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690 Chesterfield Pkwy W • Chesterfield MO 63017-0760
Phone: 636-537-4000 • Fax 636-537-4798 • www.chesterfield.mo.us

September 11, 2007

Architectural Review Board
City of Chesterfield
690 Chesterfield Parkway West
Chesterfield, MO 63017

Re: West Valley Plaza (17670 Chesterfield Airport Road): A Site Development Plan, Architectural Elevations, Landscape Plan and Architect's Statement of Design for a 2.05 acre parcel located at 17670 Chesterfield Airport Road, west of the intersection of Long Road and Chesterfield Airport Road.

Dear Board Members:

Studio One Architecture has submitted, on behalf of Spirit 40 Group, a Site Development Plan, Architectural Elevations, Landscape Plan and Architect's Statement of Design for the above referenced project. The Department of Planning and Public Works has reviewed this request and submits the following report.

Submittal Information

The request is for a retail center, located on a 2.05 acre parcel zoned "PC" Planned Commercial District. The parcel is governed by the terms and conditions of City of Chesterfield Ordinance Number 2362. The exterior building materials will be comprised of masonry, glass and EIFS. The roof will be a flat roof of modified bitumen. Please see the attached checklist to review the project's compliance with the City of Chesterfield's Design Guidelines.

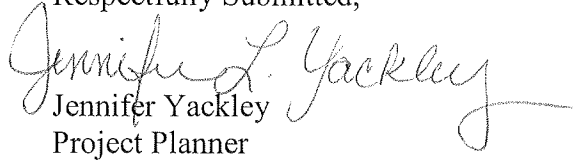
Departmental Input

The submittal was reviewed for compliance with the City of Chesterfield's Design Guidelines and City of Chesterfield Ordinance Number 2362. Landscape, lighting and signage are being addressed through the site development plan review process for adherence to the City Code.


Actions Requested

The Department of Planning and Public Works requests action by the Architectural Review Board on the information presented.

Respectfully Submitted,


Jennifer Yackley
Project Planner

Respectfully Submitted,


Aimee Nassif
Senior Planner

Attachments

1. ARB Design Review Checklist
2. Architectural Review Packet Submittal

CITY OF CHESTERFIELD
Design Guidelines: Review Checklist

Project Name: West Valley Plaza

Date of Review: September 11, 2007

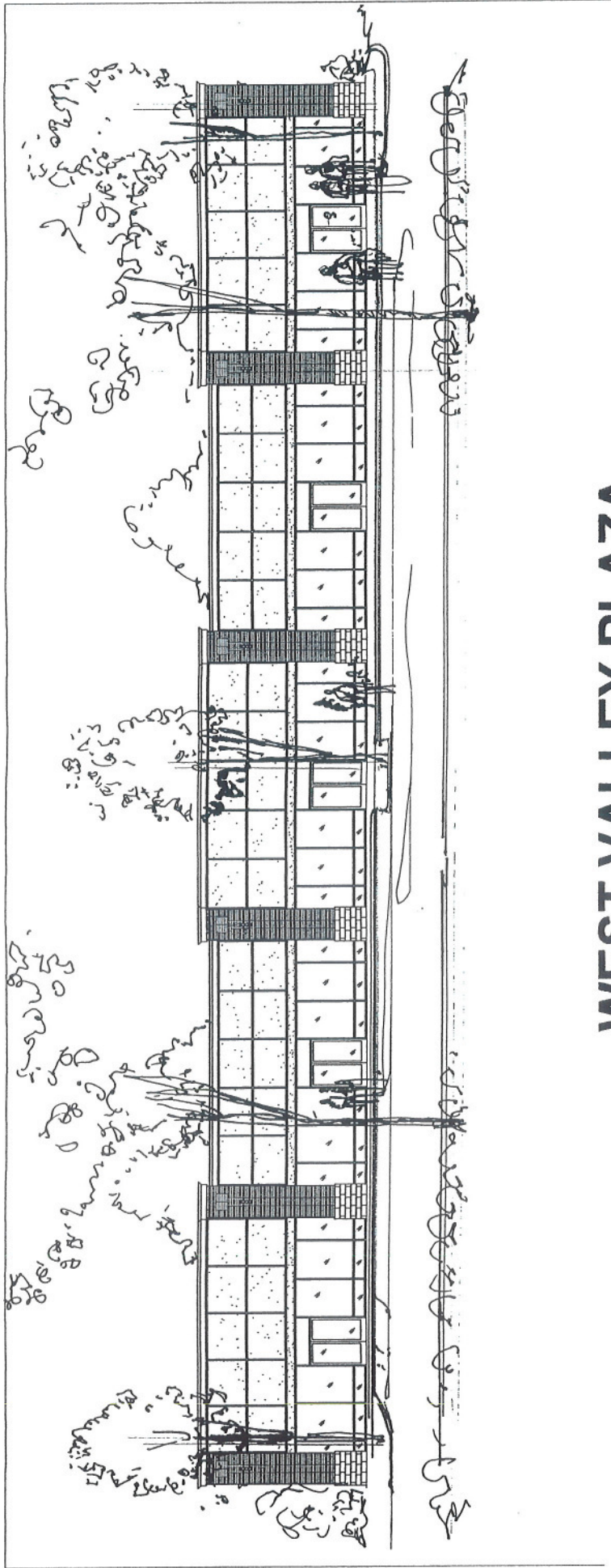
Guideline Description	Addressed as Written	Addressed with Modification (1)	Comments and Reference (2)
CHAPTER ONE: Site Layout			
A. Physical Features	X		
B. Vegetation	X		
C. Site Relationships	X		
D. Pedestrian & Vehicular Circulation	X		
E. Pedestrian Orientation	X		
CHAPTER TWO: Building all Structures			
I. All Structures:			
A. General Architectural Guidelines	X		

Guideline Description	Addressed as Written	Addressed with Modification (1)	Comments and Reference (2)
B. Scale	X		
C. Design	X		
D. Relation to Adjacent Development	X		
E. Material/Colors	X		
II. Residential Structures:			
A. General Residential Architecture	N/A		
B. Multiple-Family Architecture	N/A		
III. Non-residential Structures:			
A. General	X		
B. Building Equipment Service	X		
C. Fast Food Restaurant Guidelines	N/A		
D. Auto Service Station Guidelines	N/A		
E. Shopping Center Guidelines	X		
F. Chesterfield Valley Guidelines	X		

Guideline Description	Addressed as Written	Addressed with Modification (1)	Comments and Reference (2)
CHAPTER THREE: Landscape Design			Landscaping is being reviewed during site development plan review for adherence to the City Code.
CHAPTER FOUR: Miscellaneous			
A. Signage			Will be reviewed under a separate process.
B. Lighting			Lighting is being reviewed during site development plan review for adherence to City Code.
C. Utilities	X		
D. Stormwater Drainage	X		
E. Energy Conservation	X		
F. Screening (Fences & Walls)	X		

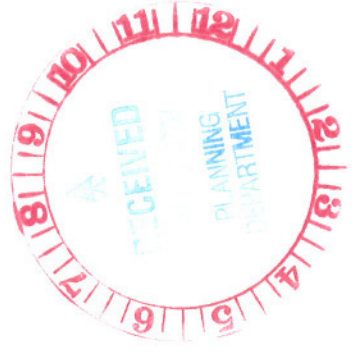
Notes:

- (1) A check in this column refers to the item being addressed in the submission, but with potential variation from the guidelines that review by the Board is specifically requested.
- (2) *Comments* provide additional information regarding the status of specific design guidelines. *Reference* is to the specific Architectural Review guideline as stated in the booklet entitled *Architectural Review Process*, Amended May 2001.



