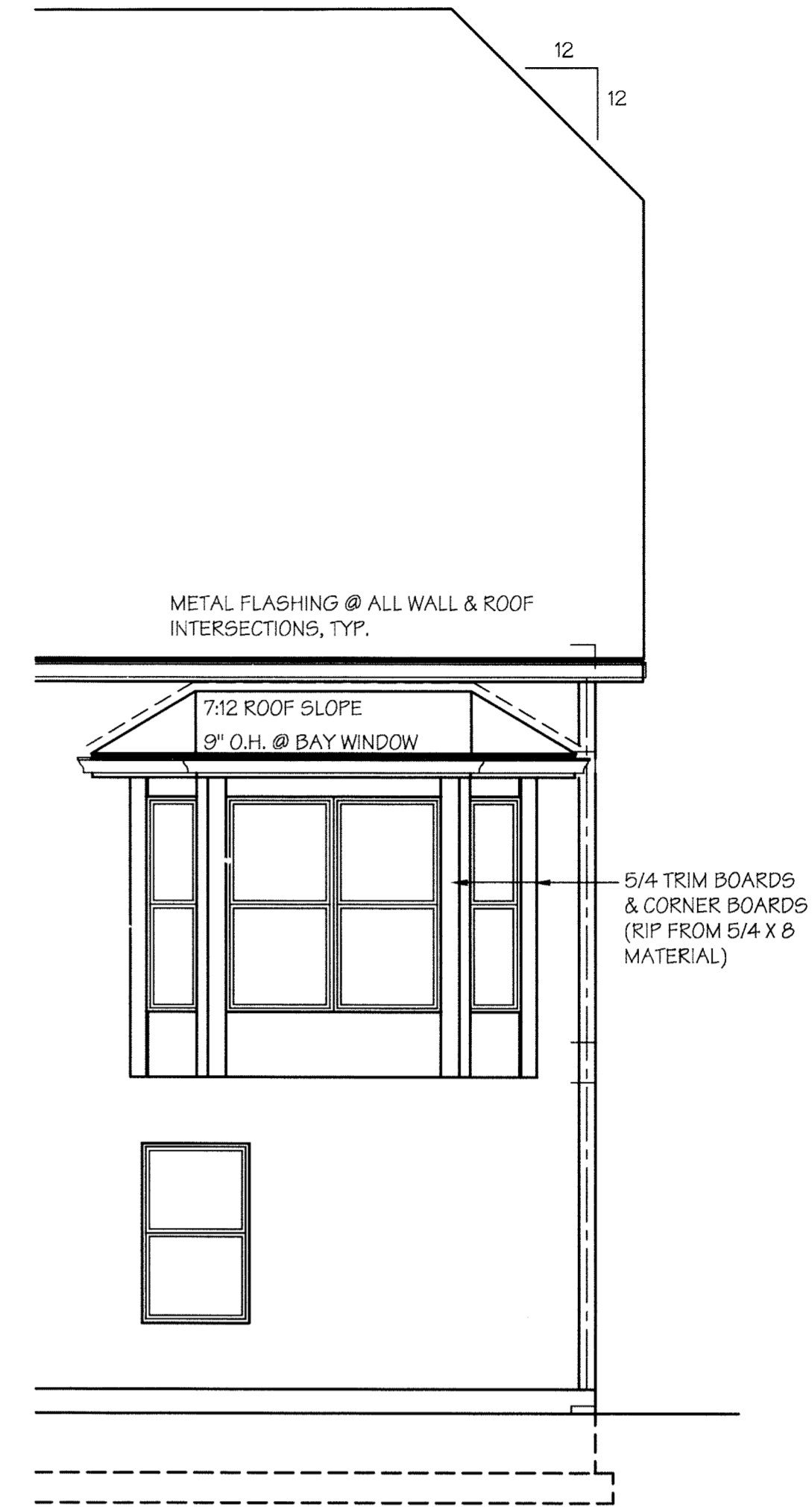
DECK RAILING SECTION

SCALE: 1/2" = 1'-0"

GENERAL ELEVATION NOTES:

