



II.A.

690 Chesterfield Pkwy W • Chesterfield MO 63017-0760
Phone: 636-537-4000 • Fax 636-537-4798 • www.chesterfield.mo.us

September 9, 2010

Architectural Review Board
City of Chesterfield
690 Chesterfield Parkway West
Chesterfield, MO 63017

Re: Manors at Schoettler Valley: Amended Architectural Elevations and an Architect's Statement of Design for an 8.85 acre lot of land zoned "R2" Residence District located approximately 600' NE of the intersection of Squires Way Drive and Schoettler Valley Drive.

Board Members:

Consort Homes has submitted Amended Architectural Elevations and an Architect's Statement of Design for the above referenced project. The Department of Planning and Public Works has reviewed this request and submits the following report.

Submittal Information

The request is for an amendment to the approved Architectural Elevations for the Manors at Schoettler Valley development. The Architectural Review Standards allow for requests such as this to be approved by the Planning and Development Services Director. The Director is requesting review by the Architectural Review Board (ARB) regarding the amended architectural elevations prior to rendering a decision on the submittal. The Architectural Review Standards do not require Single Family Residential Subdivisions to be reviewed by the ARB unless it is required by the site specific ordinance. While the site specific ordinance for this site did not require said review, this project was presented to the ARB in October 2006 at which time it was recommended for approval by a vote of 5-0.

The Manors at Schoettler Valley development was approved for nine single family detached homes to be developed by Taylor Morely, Inc.. Two homes were subsequently built on lots one and four in 2007 and 2008 by Schoettler Manor Homes, LLC/Seabrook Homes. These two existing homes are two story with brick and stone fronts. Images of the two constructed homes can be found in the ARB submittal provided by the applicant. Consort Homes is now taking over the development of the remaining lots. Their submittal shows twenty-four (24) proposed house elevations within four (4) floor plans.

Departmental Input

Staff has reviewed the project against what was previously approved and against the Architectural Review Standards. Please see the attached checklist for our review of the project's compliance with the City of Chesterfield's Design Standards.

Actions Requested

This request is not required to go before the ARB by ordinance but is before the board at the request of the Planning and Development Services Director for a recommendation.

Respectfully Submitted,

A handwritten signature in black ink, appearing to read "Mara M. Perry". The signature is written in a cursive, flowing style.

Mara M. Perry, AICP
Senior Planner

Attachments

1. ARB Design Review Checklist
2. Architectural Review Packet Submittal

**ARCHITECTURAL REVIEW BOARD
Standards Review Checklist**

Project Name: Manors at Schoettler Valley
Date of Review: September 9, 2010

Standard Description	Addressed as Written	Addressed with Modification (1)	Comments and Reference (2)
Applicability and Compliance			
General Requirements for Site Design			
A. Site Relationships	N/A		
B. Circulation System and Access	N/A		
C. Topography	N/A		
D. Retaining Walls	N/A		
General Requirements for Building Design			
A. Scale	X		Houses in the surrounding subdivisions range from one to two stories. The elevations previously approved and the proposed elevations are also one to two stories.
B. Design		X	The architectural form and detailing of many of the proposed elevations is similar to adjacent developments. Some of the proposed elevations are more simplistic in their massing and details.
C. Materials and Color		X	Materials and colors of the surrounding developments have a wide range of material types and almost all include a masonry type material on a portion of the front elevation. A number of the proposed elevations are of one material or do not include any masonry materials.
D. Landscape Design and Screening	N/A		
E. Signage	N/A		
F. Lighting	N/A		
Use Type:			
Access	N/A		
Exterior Elements	X		
Landscaping and Screening	N/A		
Scale	X		
Site Design	N/A		

Notes:

(1) A check in this column refers to the item being addressed in the submission, but with potential variation from the standards that review by the Board is specifically requested.

(2) *Comments* provide additional information regarding the status of specific design guidelines.

Form revised: August 2010



ARCHITECTURAL REVIEW BOARD
Project Statistics and Checklist

Date of First Comment Letter Received from the City of Chesterfield _____

Project Title: Manors at Schoettler Valley Location: Squires Way Dr

Developer: Taylor Morley Architect: TIM PALERMO Engineer: WIND

PROJECT STATISTICS:

Size of site (in acres): 8.85ac Total Square Footage: 385,475^{sq} Building Height: 28' Mean Roof

Proposed Usage: RESIDENTIAL

Exterior Building Materials: BRICK & VINYL

Roof Material & Design: ASPHALT SHINGLES

Screening Material & Design: _____

Description of art or architecturally significant features (if any): _____

ADDITIONAL PROJECT INFORMATION:

Checklist: Items to be provided in an 11" x 17" format

- Color Site Plan with contours, site location map, and identification of adjacent uses.
- Color elevations for all building faces.
- Color rendering or model reflecting proposed topography.
- Photos reflecting all views of adjacent uses and sites.
- Details of screening, retaining walls, etc.
- Section plans highlighting any building off-sets, etc. (as applicable)
- Architect's Statement of Design which clearly identifies how each section in the Guidelines has been addressed and the intent of the project.
- Landscape Plan.
- Lighting cut sheets for any proposed building lighting fixtures. (as applicable)
- Large exterior material samples. (to be brought to the ARB meeting)
- Any other exhibits which would aid understanding of the design proposal. (as applicable)
- Pdf files of each document required.



City of Chesterfield
Planning and Zoning dept.
RE: The Manors at Schoettler Valley

September 8, 2010

Architectural Statement of Design

Consort Homes is working in conjunction with Enterprise Bank to complete the remaining lots in this development in this turbulent economic climate. It is our intent to meet all the Architectural Criteria required by the city.

Consort Homes has maintained a strong marketing campaign to promote Green Building. We are currently following the Green Building program under the National Association of Home Builders exceeding the current and future residential building code standards.

The plans proposed are designed with the intent to provide homes that are both compatible and enhancing to the neighborhood.

This is achieved with multiple optional front elevations to provide variety to compliment the surrounding streetscape.

The multiple optional front elevations and plans use modern building materials that are blended with architectural elements. The use of covered porches, offsets, gabled roof lines and proportional fenestration give a sense of scale and balance to the front facades.

We feel the plans proposed will compliment the community and offer the affordability that today's market dictates

A handwritten signature in black ink, appearing to read "Timothy E. Palermo".

Timothy E. Palermo R.A.
Director of Architecture
Consort Homes

17887 Chesterfield Airport Road Chesterfield, MO 63005

636-777-7300 636-777-7071 Fax

www.myconsorthome.com





Bridgeport 2



Bridgeport 4



Bridgeport 1



Bridgeport 3



Bridgeport 8



Bridgeport 6



Lancaster 2



Lancaster 5



Lancaster 1



Lancaster 3



Lancaster 8



Lancaster 7



Sierra 4



Sierra 6



Sierra 1



Sierra 5



Sierra 8



Sierra 7



Windsor 1



Windsor 4



Windsor 7



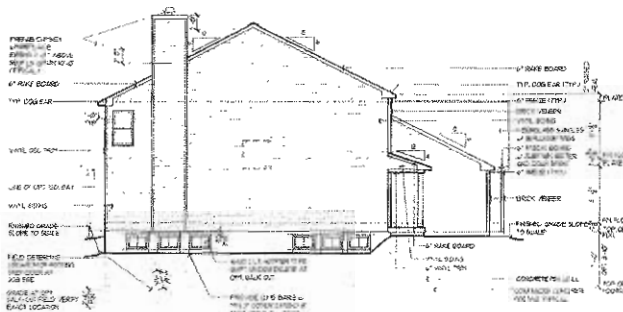
Windsor 3



Windsor 6

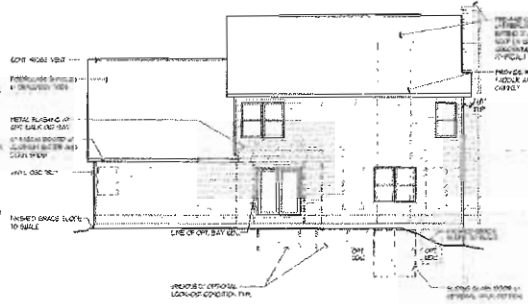


Windsor 5



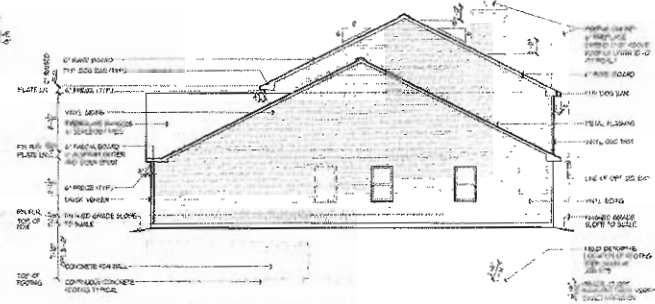
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SCALE 1/4" = 1'-0"



REAR ELEVATION "2"

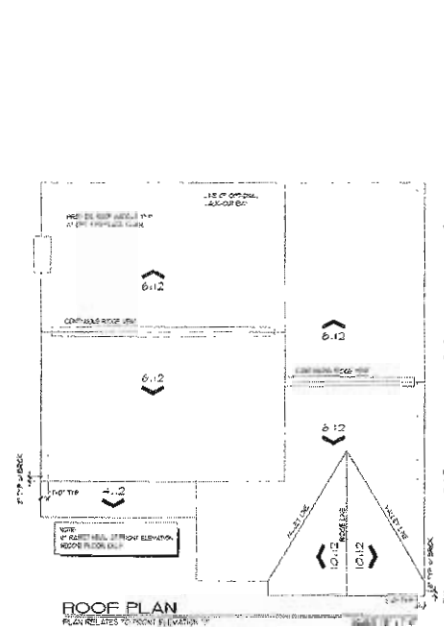
SCALE 1/4" = 1'-0"



RIGHT SIDE ELEVATION "2"

SCALE 1/4" = 1'-0"

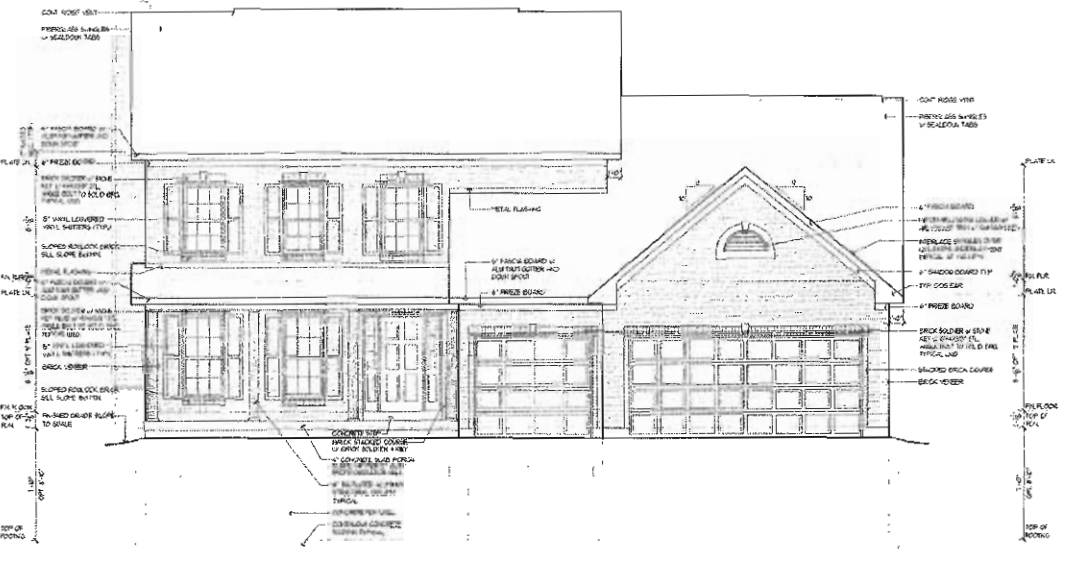
Table with multiple columns and rows, likely a schedule or specification table. Headers include 'ITEM', 'DESCRIPTION', and 'QUANTITY'. The table contains detailed notes and specifications for various components of the house.