WEST VALLEY PLAZA

ARCHITECTURAL REVIEW BOARD APPLICATION



August 31, 2007

City of Chesterfield
DEPARTMENT OF PLANNING
Chesterfield, MO 63017



Re: West Valley Plaza
Application for Architectural Review

On behalf of the owners, Spirit 40 Group, LLC, we are submitting this application for architectural review with the following attached documents:

- Completed Application Form
- Color Site Plan
- Site Location Map
- Color Elevations for all building faces
- Color Rendering
- Photo's reflecting all views of adjacent uses and sites
- Details for screening for trash enclosures
- Architect's statement that clearly identifies how each item in Design Guidelines has been addressed
- Landscape Plan
- Governing ordinance requirement

In addition, we will bring to the meeting material samples of the products to be used on the exterior of the building and we will be prepared to respond to any further questions you may have regarding the proposed development.

DESIGN AND CONSTRUCTION TEAM

Spirit 40 Group, L.L.C
Rhodey & Son Construction Company, Inc.
Studio One Architecture, Inc.
Civil Engineering Design Consultants, Inc.

Tammy McLaughlin, Owner
Ronald J. Unterreiner, VP
R. Tim Short Architect RA
Brandon A. Harp, P.E.



City of Chesterfield

DEPARTMENT OF PLANNING



APPLICATION FOR ARCHITECTURAL REVIEW

Prior to submitting an application to the Department of Planning for review by the Architectural Review Board, the Petitioner is strongly urged to discuss their project with their Project Planner. For questions about this application, please contact the "Planner of the Day" at 636-537-4733.

For information about this and other projects under review by the Department of Planning, please visit "Planning Projects" at www.Chesterfield.mo.us.

Check application type:

- Site Plan
- Site Development Plan
- Site Development Concept Plan
- Site Development Section Plan
- Amend Elevations
- Amended Site Plan
- Amended Site Development Plan
- Amended Site Development Concept Plan
- Amended Site Development Section Plan
- Other (specify): _____

Definitions

- **Site Plan:** Plan for non-residential development over 1,000 square feet *not* in a planned district.
- **Site Development Plan:** Plan for development in planned districts that is being done in one phase.
- **Site Development Concept Plan:** Conceptual plan for development in planned districts being done in phases. A Concept Plan provides an overall picture of a development that is being divided into sections to be developed in phases.
- **Site Development Section Plan:** Phased sections of a Concept Plan.

I. APPLICANT INFORMATION

Project Name: WEST VALLEY PLAZA

Development Firm: SPIRIT 40 GROUP, L.L.C.

Architectural Firm: STUDIO ONE ARCHITECTURE, INC.

Engineering Firm: CIVIL ENGINEERING DESIGN CONSULTANTS, INC

Approximate Location of Project: 17670 CHESTERFIELD AIRPORT RD,
CHESTERFIELD INDUSTRIAL PARK, JUST WEST OF LONG RD.

Record: SPRIT 40 GROUP
Address: 17543 CHESTERFIELD AIRPORT ROAD
City: CHESTERFIELD State: MO Zip: 63017
Tel.: 636-733-2352 Fax: _____

*Attach additional sheets as necessary.

Applicant, if other than owner(s): OWNER
Address: _____
City: _____ State: _____ Zip: _____
Tel.: _____ Fax: _____

Legal Interest: _____
(Provide date of contract and date of expiration of contract)
*Attach additional sheets as necessary.

II. PROJECT STATISTICS

Acreage: 2.05 Gross Floor Area: 13.024 Building Height: 20'0"
Existing Overlay Districts: Check (✓) all that apply [] C.U.P. [] C.S.P. [] L.P.A.
Proposed Usage: RETAIL CENTER
Exterior Building Materials: MASONRY, GLASS, EIFS
Construction Type: 3B
Roof Material and Design: MODIFIED BITUMEN, VINYL REFUSE SCREEN
Building Setbacks: Front Yard: 140' Side Yard: 30, 25 Rear Yard: 80'
Max. Building Height: 20' Min. Lot Requirement: _____
Description of art or architecturally significant features (if any): N/A

Screening Material and Design: _____
Additional Project Information, if any: _____

III. ZONING

Current Zoning District: P.C. ORD 2362
Existing Uses(s) on property: VACANT
Proposed Use(s) on property: RETAIL
Proposed Development Intensity: .15 FAR du / sf (circle one)*

* du = Dwelling Units (Residential or Hotel/Motel) sf = square feet (Commercial, Industrial)

IV. SITE SPECIFIC GUIDELINES

Landscape Guidelines: _____ Residential: _____ Commercial: _____ Institutional: _____
 Is the property located in a Chesterfield Valley Sub-Area? If yes, circle one: **(1)** 2 3 4
 Any site-specific design guidelines: _____

V. ADJACENT PROPERTY

Identify surrounding land uses and zoning designations. Include existing/approved square footage or number of dwelling units, type of units, and density.

Property	Land Use	Zoning	Existing Use	Approved Use <small>(use separate sheet as needed)</small>
North	RETAIL		RETAIL	RETAIL
South	OFFICE-WH	M-3	OFFICE-WH	OFFICE ORD. 13.781
East	OFFICE	PI	OFFICE	OFFICE ORD 1454
West	BANKING	M-3	BANKING	BANKING ORD 13.781

VI. PARTIES OF INTEREST

Principal Contact: TAMMY McLAUGHLAN Title: OWNER
 Address: 17543 CHESTERFIELD AIRPORT RD.
 City: CHESTERFIELD State: MO Zip: 63005
 Tel.: 636-733-2352 Fax: _____
 Email: BELLAFRAMING@SBCGLOBAL.NET

Other Contact: RON UNTERREINER RHODEY & SON Construction Co.
 Address: 7544 MINTERT INDUSTRIAL DRIVE
 City: ST. LOUIS State: MO Zip: 63135
 Tel.: 314-521-0022 Fax: 314-521-7122
 Email: RUNTERREINER@RHODEY-SON.COM

Other Contact: TIM SHORT STUDIO ONE ARCHITECTURE, INC
 Address: 4671 HIGHWAY 2
 City: WENTZVILLE, State: MO Zip: 63385
 Tel.: 636-398-6162 Fax: 636-398-6155
 Email: STUDIOUNO@AOL.COM



City of Chesterfield



ARCHITECTURAL REVIEW BOARD

Architectural Review Submittal Checklist

Plans shall be submitted no larger than 11 X 17. If necessary, plant schedules and other notes may be submitted on separate pages. All exhibits shall be scaled and legible.

This checklist must be included in the packet of material submitted to be reviewed.

- Color site plan with contours, site location map, and identification of adjacent uses.
- Color elevations for all building faces.
- Color rendering or model reflecting proposed topography.
- Large exterior material samples. *
- Photos' reflecting all views of adjacent uses and sites.
- Details for screening, retaining walls, etc. * *TRASH ENCLOSURES*
- Section plans highlighting any building off-sets, etc.
- Architect's statement that clearly identifies how each item in Design Guidelines has been addressed.
- Landscape plan.
- Any other exhibits which would aid understanding of design proposal.
- Governing ordinance requirements.

* Denotes that item will be brought to meeting by the petitioner



ARCHITECTURAL REVIEW BOARD
Project Statistics Application

Project Title: WEST VALLEY PLAZA

Developer: SPIRIT 40 GROUP Architect: STUDIO ONE BRUFF Engineer: CEDC

Location: 17670 CHESTERFIELD AIRPORT RD.