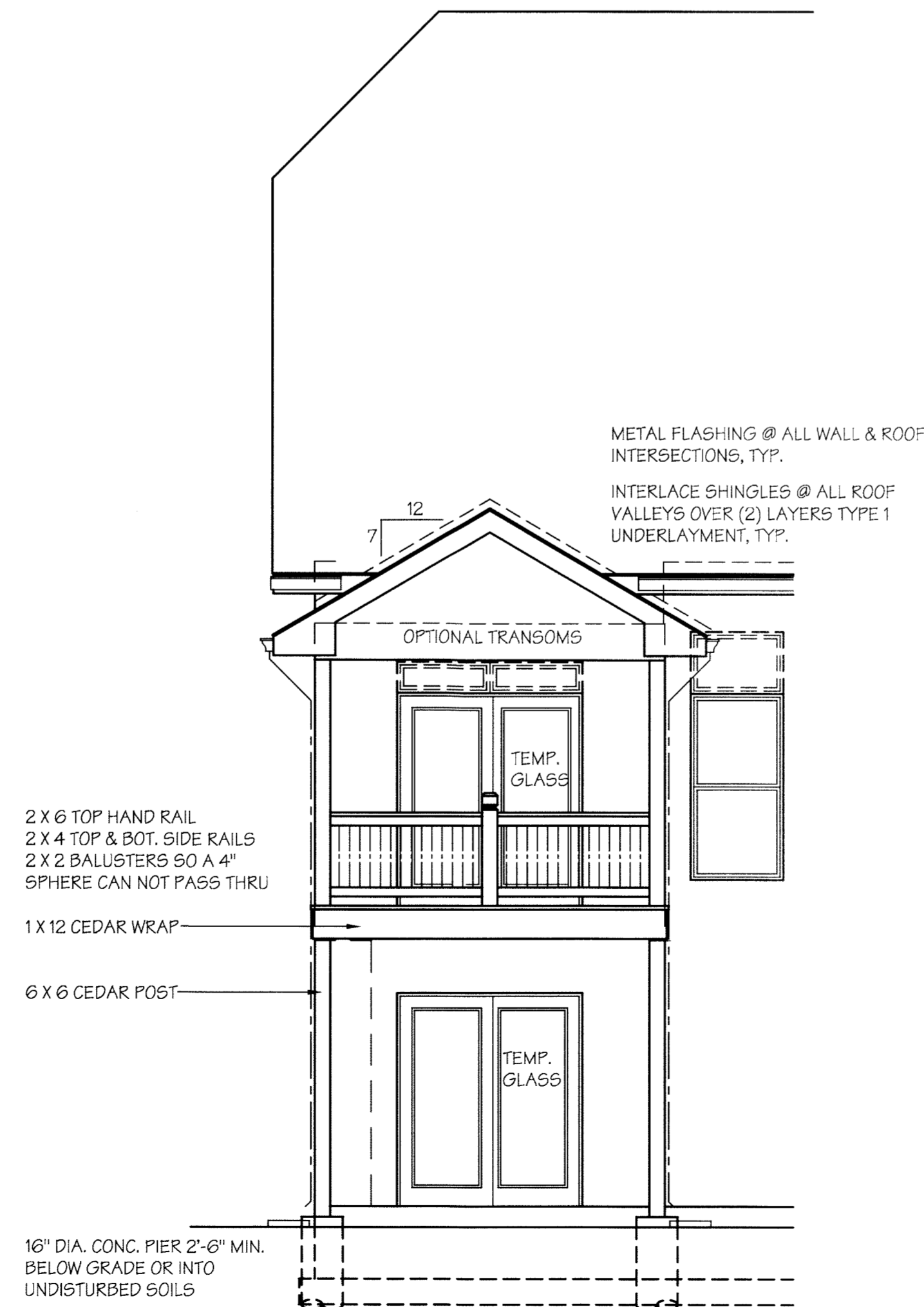
1. ALL DOOR & WINDOW HEADERS TO BE (2) 2x10 UNLESS OTHERWISE NOTED.
2. 30 YR. ROOF SHINGLE, TYPICAL.
3. INTERLACE SHINGLES AT ALL ROOF VALLEYS OVER (2) LAYERS TYPE 1 UNDERLAYMENT (15# ROOF FELT)
4. METAL FLASHING AT ALL WALL AND ROOF INTERSECTIONS, TYPICAL.
5. 5/4 x 6 PREFINISHED CORNER BOARDS AT FRONT ELEVATION (TRIM COLOR) WHERE APPLICABLE WITH ALL SIDING MATERIAL. 5/4 x 6 PREFINISHED CORNER BOARDS AT SIDES AND REAR ELEVATIONS (SIDING COLOR) WITH PREFINISHED FIBER-CEMENT SIDING.
6. 2x8 GUTTER BOARDS (1'-4" OVERHANG) TYP. WRAPPED IN ALUM. MATERIAL WITH VENTED VINYL SOFFIT SYSTEM.
7. 2x8 RAKE BOARDS (1'-4" OVERHANG) TYP. WRAPPED IN ALUM. MATERIAL WITH VENTED VINYL SOFFITS.
8. 5" ALUM. GUTTERS - DOWNSPOUTS WITH SPLASH BLOCKS BELOW.(TYPICAL)
9. STANDARD FIBER CEMENT PREFINISHED 8 1/4" HORIZONTAL LAP SIDING.
10. STANDARD JELD-WEN BUILDERS SERIES VINYL WINDOWS. (PREFINISHED WHITE)

SEE GENERAL SPECIFICATIONS FOR ADDITIONAL INFORMATION.