ROOF PLAN

PLAN RELATES TO FRONT ELEVATION "2"

SCALE 1/4" = 1'-0"



FRONT ELEVATION "2"

SCALE 1/4" = 1'-0"

NOTE: IF SIZES ARE AT FRONT ELEVATION, SECOND FLOOR ONLY.

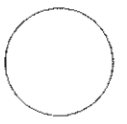


Table with columns for 'Date' and 'Revisions/Submissions'. It contains a grid for tracking changes to the drawing.

CONSORT HOMES

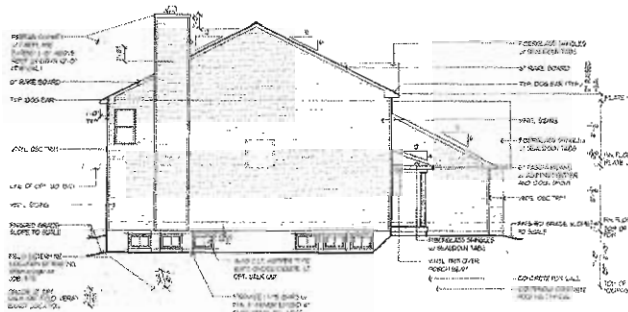
 11889 Chesterfield Airport Road

 Chesterfield, MD 63005 Ph. (636) 777-9300

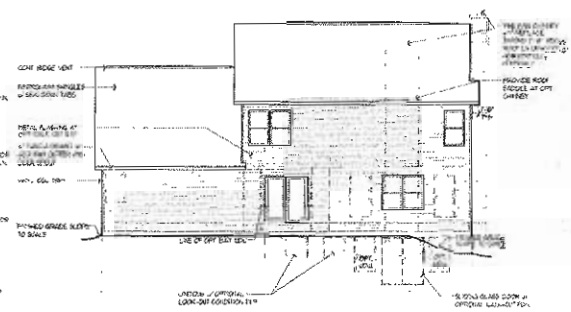
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 ISSUE DATE: 1/1/10
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 DRAWN: TEP

PROPOSED MASTER PLAN FOR:
THE BRIDGEPORT PREMIER SPEC.
 ELEVATIONS AND ROOF PLAN #2

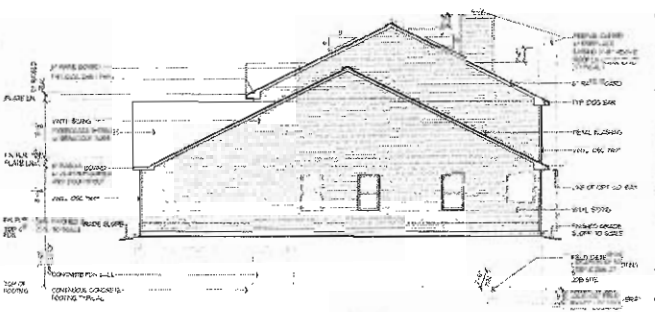
SHEET
0.2



LEFT SIDE ELEVATION "3" SCALE 1/4" = 1'-0"



REAR ELEVATION "3" SCALE 1/4" = 1'-0"



RIGHT SIDE ELEVATION "3" SCALE 1/4" = 1'-0"

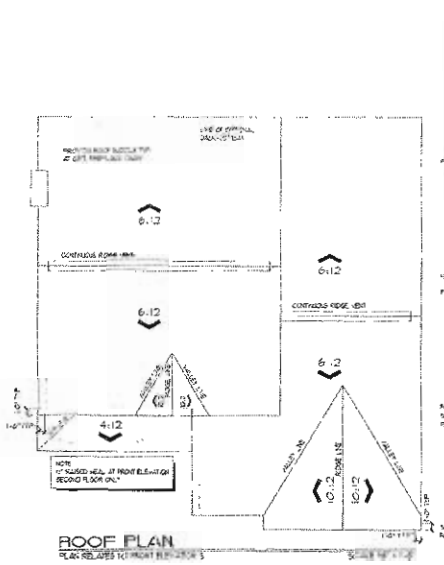
Materials Requirements

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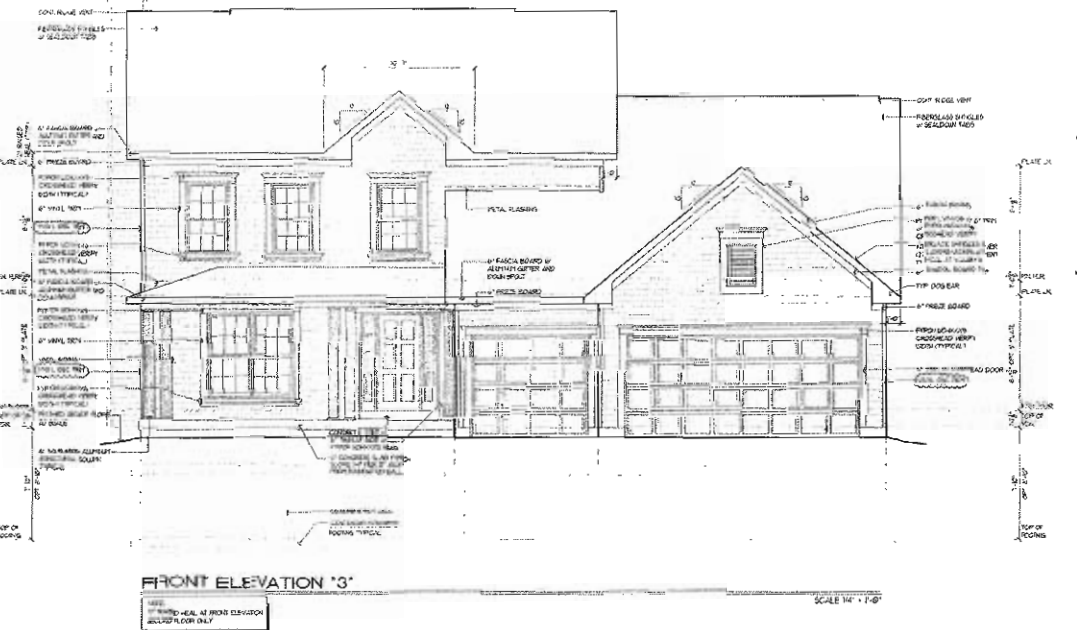
High Voltage Requirements Met Yes

Low Voltage Requirements Met Yes

High Voltage Requirements Met Yes



ROOF PLAN SCALE 1/4" = 1'-0"



FRONT ELEVATION "3" SCALE 1/4" = 1'-0"

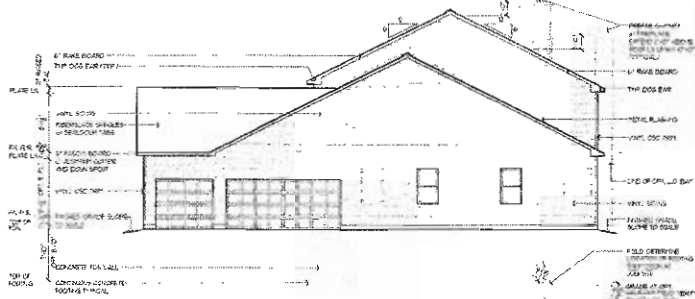
Revisions/Comments:

Date:

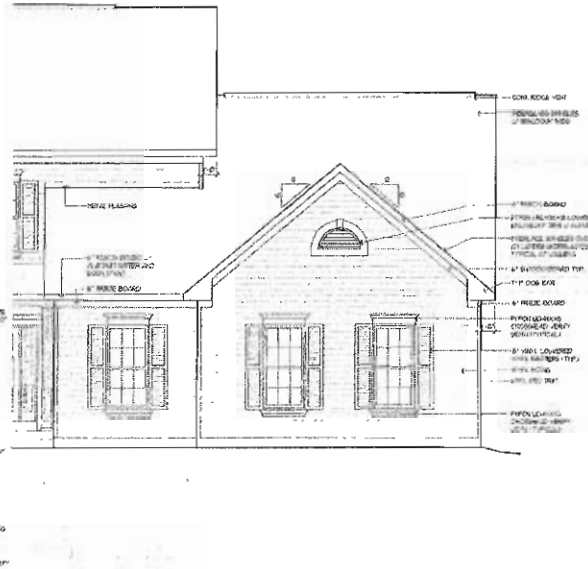
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 ISSUE DATE: 1/1/10
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 DRAWN: TEP

CONSORT HOMES
 17857 Chesterfield Airport Road
 Chesterfield, MO 63006 Ph: 636.777.9300

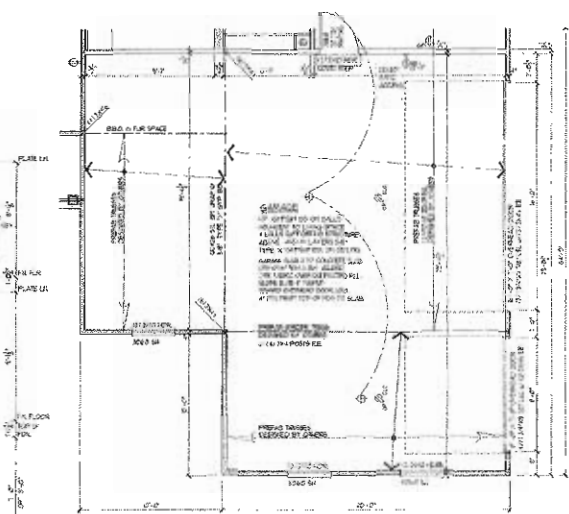
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THE BRIDGEPORT PREMIER SPEC.
 ELEVATIONS AND ROOF PLAN #3



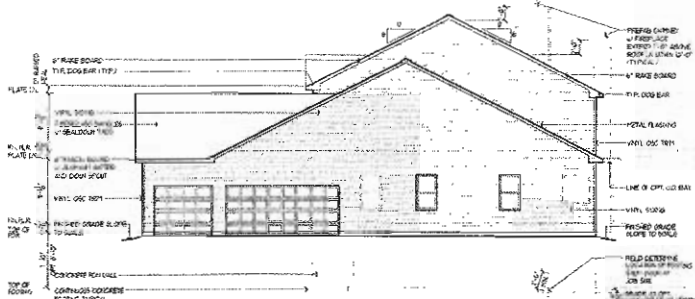
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OPTIONAL SIDE ENTRY GARAGE
SCALE 1/4" = 1'-0"



