



VII. A.

690 Chesterfield Pkwy W • Chesterfield MO 63017-0760
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Planning Commission Staff Report

Project Type: Residential Addition

Meeting Date September 16, 2015

From: John Boyer
Senior Planner

Location: 14968 Chateau Village Drive (Chateau Village)

Applicant: Beth Banze-Versheldon, Banze Custom Homes & Remodeling

Description: **14968 Chateau Village Drive:** A request for a residential addition for an existing home zoned "R2" Residence District located at 14968 Chateau Village Drive in the Chateau Village subdivision (20S340490).

PROPOSAL SUMMARY

Beth Banze-Versheldon of Banze Custom Homes & Remodeling, has submitted a request on behalf of the property owners, Jay and Lynn Piccirillo, for a residential addition in excess of 1,000 square feet and 30% of the existing floor area at 14968 Chateau Village Dr. The existing home is 2,325 square feet of living space on a 20,282 square foot lot within the Chateau Village subdivision. The proposed addition would contain 1,085 square feet of interior living space, or 46.7% increase of living space, for a total proposed living space of 3,410 square feet. The exterior finishes of the proposed addition will match the existing color and materials of the home.

LAND USE AND ZONING HISTORY OF SUBJECT SITE

The Chateau Village subdivision was zoned "R2" Residence District in 1976 by St. Louis County via Ordinance 8,109. The home at 14968 Chateau Village Drive, the subject property, was constructed in 1983. The property is surrounded by other residentially zoned "R2" properties, see the aerial and zoning map listed as Figure 1 on page 2.

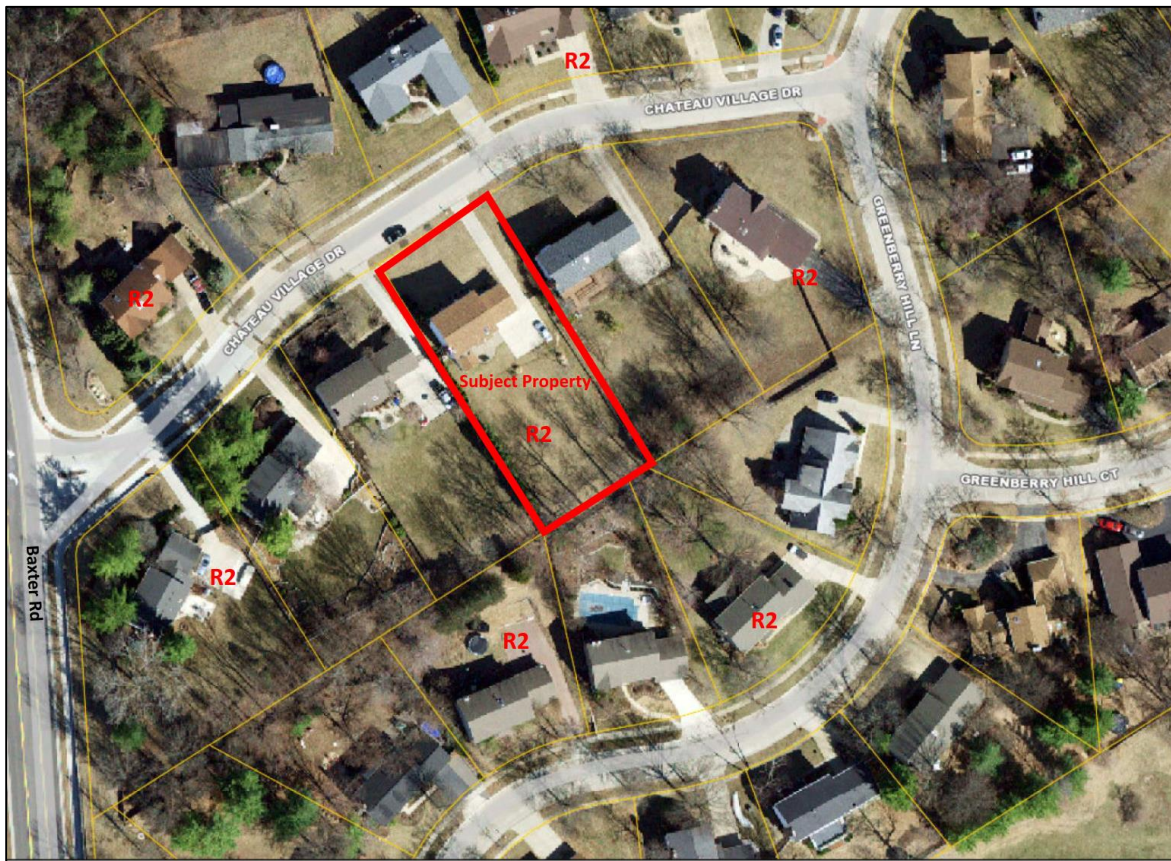


Figure 1: Aerial and Zoning Map

Lot sizes in this area range from 17,000 square feet to 26,000 square feet. As shown in the photos attached to this report, the residences surrounding the subject size range in size, materials, and architectural style.

STAFF ANALYSIS

Zoning

The subject site was reviewed against all applicable City of Chesterfield requirements. The site, as it sits today and with the addition of the proposed improvements, meets all appropriate zoning requirements and development standards of the City of Chesterfield.

Process

The City of Chesterfield Unified Development Code (UDC) Section 02-16 states that any addition that is greater than one-thousand (1,000) square feet and is an increase of more than thirty (30) percent of the existing floor area, shall be approved by the City of Chesterfield Planning Commission. The proposed addition would add 1,085 square feet of floor area—a 46.7% floor area increase—to the existing 2,325 square foot home. As such, approval of this addition must be granted by the Planning Commission. In addition, the applicant is required to provide documentation that all adjacent property owners and subdivision trustees were notified of the proposed new addition. The applicant has satisfied this requirement and the notifications are attached to this report.

Architectural Elevations

The proposed attached addition will be constructed of vinyl siding and architectural shingles that match the existing building materials. Under this proposal, the existing garage will be removed and reconstructed with the proposed living space addition on the rear of the garage. This addition will also be located on the previous driveway turn-around area, see plot plan attached to construction drawings included in the review packet. The existing garage configuration allows for access from the rear, with the proposed amendment removing this rear garage access for a front garage access. Figure 2 and 3 below identify the existing front elevation and the proposed elevations for City consideration. Other homes within in this development and area utilize similar front entry garage configurations.



Figure 2: Existing Elevation



Figure 3: Proposed Front Elevation

The applicant is proposing the reconstructed garage would not include the brick veneer that currently exists on the garage and first floor of the home. Instead, the primary material on the front garage elevation will be the decorative carriage-style garage door with vinyl siding to match the remainder of the home as the secondary material, see Figure 3 on page 3. The living space addition is primarily to the rear of the structure behind the reconfigured garage with little to no public view from the street frontage. Below in Figure 4 and 5 are side and rear elevations of the living addition. The overall maximum height of the home will not be changed by this addition.

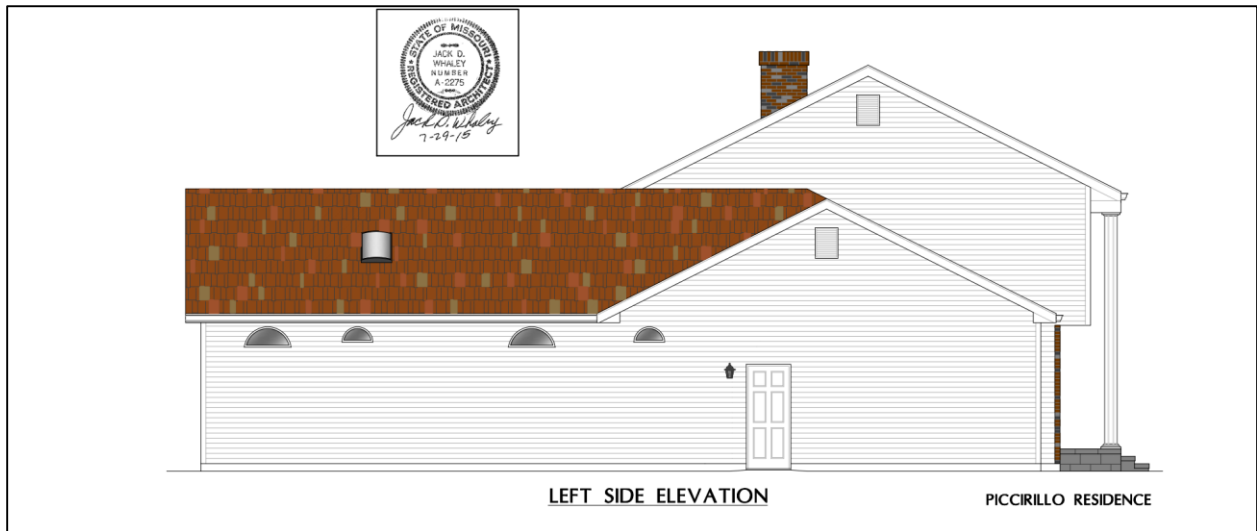


Figure 4: East Elevation



Figure 5: South Elevation (rear)

Landscaping and Tree Preservation

The *Tree Preservation and Landscape Requirements* states that single residential lots of less than one (1) acre that have been subdivided for more than two (2) years, are exempt from the provisions of this section of the City of Chesterfield Code. Additionally, the proposed plans do not disturb any tree masses, as defined by the Tree Preservation and Landscape Requirements.

DEPARTMENTAL INPUT

Staff has reviewed the proposed residential addition, and elevations. Staff has found the application to be in conformance with the Unified Development Code and all other applicable City of Chesterfield requirements. Staff recommends approval of the proposed residential addition.

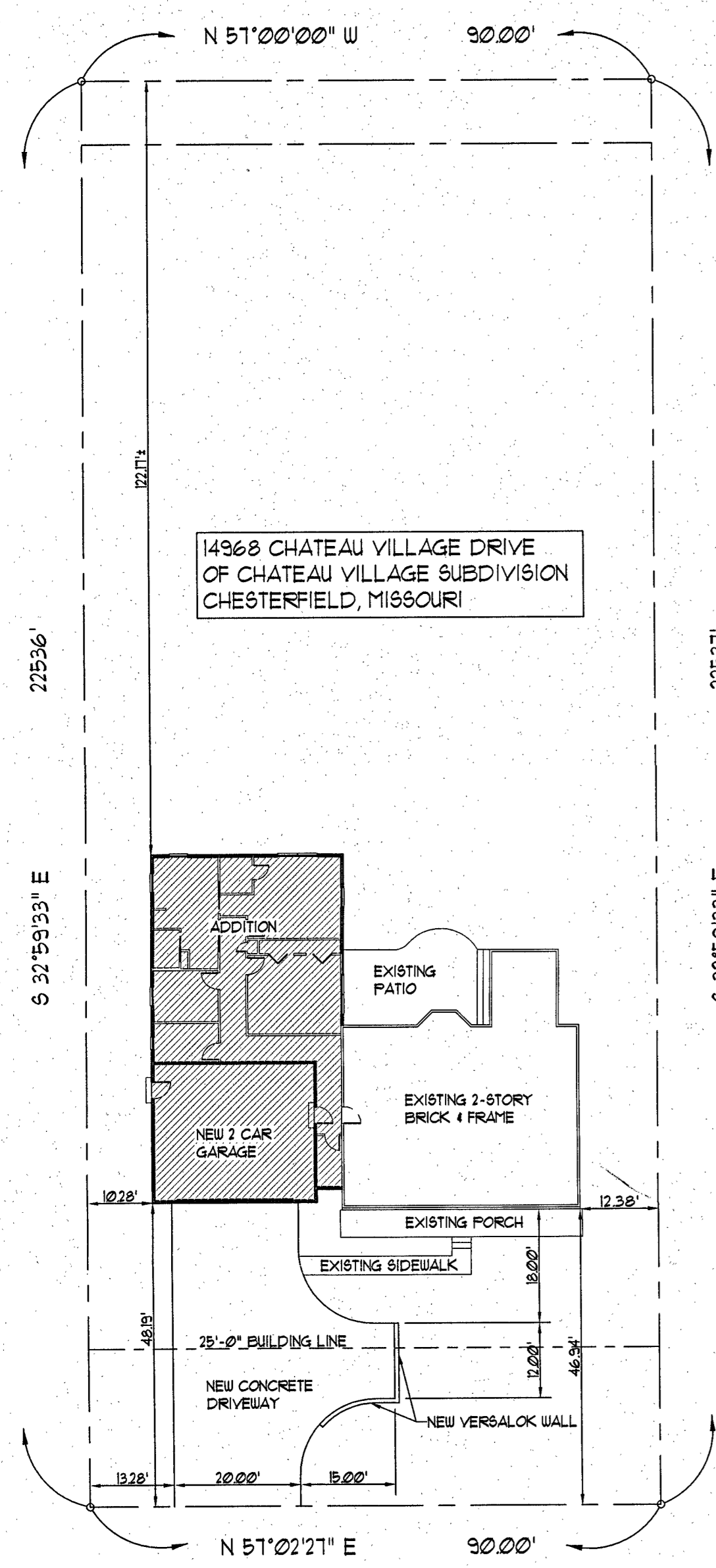
MOTION

The following options are provided to the Planning Commission for consideration relative to this application:

- 1) “I move to approve (or deny) the residential addition at 14968 Chateau Village Drive.”
- 2) “I move to approve the residential addition for 14968 Chateau Village Drive with the following conditions...” (Conditions may be added, eliminated, altered or modified)