PROJECT STATISTICS:

Size of site (in acres): 2 AC. +/- Total Square Footage: 13,024 Building Height: 20'-0"

Proposed Usage: RETAIL CENTER

Exterior Building Materials: MASONRY, GLASS EIFS

Construction Type: 3B

Roof Material & Design: MOD. BITUMEN. (FLAT ROOF)

Screening Material & Design: LANDSCAPE MATERIALS, VINYL REFUSE SCREEN,

Landscape Guidelines: Commercial Institutional Valley Residential

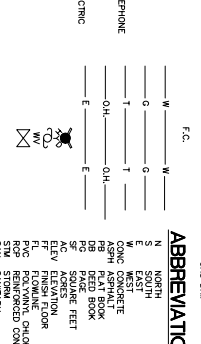
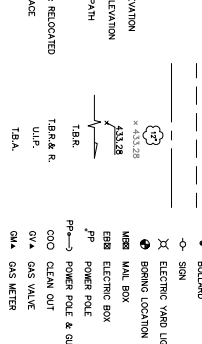
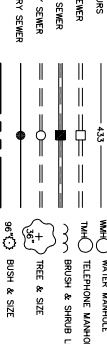
Building Setbacks: 40' Front 30,35 Side 80 Rear 20' Max Bldg Ht. 1 Min. Lot Req.

Description of art or architecturally significant features (if any): NA.

ADDITIONAL PROJECT INFORMATION:

G/Planning/Procedure Manual (Public)/ARB/Project Statistics App./01-P1 of 1
G/Planning/ARB/Arch. Review Book/Project Statistics App.

LEGEND



OWNER OF THE PROPERTY shown on this plan for and in the event of any grant to develop property under the provisions of Chapter 1001, RSMo, is the City of Chesterfield, Missouri.

City Name: Chesterfield, Missouri. Date: 04/11/2011. This is to certify that the Plan is a correct representation of all...

LEGAL DESCRIPTION: A TRACT OF LAND BEING LOT 1-C OF THE BOUNDARY ADJUSTMENT PLAN OF LOT 1-C AND 1-B OF A RESUBDIVISION OF LOT 1 OF THE RESUBDIVISION OF INDUSTRIAL LOT 31 AT A LOT SPLIT PLAN OF ADJUSTED LOT 1-A OF A...

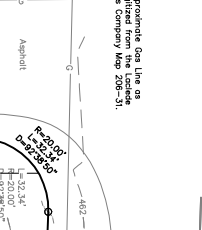
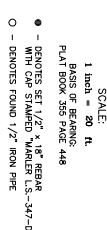
LEGAL DESCRIPTION (continued): A TRACT OF LAND BEING LOT 1-C OF THE BOUNDARY ADJUSTMENT PLAN OF LOT 1-C AND 1-B OF A RESUBDIVISION OF LOT 1 OF THE RESUBDIVISION OF INDUSTRIAL LOT 31 AT A LOT SPLIT PLAN OF ADJUSTED LOT 1-A OF A...

LEGAL DESCRIPTION (continued): A TRACT OF LAND BEING LOT 1-C OF THE BOUNDARY ADJUSTMENT PLAN OF LOT 1-C AND 1-B OF A RESUBDIVISION OF LOT 1 OF THE RESUBDIVISION OF INDUSTRIAL LOT 31 AT A LOT SPLIT PLAN OF ADJUSTED LOT 1-A OF A...

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SYMBOLS



OWNER OF THE PROPERTY shown on this plan for and in the event of any grant to develop property under the provisions of Chapter 1001, RSMo, is the City of Chesterfield, Missouri.

City Name: Chesterfield, Missouri. Date: 04/11/2011. This is to certify that the Plan is a correct representation of all...

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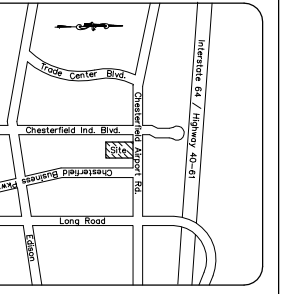
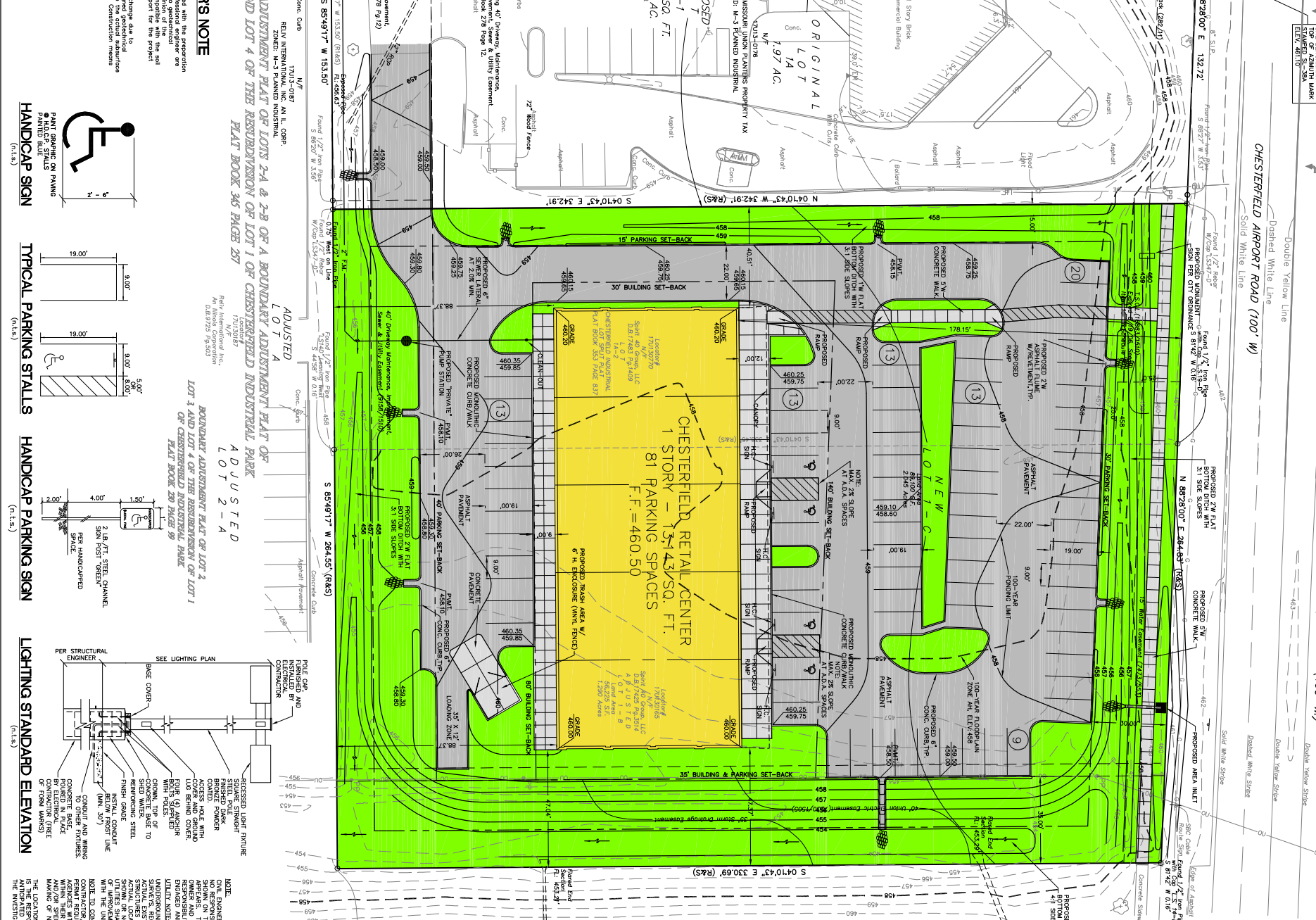
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SITE DEVELOPMENT PLAN

NEW LOT 1-C OF A BOUNDARY ADJUSTMENT PLAN OF LOTS 1-A AND 1-B OF A RESUBDIVISION OF LOT 1 OF THE RESUBDIVISION OF INDUSTRIAL PARK (P.B. 355 PG. 448) CHESTERFIELD INDUSTRIAL PARK (P.B. 355 PG. 448) TWP 45-N, R.384-E ST. LOUIS COUNTY, MISSOURI