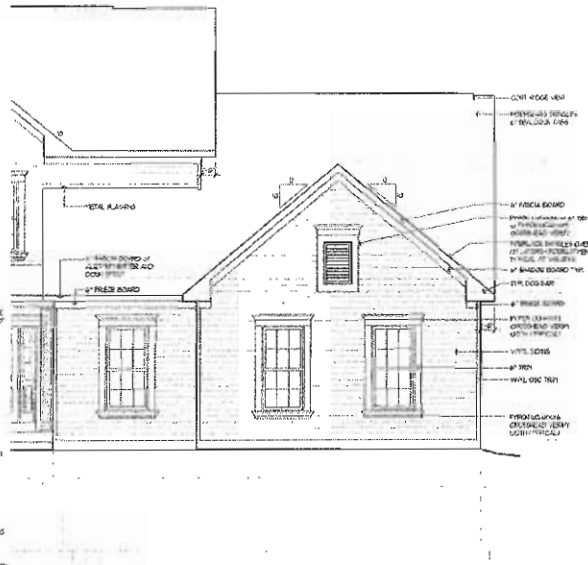
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OPTIONAL SIDE ENTRY GARAGE
SCALE 1/4" = 1'-0"



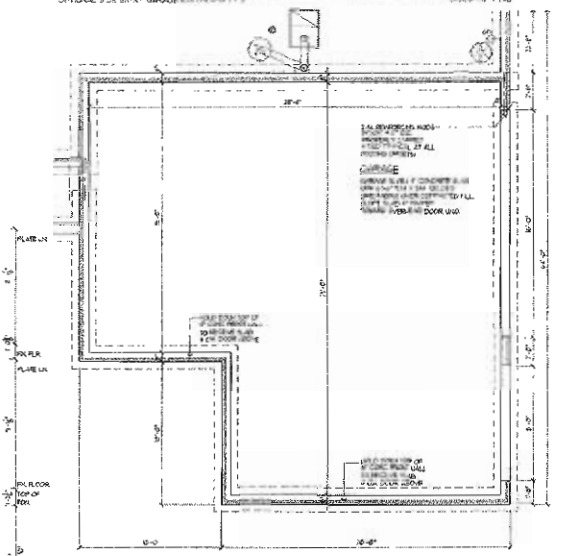
PARTIAL FIRST FLOOR PLAN
OPTIONAL SIDE ENTRY GARAGE ELEVATION 1



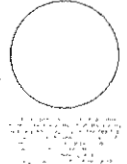
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OPTIONAL SIDE ENTRY GARAGE
SCALE 1/4" = 1'-0"



FRONT ELEVATION "3"
OPTIONAL SIDE ENTRY GARAGE
SCALE 1/4" = 1'-0"



PARTIAL FOUNDATION PLAN
OPTIONAL SIDE ENTRY GARAGE ELEVATION 1



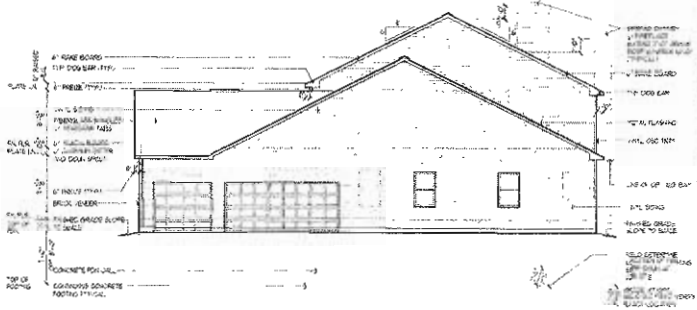
NO.	DATE	DESCRIPTION

CONSORT HOMES
17887 Chesterfield Airport Road
Chesterfield, MO 63005 Ph: 636.773.1900

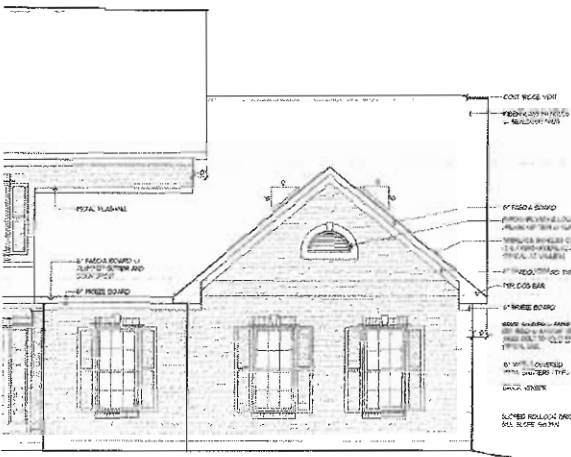
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DRAWN: TEP

PROPOSED MASTER PLAN FOR:
THE BRIDGEPORT PREMIER SPEC
OPTIONAL SIDE ENTRY GARAGE

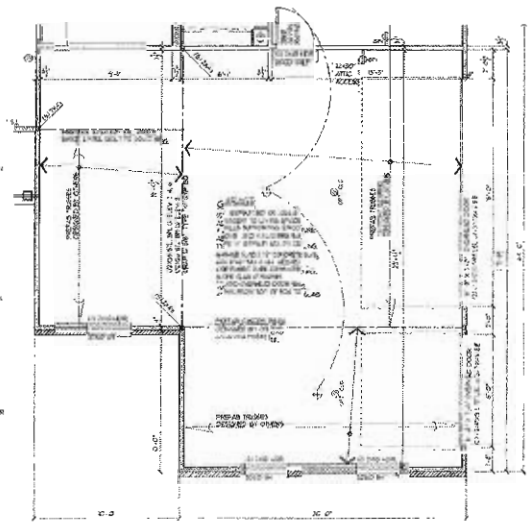
SHEET
7.31



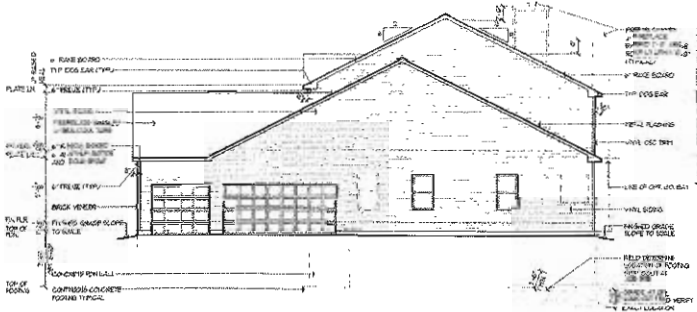
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OPTIONAL SIDE ENTRY GARAGE
SCALE 1/4" = 1'-0"



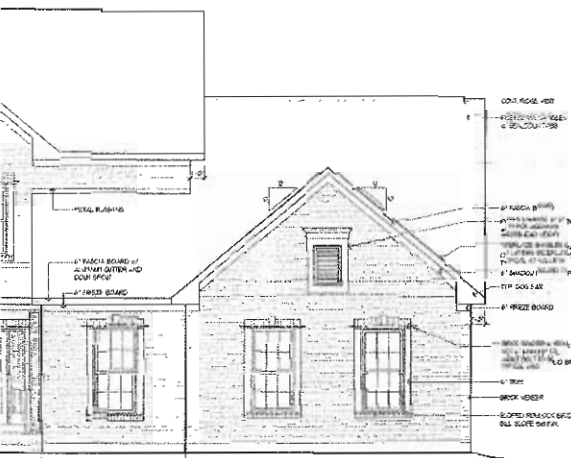
FRONT ELEVATION *2*
OPTIONAL SIDE ENTRY GARAGE
SCALE 1/4" = 1'-0"



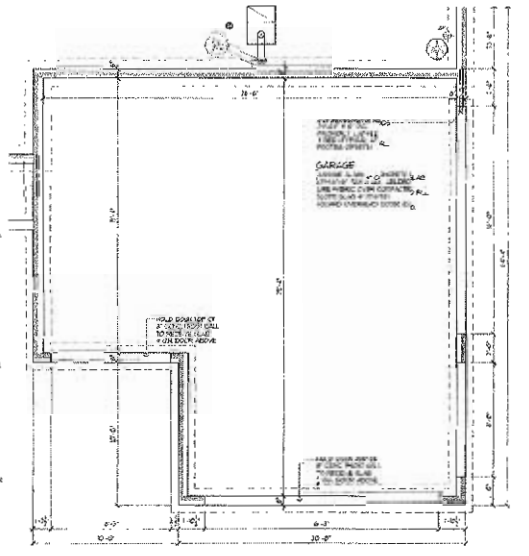
PARTIAL FIRST FLOOR PLAN
OPTIONAL SIDE ENTRY GARAGE ELEVATIONS 2 & 4
SCALE 1/4" = 1'-0"



RIGHT SIDE ELEVATION *4*
OPTIONAL SIDE ENTRY GARAGE
SCALE 1/4" = 1'-0"



FRONT ELEVATION *4*
OPTIONAL SIDE ENTRY GARAGE
SCALE 1/4" = 1'-0"



PARTIAL FOUNDATION PLAN
OPTIONAL SIDE ENTRY GARAGE ELEVATIONS 2 & 4
SCALE 1/4" = 1'-0"

SEE SHEET 7.3.2 FOR FLOOR PLAN AND ELEVATIONS FOR ADDITIONAL INFORMATION

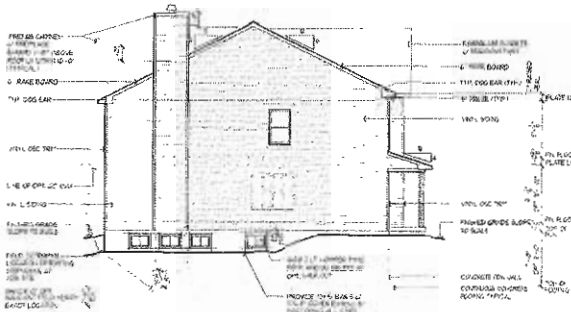
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 Revisions/Submissions: _____

CONSORT HOMES
 1787 C. Harford Airport Road
 Chesterfield, MO 63005 Ph: 636.777.7100

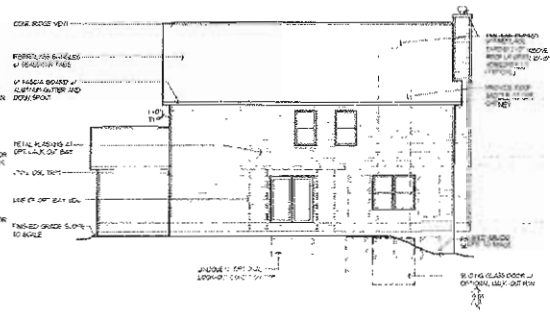
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 DRAWN: TEP