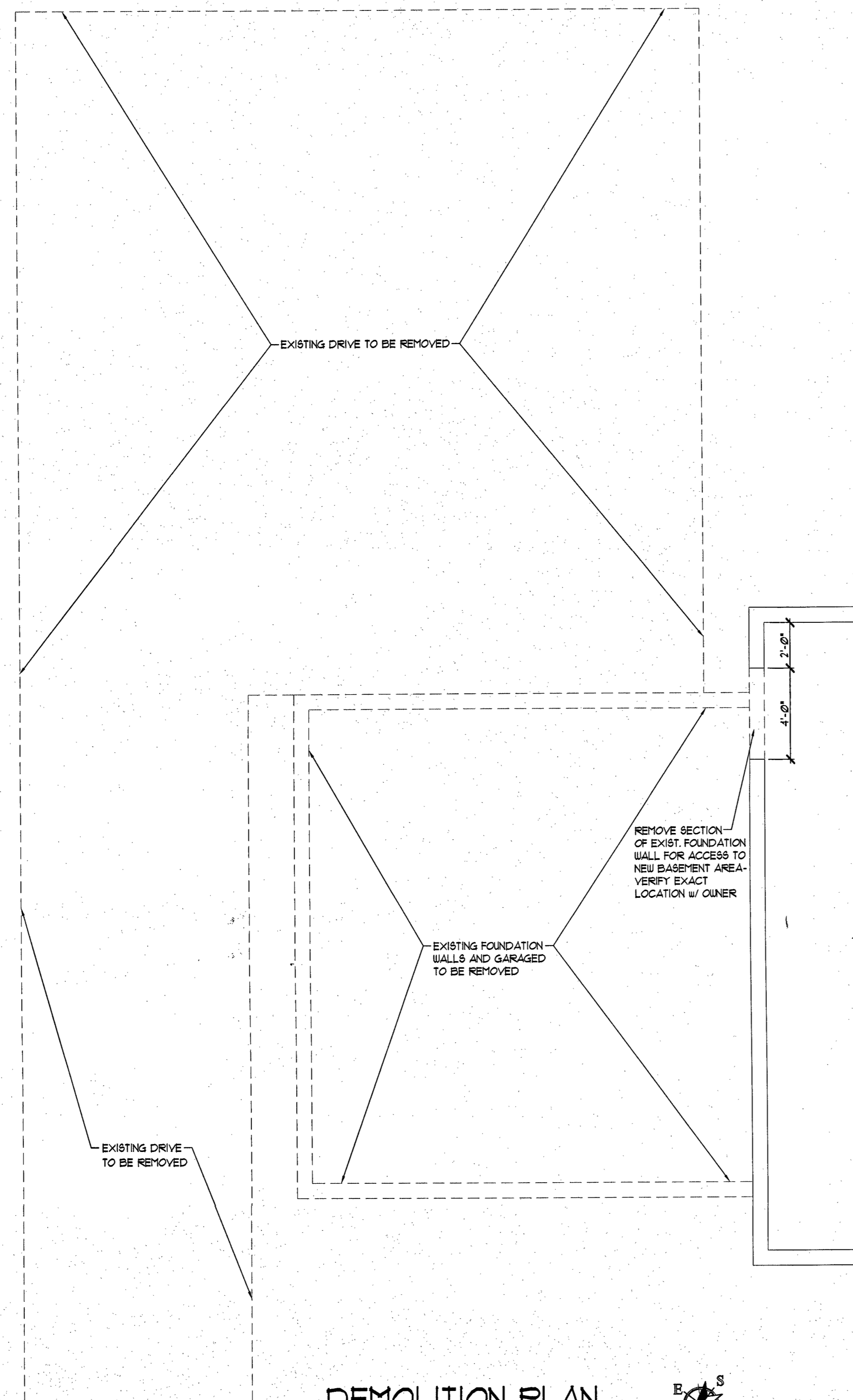
Cc: Aimee Nassif, Planning and Development Services Director

Attachments: Construction Plans
Architectural Elevations
Photos of Adjacent Properties
Notification to the Adjacent Property Owners and Subdivision Trustees

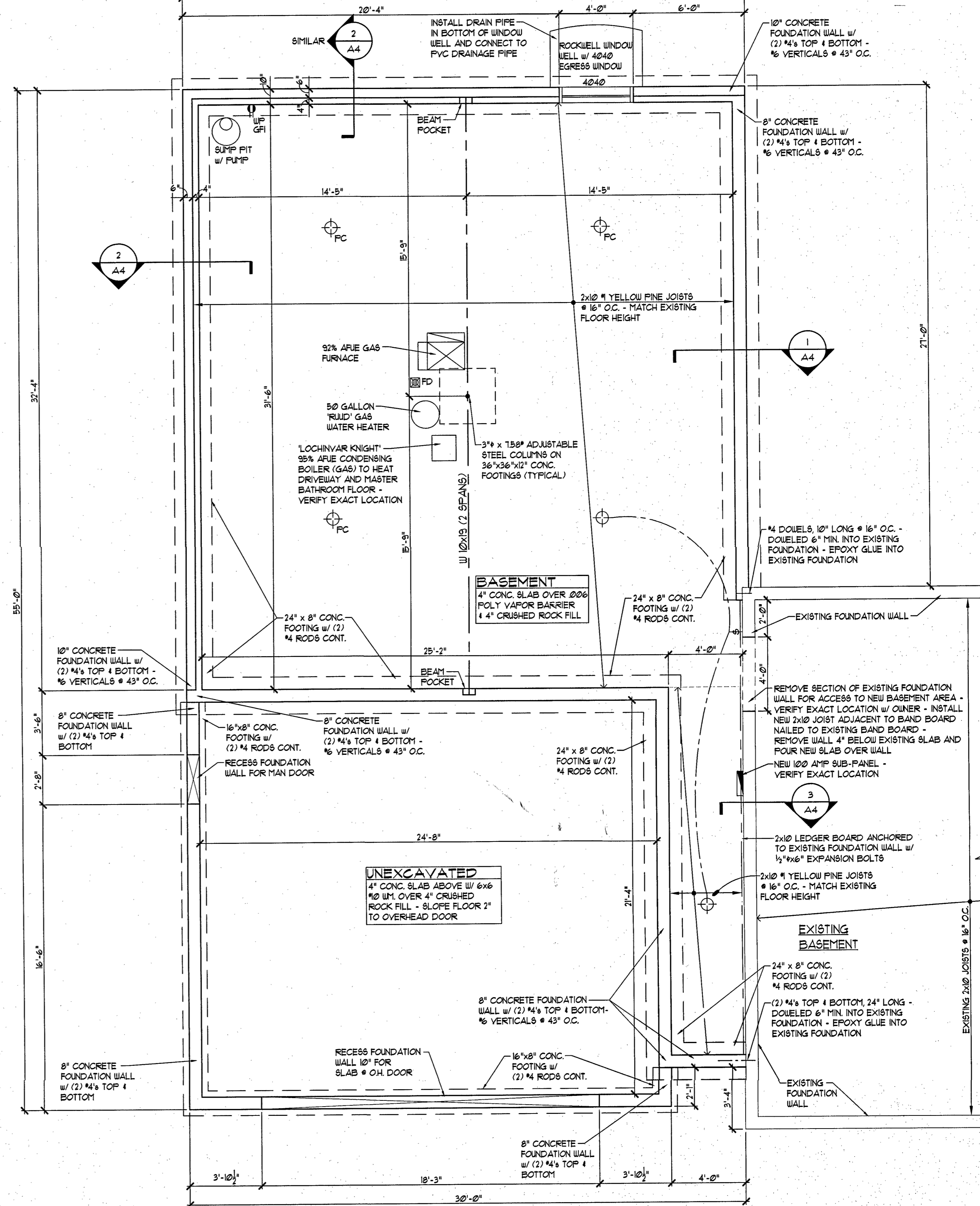


CHATEAU VILLAGE DRIVE

SITE PLAN
SCALE: 1" = 20'-0"



DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



GENERAL NOTES:

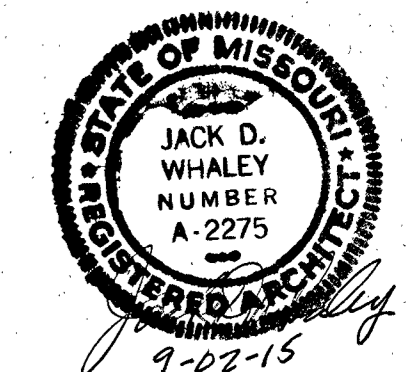
- ALL CONCRETE SHALL BE MIN. 5 BAGK MIX W/ A COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS. EXTERIOR SLABS TO HAVE A COMPRESSIVE STRENGTH OF 3500 PSI AT 28 DAYS, AND AIR-ENTRAINED.
- UNLESS NOTED OTHERWISE, HEADERS FOR DOOR AND WINDOW OPENINGS IN EXTERIOR WALLS AND BEARING WALLS, SHALL BE (2) 2x10 #1 YELLOW PINE AND 12x20 Fd MIN.
- ALL NAILING MUST COMPLY WITH THE 2009 INTERNATIONAL RESIDENTIAL CODE.
- ALL EXPOSED MATERIALS FOR PORCHES, SOFFITS, OVERHANGS, ETC. TO BE APPROVED EXTERIOR GRADE MATERIALS.
- ALL CORNERS OF WALLS MUST BE BRACED WITH 1/4" O.S.B. SHEATHING OR LET-IN METAL CORNER BRACING AS APPROVED BY BUILDING DEPT.
- DRYWALL INSTALLATIONS TO BE IN ACCORDANCE WITH GYPSUM ASSOCIATION'S RECOMMENDED PRACTICES AS TO THICKNESS, NAILING AND TAPING ON CORRECT STUD SPACINGS. ALL FIRE-RATED ASSEMBLIES SHALL BE INSTALLED IN ACCORDANCE WITH SPECIFICATIONS OF THE APPROVED TEST ASSEMBLY. WATER RESISTANT GYPSUM BACKER BOARD IS REQUIRED IN BATH TUB AND SHOWER AREAS. CONFORMING TO ASTM C 630 OR C 1178.
- FINISH GRADES TO BE MIN. 6" BELOW TOP OF FOUNDATION AND MUST SLOPE AWAY FROM BUILDING MINIMUM OF 6" IN FIRST 10'-0". ALL AREAS TO BE SLOPED TO LOWER ELEVATIONS ON SITE.
- DOWNSPOUTS TO SPILL ON CEMENT FLASH BLOCKS AT GRADE (SUPPLIED BY OWNER). NOT TO BE CONNECTED TO SANITARY SEWER DOWNSPOUT DISCHARGE TO BE DIRECTED AWAY FROM FOUNDATION. OPTION TO CONNECT TO UNDERGROUND PVC DRAINAGE PIPE.
- WATER RESISTANT GYPSUM BACKER BOARD IS REQUIRED IN BATH TUB AND SHOWER AREAS. CONFORMING TO ASTM C 630 OR C 1178.
- ALL SHOWER DOORS AND TUB ENCLOSURES TO BE TEMPERED GLASS OR LAMINATED SAFETY GLASS.
- WINDOWS TO BE DOUBLE GLAZED. WINDOW NUMBERS ON PLANS ARE FOR ANDERSEN WINDOWS WITH MAX. U VALUE OF 0.40, MAX. AIR INFILTRATION OF 0.5 CFM/50 SQ. FT.
- EXTERIOR DOORS TO BE WEATHERSTRIPPED.
- BASEMENT WALLS TO BE WATERTIGHT AND PROPERLY REINFORCED TO WITHSTAND WATER PRESSURE AS NECESSARY. ALL JOINTS IN WALLS AND FLOORS TO BE WATERTIGHT.
- SMOKE DETECTORS SHALL BE A.C. POWERED, UL LISTED AND BE INTERCONNECTED. INCLUDE BATTERY BACKUP. INSTALL PER NFPA 74 - 89.
- GAS VENTS TO EXTEND A MIN. OF 3'-0" ABOVE ROOF AND AT LEAST 2'-0" HIGHER THAN ANY PART OF THE BUILDING WITHIN 10'-0". UL LISTED VENTS MAY BE INSTALLED IN ACCORDANCE WITH LISTING.
- NO LEAD SOLDER TO BE USED ON COPPER WATER PIPING.
- BACKFILL SHALL BE FREE OF DEBRIS AND LARGE ROCKS, AND INSTALLED IN LIFTS. EACH LIFT TO BE COMPACTED TO FILL ALL VOIDS.
- ALL BATHROOM EXHAUST FANS TO BE MIN. OF 50 CFM AND TO BE EXHAUSTED TO EXTERIOR.
- INSTALL CORROSION-RESISTANT METAL FLASHING AT ALL ROOF INTERSECTIONS, ROOF AND WALL INTERSECTIONS, INTERSECTIONS WITH CHIMNEYS, INTERSECTIONS OF EXTERIOR WALLS AND PORCHES AND DECKS, ETC. ROLLED ROOFING OR TYPE I UNDERLAYMENT MAY BE SUBSTITUTED FOR FLASHING.
- EACH GAS APPLIANCE SHALL HAVE A GAS SHUTOFF VALVE AND GROUND JOINT UNION WITHIN 6'-0" OF, AND IN THE SAME ROOM AS THE APPLIANCE. A SEDIMENT TRAP IS REQUIRED AT EACH APPLIANCE OR GROUP OF APPLIANCES.
- FIXTURES MAY BE LOCATED ONLY WHERE THERE ARE THE FOLLOWING MIN. CLEARANCES TO THE NEAREST POINT OF STORAGE SPACE. SURFACE MOUNTED INCANDESCENT FIXTURES - 12" MINIMUM. SURFACE MOUNTED FLUORESCENT FIXTURES AND RECESSED FIXTURES - 6" MINIMUM.
- ALL PRESSURE TREATED LUMBER SHALL BE (ACQ) TREATED AND ALL ANCHOR BOLTS, JOIST HANGERS, POST ANCHORS, OR ANY OTHER CONNECTIONS IN CONTACT WITH (ACQ) LUMBER SHALL BE TRIPLE HOT-DIPPED GALVANIZED OR STAINLESS STEEL.
- VERIFY LOCATION OF ELECTRICAL PANEL. INSTALL GFI RECEPTACLE ADJACENT TO PANEL.
- ALL STEEL BEAMS TO BE GROUTED SOLID IN BEAM POCKETS WITH 3" MINIMUM BEARING. ALL STEEL BEAM JOINTS TO BE WELDED OR BOLTED TOGETHER.
- ALL STEEL COLLUMS TO BE PRIME PAINTED.
- DRYER VENT CANNOT EXCEED 25'-0" IN TOTAL RUNNING LENGTH FROM DRYER TO OUTLET TERMINAL UNLESS A CLOTHES DRYER BOOSTER FAN IS USED IN ACCORDANCE WITH THE INSTRUCTIONS.