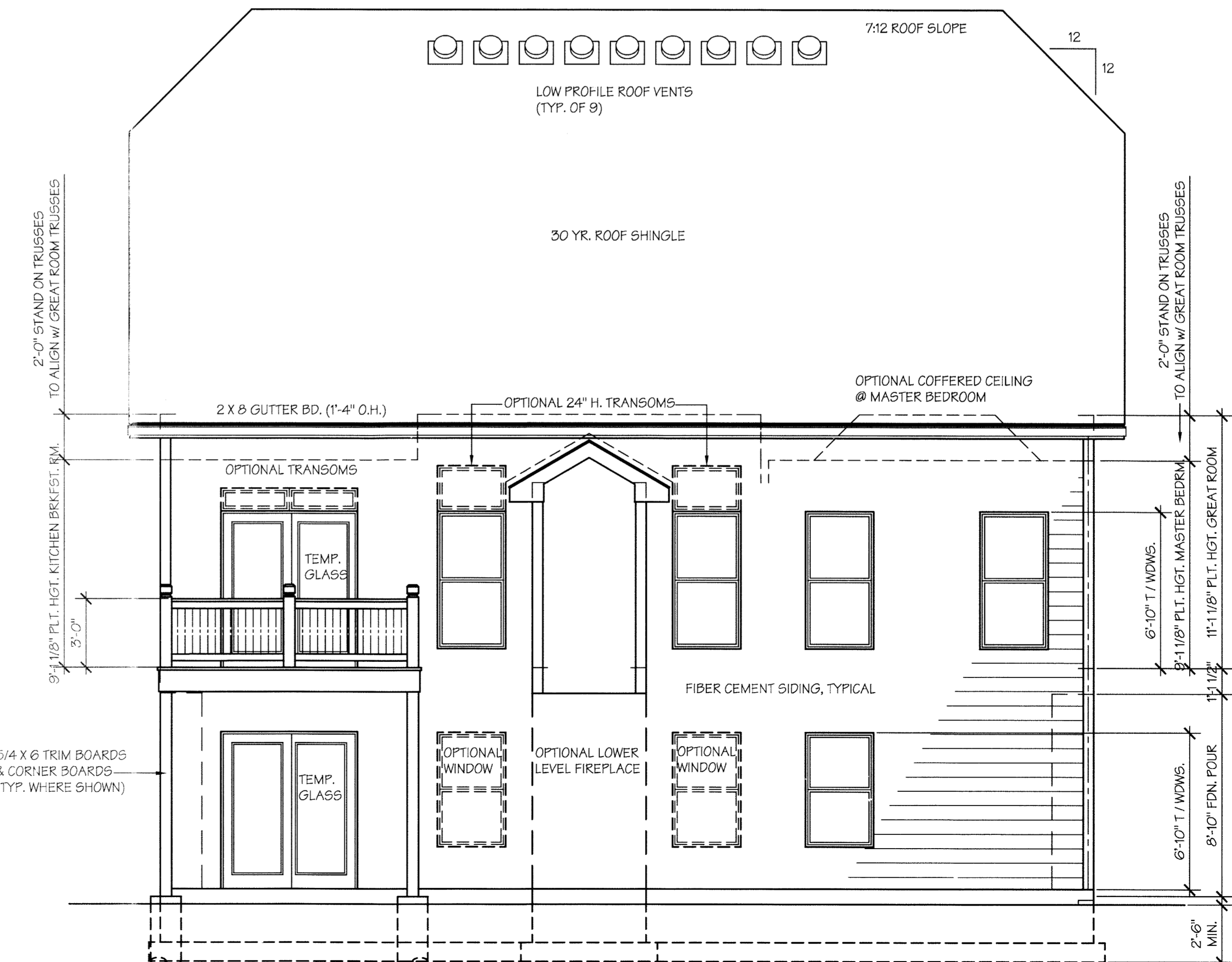
REAR ELEVATION - OPTIONAL BAY

SCALE: 1/4" = 1'-0"



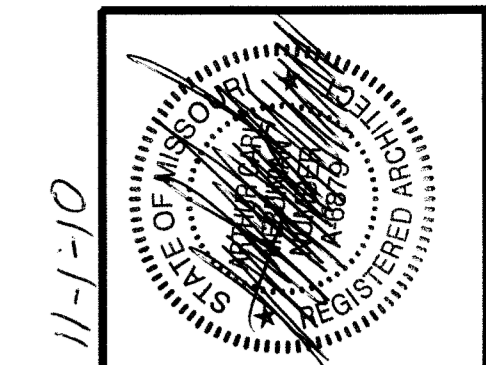
REAR ELEVATION - COVERED DECK

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



REV.	REV.	DATE	DRWN
BID SET		8/12/10	

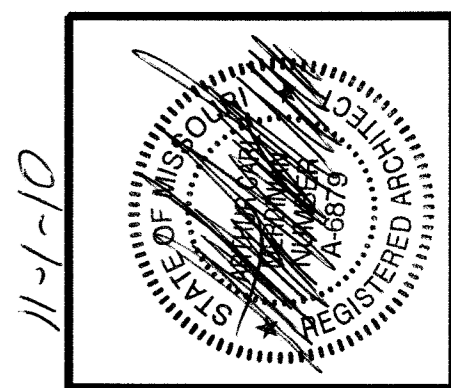
BOLAND-MERIDIAN GROUP, LLC
Architecture & Interiors
727 Old Frontenac Square
St. Louis, MO 63131
314-991-3222
F 314-991-3260

HARDESTY BUILDING COMPANY, LLC
232 CHESTERFIELD INDUSTRIAL BLVD
CHESTERFIELD, MO. 63005
PHONE: (636) 530-8777
FAX: (636) 530-0831

SHEET NAME:
REAR ELEVATION (WALK-OUT)

PLAN NAME:
THE RESERVE OF CHESTERFIELD
PLAN "C" "THE CABERNET"