PROPOSED MASTER PLAN FOR:
THE BRIDGEPORT PREMIER SPEC.
 © 2009 by the owner
OPTIONAL SIDE ENTRY GARAGE

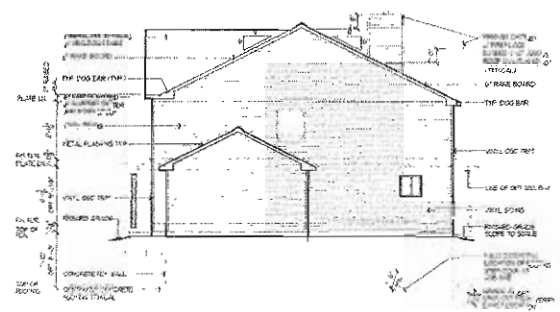
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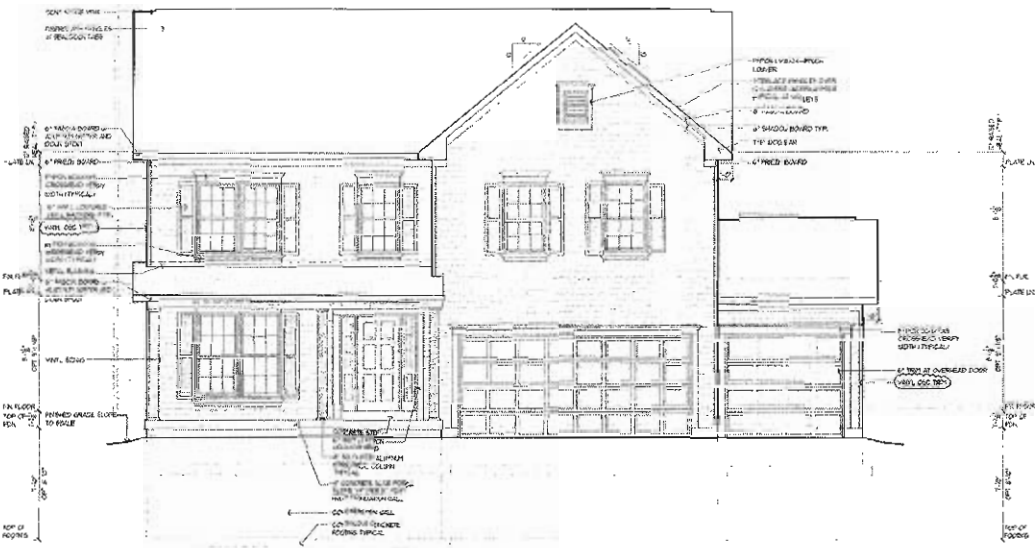
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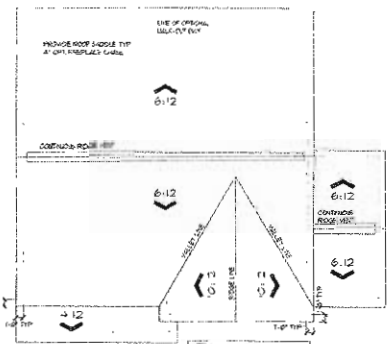
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FRONT ELEVATION "1" SCALE 1/8" = 1'-0"



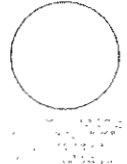
ROOF PLAN SCALE 1/8" = 1'-0"

Minimum Requirements

High Wind Requirements Met: Yes

Low Wind Requirements Met: Yes

Energy Requirements Met: Yes



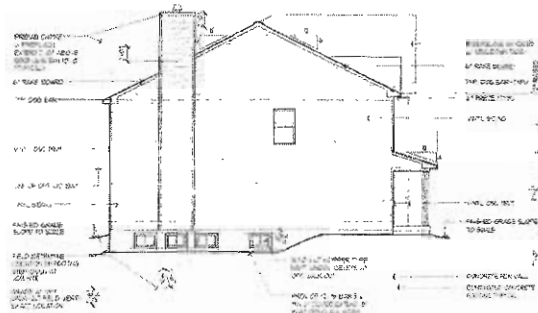
Project Information Table

Project Name	
Client	
Address	
City/State	
Phone	
Website	
Architect	
Date	

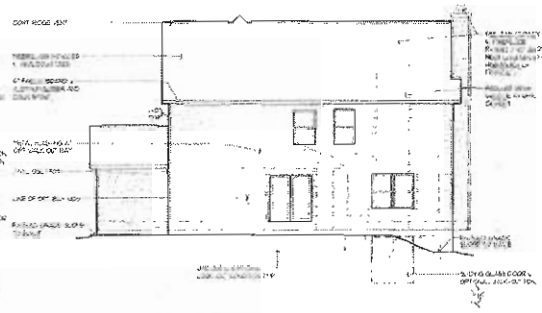
CONSORT HOMES
 17881 Chantrelle Airport Road
 Chesterfield, MO 63005 Ph: 636.777.9300

PROJECT #: 05010P
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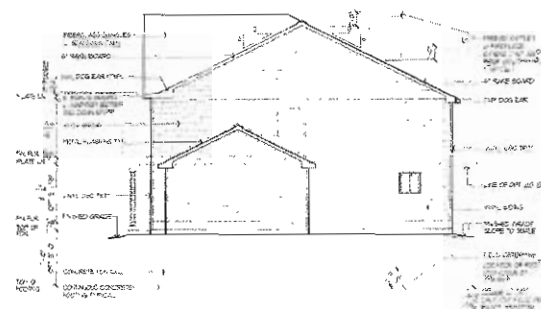
PROPOSED MASTER PLAN TOP:
THE LANCASTER PREMIER SPEC.
 ELEVATIONS AND ROOF PLAN #1



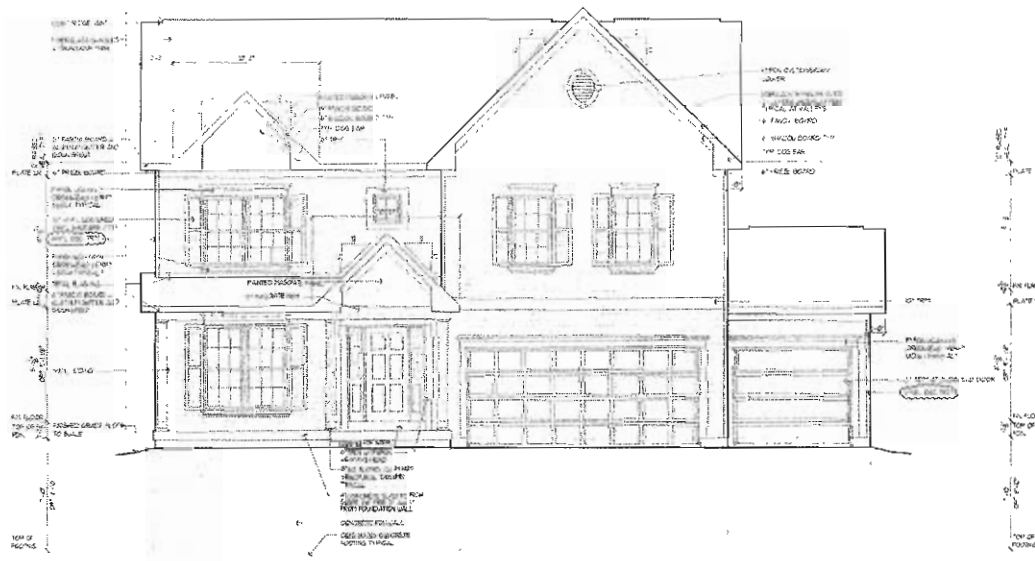
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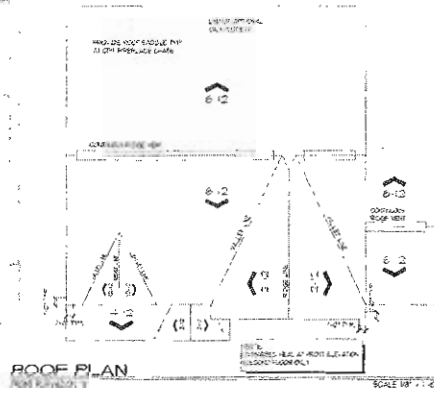
REAR ELEVATION "3"



RIGHT SIDE ELEVATION "3"



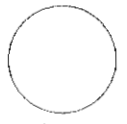
FRONT ELEVATION "3"



ROOF PLAN

High Voltage Requirements Met: YES

Low Voltage Requirements Met: YES

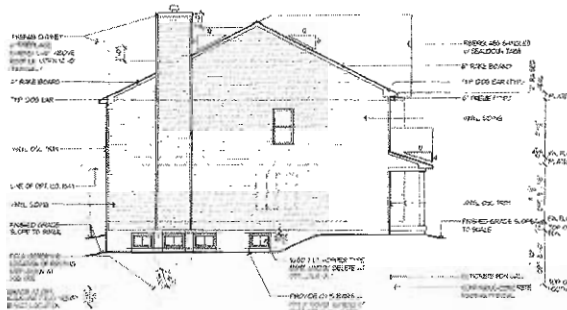


DATE	DESCRIPTION

CONSORT HOMES
 17887 Chaffinfield Airport Road
 Chesterfield, MO 63005 Ph: 436.777.7300

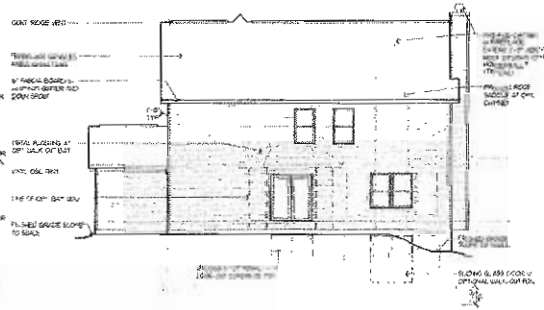
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PROPOSED MASTER PLAN FOR:
THE LANCASTER PREMIER SPEC.
 ELEVATIONS AND ROOF PLAN #3



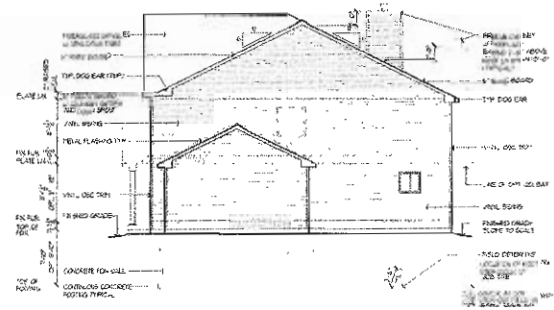
LEFT SIDE ELEVATION *5*

SCALE 1/4" = 1'-0"



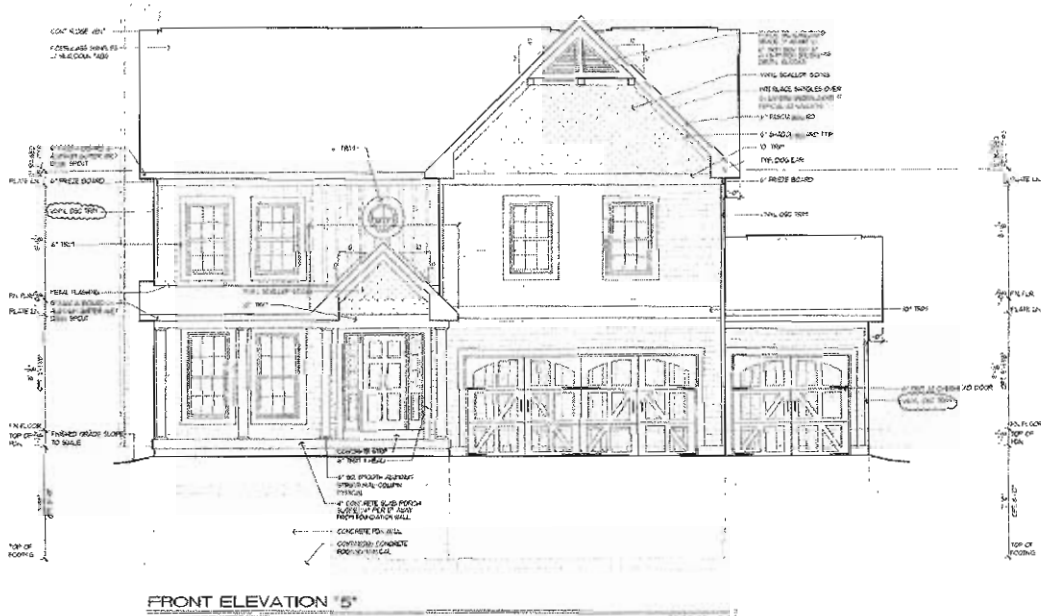
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SCALE 1/4" = 1'-0"