JACK D. WHALEY, ARCHITECT

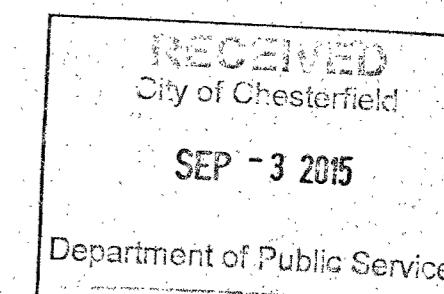
SOLE PROPRIETOR

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ADDITION FOR:
JAY & LYNN PICCIRILLO
14968 CHATEAU VILLAGE DR.
CHESTERFIELD, MISSOURI



BANZE CUSTOM HOMES
1336 JUNGS STATION RD.
ST. CHARLES, MISSOURI 63303

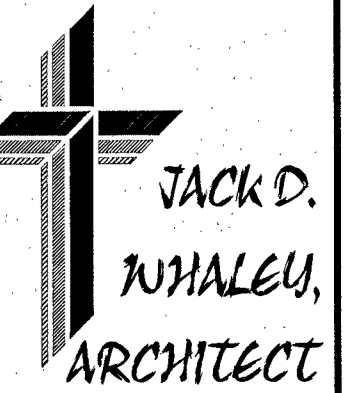


SHEET TITLE:
DEMOLITION, FOUNDATION & SITE PLANS & NOTES

DATE: July 6, 2015

PROJ. NO.: 15-021

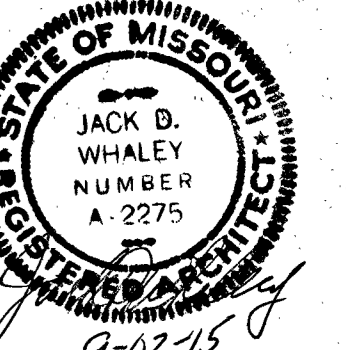
SHEET NO.



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SHEET TITLE:
FLOOR PLAN & NOTES

DATE: July 6, 2015

PROJ. NO.: 15221

SHEET NO.

GENERAL NOTES:

- ALL CONCRETE SHALL BE MIN. 5" BACK MIX, W/ A COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS. EXTERIOR SLABS TO HAVE A COMPRESSIVE STRENGTH OF 3500 PSI AT 28 DAYS, AND AIR-ENTRAINED.
- UNLESS NOTED OTHERWISE, HEADERS FOR DOOR AND WINDOW OPENINGS IN EXTERIOR WALLS AND BEARING WALLS, SHALL BE (2) 2x10 #1 YELLOW PINE AND 1200 LB MIN.
- ALL NAILING MUST COMPLY WITH THE 2009 INTERNATIONAL RESIDENTIAL CODE.
- ALL EXPOSED MATERIALS FOR PORCHES, SOFFITS, OVERHANGS, ETC. TO BE APPROVED EXTERIOR GRADE MATERIALS.
- ALL CORNERS OF WALLS MUST BE BRACED WITH 1/2" O.S.B. SHEATHING OR LET-IN METAL CORNER BRACING AS APPROVED BY BUILDING DEPT.
- DRYWALL INSTALLATIONS TO BE IN ACCORDANCE WITH GYPSUM ASSOCIATION'S RECOMMENDED PRACTICES AS TO THICKNESS, NAILING AND TAPING ON CORRECT STUD SPACING. ALL FIRE-RATED ASSEMBLIES SHALL BE INSTALLED IN ACCORDANCE WITH SPECIFICATIONS OF THE APPROVED TEST ASSEMBLY. WATER RESISTANT GYPSUM BACKER BOARD IS REQUIRED IN BATH TUB AND SHOWER AREAS, CONFORMING TO ASTM C 639 OR C 1178.
- FINISH GRADES TO BE MIN. 6" BELOW TOP OF FOUNDATION AND MUST SLOPE AWAY FROM BUILDING MINIMUM OF 6" IN FIRST 10'-0". ALL AREAS TO BE SLOPED TO LOWER ELEVATIONS ON SITE.
- DOWNSPOUTS TO SPILL ON CEMENT SPLASH BLOCKS AT GRADE (SUPPLIED BY OWNER). NOT TO BE CONNECTED TO SANITARY SEWER. DOWNSPOUT DISCHARGE TO BE DIRECTED AWAY FROM FOUNDATION. OPTION TO CONNECT TO UNDERGROUND PVC DRAINAGE PIPE.
- ALL SOFFITS AND DROPPED CEILING TO BE FIRESTOPPED. TOP AND BOTTOM OF ALL CONVENTIONAL AND STAGGERED STUD FRAME WALLS TO BE FIRESTOPPED.
- INTERIOR FINISH MATERIALS SHALL NOT HAVE A FLAME SPREAD RATING EXCEEDING 200.
- WATER RESISTANT GYPSUM BACKER BOARD IS REQUIRED IN BATH TUB AND SHOWER AREAS, CONFORMING TO ASTM C 639 OR C 1178.
- ALL SHOWER DOORS AND TUB ENCLOSURES TO BE TEMPERED GLASS OR LAMINATED SAFETY GLASS.
- WINDOWS TO BE DOUBLE GLAZED. WINDOW NUMBERS ON PLANS ARE FOR ANDERSEN WINDOWS WITH MAX. U VALUE OF 0.40, MAX. AIR INFILTRATION OF 0.5 CFM/50 SQ. FT.
- EXTERIOR DOORS TO BE WEATHERSTRIPPED.
- BASEMENT WALLS TO BE WATERTIGHT AND PROPERLY REINFORCED TO WITHSTAND WATER PRESSURE AS NECESSARY. ALL JOINTS IN WALLS AND FLOORS TO BE WATERTIGHT.
- SMOKE DETECTORS SHALL BE A.C. POWERED, UL LISTED AND BE INTERCONNECTED. INCLUDE BATTERY BACKUP. INSTALL PER NFPA 74 - 89.
- GAS VENTS TO EXTEND A MIN. OF 3'-0" ABOVE ROOF AND AT LEAST 2'-0" HIGHER THAN ANY PART OF THE BUILDING WITHIN 10'-0". UL LISTED VENTS MAY BE INSTALLED IN ACCORDANCE WITH LISTING.
- NO LEAD SOLDER TO BE USED ON COPPER WATER PIPING.
- BACKFILL SHALL BE FREE OF DEBRIS AND LARGE ROCKS, AND INSTALLED IN LIFTS. EACH LIFT TO BE COMPACTED TO FILL ALL VOIDS.
- ALL BATHROOM EXHAUST FANS TO BE MIN. OF 50 CFM AND TO BE EXHAUSTED TO EXTERIOR.
- INSTALL CORROSION-RESISTANT METAL FLASHING AT ALL ROOF INTERSECTIONS, ROOF AND WALL INTERSECTIONS, INTERSECTIONS WITH CHIMNEYS, INTERSECTIONS OF EXTERIOR WALLS AND PORCHES AND DECKS, ETC. ROLLED ROOFING OR TYPE UNDERLAYMENT MAY BE SUBSTITUTED FOR FLASHING AT ROOF VALLEYS PROVIDED THE SHINGLES ARE INTERLACED. THE UNDERLAYMENT SHALL EXTEND 18" MINIMUM BEYOND INTERSECTION IN BOTH DIRECTIONS.
- AT ALL EXTERIOR DOORS, LOCKS WITH THUMBTURNS ON INSIDE ARE PERMITTED. INSIDE KEY OPERATION IS PERMITTED PROVIDED THE KEY CANNOT BE REMOVED FROM THE LOCK WHEN LOCKED FROM THE INSIDE.
- EACH GAS APPLIANCE SHALL HAVE A GAS SHUTOFF VALVE AND GROUND JOINT UNION WITHIN 6'-0" OF AND IN THE SAME ROOM AS THE APPLIANCE. A SEDIMENT TRAP IS REQUIRED AT EACH APPLIANCE OR GROUP OF APPLIANCES. EQUIPMENT SHUT-OFF VALVES LOCATED IN THE FIREBOX OF A FIREPLACE MUST BE INSTALLED IN ACCORDANCE WITH THE INSTRUCTIONS PROVIDED BY MANUFACTURER.
- GAS PIPING SHALL BE IDENTIFIED AT INTERVALS OF NO MORE THAN 25'-0" IN CONCEALED LOCATIONS AND NO MORE THAN 50'-0" IN EXPOSED LOCATIONS.
- LIGHTING IN CLOTHES CLOSETS:
 - THE USE OF INCANDESCENT FIXTURES WITH OPEN OR ONLY PARTIALLY ENCLOSED LAMPS AND THE USE OF PENDANT FIXTURES ARE PROHIBITED.
 - FIXTURES MAY BE LOCATED ONLY WHERE THERE ARE THE FOLLOWING MIN. CLEARANCES TO THE NEAREST POINT OF STORAGE SPACE:
 - SURFACE MOUNTED INCANDESCENT FIXTURES - 12" MINIMUM.
 - SURFACE MOUNTED FLUORESCENT FIXTURE AND RECESSED FIXTURES - 6" MINIMUM.
- ALL PRESSURE TREATED LUMBER SHALL BE (ACQ) TREATED AND ALL ANCHOR BOLTS, JOIST HANGERS, FOOT ANCHORS, OR ANY OTHER CONNECTIONS IN CONTACT WITH (ACQ) LUMBER SHALL BE TRIPLE HOT-DIPPED GALVANIZED OR STAINLESS STEEL.
- VERIFY LOCATION OF ELECTRICAL PANEL. INSTALL GFI RECEPTACLE ADJACENT TO PANEL.
- ALL STEEL BEAMS TO BE GROUTED SOLID IN BEAM POCKETS WITH 3" MINIMUM BEARING. ALL STEEL BEAM JOINTS TO BE WELDED OR BOLTED TOGETHER.
- ALL STEEL COLUMNS TO BE PRIME PAINTED.
- DRYER VENT CANNOT EXCEED 25'-0" IN TOTAL RUNNING LENGTH FROM DRYER TO OUTLET TERMINAL UNLESS A CLOTHES DRYER BOOSTER FAN IS USED IN ACCORDANCE WITH THE INSTRUCTIONS PROVIDED BY THE MANUFACTURER. DUCT MUST BE METAL AND HAVE A SMOOTH INTERIOR.

NOTES:
- ALL ELECTRIC OUTLETS IN ALL BEDROOMS TO HAVE ARC-FAULT PROTECTION

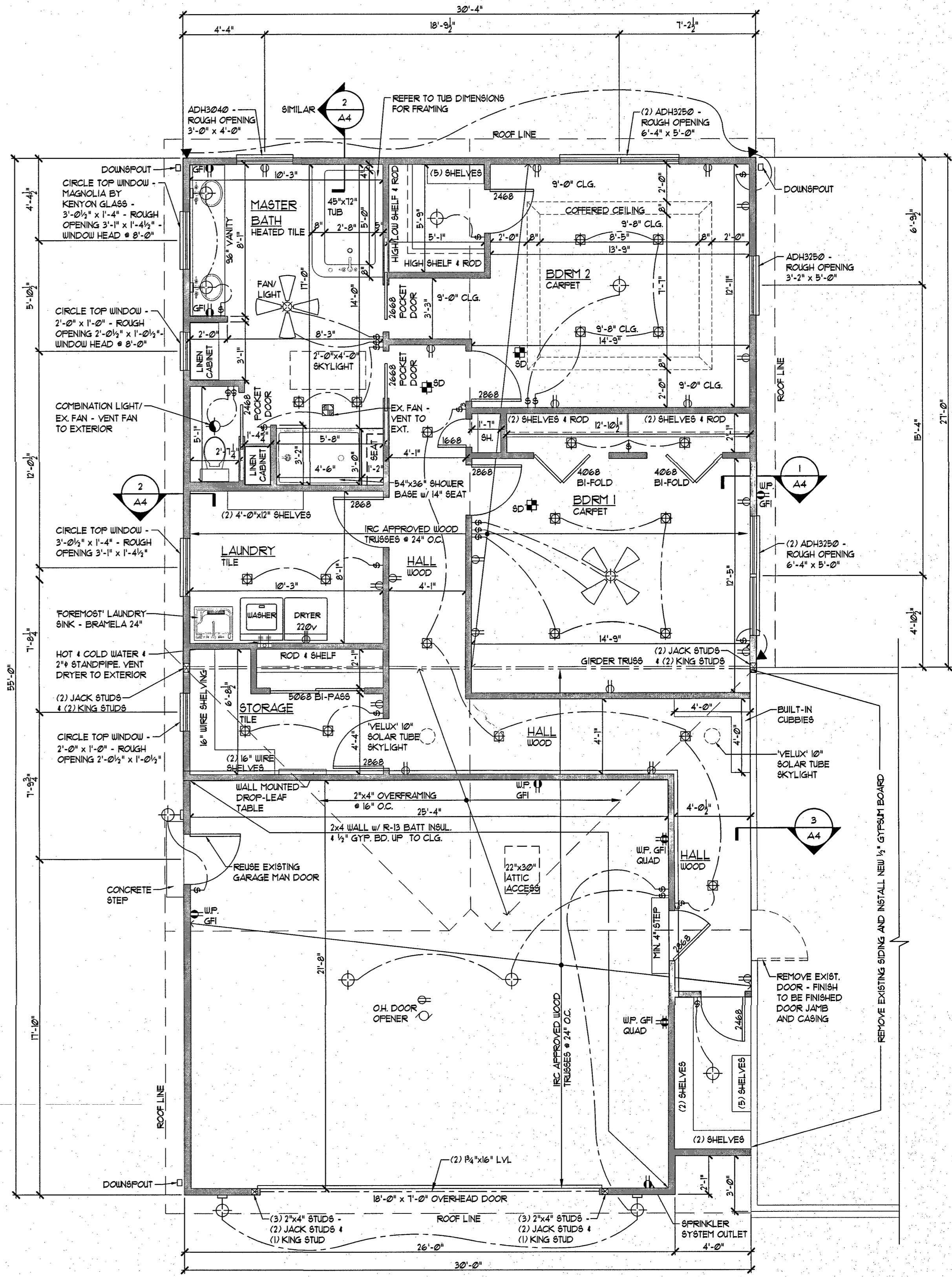
NOTE:
ALL EXTERIOR WALLS ARE BRACED WALL BY CONTINUOUS SHEATHING METHOD (WSP) - 1/2" O.S. BOARD NAILING 8d COMMON NAILS @ 6" O.C. EDGES AND 12" O.C. FIELD