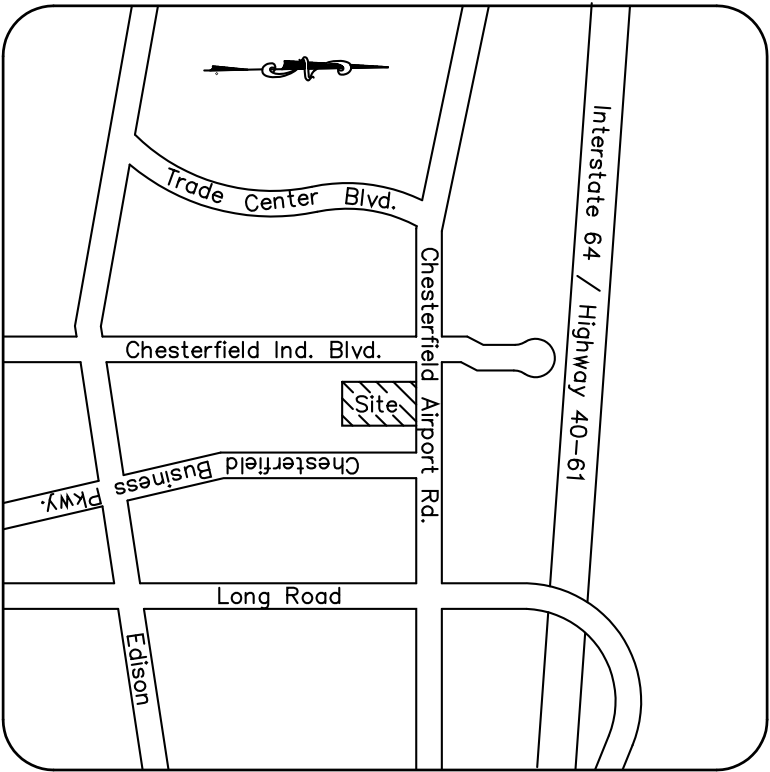
PROPERTY DATA: OWNER: SPIRIT 40 GROUP, L.L.C. ADDRESS: 17670 CHESTERFIELD AIRPORT ROAD, SAINT LOUIS, MISSOURI 63126. EXISTING ZONING: P-C PLANNED COMMERCIAL. PROPOSED ZONING: P-C PLANNED COMMERCIAL.

- GENERAL NOTES: 1) UTILITIES SHOWN HAVE BEEN LOCATED BY THE ENGINEER FROM APPROXIMATE RECORD INFORMATION AND THE RESPONSIBILITY TO OBTAIN APPROXIMATE RECORD INFORMATION AND THE RESPONSIBILITY TO OBTAIN ALL UTILITIES COMPANIES FROM THE CONSTRUCTION TO HAVE CONFORMED WITH THE ASSOCIATED ONE CALL SYSTEM.

- DENSITY CALCULATIONS: 18) DENSITY CALCULATIONS: X 100 = 66.88. 19) NO. OF ONE-SIDE ILLUMINATION SOURCE SHALL BE SO SIZED THAT EACH POINT OF LIGHTING SHALL BE AT LEAST 100 FC. ALL DIMENSIONS OF SECTION 100.330 STREET AND PARKING AREA SHALL BE AS SHOWN ON THIS PLAN UNLESS SPECIFICALLY APPROVED BY THE CITY OF CHESTERFIELD.

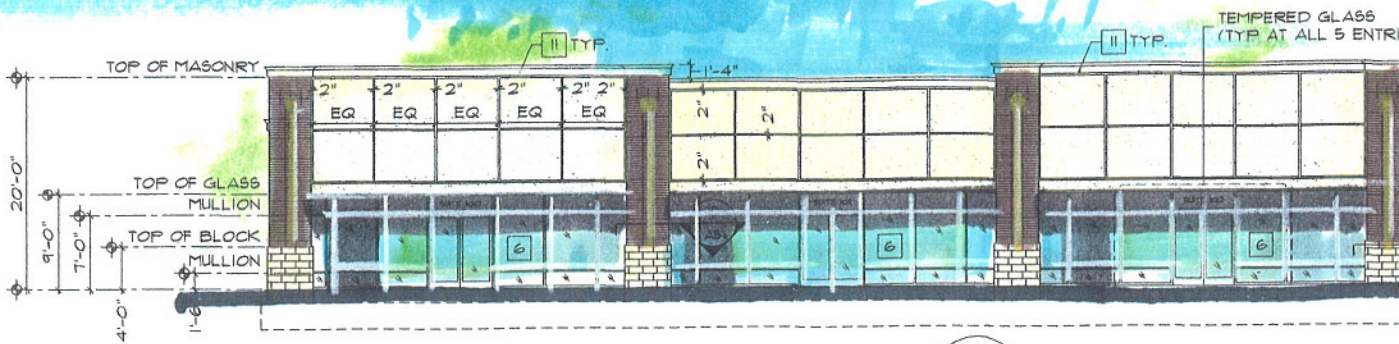
NOTE: ENGINEERING DESIGN CONSULTANTS, INC. AND THE UNDERSIGNED ENGINEER HAVE CONDUCTED VISUAL INSPECTIONS OF THE SITE AND THE INFORMATION SHOWN ON THIS PLAN AND THE INFORMATION SHOWN ON THIS PLAN IS BASED ON THE INFORMATION SHOWN ON THIS PLAN AND THE INFORMATION SHOWN ON THIS PLAN.

Site Development Plan West Valley Plaza 17670 Chesterfield Airport Road Chesterfield, Missouri 63005 CIVIL ENGINEERING DESIGN CONSULTANTS, INC. 11402 GRAVVOIS ROAD SUITE 100 SAINT LOUIS MISSOURI 63126