RIGHT SIDE ELEVATION *5*

SCALE 1/4" = 1'-0"



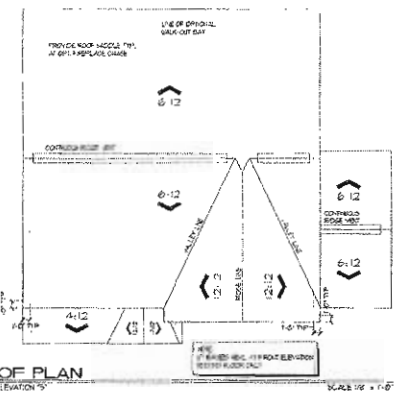
FRONT ELEVATION *5*

SCALE 1/4" = 1'-0"

NOTE: *5* REAR ELEV. & REAR PORCH SECOND FLOOR ONLY

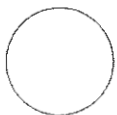
Verification Requirements

Item	Requirement	Met
1	High Velocity Requirements	Yes
2	Low Velocity Requirements	Yes



ROOF PLAN

SCALE 1/4" = 1'-0"



Revisions/Submissions

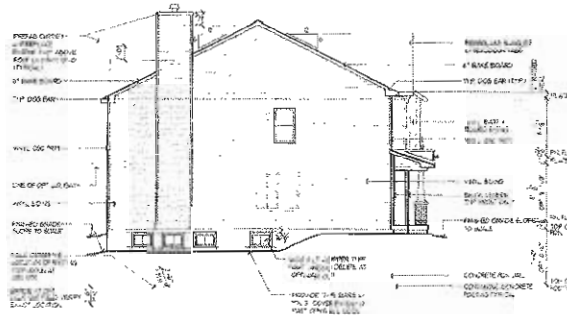
DATE	DESCRIPTION

CONSORT HOMES
 1151 Chesterfield Airport Road
 Chesterfield, MO 63005 Ph: 636.777.2500

PROJECT #: 05010P
 ISSUE DATE: 1/1/10
 SCALE: 1/4" = 1'-0"
 DRAWN: TEP

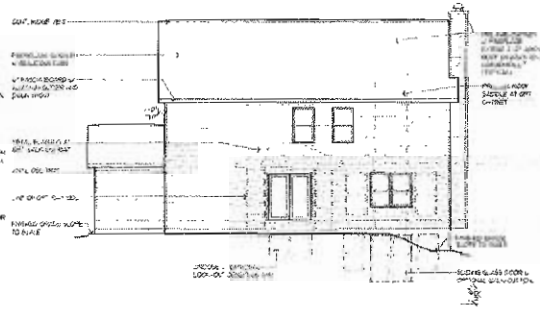
PROPOSED MASTER PLAN FOR:
THE LANCASTER PREMIER SPEC.
 ELEVATIONS AND ROOF PLAN #5

SHEET
0.5



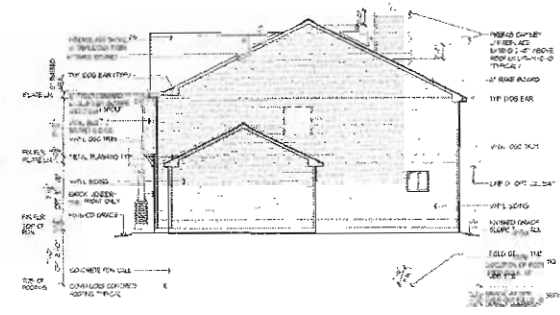
LEFT SIDE ELEVATION '8'

SCALE 1/8" = 1'-0"



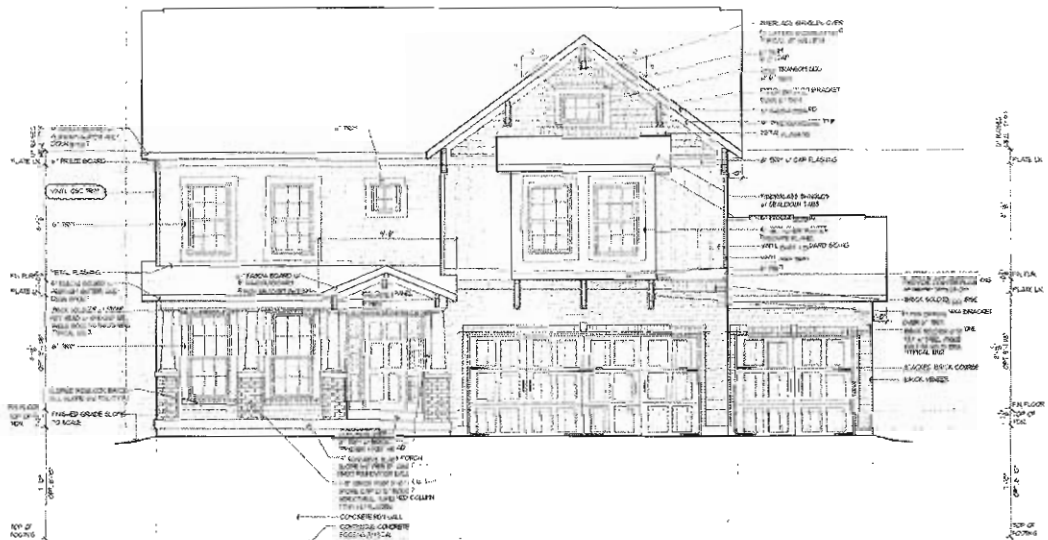
REAR ELEVATION '8'

SCALE 1/8" = 1'-0"



RIGHT SIDE ELEVATION '8'

SCALE 1/8" = 1'-0"



FRONT ELEVATION '8'

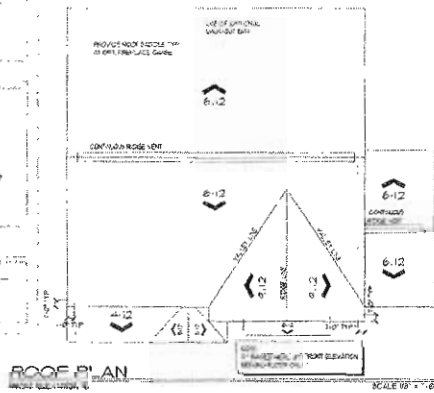
SCALE 1/8" = 1'-0"

Vertical Ventilation Requirements

High Velocity Requirements: Yes

Low Velocity Requirements: Yes

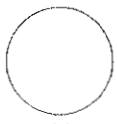
Item	Value
450.0	450.0
448	448



ROOF PLAN

SCALE 1/4" = 1'-0"

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 8000 FLOOR 041



Revisions/Submissions:

No.	Date	Description

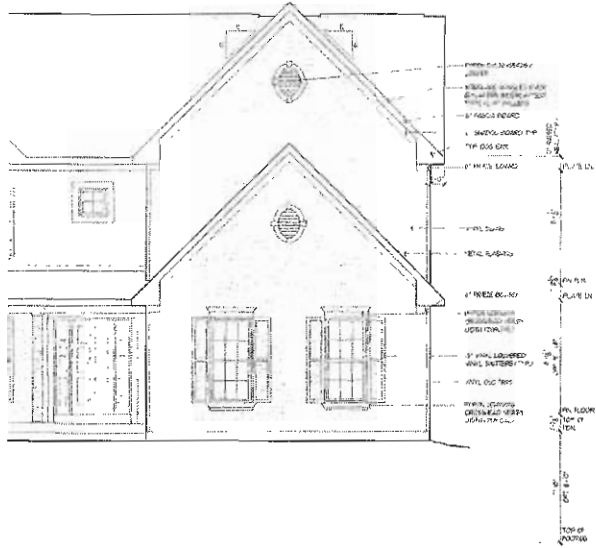
PROJECT # 0501CP
 ISSUE DATE 1/1/10
 SCALE: 1/4" = 1'-0"

CONSORT HOMES
 1887 Chain Merfeld Airport Road
 Chesterfield, MO 63005 Ph: 636.777.7300

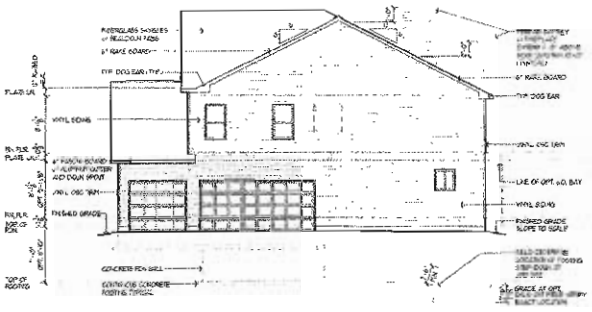
TEP

PROPOSED MASTER PLAN FOR:
THE LANCASTER PREMIER SPEC.
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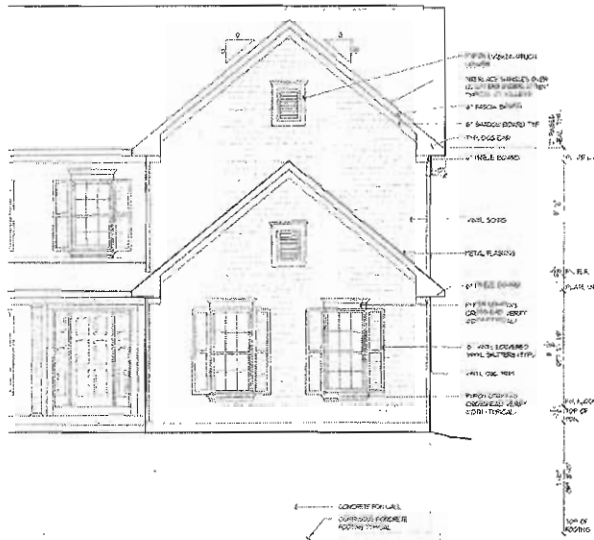
ELEVATIONS AND ROOF PLAN #8



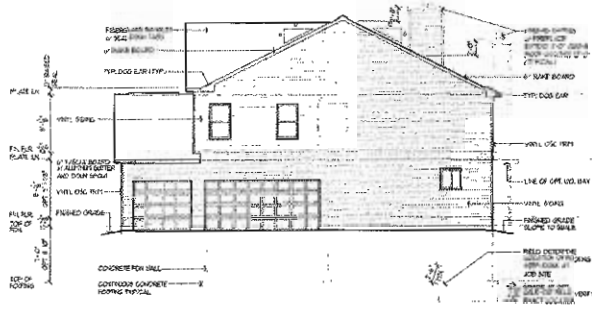
PARTIAL FRONT ELEVATION '3'
 SCALE 1/4" = 1'-0"
 ORIGINAL SIDE ENTRY GARAGE



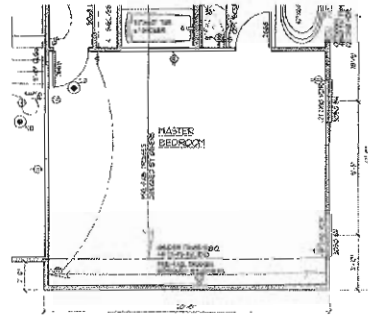
RIGHT SIDE ELEVATION '3'
 SCALE 1/4" = 1'-0"