SHEET NO.
A5
OF



11-1-10

REV.	REVISION:	DATE	DRWN
BID SET		8/12/10	

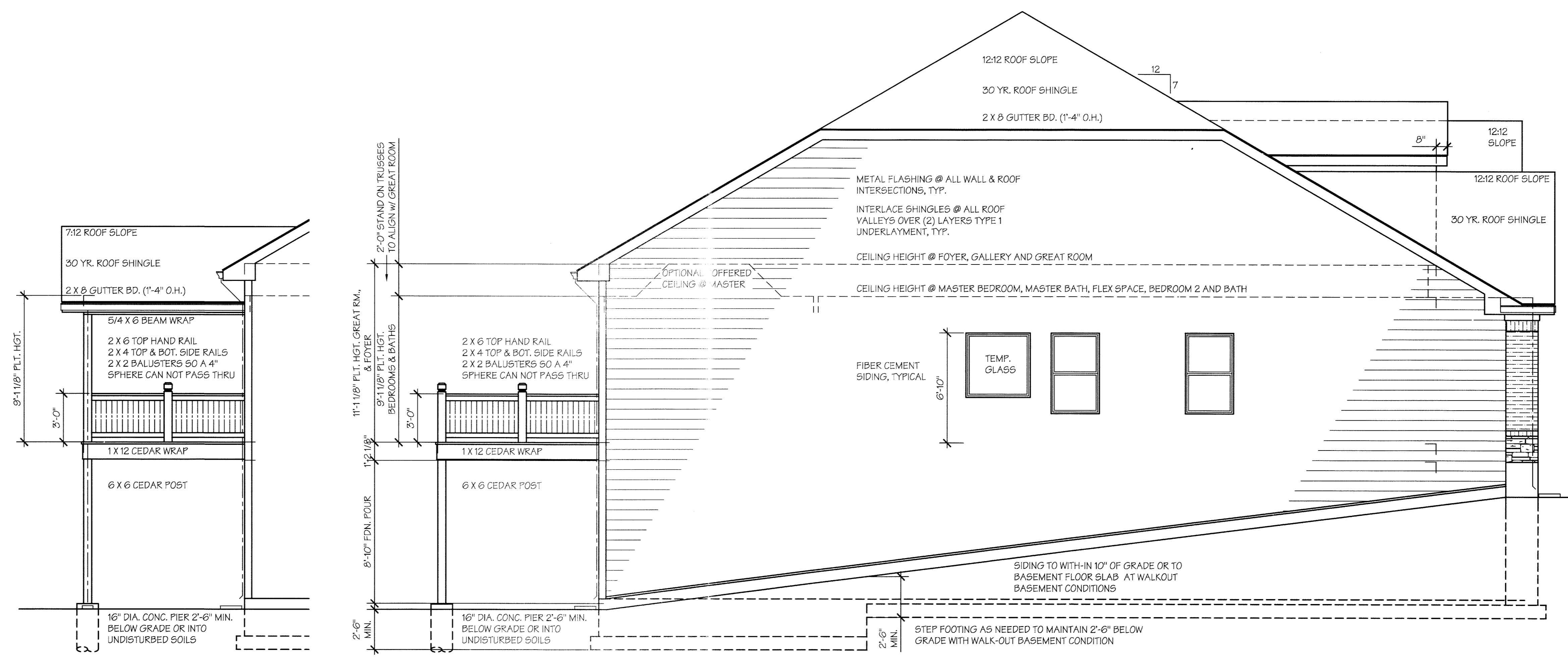
BOLAND-MERIDIAN GROUP, LLC
 Architecture & Interiors
 727 Old Frontenac Square
 St. Louis, MO 63131
 314-991-3222
 F 314-991-3260

HARDESTY BUILDING COMPANY, LLC
 232 CHESTERFIELD INDUSTRIAL BLVD
 CHESTERFIELD, MO. 63005
 PHONE: (636) 530-9777
 FAX: (636) 530-0831

SHEET NAME:
 ELEVATION "A"
 SIDE ELEVATIONS

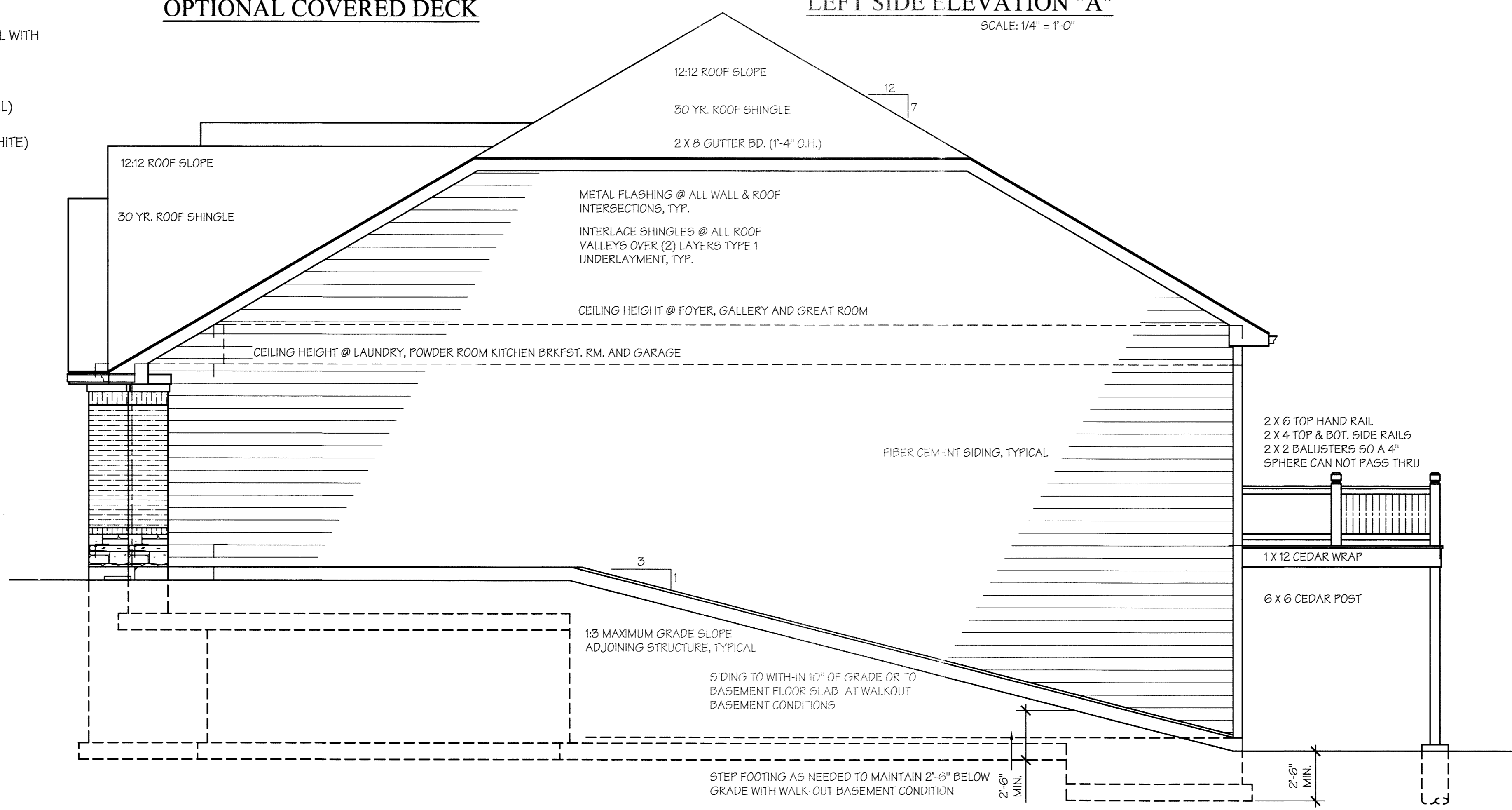
PLAN NAME:
 THE RESERVE of CHESTERFIELD
 PLAN "C" "THE CABERNET"