GENERAL PLAN NOTES:

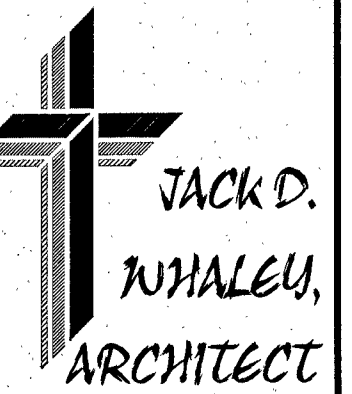
- ALL EXTERIOR WALL DIMENSIONS ARE 4" UNLESS OTHERWISE NOTED.
- ALL INTERIOR WALL DIMENSIONS ARE 3 1/2" UNLESS OTHERWISE NOTED.
- CEILING ON ADDITION TO BE GYPSUM BOARD @ 5'-0" AFF. UNLESS OTHERWISE NOTED.

NOTE:
ALL BEDROOMS MUST HAVE ONE WINDOW FOR EMERGENCY ESCAPE MEETING THE FOLLOWING MINIMUMS:
MAXIMUM SILL HEIGHT - 44"
MINIMUM CLEAR HEIGHT - 24"
MINIMUM CLEAR WIDTH - 20"
MINIMUM CLEAR OPENING AREA - 5.7 SQ. FT. @ GRADE FLOOR
5.1 SQ. FT. @ 2ND FLOOR
THE EMERGENCY ESCAPE WINDOW SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF SPECIAL KNOWLEDGE, TOOL, OR EXTRA FORCE BEYOND THAT REQUIRED FOR NORMAL WINDOW OPERATION.

SUMMARY OF SPACE	
FIRST FLOOR - ADDITION:	1085 Square feet
TOTAL LIVING SPACE - ADDITION:	1085 Square feet
FIRST FLOOR - ORIGINAL:	1223 Square feet
SECOND FLOOR - ORIGINAL:	1102 Square feet
TOTAL LIVING SPACE - ORIGINAL:	2325 Square feet
TOTAL LIVING SPACE - ORIGINAL + ADDITION:	3410 Square feet
GARAGE:	565 Square feet
TOTAL ENCLOSED SPACE - ORIGINAL + ADDITION:	3975 Square feet



FLOOR PLAN
SCALE: 1/4" = 1'-0"

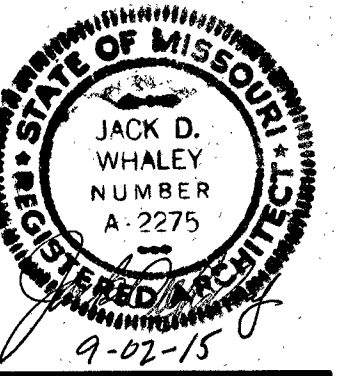


JACK D. WHALEY, ARCHITECT

SOLE PROPRIETOR

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ADDITION FOR: JAY & LYNN PICCIRILLO 14968 CHATEAU VILLAGE DR CHESTERFIELD, MISSOURI



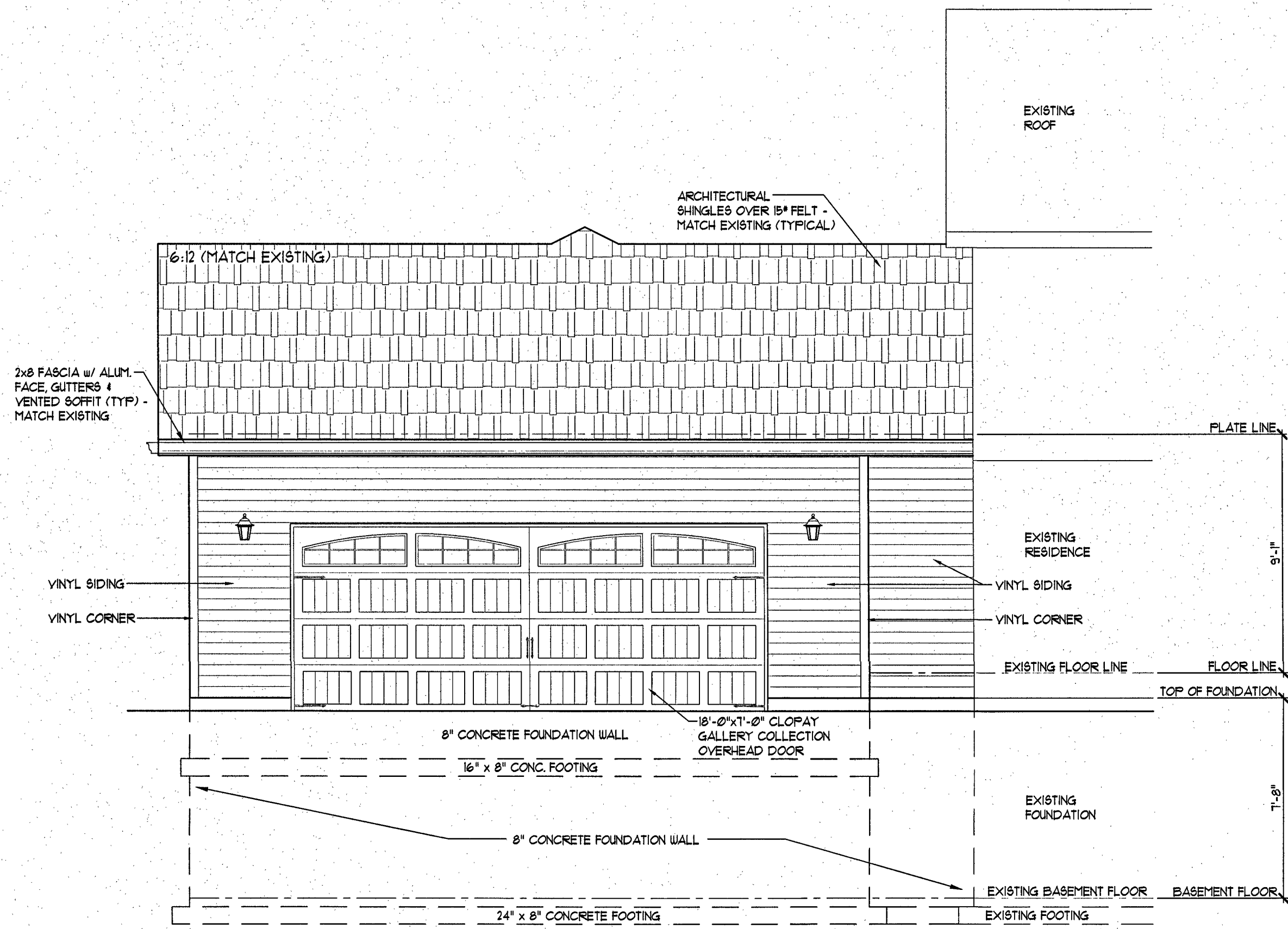
BANZE CUSTOM HOMES 1336 JUNGS STATION RD. ST. CHARLES, MISSOURI 63303

SHEET TITLE: EXTERIOR ELEVATIONS

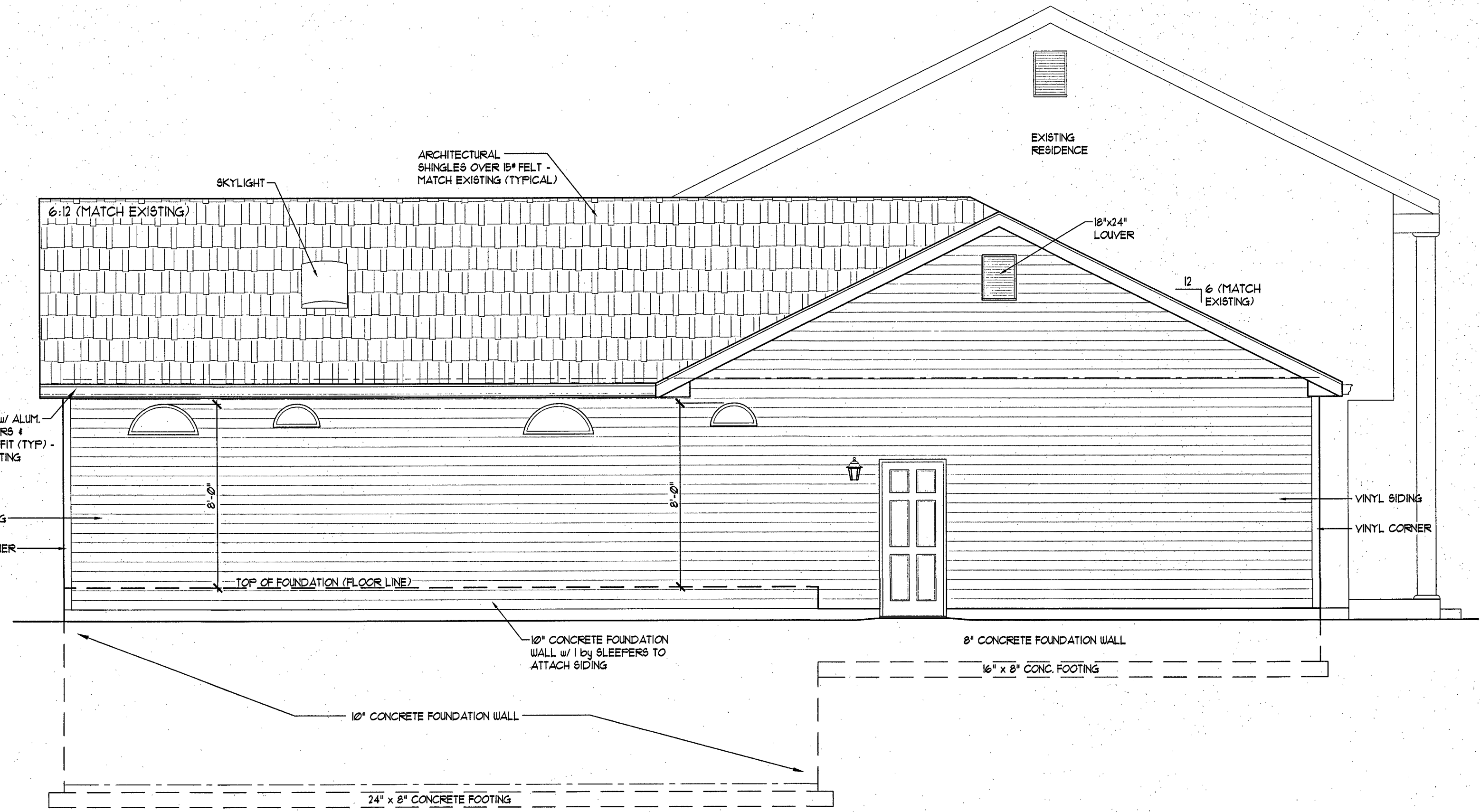
DATE: July 6, 2015

PROJ. NO.: 15021

SHEET NO.