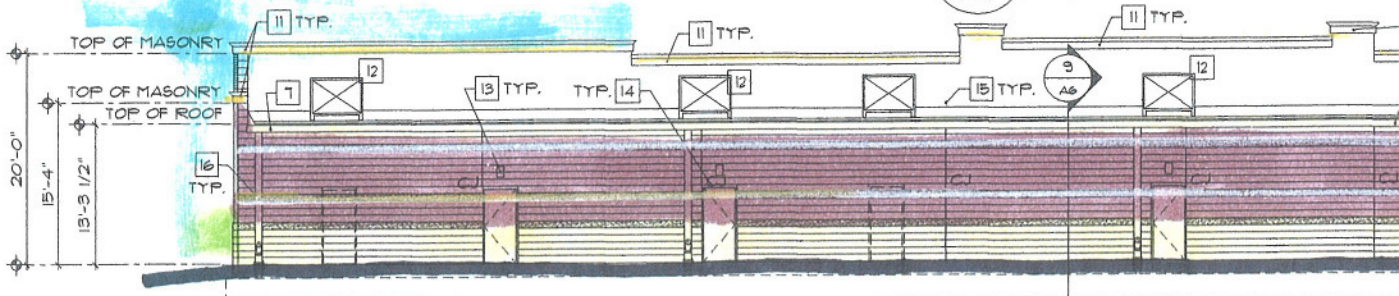


LOCATION MAP

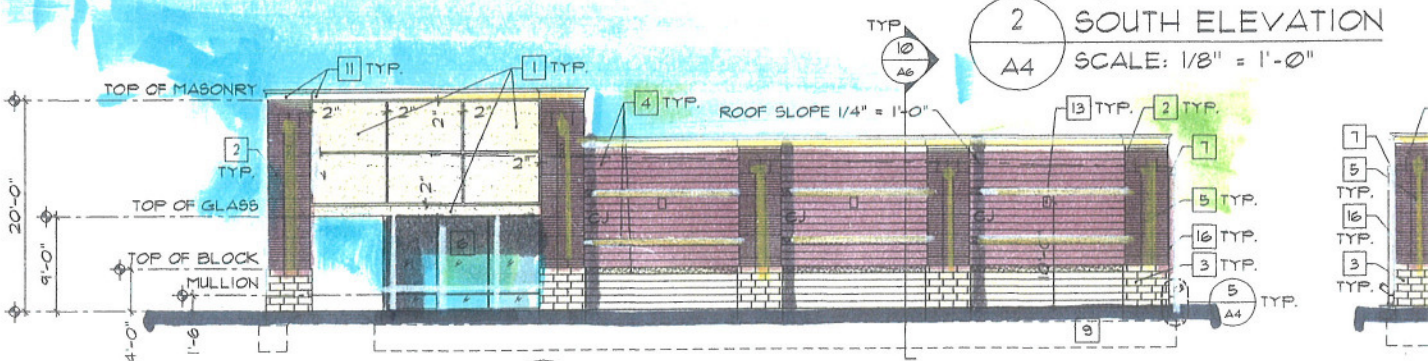
NOT TO SCALE



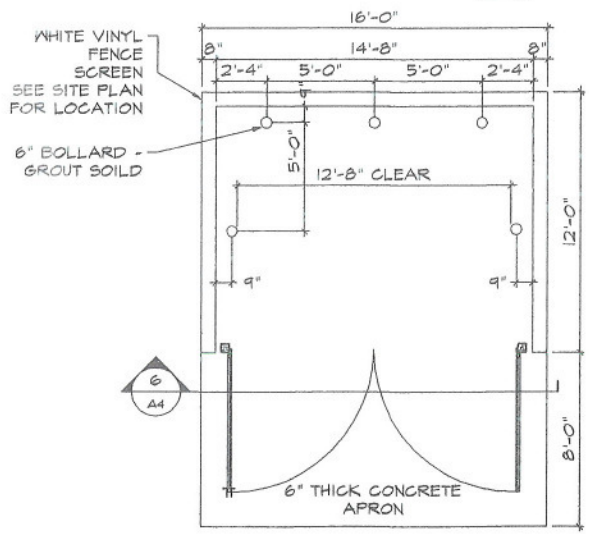
1 NORTH ELEVATION
A4 SCALE: 1/8" = 1'-0"



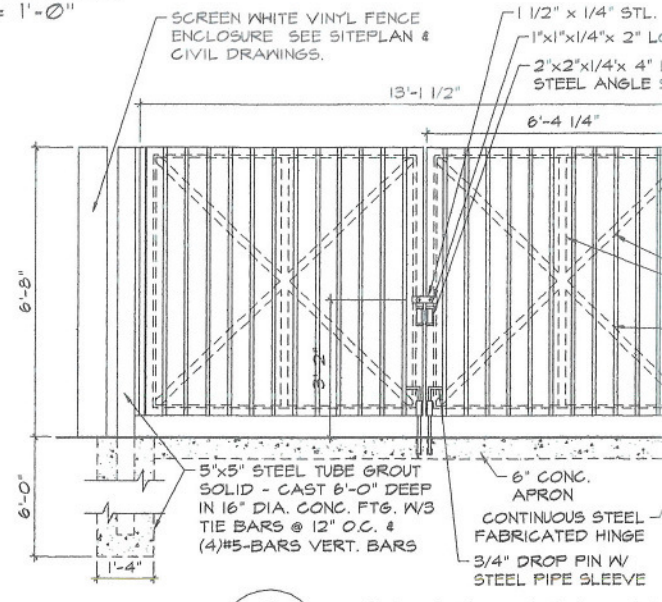
2 SOUTH ELEVATION
A4 SCALE: 1/8" = 1'-0"



3 WEST ELEVATION
A4 SCALE: 1/8" = 1'-0"



5 DUMPSTER PLAN
A4 SCALE: 1/4" = 1'-0"



6 DUMPSTER ELEVATION
A4 SCALE: 1/4" = 1'-0"

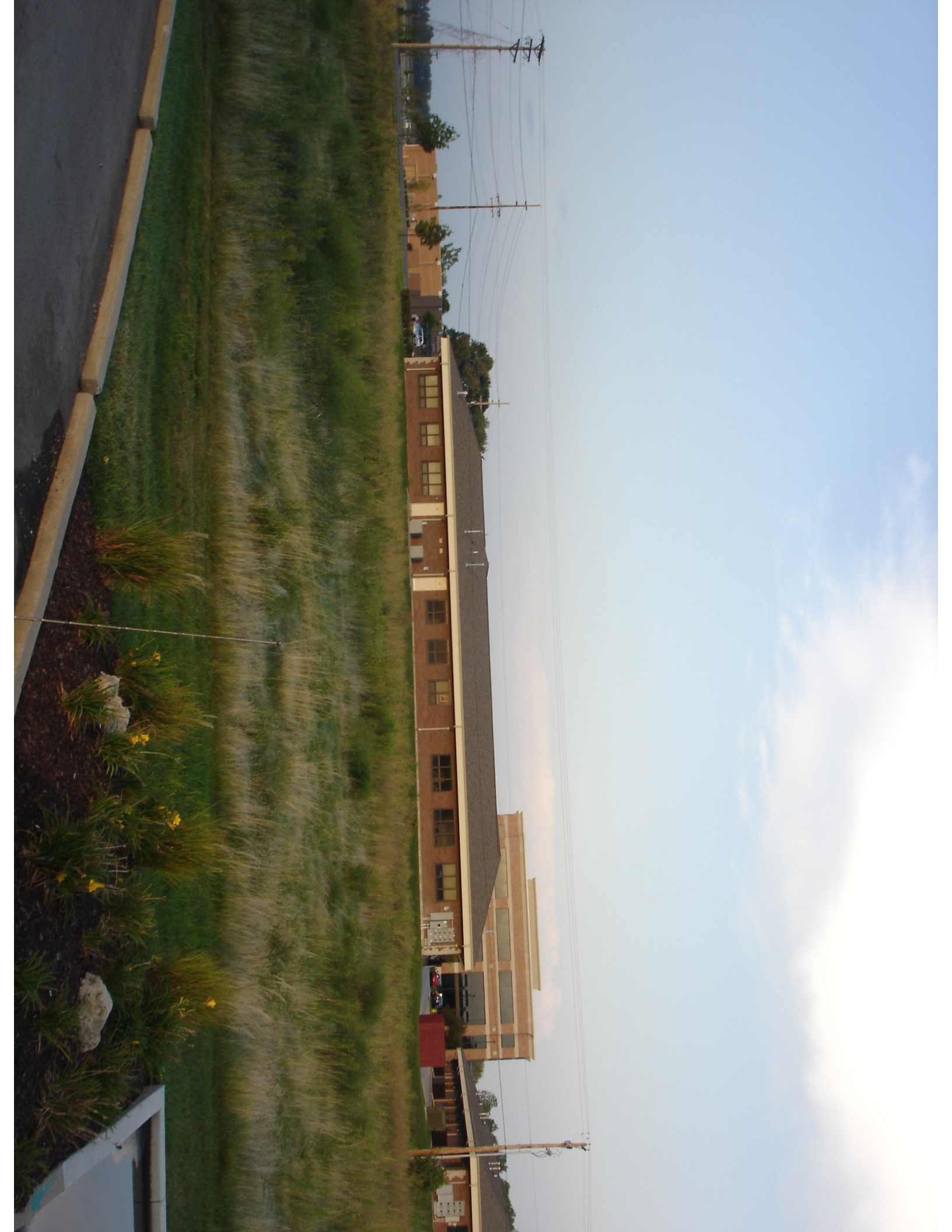


West Valley Plaza

West Valley Plaza

17670 Chesterfield Airport Road
Chesterfield Industrial Park
Chesterfield, MO 63017









National Wood Learning Association

REDFERNS



Wentzville, MO. 63385

INC.

4671 Highway Z

636.398.6155

636.398.6162 FAX

email:

studiouno@aol.com

City of Chesterfield
690 Chesterfield Parkway
Chesterfield, MO. 63017-0760
636.537.4743 FX 636.537.4798
ATTN: Jennifer Yackley
Project Planner

West Valley Plaza
17670 Chesterfield Airport Road
Chesterfield MO.
P.Z.03-2007

August 20,2007

Dear Jennifer:

Please find the requested response comments for the Architectural review board submittal. The design guidelines have been met and I will outline each section and how they were incorporated into the design of the project.