SHEET NO.
A4a
 OF

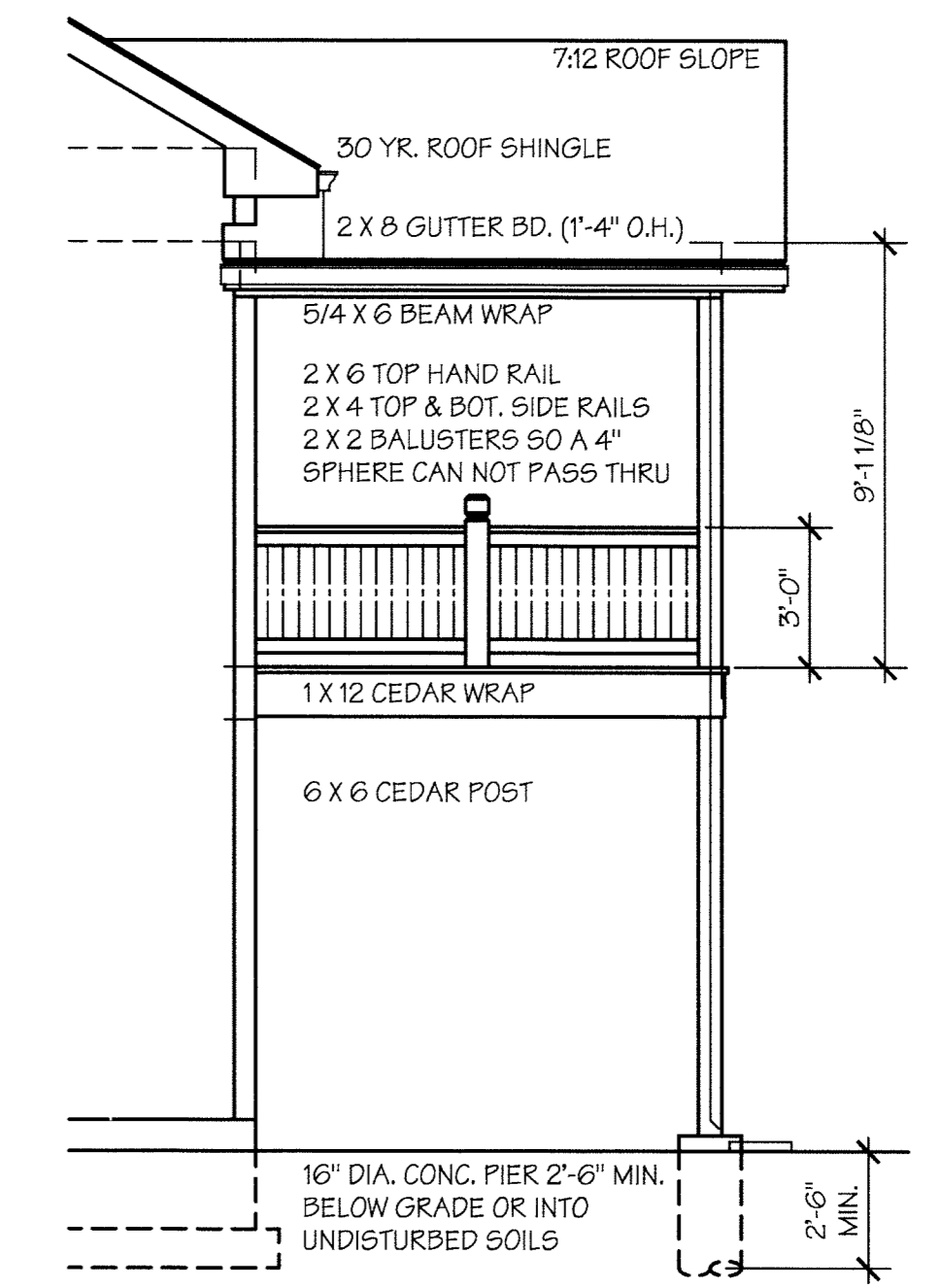


OPTIONAL COVERED DECK

LEFT SIDE ELEVATION "A"
 SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION "A"
 SCALE: 1/4" = 1'-0"