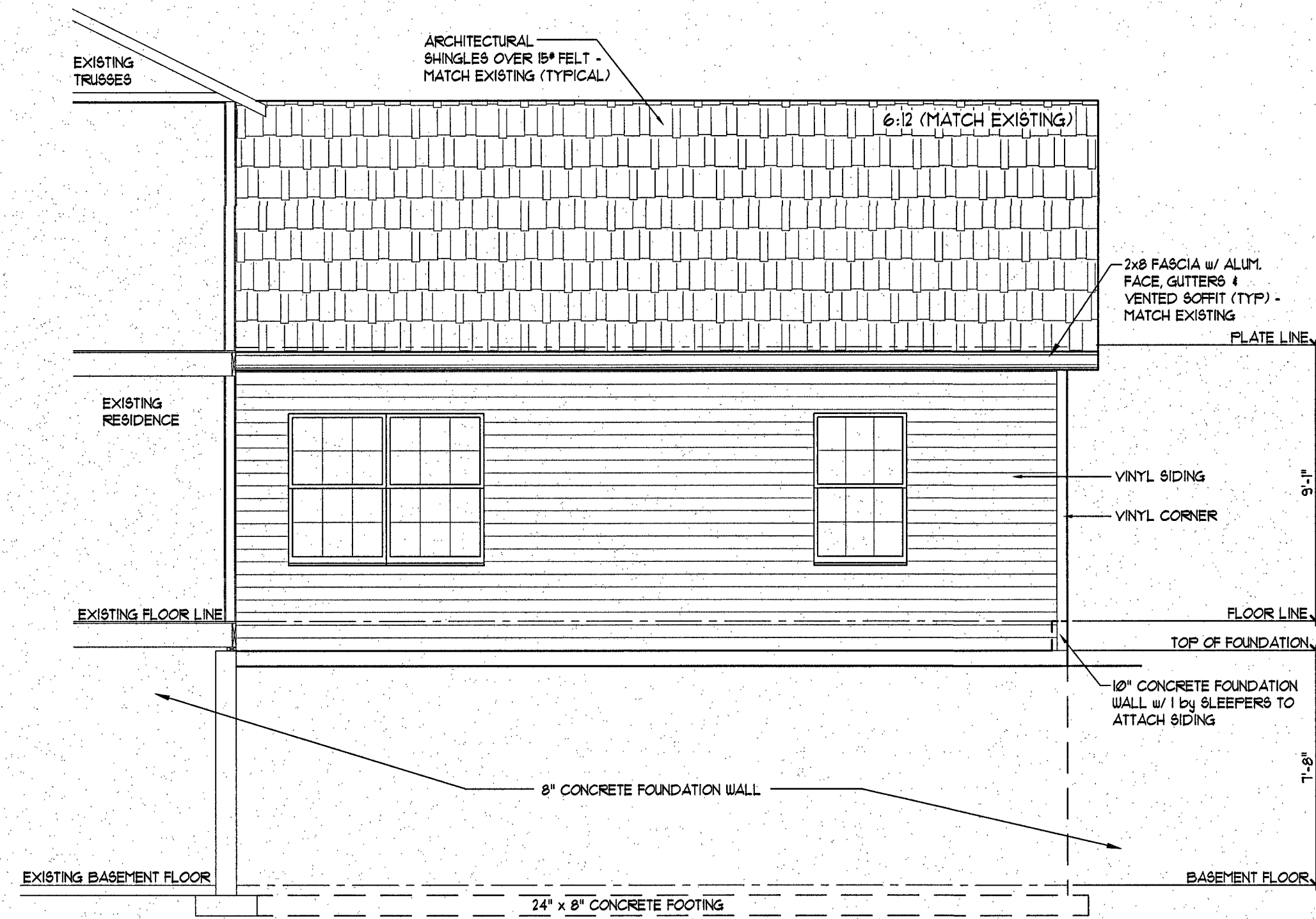


FRONT ELEVATION SCALE: 1/4" = 1'-0"

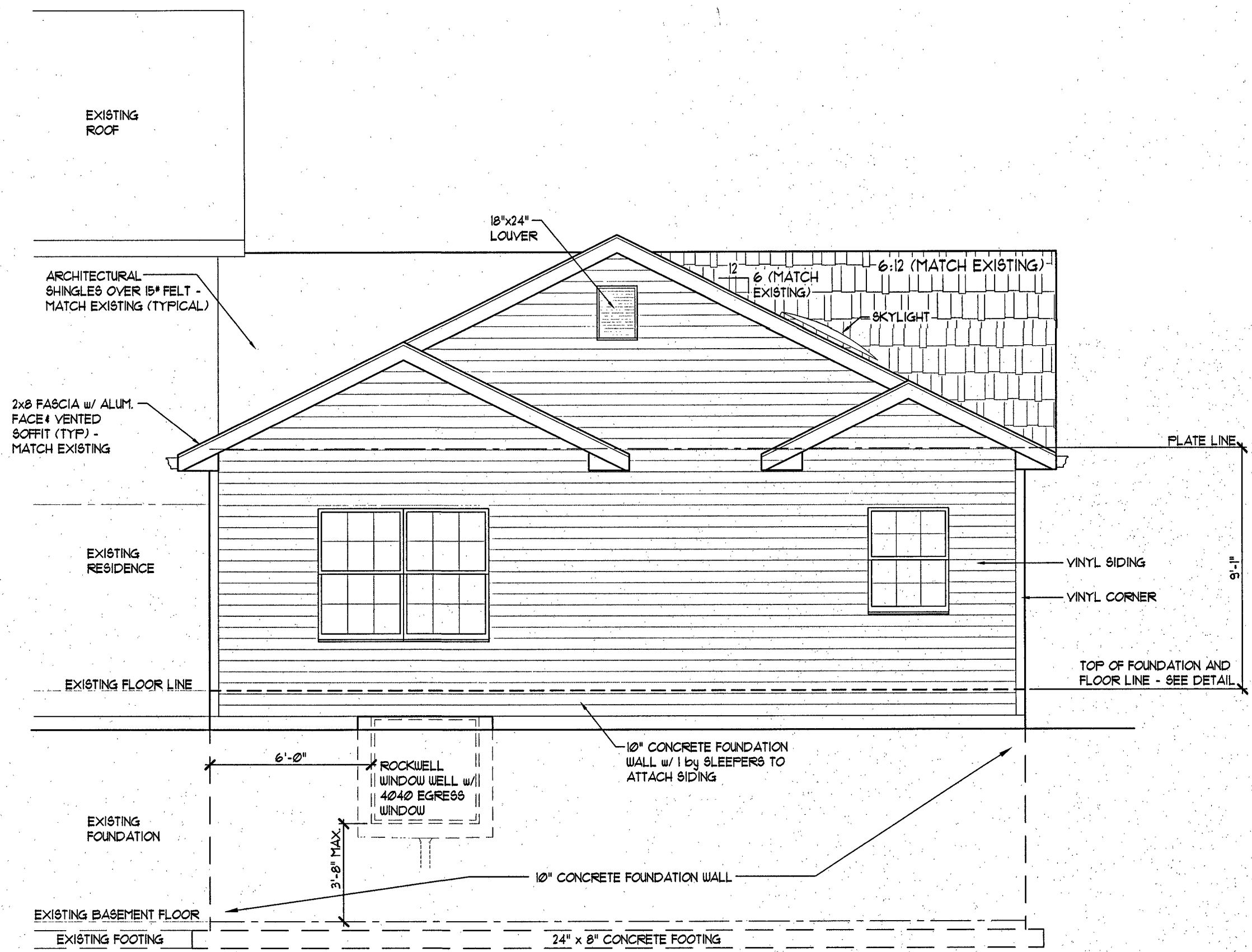


LEFT SIDE ELEVATION SCALE: 1/4" = 1'-0"

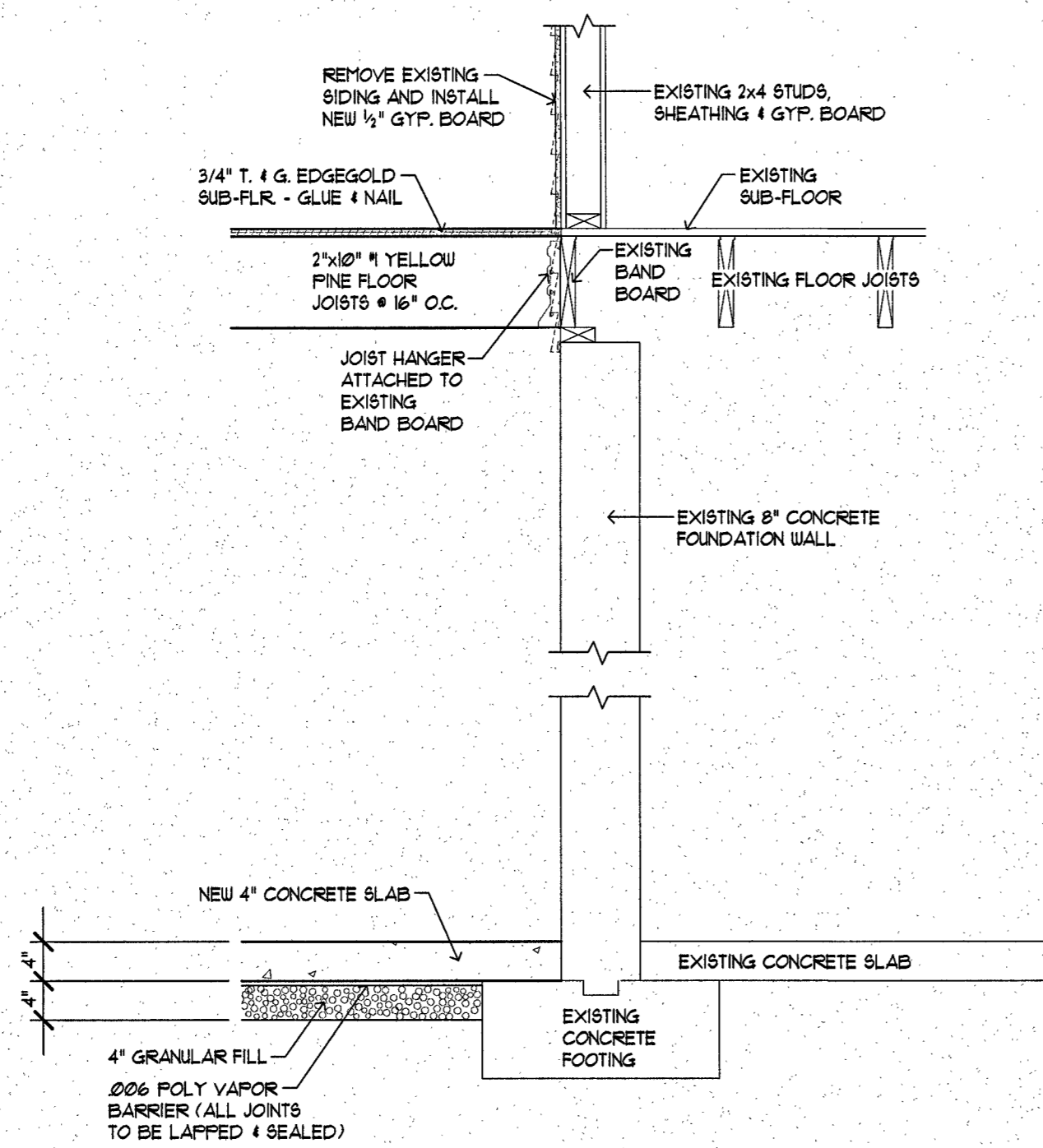
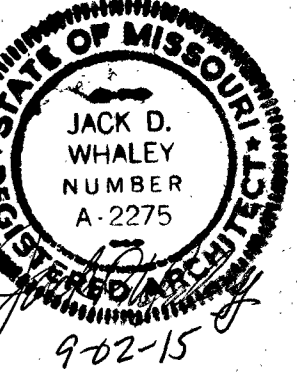
NOTE: NEW ROOF TO MATCH ROOF PITCH OF EXISTING RESIDENCE



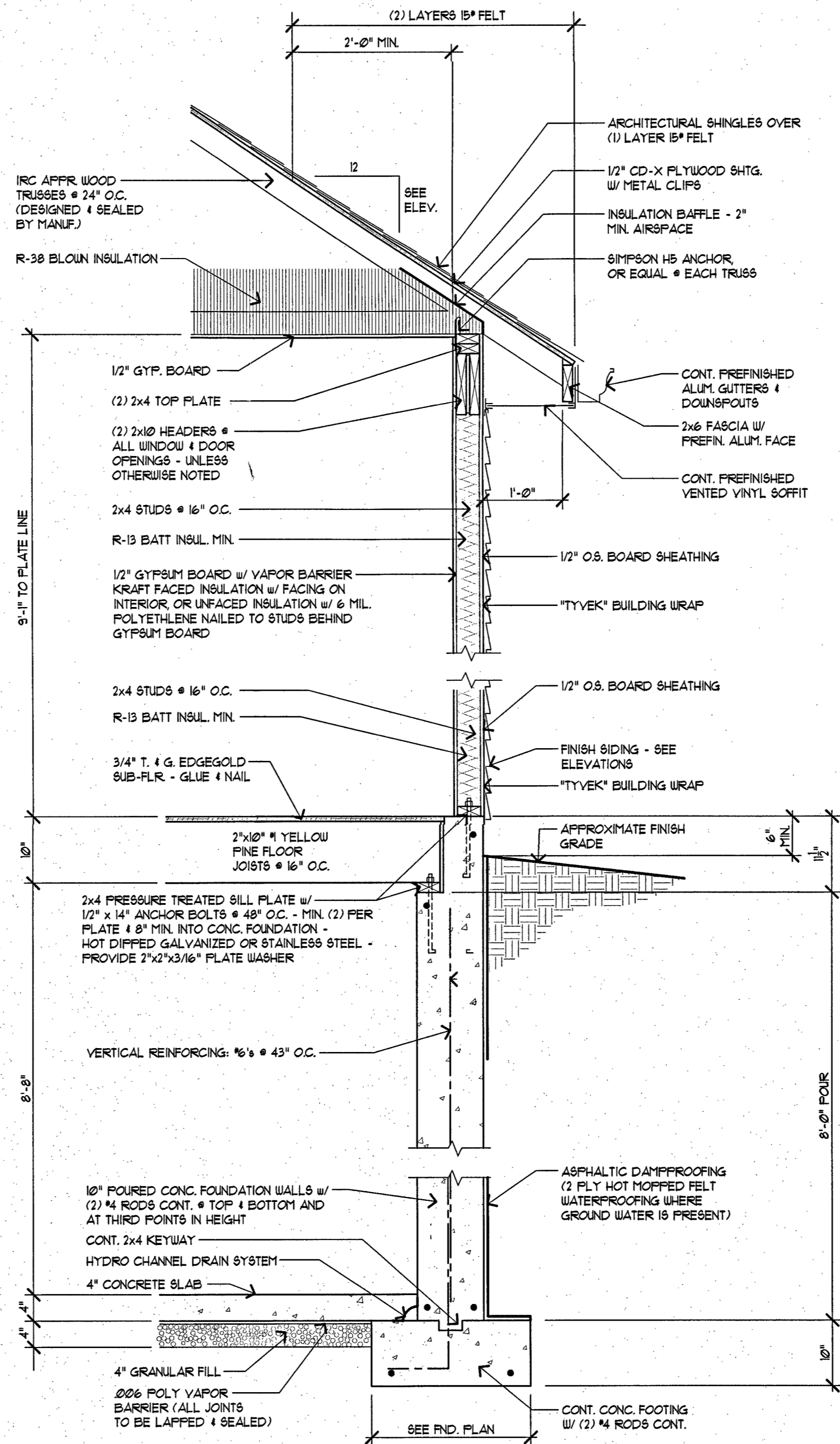
RIGHT SIDE ELEVATION SCALE: 1/4" = 1'-0"