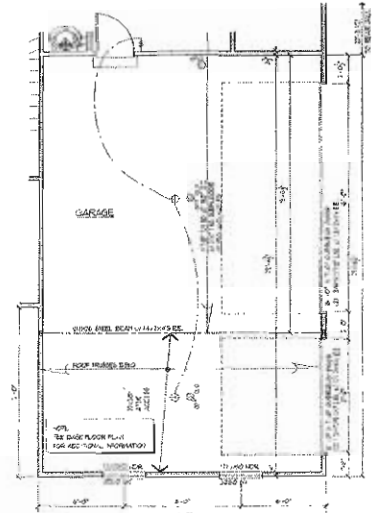
PARTIAL FRONT ELEVATION '1'
 SCALE 1/4" = 1'-0"
 ORIGINAL 1.5 DE BAY GARAGE



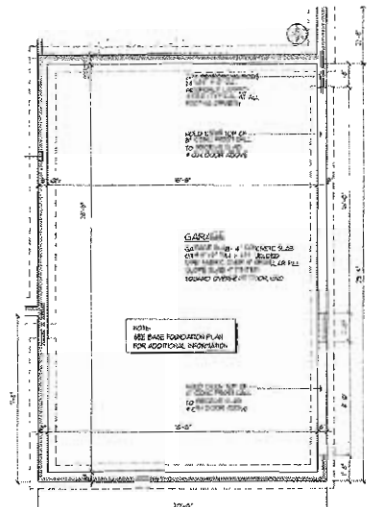
RIGHT SIDE ELEVATION '1'
 SCALE 1/4" = 1'-0"



PARTIAL SECOND FLOOR PLAN
 SCALE 1/4" = 1'-0"
 ORIGINAL SIDE ENTRY GARAGE ELEV. 1.5, 1.1 & 1.0



PARTIAL FIRST FLOOR PLAN
 SCALE 1/4" = 1'-0"
 ORIGINAL SIDE ENTRY GARAGE ELEVATION 1.5 & 1.1



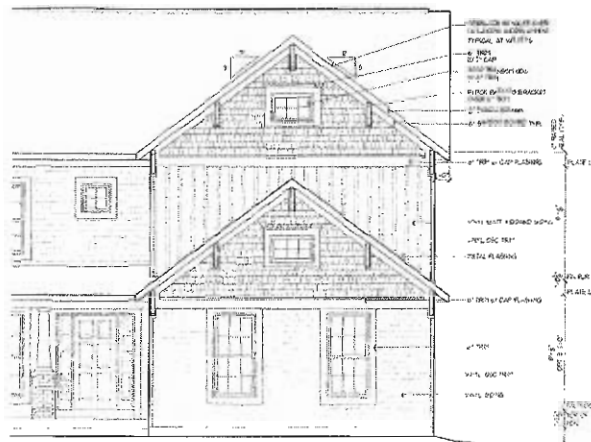
PARTIAL FOUNDATION PLAN
 SCALE 1/4" = 1'-0"
 ORIGINAL SIDE ENTRY GARAGE ELEVATION 1.5 & 1.1

Project #	03010P
Issue Date	1/1/10
Scale	1/4" = 1'-0"
Drawings	TCP
Revisions/Submissions:	
Date:	

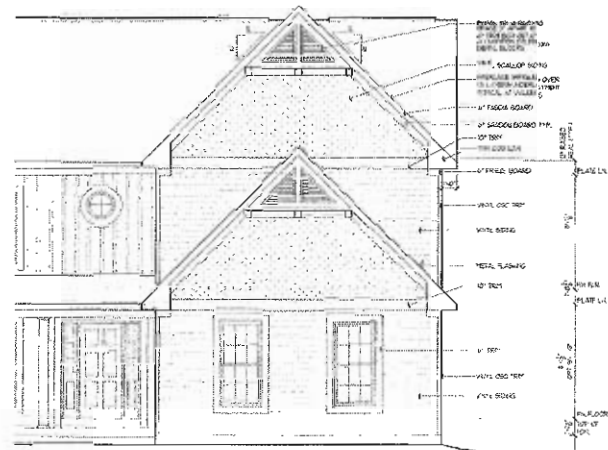
CONSORT HOMES
 17887 Chesterfield Airport Road
 Chesterfield, MO 63005 Ph. (316.777.2360)

PROPOSED MASTER PLAN FOR:
THE LANCASTER PREMIER SPEC.
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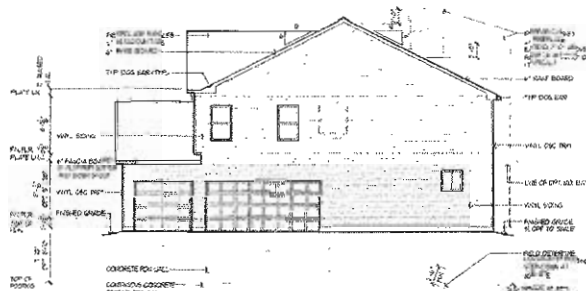
OPTIONAL SIDE ENTRY GARAGE



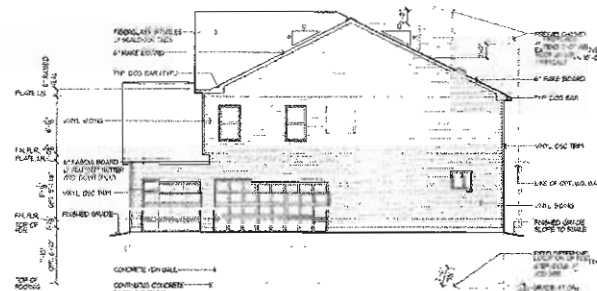
PARTIAL FRONT ELEVATION "7"
 OPTIONAL SIDE ENTRY GARAGE
 SCALE 3/4" = 1'-0"



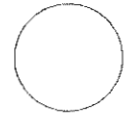
PARTIAL FRONT ELEVATION "5"
 OPTIONAL SIDE ENTRY GARAGE
 SCALE 3/4" = 1'-0"



RIGHT SIDE ELEVATION "7"
 SCALE 3/4" = 1'-0"



RIGHT SIDE ELEVATION "5"
 SCALE 3/4" = 1'-0"



Date: _____

Revised: _____

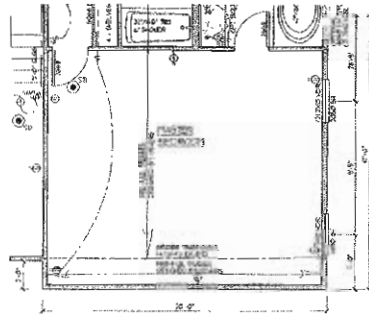
CONSORT HOMES
 17887 Chesterfield Airport Road
 Chesterfield, MO 63005 Ph: 636.777.7300

PROJECT #: 05010P
 ISSUE DATE: 1/1/10
 SCALE: 1/4" = 1'-0"

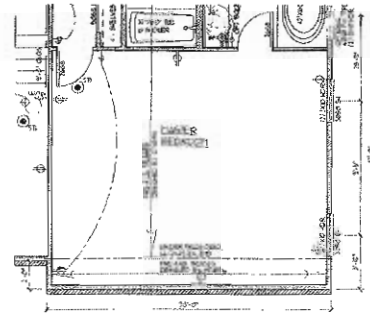
PROPOSED MASTER PLAN FOR:
THE LANCASTER PREMIER SPEC.
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SHEET
7.3.2

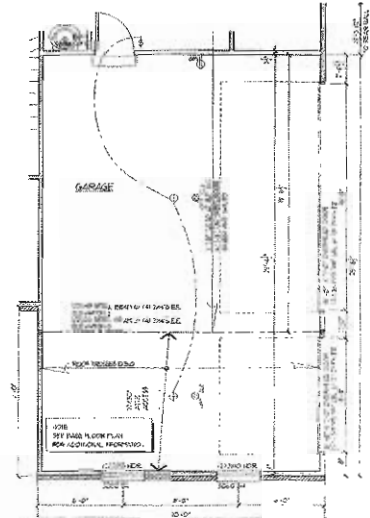
OPTIONAL SIDE ENTRY GARAGE



PARTIAL SECOND FLOOR PLAN
OPTIONAL SIDE ENTRY GARAGE ELEV. 1.1.4.8
SCALE 1/4" = 1'-0"



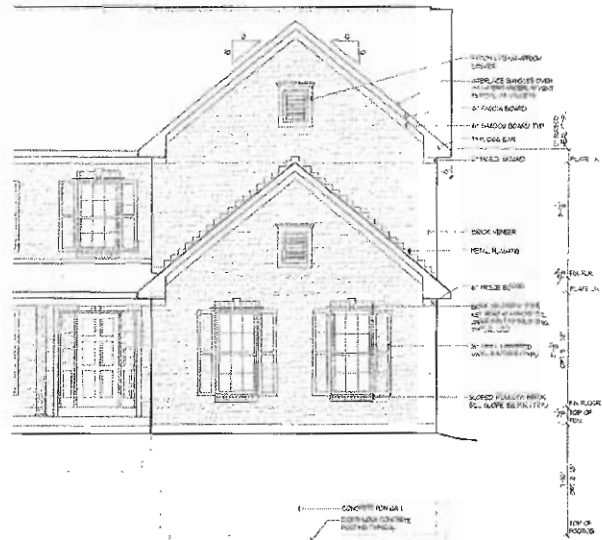
PARTIAL SECOND FLOOR PLAN
OPTIONAL SIDE ENTRY GARAGE ELEV. 2
SCALE 1/4" = 1'-0"



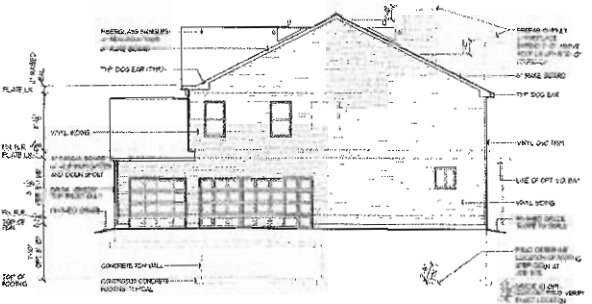
PARTIAL FIRST FLOOR PLAN
OPTIONAL SIDE ENTRY GARAGE ELEVATION 1.1.4.8
SCALE 1/4" = 1'-0"



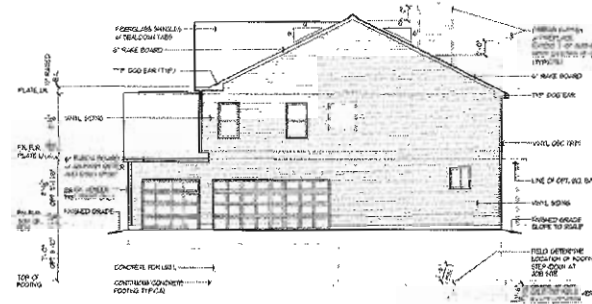
PARTIAL FRONT ELEVATION '8'
OPTIONAL SIDE ENTRY GARAGE
SCALE 1/4" = 1'-0"