OPTIONAL COVERED DECK

GENERAL ELEVATION NOTES:

1. ALL DOOR & WINDOW HEADERS TO BE (2) 2x10 UNLESS OTHERWISE NOTED.
2. 30 YR. ROOF SHINGLE, TYPICAL.
3. INTERLACE SHINGLES AT ALL ROOF VALLEYS OVER (2) LAYERS TYPE 1 UNDERLAYMENT (15# ROOF FELT)
4. METAL FLASHING AT ALL WALL AND ROOF INTERSECTIONS, TYPICAL.
5. 5/4 x 6 PREFINISHED CORNER BOARDS AT FRONT ELEVATION (TRIM COLOR) WHERE APPLICABLE WITH ALL SIDING MATERIAL.
- 5/4 x 6 PREFINISHED CORNER BOARDS AT SIDES AND REAR ELEVATIONS (SIDING COLOR) WITH PREFINISHED FIBER-CEMENT SIDING.
6. 2x8 GUTTER BOARDS (1'-4" OVERHANG) TYP. WRAPPED IN ALUM. MATERIAL WITH VENTED VINYL SOFFIT SYSTEM.
7. 2x8 RAKE BOARDS (1'-4" OVERHANG) TYP. WRAPPED IN ALUM. MATERIAL WITH VENTED VINYL SOFFITS.
8. 5" ALUM. GUTTERS - DOWNSPOUTS WITH SPLASH BLOCKS BELOW. (TYPICAL)
9. STANDARD FIBER CEMENT PREFINISHED 8 1/4" HORIZONTAL LAP SIDING.
10. STANDARD JELD-WEN BUILDER SERIES VINYL WINDOWS (PREFINISHED WHITE)

SEE GENERAL SPECIFICATIONS FOR ADDITIONAL INFORMATION.

REV.	REVISION	DATE	DRAWN

BOLAND-MERIDIAN GROUP, LLC
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 314-991-3222
 F 314-991-3280

HARDESTY BUILDING COMPANY, LLC
 232 CHESTERFIELD INDUSTRIAL BLVD.
 CHESTERFIELD, MO. 63005
 PHONE: (636) 630-9777
 FAX: (636) 630-0651

SHEET NAME:
 FRONT ELEVATION "B"
 THREE CAR FRONT ENTRY GARAGE

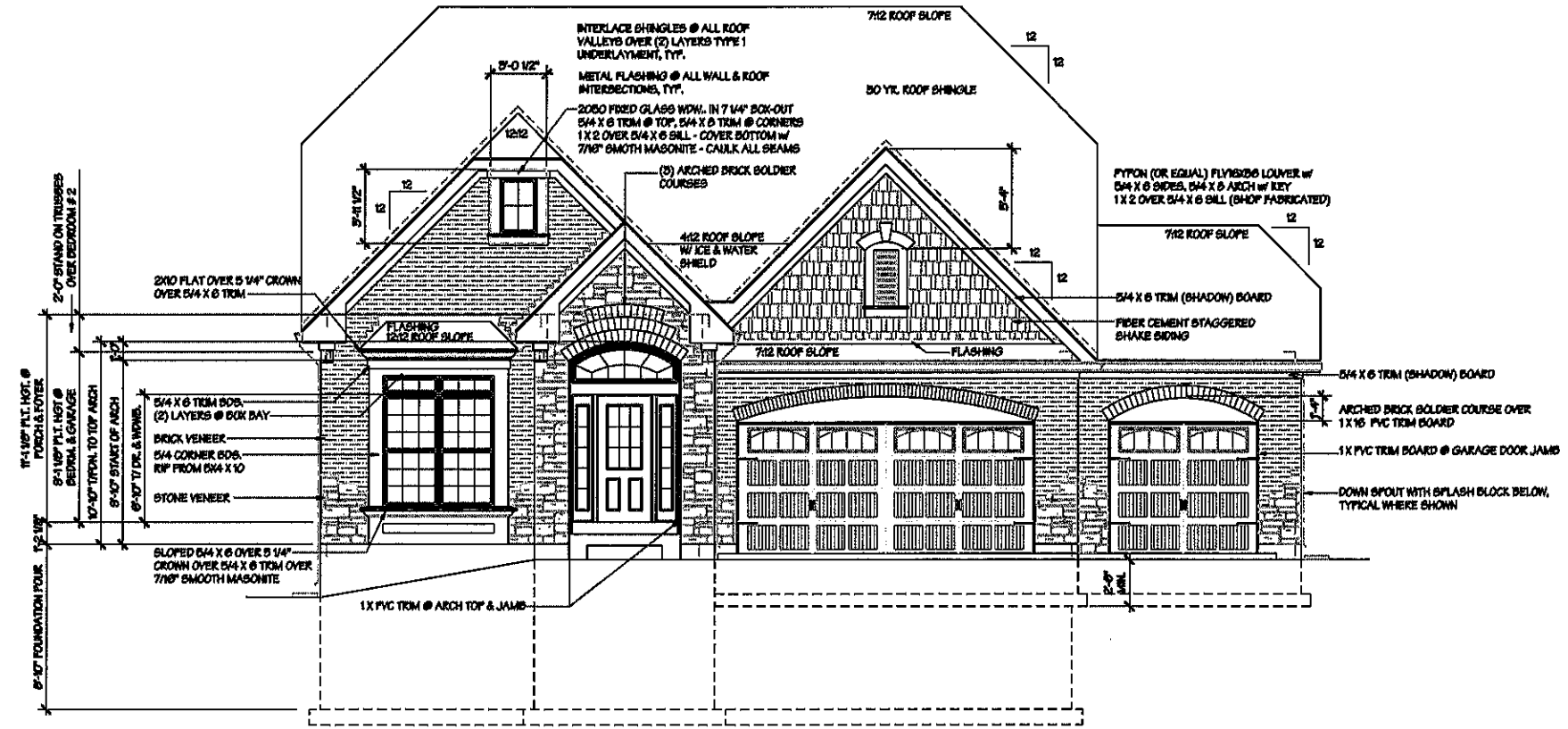
PLAN NAME:
 THE RESERVES
 PLAN "B" - "THE BOURDEAUX"