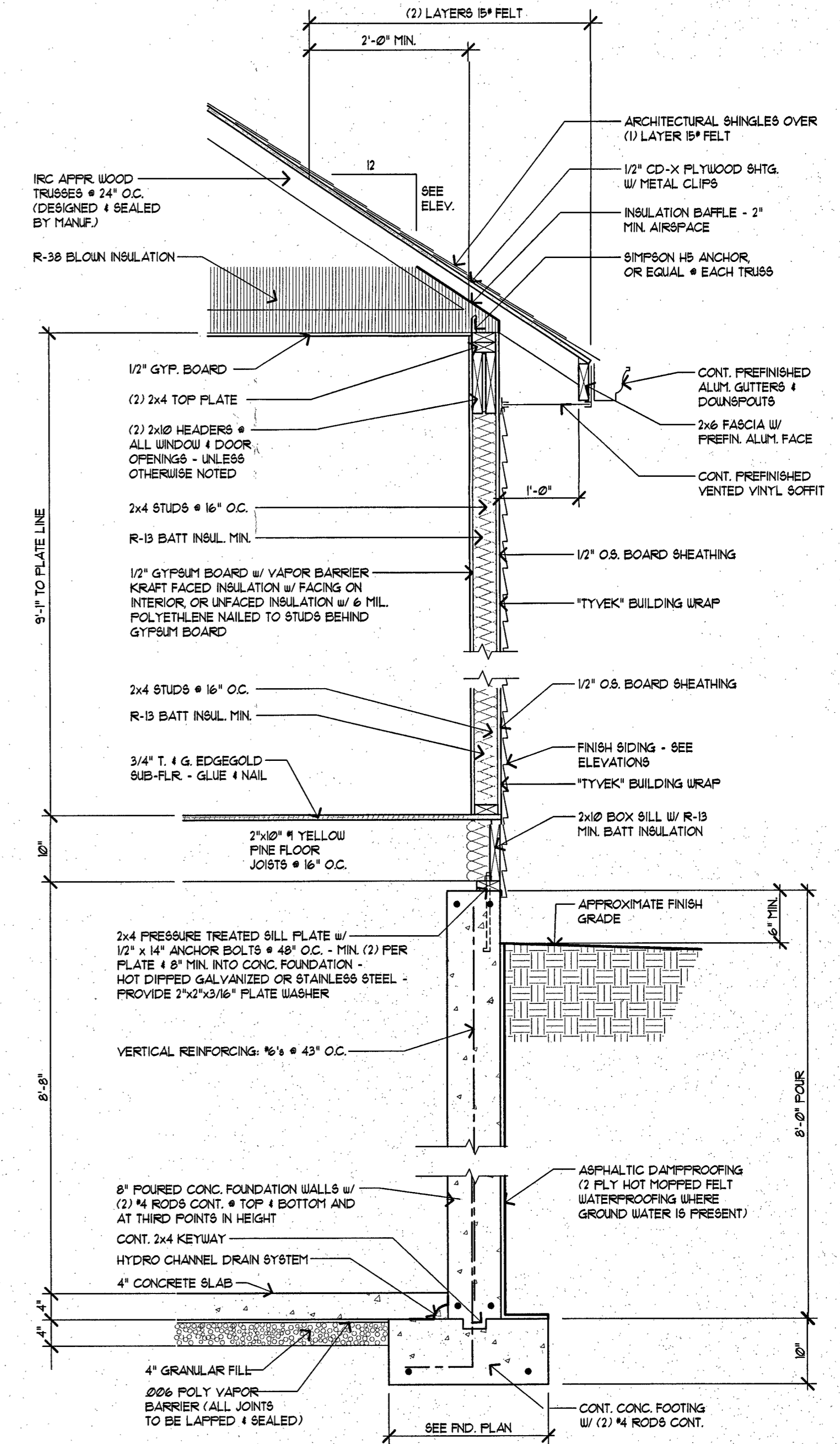
REAR ELEVATION SCALE: 1/4" = 1'-0"



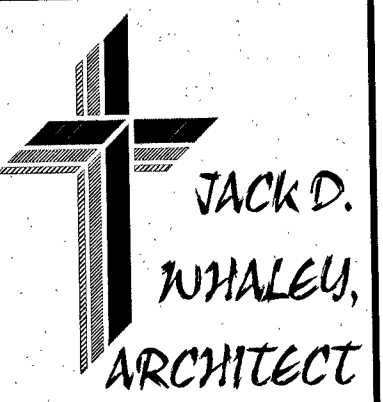
3 WALL SECTION
SCALE: 3/4" = 1'-0"



2 WALL SECTION
SCALE: 3/4" = 1'-0"



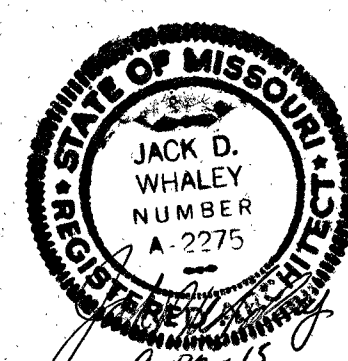
1 WALL SECTION
SCALE: 3/4" = 1'-0"



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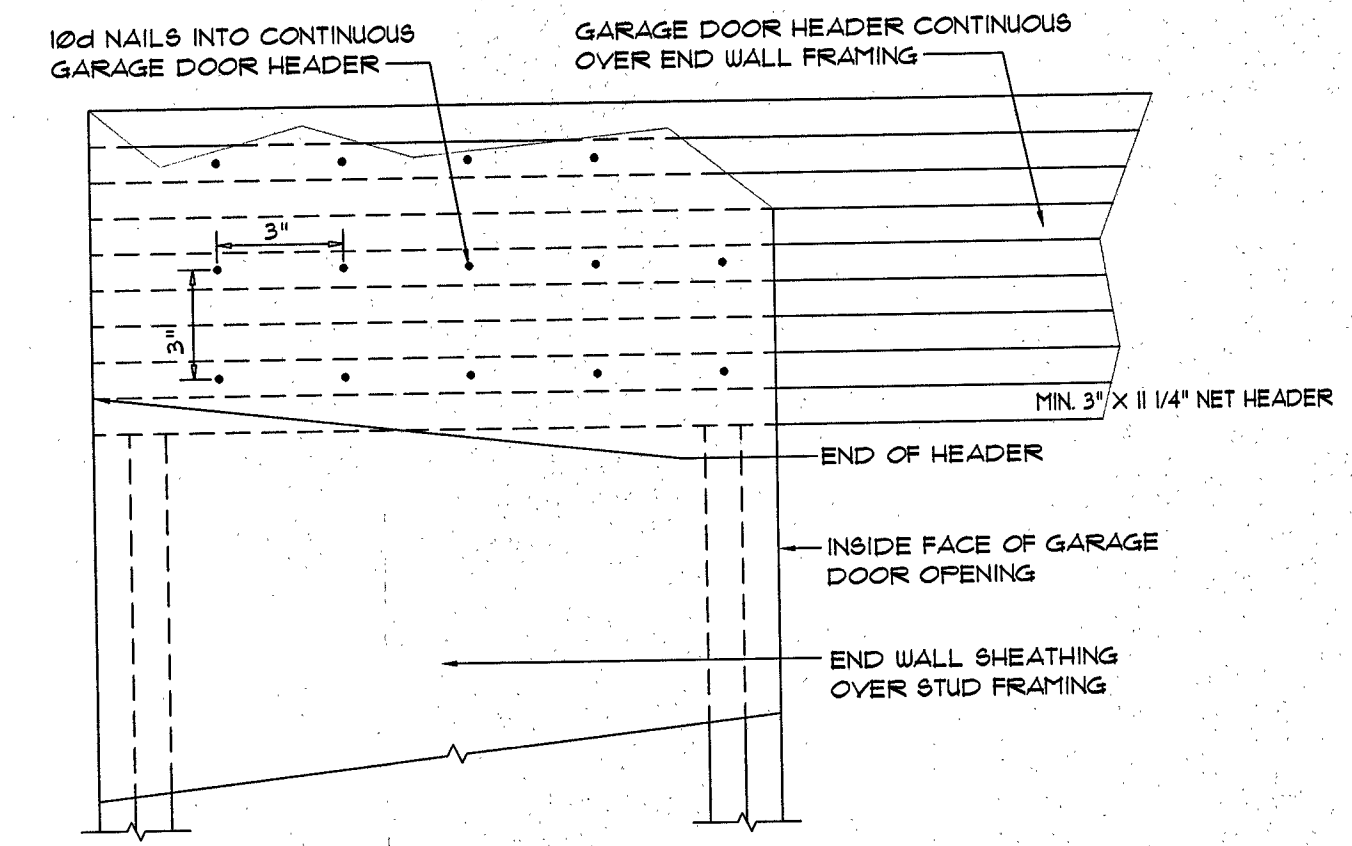
SHEET TITLE: DETAILS

DATE: July 6, 2015

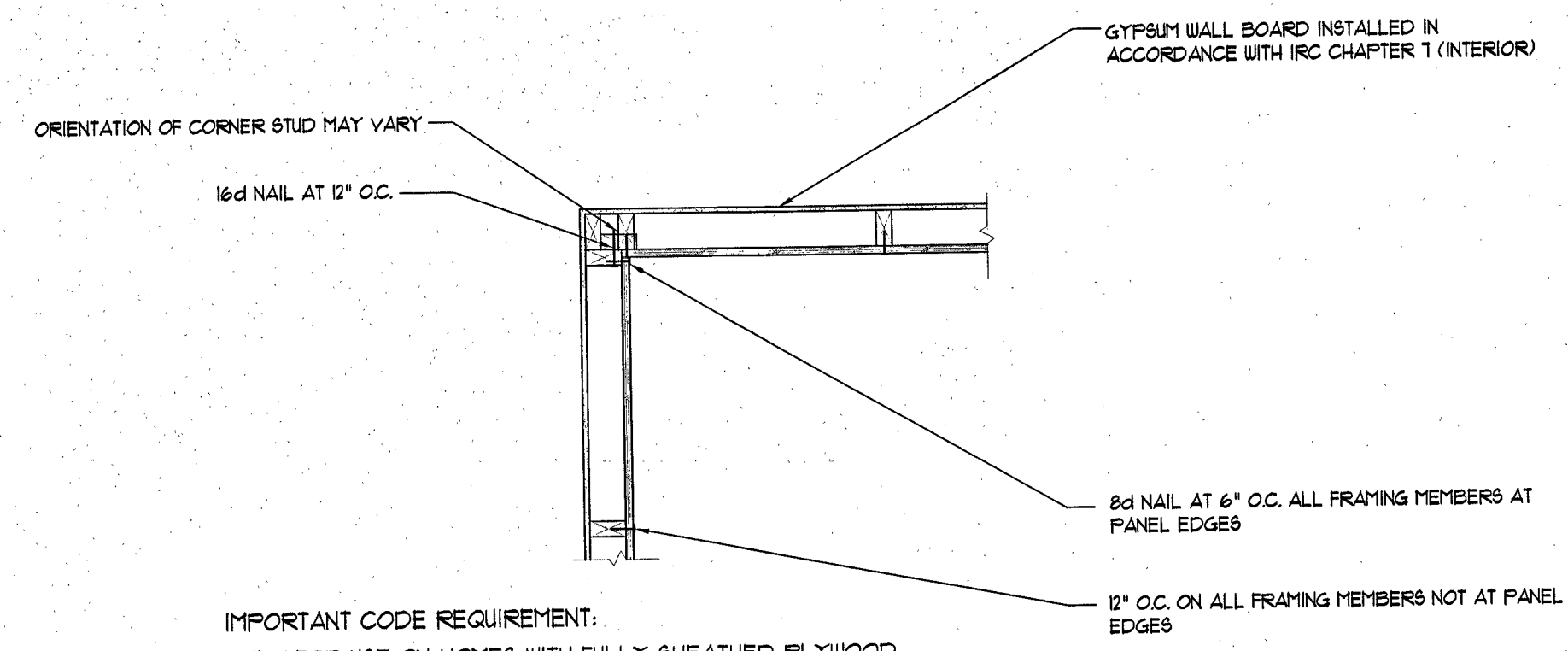
PROJ. NO.: 15021

SHEET NO.