Non Residential Architecture

A. General

1. The rear and sides have been designed with similar details and materials as the front façade.
2. Defined outdoor spaces such as a covered walkway, and site sidewalks.
3. Long unarticulated facades have been avoided by the incorporation of an arcade, pilasters and columns.
4. This is a single story building that has been designed to articulate the top with a cap band and the base with an accent masonry level.

B Building Equipment and Service

1. The dumpster is located at the rear of the suite and is screened from view.
2. Building equipment is located on the roof and is inset and is screened by parapets for all primary facades. All meter bases will be located at the rear of the building.
3. NA
4. Utility gas and electric meters are located at the rear of the project on the south façade.

E. Shopping Center Guidelines

1. The design has been based unified into conceptual whole thru the use of masonry, massing and design elements that dialogue consistently on all facades.
2. Excessive parking has been avoided on the front. It has been broken up with landscape elements.

3. NA
4. NA
5. Truck service access is at the rear of the site but this project only has one access drive
6. Colored paving patterns have been incorporated to meet the ADA requirements at transitions thru the lot.
7. NA
8. NA
9. NA

F. Chesterfield Valley Guidelines

1. The facades that are seen from Highway US40 are masonry and EIFS with vertical columns that accent the main façade element. The building has been viewed as a multi-viewed building so the façade elements turn the corner and engage the east and west views with a similar vocabulary of architectural elements.
2. The buildings will be lit from indirect under canopy lighting at the front arcade. The columns will have accent sconces and pilasters will have accent fixtures centered on the walls on the east and west facades.
3. Monument and façade signage is all that will be applied for on this project.
4. NA
5. NA
6. NA
7. There have been sidewalks incorporated into the design.
8. All utilities will be located underground.
9. See design data below.
10. Open space exceeds the minimum.
11. Landscape has been designed to meet or exceed requirements.

The Architectural guidelines have been designed with a level of scale and detail, which will articulate the different facades of the building. The side elevations have been accented with a series of projected piers in masonry and highlighted with horizontal coursing and wall sconces. The front façade has a series of bays and a covered canopy, which has been designed with ample depth to provide for the potential of seating and pedestrian traffic. The rear façade uses the same elements of accent base and masonry walls to continue the material palette thru from the front and sides.

- A. Scale (Human proportion) has been designed into the building by the use of the classic proportions of base, shaft and capital. The building utilizes a lighter color accent base at 3 feet then the piers are brought up in deep red masonry to the cornice, which again is contrasting in a lighter buff color to match the base. The walls are articulated with projecting piers and textures, which break up the more utilitarian walls that would be flat if built in the same monolithic material.

- B. Design has been created to provide a functional backdrop for the retail operations within. The parapet has been built into the design to provide rooftop screening from all primary facades without losing the sense of human scale and proportion to the building. The building uses a variety of materials, which allow for diversity but the colors and details unify the overall project into a holistic development.

- C. The relationship to adjacent is thru materials and scaling of building elements. The retail/office projects and bank are single story and reflect the similar massing of this project. The material palettes are similar but not repetitive. Ample site links have been installed with the project to provide excellent pedestrian connectors to the chesterfield valley neighbors.

- D. The materials and colors have been selected to harmonize with the environment as well as create a building that has strong street presence thru light, color and dignity of scale. The landscaping integrates into the neighboring scheme of plant types which provides a pleasing buffer from cars and parking to the general public while allowing for framed views which will highlight the retail entities which are located into the West Valley Plaza.

Please call me with any questions.
Thanks for your review.

Respectfully Submitted,

R. Tim Short Architect RA,NCARB
Studio One Architecture Inc.

CC: Tammy at Bella/file

Celebrating 22 Years of Creating Architectural Solutions for your business!

Established in 1985



Wentzville, MO. 63385

INC.

4671 Highway Z

636.398.6155

636.398.6162 FAX

email:

studiouno@aol.com

City of Chesterfield
690 Chesterfield Parkway
Chesterfield, MO. 63017-0760
636.537.4743 FX 636.537.4798
ATTN: Jennifer Yackley
Project Planner

West Valley Plaza
17670 Chesterfield Airport Road
Chesterfield MO.
P.Z.03-2007

August 20,2007

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- C. Design has been created to provide a functional backdrop for the retail operations within. The parapet has been built into the design to provide rooftop screening from all primary facades without losing the sense of human scale and proportion to the building. The building uses a variety of materials, which allow

for diversity but the colors and details unify the overall project into a holistic development.

- D. The relationship to adjacent is thru materials and scaling of building elements. The retail/office projects and bank are single story and reflect the similar massing of this project. The material palettes are similar but not repetitive. Ample site links have been installed with the project to provide excellent pedestrian connectors to the chesterfield valley neighbors.

- E. The materials and colors have been selected to harmonize with the environment as well as create a building that has strong street presence thru light, color and dignity of scale. The landscaping integrates into the neighboring scheme of plant types which provides a pleasing buffer from cars and parking to the general public while allowing for framed views which will highlight the retail entities which are located into the West Valley Plaza.

Please call me with any questions.
Thanks for your review.

Respectfully Submitted,

R. Tim Short Architect RA,NCARB
Studio One Architecture Inc.

CC: Tammy at Bella/file

Celebrating 22 Years of Creating Architectural Solutions for your business!
Established in 1985



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690 Chesterfield Parkway
Chesterfield, MO. 63017-0760
636.537.4743 FX 636.537.4798
ATTN: Jennifer Yackley
Project Planner

West Valley Plaza
17670 Chesterfield Airport Road
Chesterfield MO.
P.Z.03-2007

September 7, 2007

Dear Jennifer:

Please find the additional requested response comments for the Architectural review board submittal.

The City of Chesterfield design guidelines from May 1999 Amended May 2001 have been met and I will outline each section and how they were incorporated into the design of the project.

Chapter One / Site Layout

A. Physical Features

The site has been designed to minimize changes to the existing topography. The only changes have been designed to achieve a finish building floor elevation out of the flood plain.

The grading has been designed to slope all water to the existing drainage easement on grade.

B. Vegetation

The landscape design has been incorporated into the building design and used as a buffer from the parking lot. The landscape designer is the firm Landscape Technologies , owned by Mr. Randall Martis. They have designed many projects in this region and have utilized there design of native plants as well as landscape material that will harmonize with the building.

C. Site Relationship

The building and site have been designed to integrate within their existing environment. There has been a deep covered arcade designed to the front of the building to provide weather protection as well as the potential for a covered patio for retail related uses.

The rear service areas have been located at the rear of the building to screened to avoid unattractive loading aesthetics.

D. Pedestrian and Vehicular Circulation

There is a pedestrian walkway that will tie the West Valley Center into the sidewalk system of the Valley. It leads to the front arcade of the building. The trash screen is designed to eliminate dumpster views. There is a shared access driveway that arrives at the center that is shared with the adjacent bank.

The owner has ample access on the arcade for a future bike rack if the need arises.

E. Pedestrian Orientation

The pedestrian walks will provide ample access around the building. The signage of the building is coordinated with the planting design to provide ample visual access to the building retail options at a glance as one views the center from the road.

Chapter Two (previously submitted)

Chapter Three / Landscape Design

The landscape designer is the firm Landscape Technologies owned by Mr. Randall Martis. His concept provided a variety of plant types on the site that highlighted the various elements of the building design.

The layering of larger perimeter plants at the property lines and the lower level plants on site allow the building and its signage elements to be highlighted and visible. The landscaping buffers the site and frames views of adjacent developments.

The variety of plant species will provide seasonal colors as well as a green backdrop throughout the years.

Chapter Four / Miscellaneous

The signage will be integrated into the sign bands on the east north and west facades. There will be a planned ground monument sign that will be designed in masonry to reflect the building architecture.