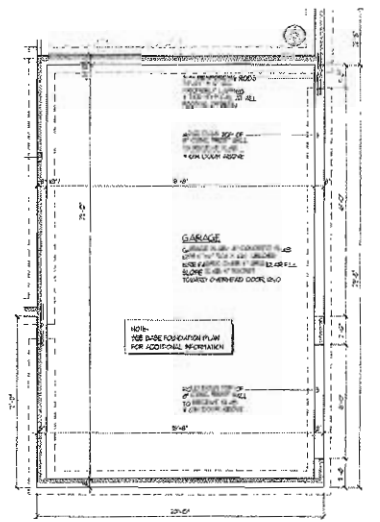
PARTIAL FRONT ELEVATION '2'
OPTIONAL SIDE ENTRY GARAGE
SCALE 1/4" = 1'-0"



RIGHT SIDE ELEVATION '8'
SCALE 1/4" = 1'-0"



RIGHT SIDE ELEVATION '2'
SCALE 1/4" = 1'-0"



PARTIAL FOUNDATION PLAN
OPTIONAL SIDE ENTRY GARAGE ELEVATION 1.1.4.8
SCALE 1/4" = 1'-0"

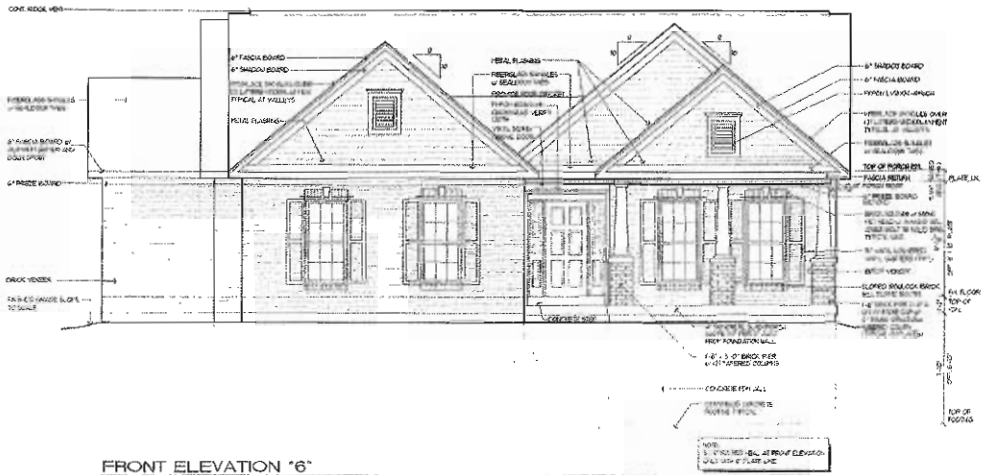
Drawn:	
Checked:	
Reviewed:	
Approved:	

CONSORT HOMES
17809 Chilmerfield Airport Road
Chilmerfield, MO 63005 Ph. (316) 777-7390

PROJECT #: 05010P
ISSUE DATE: 1/1/10
SCALE: 1/4" = 1'-0"
DRAWN: TEP

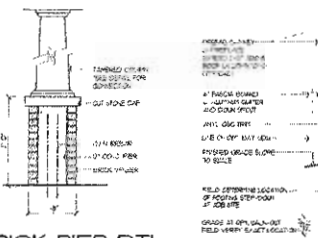
PROPOSED MASTER PLAN FOR:
THE LANCASTER PREMIER SPEC.
OPTIONAL SIDE ENTRY GARAGE

SHEET
7.3.3

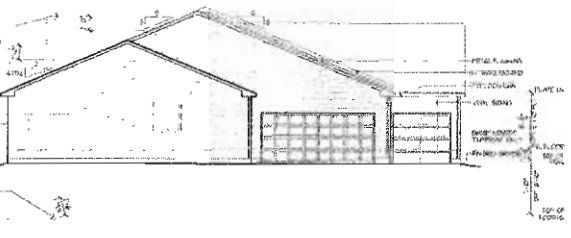


FRONT ELEVATION '6'

SCALE 1/4" = 1'-0"



BRICK PIER DTL.
SCALE 1/2" = 1'-0"

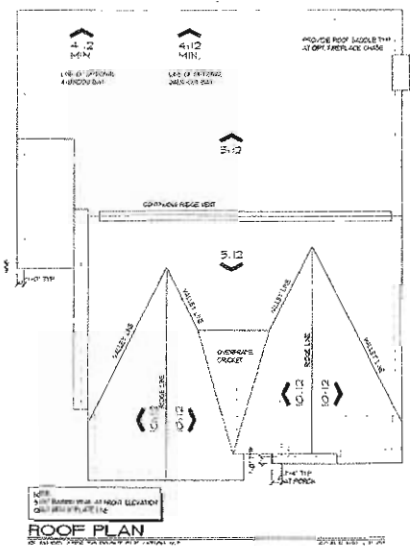


LEFT SIDE ELEVATION '6'

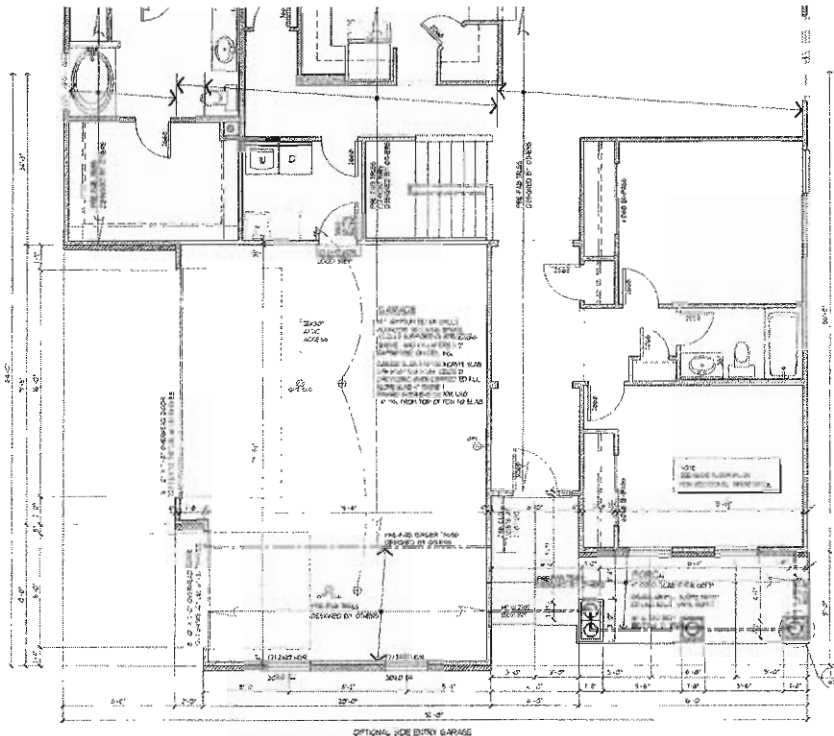
SCALE 1/4" = 1'-0"

Variable Requirements

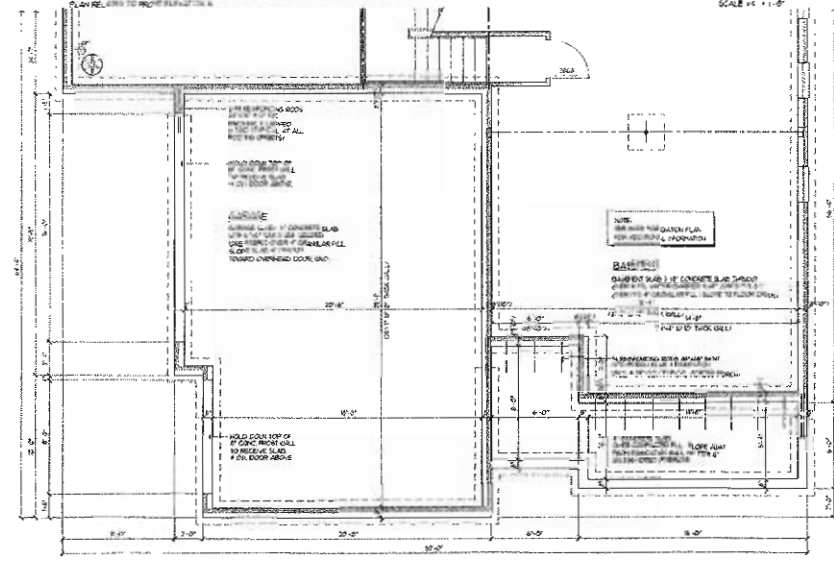
Requirement	Met
Basic Requirements	Met
High Venting Requirements met	Yes
Low Venting Requirements	Met
Low Venting Requirements met	Yes



ROOF PLAN



FOUNDATION PLAN OPTIONAL SIDE ENTRY GARAGE



FOUNDATION PLAN OPTIONAL SIDE ENTRY GARAGE

Revisions/Substitutions:

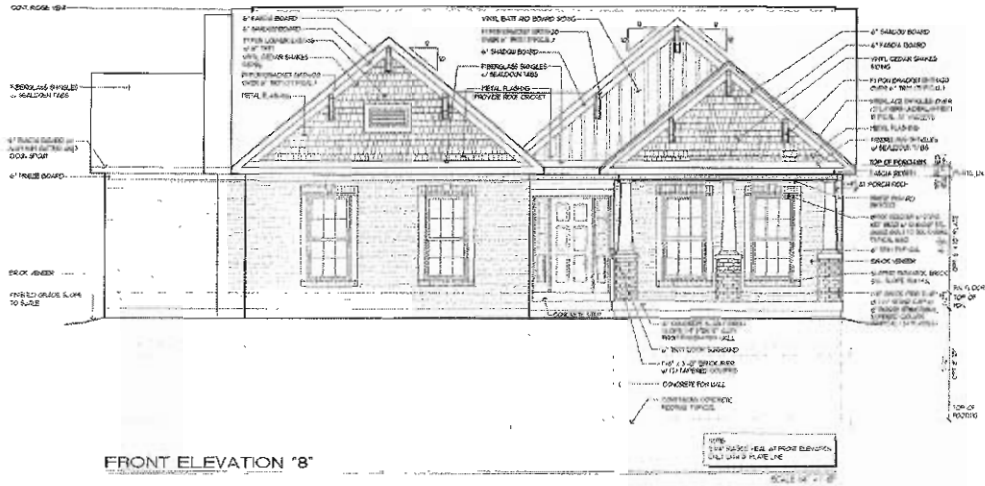
No.	Description	Date

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 17887 Chesterfield Airport Road
 Chesterfield, MO 63005 Ph: 636.777.1700

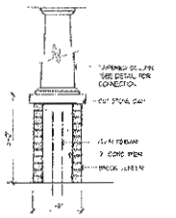
PROJECT #: 05007P
 ISSUE DATE: 1/1/10
 SCALE: 1/4" = 1'-0"

PROPOSED MASTER PLAN FOR:
THE SIERRA PREMIER SPEC.
 OPTIONAL SIDE ENTRY GARAGE

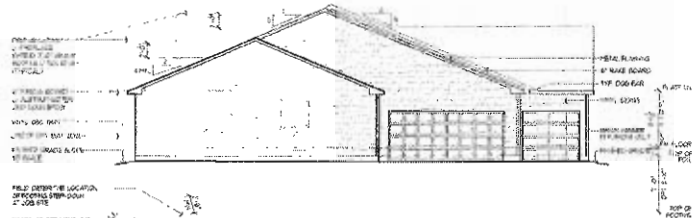
SHEET
7.3.6



FRONT ELEVATION "B"