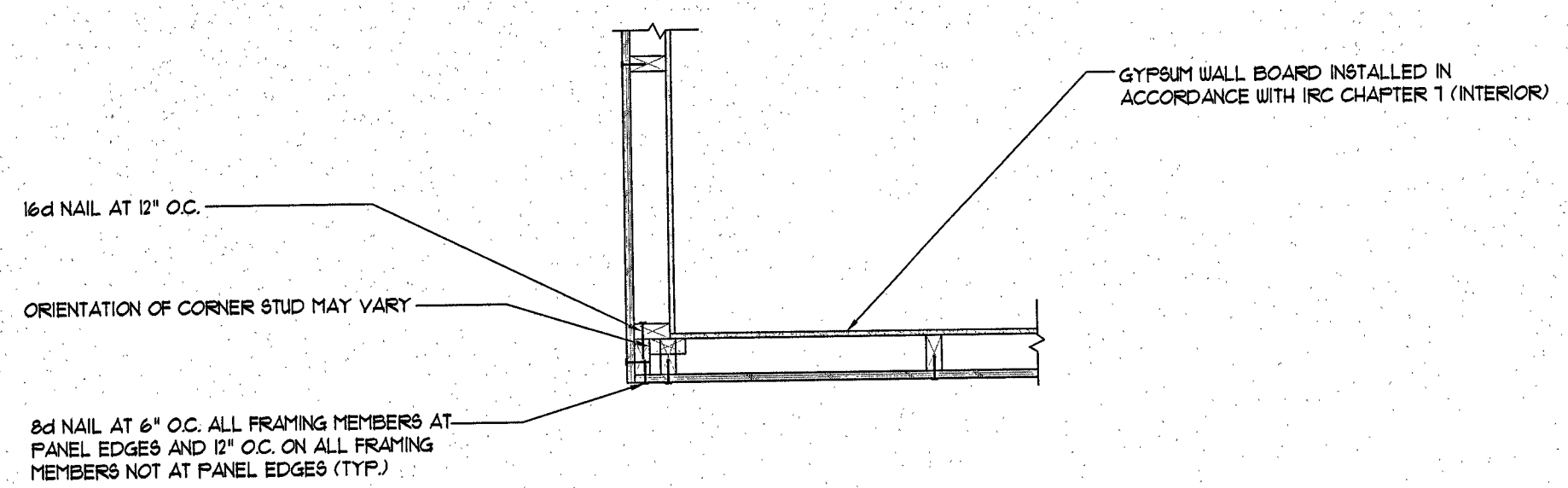
A5



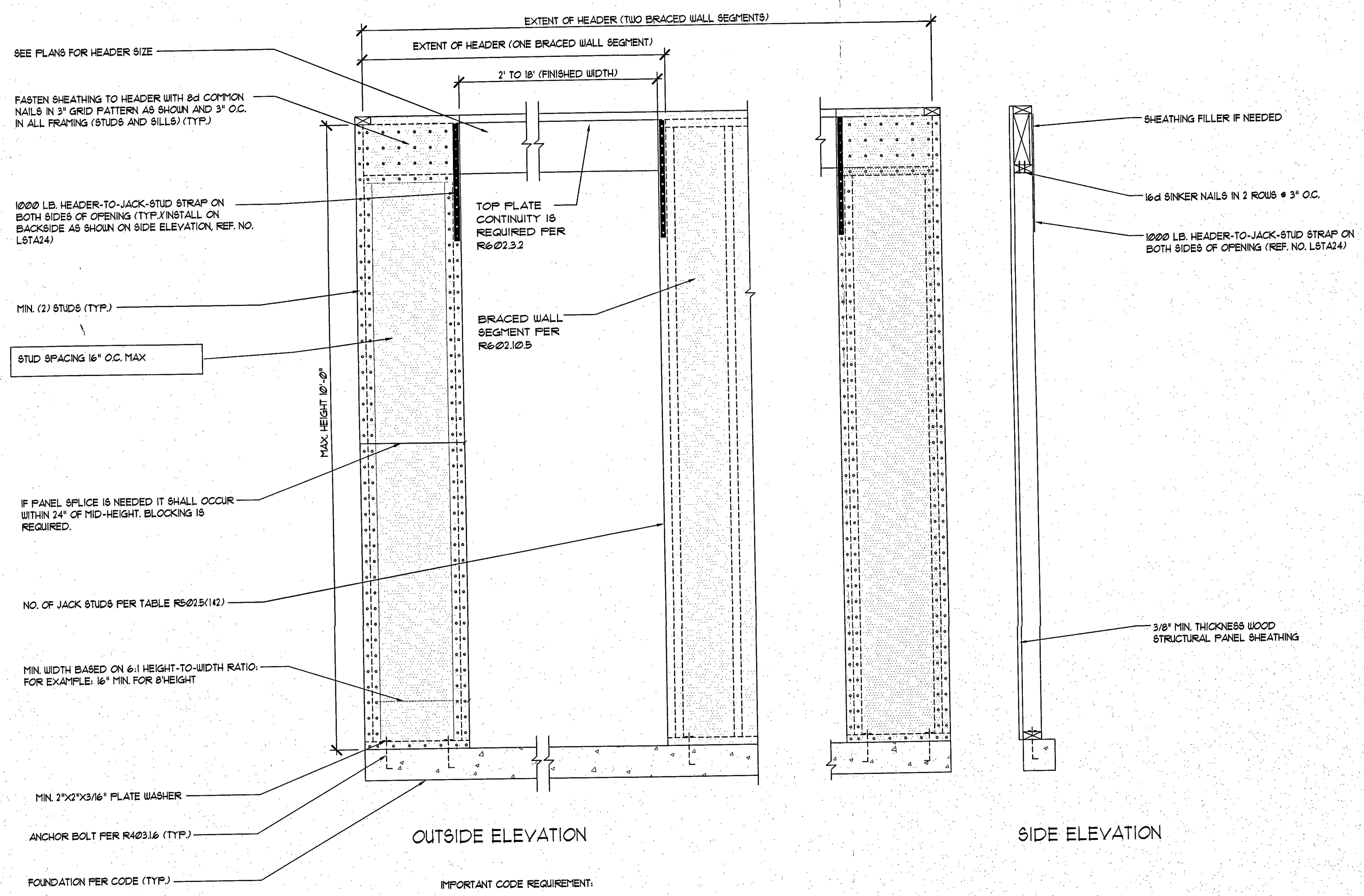
4 GARAGE DOOR HEADER OVER NARROW END WALL
SCALE: Not to Scale



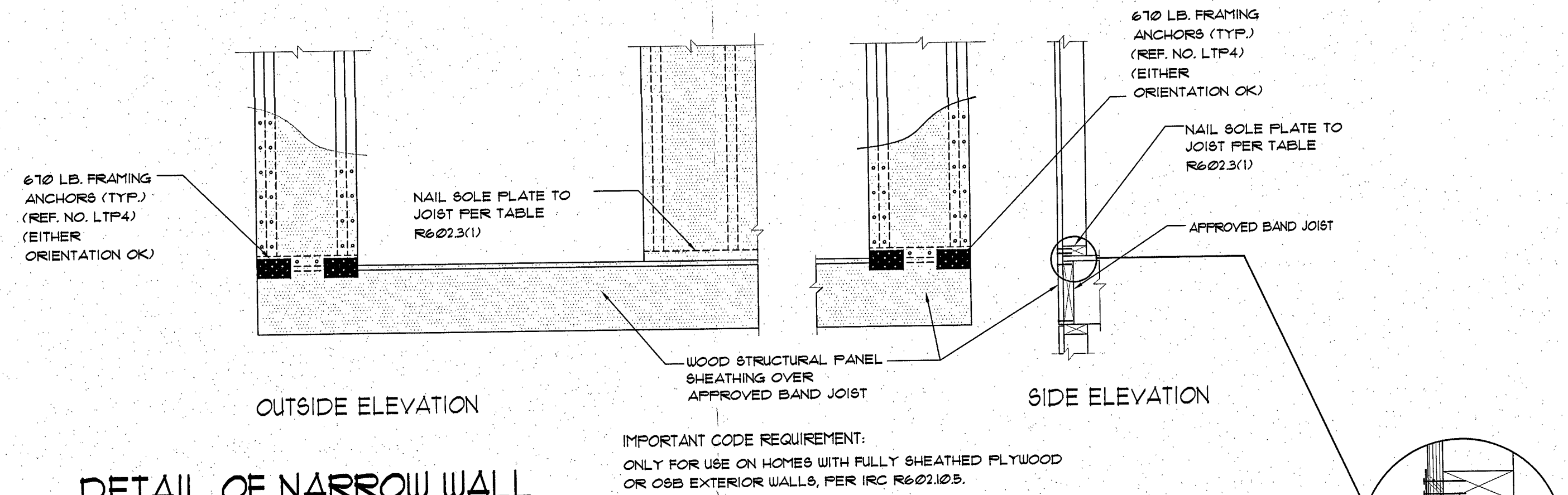
5 EXAMPLE OF INSIDE CORNER DETAIL
SCALE: Not to Scale (PER IRC R602.10.5)



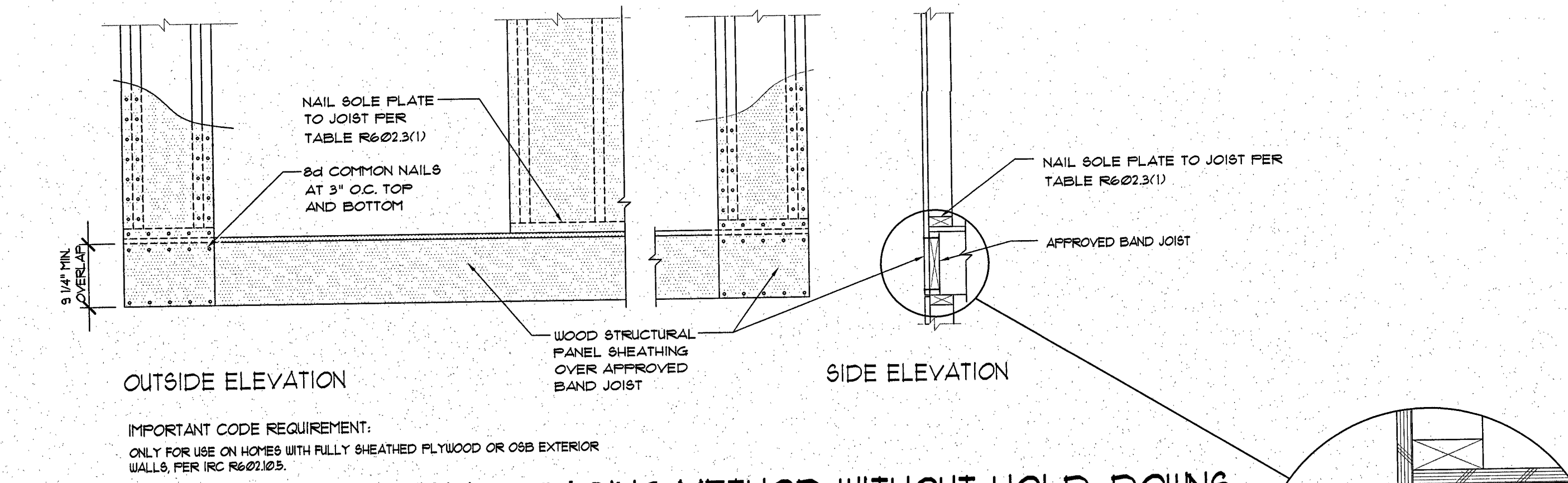
6 EXAMPLE OF OUTSIDE CORNER DETAIL
SCALE: Not to Scale (PER IRC R602.10.5)



1 DETAIL OF NARROW WALL BRACING METHOD WITHOUT HOLD-DOWNS
SCALE: Not to Scale (DETAIL 1 OF 3)



3 BRACING METHOD WITHOUT HOLD-DOWNS
SCALE: Not to Scale (FRAMING ANCHOR OPTION) (DETAIL 3 OF 3)



2 DETAIL OF NARROW WALL BRACING METHOD WITHOUT HOLD-DOWNS
SCALE: Not to Scale (STRUCTURAL PANEL OVERLAP OPTION) (DETAIL 2 OF 3)

FASTEN SHEATHING TO HEADER WITH 8d COMMON NAILS IN 3\"/>
1000 LB. HEADER-TO-JACK-STUD STRAP ON BOTH SIDES OF OPENING (TYP.) INSTALL ON BACKSIDE AS SHOWN ON SIDE ELEVATION REF. NO. L5T424)
TOP FLATE CONTINUITY IS REQUIRED PER R602.3.2
BRACED WALL SEGMENT PER R602.10.5
MIN. (2) STUDS (TYP.)
STUD SPACING 16\"/>
IF PANEL SPLICE IS NEEDED IT SHALL OCCUR WITHIN 24\"/>
NO. OF JACK STUDS PER TABLE R602.5(142)
MIN. WIDTH BASED ON 6:1 HEIGHT-TO-WIDTH RATIO. FOR EXAMPLE: 16\"/>
MIN. 2\"/>
ANCHOR BOLT PER R403.16 (TYP.)
FOUNDATION PER CODE (TYP.)

IMPORTANT CODE REQUIREMENT:
ONLY FOR USE ON HOMES WITH FULLY SHEATHED FLYWOOD OR OSB EXTERIOR WALLS, PER IRC R602.10.5.

IMPORTANT CODE REQUIREMENT:
ONLY FOR USE ON HOMES WITH FULLY SHEATHED FLYWOOD OR OSB EXTERIOR WALLS, PER IRC R602.10.5.

FRAMING ANCHORS INSTALLED PER THE ANCHOR MANUFACTURER'S RECOMMENDATION. THEY MAY ALSO BE ROTATED VERTICALLY.