SHEET NO.
 A3b
 OF

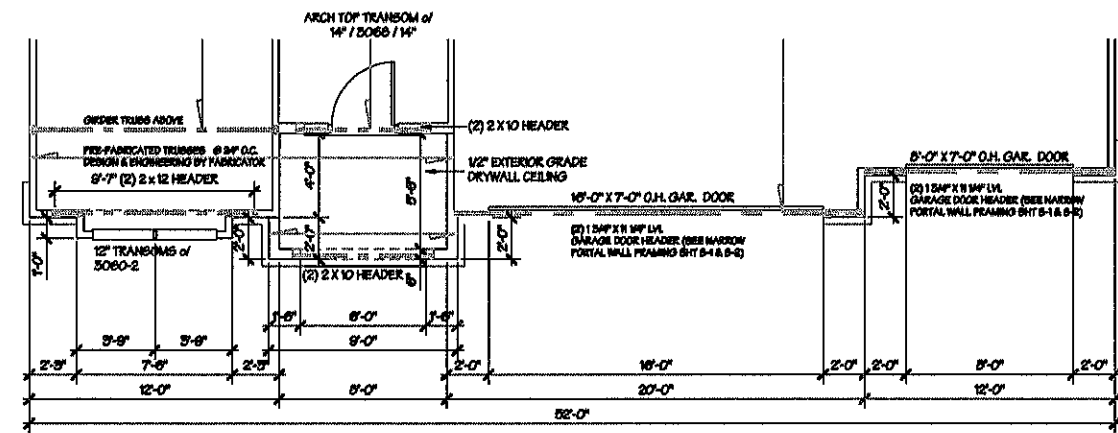
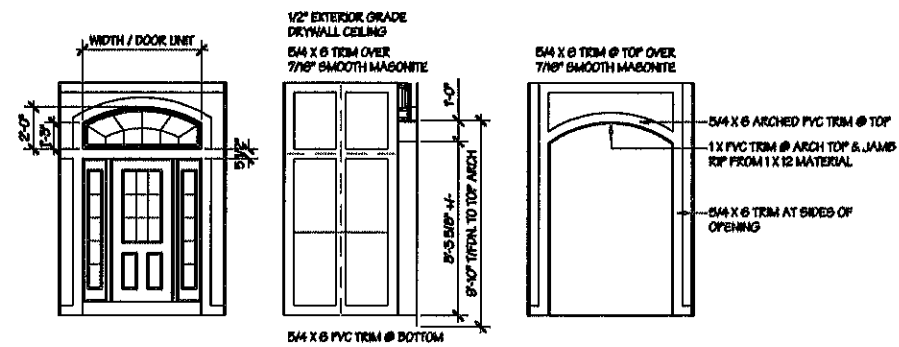
GENERAL ELEVATION NOTES:

1. ALL DOOR & WINDOW HEADERS TO BE (2) 2x10 UNLESS OTHERWISE NOTED.
2. 30 YR. ROOF SHINGLE, TYPICAL.
3. INTERLACE SHINGLES AT ALL ROOF VALLEYS OVER (2) LAYERS TYPE 1 UNDERLAYMENT (15# ROOF FELT)
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6. 5/4 x 6 PREFINISHED CORNER BOARDS AT SIDES AND REAR ELEVATIONS (SIDING COLOR) WITH PREFINISHED FIBER-CEMENT SIDING.
7. 2x6 GUTTER BOARDS (1'-4" OVERHANG) TYP. WRAPPED IN ALUM. MATERIAL WITH VENTED VINYL SOFFIT SYSTEM.
8. 2x6 RAKE BOARDS (1'-4" OVERHANG) TYP. WRAPPED IN ALUM. MATERIAL WITH VENTED VINYL SOFFITS.
9. 6" ALUM. GUTTERS - DOWNSPOUTS WITH FLASH BLOCKS BELOW (TYPICAL)
10. STANDARD JELD-WEN BUILDERS SERIES VINYL WINDOWS (PREFINISHED WHITE)

SEE GENERAL SPECIFICATIONS FOR ADDITIONAL INFORMATION.