The site lighting is provided by several sources from parking lot pole lights to wall packs at the service area to wall mounted architectural lights that will highlight the pilasters and bays on the east and west facades.

Utilities and their meter bases have been located in unobtrusive areas of the building. All main lines have been routed underground also.

Storm water drainage has been routed on grade to the drainage easement located on the east portion of the site.

The building has been designed with energy ratings that will meet or exceed the building codes. The front glazing has been upgraded to insulated glass and will provide a very efficient building envelope.

The dumpster screen has been provided in white vinyl fencing as requested by the City. Also the rooftop units have been centrally located and parapets have been elevated to provide ample visual screening from all prominent vantage points.

Thanks for your review.

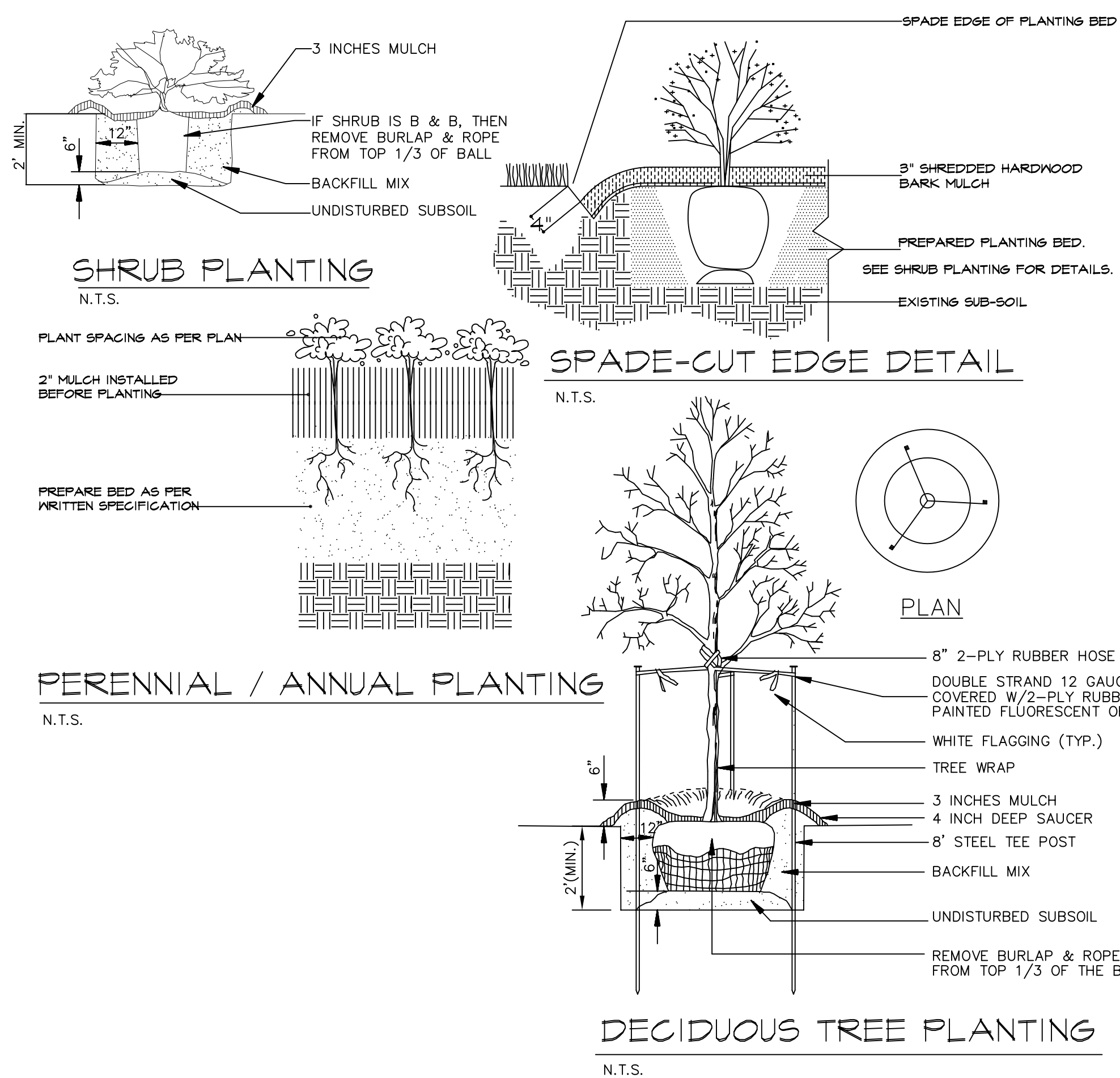
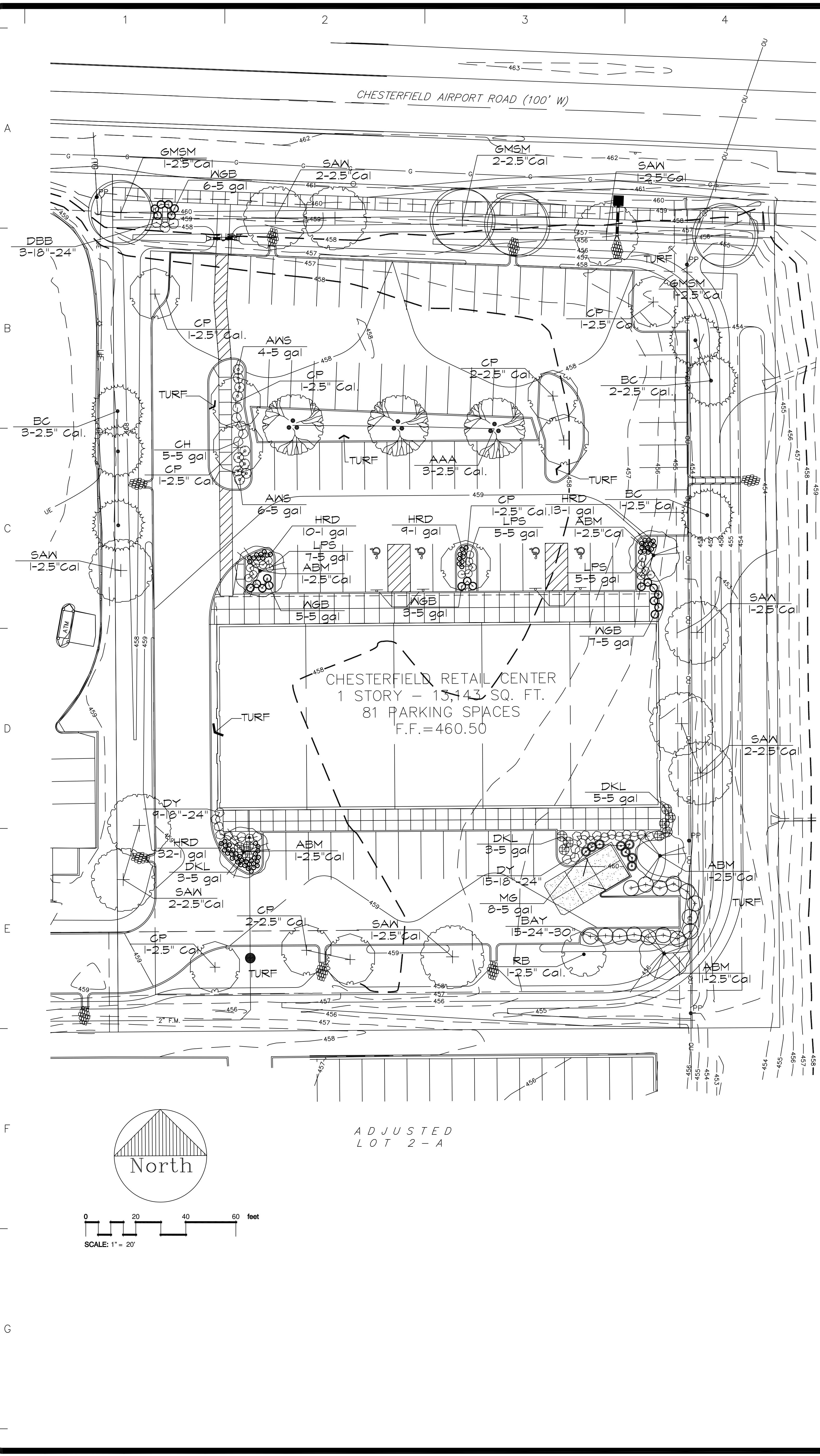
Respectfully Submitted,