USE ENGINEERED WOOD RIM BOARD, I-JOIST, OR DRY LUMBER RIM JOIST TO MINIMIZE POTENTIAL FOR BUCKLING OVER BAND JOIST

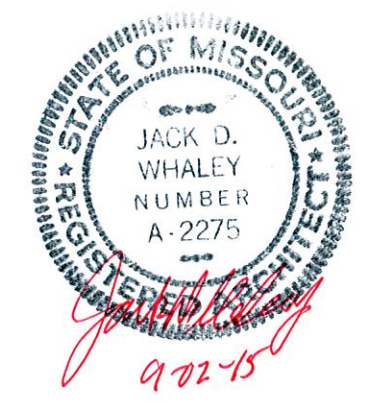
USE ENGINEERED WOOD RIM BOARD, I-JOIST, OR DRY LUMBER RIM JOIST TO MINIMIZE POTENTIAL FOR BUCKLING OVER BAND JOIST



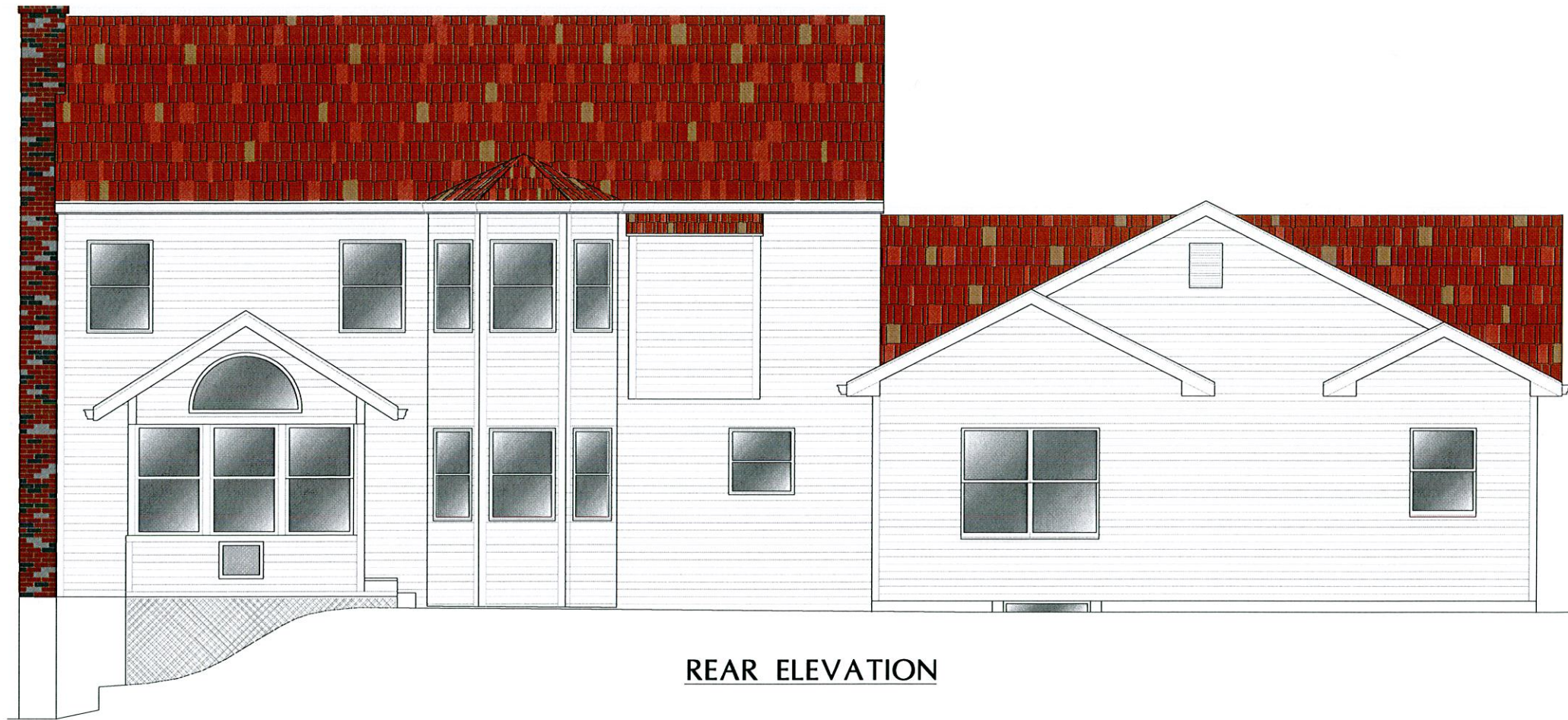
FRONT ELEVATION



LEFT SIDE ELEVATION



PICCIRILLO RESIDENCE

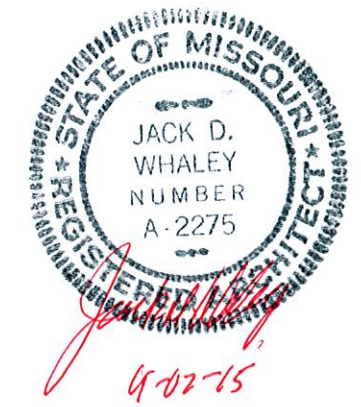


REAR ELEVATION



RIGHT SIDE ELEVATION

PICCIRILLO RESIDENCE



Adjacent Property Photo's Exhibit



Figure 1:14957 Chateau Village Dr.



Figure 2: 14962 Chateau Village Dr.

Adjacent Property Photo's Exhibit



Figure 3: 14963 Chateau Village Dr.



Figure 4: 14969 Chateau Village Dr.

Adjacent Property Photo's Exhibit



Figure 5: 14974 Chateau Village Dr.



Figure 6: 14981 Chateau Village Dr.

RECEIVED
City of Chesterfield
JUL 17 2015
Department of Public Services

**CHATEAU VILLAGE BOARD OF TRUSTEES' APPROVAL OF
JAY AND LYNN PICCIRILLO'S REQUEST REGARDING
14968 CHATEAU VILLAGE DRIVE**

Jay and Lynn Piccirillo (the "Applicants") are the owners of the home and land known and numbered as 14968 Chateau Village Drive (the "Property"), and they request (hereinafter the "Request") pursuant to paragraph 7(b) of the Declaration of Restrictive Covenants of Chateau Village, the Board of Trustees ("Board") to approve of the Request to construct a single story addition (the "Addition") to the rear of their existing residence with said addition having an approximate square footage of 900 sq. ft., as depicted in **Exhibit "A"** hereto. Upon careful review and consideration of the Request, the Board has determined the Request complies with the provisions of paragraph 7(b) of the Declaration of Restrictive Covenants, architectural detail and rendering, and hereby approves the Request to allow the Applicants to construct the addition as depicted on **Exhibit "A"** on the Property. The Board further acknowledges that this consent to allow the Applicants to proceed with the Addition shall be sufficient for authorizing any third parties to rely on this consent for purposes of enabling the Applicants to apply for and receive any third party consents, licenses, approvals or permits Applicants may otherwise need to construct the Addition.

THE CHATEAU VILLAGE BOARD OF TRUSTEES:

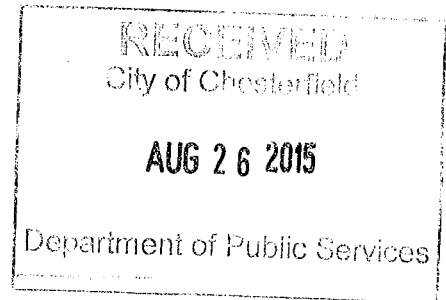
Barb Krason
2371 Greenberry Hill Ln.
Chesterfield, MO 63017
Barb Krason
Date: Nov 3, 2014

Dennis Bass
~~2366 Greenberry Hill Ln.~~
~~Chesterfield, MO 63017~~
not a trustee
Date: _____

Mike Curran
2388 Greenberry Hill Ln.
Chesterfield, MO 63017
Mike Curran
Date: 11/6/14

Mark Kirkpatrick
2383 Greenberry Hill
Chesterfield, MO 63017
Mark Kirkpatrick
Date 11/3/14

August 25, 2015



John Boyer
Senior Planner
City of Chesterfield
690 Chesterfield Parkway West
Chesterfield, Mo 63017

Dear John,

Let this letter serve as acknowledgement that I am aware of my neighbor's, Lynn and Jay Piccirillo, plan for a home addition. The project has been explained to me and I have been made aware it will be starting in October of this year.

Sincerely,

A handwritten signature in black ink, appearing to read "Chunsheng Xia" or "Yuhang Dang".

Chunsheng Xia or
Yuhang Dang
14962 Chateau Village Drive
Chesterfield, Mo 63017

August 25, 2015

RECEIVED
City of Chesterfield

AUG 26 2015

Department of Public Services

John Boyer
Senior Planner
City of Chesterfield
690 Chesterfield Parkway West
Chesterfield, Mo 63017

Dear John,

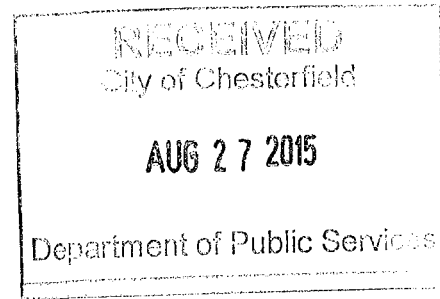
Let this letter serve as acknowledgement that I am aware of my neighbor's, Lynn and Jay Piccirillo, plan for a home addition. The project has been explained to me and I have been made aware it will be starting in October of this year.

Sincerely,



Dennis or Pam Zurweller
14974 Chateau Village Drive
Chesterfield, Mo 63017

August 26, 2015



John Boyer
Senior Planner
City of Chesterfield
690 Chesterfield Parkway West
Chesterfield, Mo 63017

Dear John,

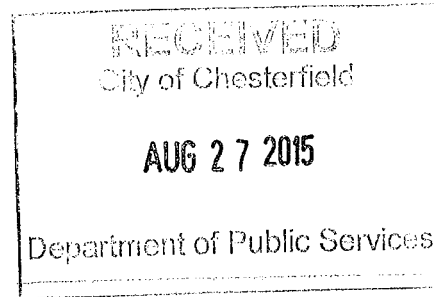
Let this letter serve as acknowledgement that I am aware of my neighbor's, Lynn and Jay Piccirillo, plan for a home addition. The project has been explained to me and I have been made aware it will be starting in October of this year.

Sincerely,

A handwritten signature in cursive script that reads "Diana Schumacher".

Steve or Diana Schumacher
2399 Greenberry Lane
Chesterfield, Mo 63017

August 26, 2015



John Boyer
Senior Planner
City of Chesterfield
690 Chesterfield Parkway West
Chesterfield, Mo 63017

Dear John,

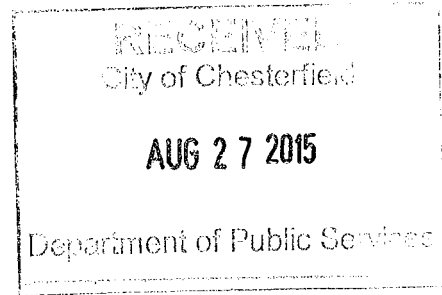
Let this letter serve as acknowledgement that I am aware of my neighbor's, Lynn and Jay Piccirillo, plan for a home addition. The project has been explained to me and I have been made aware it will be starting in October of this year.

Sincerely,

A handwritten signature in cursive script, appearing to read "V. Levchinsky", followed by a horizontal line.

Vladmir or Marina Levchinsky
14963 Chateau Village Drive
Chesterfield, Mo 63017

August 26, 2015



John Boyer
Senior Planner
City of Chesterfield
690 Chesterfield Parkway West
Chesterfield, Mo 63017

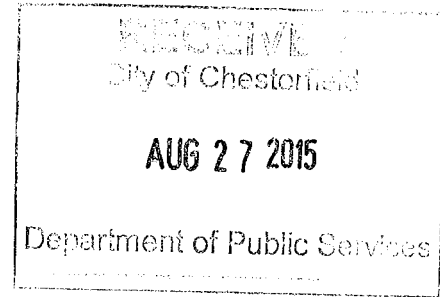
Dear John,

Let this letter serve as acknowledgement that I am aware of my neighbor's, Lynn and Jay Piccirillo, plan for a home addition. The project has been explained to me and I have been made aware it will be starting in October of this year.

Sincerely,

Elizabeth Pauli
14969 Chateau Village Drive
Chesterfield, Mo 63017

August 26, 2015

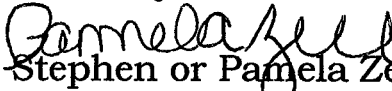


John Boyer
Senior Planner
City of Chesterfield
690 Chesterfield Parkway West
Chesterfield, Mo 63017

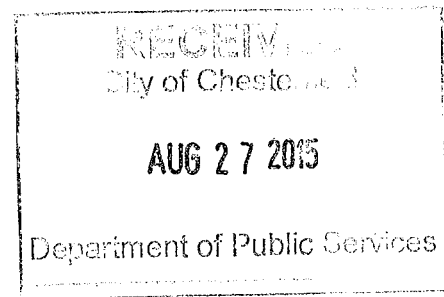
Dear John,

Let this letter serve as acknowledgement that I am aware of my neighbor's, Lynn and Jay Piccirillo, plan for a home addition. The project has been explained to me and I have been made aware it will be starting in October of this year.

Sincerely,


~~Stephen or Pamela Zell~~
14963 Claymont Estates Drive
Chesterfield, Mo 63017

August 26, 2015



John Boyer
Senior Planner
City of Chesterfield
690 Chesterfield Parkway West
Chesterfield, Mo 63017

Dear John,

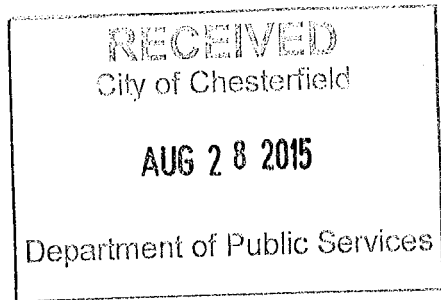
Let this letter serve as acknowledgement that I am aware of my neighbor's, Lynn and Jay Piccirillo, plan for a home addition. The project has been explained to me and I have been made aware it will be starting in October of this year.

Sincerely,

Howe Family (Leo)

14971 Claymont Estates Drive
Chesterfield, Mo 63017

August 26, 2015



John Boyer
Senior Planner
City of Chesterfield
690 Chesterfield Parkway West
Chesterfield, Mo 63017

Dear John,

Let this letter serve as acknowledgement that I am aware of my neighbor's, Lynn and Jay Piccirillo, plan for a home addition. The project has been explained to me and I have been made aware it will be starting in October of this year.

Sincerely,

A handwritten signature in cursive script that reads "Jason D. Gordon".

Jason Gordon
14977 Claymont Estates Drive
Chesterfield, Mo 63017