FRONT ELEVATION "B"
 SCALE: 1/4" = 1'-0"



PARTIAL PLAN FRONT ELEVATION "B"
 SCALE: 1/4" = 1'-0"

COLOR & MATERIALS

EXTERIOR WALL SIDING:
 FINISH: VINYL AND OR HARDIE BOARD SIDING
 COLOR: "SANDSTONE BEIGE"

EXTERIOR TRIM:
 MATERIAL: PREFINISHED TRIM
 COLOR: OFF WHITE
 ALTERNATE CORNER BOARD COLOR:
 INTEGRAL VINYL COLOR

EXTERIOR STONE:
 STONE: "SOUTHERN LEDGESTONE"

DOOR/WINDOW
 FRAME: WOOD/VINYL
 TRIM: 2x6 PREFINISHED TRIM at FRONT
 COLOR: OFF WHITE
 ALTERNATE COLOR
 INTEGRAL VINYL COLOR

TRIM: 2x4 PREFINISHED at SIDE & REAR
 COLOR: OFF WHITE
 ALTERNATE COLOR
 INTEGRAL VINYL COLOR

ROOFING
 MATERIAL: "CERTAINTEED" ASPHALT SHINGLE
 COLOR: "HEATHER BLEND"



REVISIONS	BY

RJL Design & ARCHITECTURE
 5358 LAKEWOOD TERRACE
 IMPERIAL, MISSOURI 63052
 (636) 467-9200
 RJL_Design@Hotmail.com

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FRONT ELEVATION
 NEW
 JUSTICE POINTE
 CHESTERFIELD, MISSOURI

DATE: 1/31/13
 SCALE: N.T.S.
 DRAWN BY: RJL
 JOB # 1125

SHEET
A-1



FRONT ELEVATION

COLOR & MATERIALS

EXTERIOR WALL SIDING:
 FINISH: VINYL AND OR HARDIE BOARD SIDING
 COLOR: "SANDSTONE BEIGE"

EXTERIOR TRIM:
 MATERIAL: PREFINISHED TRIM
 COLOR: OFF WHITE
 ALTERNATE CORNER BOARD COLOR:
 INTEGRAL VINYL COLOR

EXTERIOR STONE:
 STONE: "SOUTHERN LEDGESTONE"

DOOR/WINDOW
 FRAME: WOOD/VINYL
 TRIM: 2x6 PREFINISHED TRIM at FRONT
 COLOR: OFF WHITE
 ALTERNATE COLOR
 INTEGRAL VINYL COLOR

TRIM: 2x4 PREFINISHED at SIDE & REAR
 COLOR: OFF WHITE
 ALTERNATE COLOR
 INTEGRAL VINYL COLOR

ROOFING
 MATERIAL: "CERTAINTEED" ASPHALT SHINGLE
 COLOR: "HEATHER BLEND"



REVISIONS	BY

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 RJL_Design@Hotmail.com

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RIGHT SIDE ELEVATION

RIGHT SIDE ELEVATION
 NEW
 JUSTICE POINTE
 CHESTERFIELD, MISSOURI

DATE:	1/31/13
SCALE:	N.T.S.
DRAWN BY:	RJL
JOB #	1125
SHEET	A-2

COLOR & MATERIALS

EXTERIOR WALL SIDING:
 FINISH: VINYL AND OR HARDIE BOARD SIDING
 COLOR: "SANDSTONE BEIGE"

EXTERIOR TRIM:
 MATERIAL: PREFINISHED TRIM
 COLOR: OFF WHITE
 ALTERNATE CORNER BOARD COLOR:
 INTEGRAL VINYL COLOR

EXTERIOR STONE:
 STONE: "SOUTHERN LEDGESTONE"

DOOR/WINDOW
 FRAME: WOOD/VINYL
 TRIM: 2x6 PREFINISHED TRIM at FRONT
 COLOR: OFF WHITE
 ALTERNATE COLOR
 INTEGRAL VINYL COLOR

TRIM: 2x4 PREFINISHED at SIDE & REAR
 COLOR: OFF WHITE
 ALTERNATE COLOR
 INTEGRAL VINYL COLOR

ROOFING
 MATERIAL: "CERTAINTEED" ASPHALT SHINGLE
 COLOR: "HEATHER BLEND"



REVISIONS	BY

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 RJL_Design@Hotmail.com

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LEFT SIDE ELEVATION
 NEW
 JUSTICE POINTE
 CHESTERFIELD, MISSOURI

DATE: 1/31/13
 SCALE: N.T.S.
 DRAWN BY: RJL
 JOB # 1125

SHEET
A-3



LEFT SIDE ELEVATION

COLOR & MATERIALS

EXTERIOR WALL SIDING:
 FINISH: VINYL AND OR HARDIE BOARD SIDING
 COLOR: "SANDSTONE BEIGE"

EXTERIOR TRIM:
 MATERIAL: PREFINISHED TRIM
 COLOR: OFF WHITE
 ALTERNATE CORNER BOARD COLOR:
 INTEGRAL VINYL COLOR

EXTERIOR STONE:
 STONE: "SOUTHERN LEDGESTONE"

DOOR/WINDOW
 FRAME: WOOD/VINYL
 TRIM: 2x6 PREFINISHED TRIM at FRONT
 COLOR: OFF WHITE
 ALTERNATE COLOR
 INTEGRAL VINYL COLOR

TRIM: 2x4 PREFINISHED at SIDE & REAR
 COLOR: OFF WHITE
 ALTERNATE COLOR
 INTEGRAL VINYL COLOR

ROOFING
 MATERIAL: "CERTAINTEED" ASPHALT SHINGLE
 COLOR: "HEATHER BLEND"



REVISIONS	BY

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REAR ELEVATION
 NEW
 JUSTICE POINTE
 CHESTERFIELD, MISSOURI

DATE: 1/31/13
 SCALE: 1/4"=1'-0"
 DRAWN BY: RJL
 JOB # 1125
 SHEET
A-4



REAR ELEVATION