**R. Tim Short Architect RA,NCARB
Studio One Architecture Inc.**

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- NOTES:**
- All natural vegetation shall be maintained where it does not interfere with construction or the permanent plan of operation. Every effort possible shall be made to protect existing structures or vegetation from damage due to equipment usage. Contractor shall at all times protect all materials and work against injury to public.
 - The landscape contractor shall be responsible for any coordination with other site related work being performed by other contractors. Refer to architectural drawings for further coordination of work to be done.
 - Underground facilities, structures and utilities must be considered approximate only. There may be others not presently known or shown. It shall be the landscape contractor's responsibility to determine or verify the existence of and exact location of the above (Call 1-800-DIG-RITE).
 - Plant material are to be planted in the same relationship to grade as was grown in nursery conditions.
 - All mulch to be shredded bark mulch at 3" depth over fabric (after compaction) unless otherwise noted. Mulch shall be clean and free of all foreign materials. Edge all beds with spade-cut edge unless otherwise noted.
 - It shall be the landscape contractor's responsibility to:
 - Verify all existing and proposed features shown on the drawings prior to commencement of work.
 - Report all discrepancies found with regard to existing conditions or proposed design to the landscape architect immediately for a decision.
 - Stake the locations of all proposed plant material and obtain the approval of the owner's representative or landscape architect prior to installation.
 - The landscape contractor is to receive the site graded to within 1/10 of a foot. Landscape contractor to obtain letter of grade certification from the general contractor prior commencement of work.
 - All planting beds shall be cultivated to 6" depth minimum and graded smooth immediately before planting of plants. Plant perennials to within 18" of trunk of trees or shrubs planted within the area.
 - All plant material (excluding ground cover, perennials and annuals) are to be warranted for a period of 12 months after installation at 100% of the installed price.
 - All disturbed lawn areas to be seeded with a mixture of Turf-Type fescue (300# per acre) and bluegrass (10# per acre). Landscape contractor shall offer an alternate price for sod in lieu of seed. Lawn areas shall be unconditionally warranted for a period of 90 days from date of final acceptance. Bare areas more than one square foot per any 50 square feet shall be replaced.
 - Items shown on this drawing take precedence over the material list. It shall be the landscape contractor's responsibility to verify all quantities and conditions prior to implementation of this plan. No substitutions of types or size of plant materials will be accepted without written approval from landscape architect.
 - Siltation controls may be required to prevent run-off. Straw bales placed end-to-end shall be used, anchored with no less than two 3/8" X 36" reinforcing rods. Bales shall remain until all graded areas are seeded or sodded.
 - The minimum setback is 30'-0" from the Chesterfield Airport Rd. right of way.
 - A minimum of sixty percent (60%) of the deciduous trees must be of a species which matures at +35', evenly dispersed throughout the project.
 - If the estimated materials cost of new landscaping indicated on the Site Development Plan, as required by the Planning Commission, exceeds one thousand (1,000) dollars, as determined by a plant nursery, the petitioner shall furnish a two (2) year bond or escrow sufficient in amount to guarantee the installation of said landscaping.
 - Upon release of the landscape Installation Bond, a two (2) year Landscape Maintenance Bond shall be required.
 - Protect the balls of all B&B plants at all times from drying out due to sun and wind exposure. Any B&B plants that can't be planted immediately upon delivery shall be set on ground and protected with soil, rock mulch, wet moss or other acceptable material and kept moist. Plants shall not be delivered to site more than seven (7) days prior to planting.
 - All planting beds and lawn areas shall be irrigated with an automatic underground irrigation system (By Others).

SITE INFORMATION:

- BOUNDARY AND TOPOGRAPHIC SURVEY BY CIVIL ENGINEERING DESIGN CONSULTANTS, INC.
- AREA CALCULATIONS:
BUILDING AREA: 13,143 S.F. = 14.8%
PAVEMENT AREA: 22,857 S.F. = 26.2%
OPEN SPACE: 53,100 S.F. = 59.0%
SITE AREA: 89,100 S.F. = 100%

PLANT SCHEDULE:

TREES	QTY	BOTANICAL/COMMON	SIZE	HEIGHT	EVERGREEN/DECIDUOUS
ABM	5	Acer freemanii 'Jeffersred' / Autumn Blaze Maple	2.5" Cal	45'+	DECIDUOUS
GMSM	4	Acer saccharum 'Green Mountain' / Green Mountain Sugar Maple	2.5" Cal	45'+	DECIDUOUS
AAA	3	Fraxinus americana 'Autumn Applause' / Autumn Applause Ash	2.5" Cal	45'+	DECIDUOUS
SAN	10	Quercus acutissima / Sawtooth Oak	2.5" Cal	45'+	DECIDUOUS
BC	6	Taxodium distichum / Bald Cypress	2.5" Cal	45'+	DECIDUOUS
FLOWERING TREES	QTY	BOTANICAL/COMMON	SIZE	MATURE HEIGHT	EVERGREEN/DECIDUOUS
RB	1	Cercis canadensis / Redbud	2.5" Cal	25'-35'	DECIDUOUS
CP	10	Pyrus calleryana 'Chanticleer' / Chanticleer Pear	2.5" Cal	15'-25'	DECIDUOUS
SHRUBS	QTY	BOTANICAL/COMMON	SIZE		EVERGREEN/DECIDUOUS
WGB	21	Buxus microphylla 'Winter Gem' / Winter Gem Boxwood	5 gal		EVERGREEN
DBB	3	Evonymus alatus 'Compactus' / Compact Burning Bush	18"-24"		DECIDUOUS
CH	5	Ilex meserveae 'China Boy/Girl' TM / China Boy/Girl Holly	5 gal		EVERGREEN
BAY	15	Myrica pensylvanica / Northern Bayberry	24"-30"		EVERGREEN
AWS	10	Spiraea bumalda 'Anthony Waterer' / Anthony Waterer Spiraea	5 gal		DECIDUOUS
LPS	17	Spiraea japonica 'Little Princess' / Little Princess Spiraea	5 gal		DECIDUOUS
DKL	11	Syringa meyeri 'Palibin' / Dwarf Korean Lilac	5 gal		DECIDUOUS
DY	24	Taxus media 'Densiflora' / Dense Yew	18"-24"		EVERGREEN
ANNUALS/PERENNIALS	QTY	BOTANICAL/COMMON	SIZE		EVERGREEN/DECIDUOUS
HRD	64	Hemerocallis hybrid 'Happy Returns' / Happy Returns Daylily	1 gal		DECIDUOUS
GRASSES	QTY	BOTANICAL/COMMON	SIZE		EVERGREEN/DECIDUOUS
MG	8	Miscanthus sinensis 'Gracillimus' / Maiden Grass	5 gal		DECIDUOUS

REVISIONS	BY
AUG. 16, 2007	RMM

landscape TECHNOLOGIES
 67 Jackson Creek Drive
 St. Charles, Missouri 63304
 Fax: (636) 422-4563

PLANTING PLAN FOR THE PROPOSED West Valley Plaza
 CHESTERFIELD, MISSOURI

DRAWN	R. MARDIS
CHECKED	RMM
DATE	JULY 25, 2007
SCALE	1" = 30'-0"
JOB No.	2007-182
SHEET	
1-1	
OF ONE SHEET	