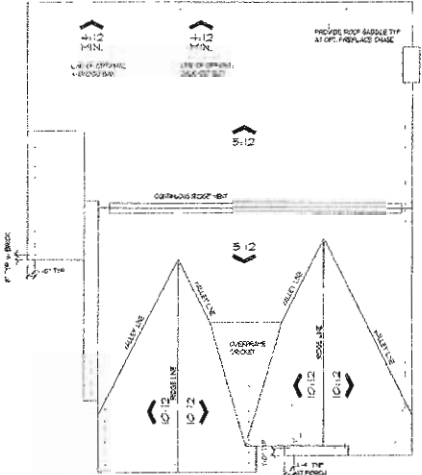
BRICK PIER DETL.
SCALE 1/2" = 1'-0"



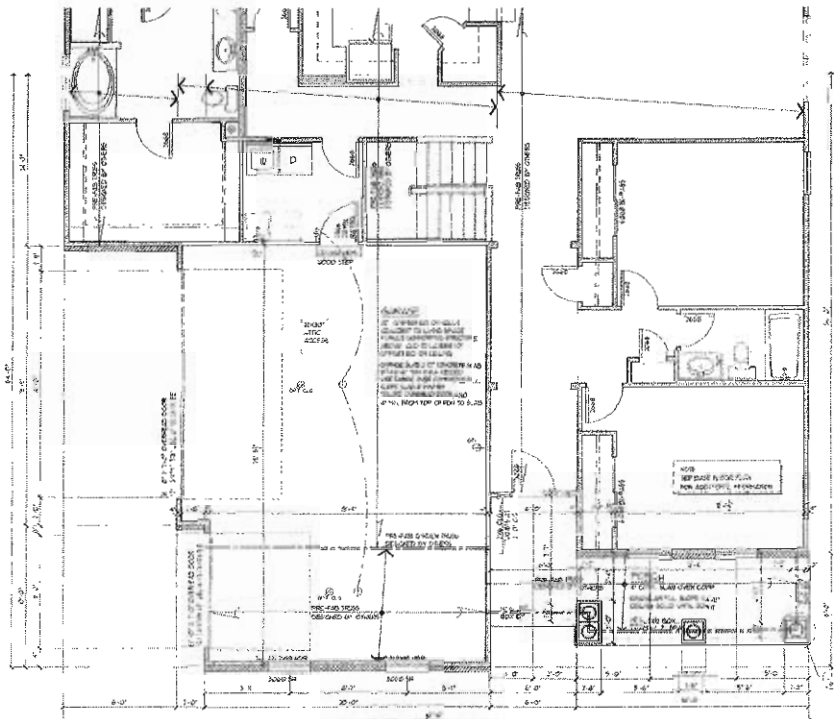
LEFT SIDE ELEVATION "B"

Ventilation Requirements

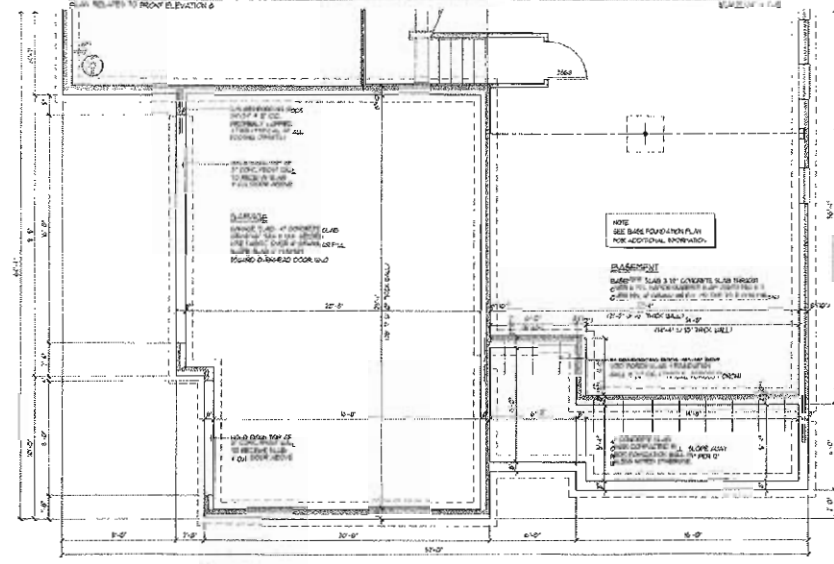
General Information
<p>Attic Venting Requirements</p> <p>1. Net Free Area (NFA) of vents shall be calculated based on the following table:</p> <p>2. The total NFA of all vents shall be at least equal to the NFA of the roof area.</p>
<p>High Venting Requirements Met: Yes</p>
<p>Low Venting Requirements</p> <p>1. Net Free Area (NFA) of vents shall be calculated based on the following table:</p> <p>2. The total NFA of all vents shall be at least equal to the NFA of the roof area.</p>
<p>Low Venting Requirements Met: Yes</p>



ROOF PLAN



PARTIAL FIRST FLOOR PLAN



FOUNDATION PLAN (OPTIONAL SIDE ENTRY GARAGE)

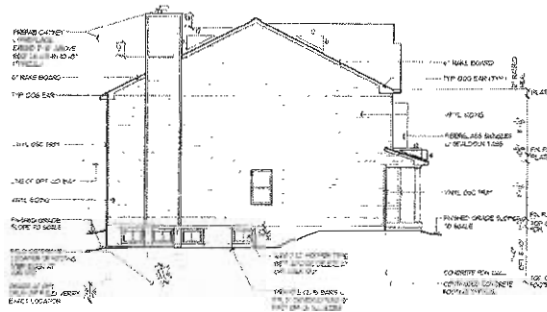
Revisions/Assumptions:

Date	Description

CONSORT HOMES
17887 Chesterfield Airport Road
Chesterfield, MO 63005 PH: 636.777.7200

PROJECT #: 05007P
ISSUE DATE: 1/1/10
SCALE: 1/4" = 1'-0"

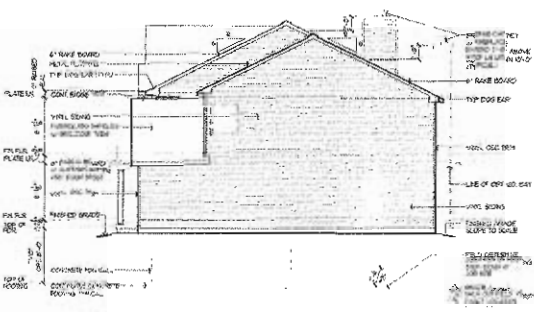
PROPOSED MASTER PLAN FOR:
THE SIERRA PREMIER SPEC.
OPTIONAL SIDE ENTRY GARAGE



LEFT SIDE ELEVATION 'S'



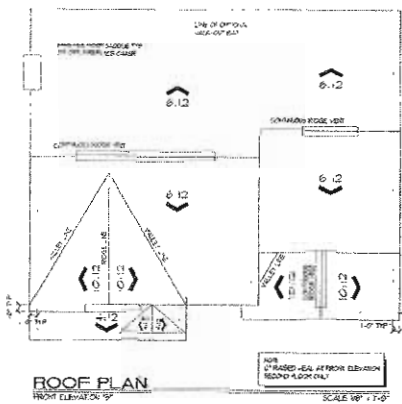
REAR ELEVATION 'S'



RIGHT SIDE ELEVATION 'S'



FRONT ELEVATION 'S'



ROOF PLAN

Code Requirements

Code	Requirement	Met
104.10.1	Minimum Ceiling Height	Yes
104.10.2	Minimum Ceiling Height	Yes
104.10.3	Minimum Ceiling Height	Yes
104.10.4	Minimum Ceiling Height	Yes
104.10.5	Minimum Ceiling Height	Yes
104.10.6	Minimum Ceiling Height	Yes
104.10.7	Minimum Ceiling Height	Yes
104.10.8	Minimum Ceiling Height	Yes
104.10.9	Minimum Ceiling Height	Yes
104.10.10	Minimum Ceiling Height	Yes
104.10.11	Minimum Ceiling Height	Yes
104.10.12	Minimum Ceiling Height	Yes
104.10.13	Minimum Ceiling Height	Yes
104.10.14	Minimum Ceiling Height	Yes
104.10.15	Minimum Ceiling Height	Yes
104.10.16	Minimum Ceiling Height	Yes
104.10.17	Minimum Ceiling Height	Yes
104.10.18	Minimum Ceiling Height	Yes
104.10.19	Minimum Ceiling Height	Yes
104.10.20	Minimum Ceiling Height	Yes
104.10.21	Minimum Ceiling Height	Yes
104.10.22	Minimum Ceiling Height	Yes
104.10.23	Minimum Ceiling Height	Yes
104.10.24	Minimum Ceiling Height	Yes
104.10.25	Minimum Ceiling Height	Yes
104.10.26	Minimum Ceiling Height	Yes
104.10.27	Minimum Ceiling Height	Yes
104.10.28	Minimum Ceiling Height	Yes
104.10.29	Minimum Ceiling Height	Yes
104.10.30	Minimum Ceiling Height	Yes
104.10.31	Minimum Ceiling Height	Yes
104.10.32	Minimum Ceiling Height	Yes
104.10.33	Minimum Ceiling Height	Yes
104.10.34	Minimum Ceiling Height	Yes
104.10.35	Minimum Ceiling Height	Yes
104.10.36	Minimum Ceiling Height	Yes
104.10.37	Minimum Ceiling Height	Yes
104.10.38	Minimum Ceiling Height	Yes
104.10.39	Minimum Ceiling Height	Yes
104.10.40	Minimum Ceiling Height	Yes
104.10.41	Minimum Ceiling Height	Yes
104.10.42	Minimum Ceiling Height	Yes
104.10.43	Minimum Ceiling Height	Yes
104.10.44	Minimum Ceiling Height	Yes
104.10.45	Minimum Ceiling Height	Yes
104.10.46	Minimum Ceiling Height	Yes
104.10.47	Minimum Ceiling Height	Yes
104.10.48	Minimum Ceiling Height	Yes
104.10.49	Minimum Ceiling Height	Yes
104.10.50	Minimum Ceiling Height	Yes

THE WINDSOR PREMIER SPEC.
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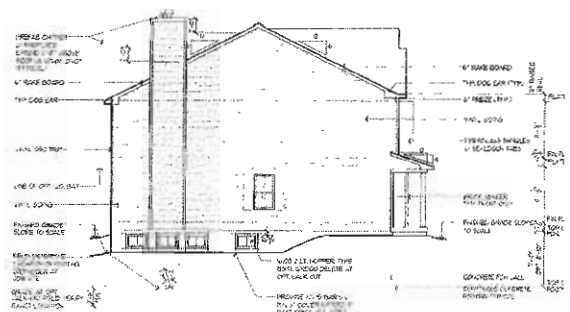
ELEVATIONS AND ROOF PLAN #5

0.5

PROJECT #: 05009P
 ISSUE DATE: 1/1/10
 SCALE: 1/4" = 1'-0"
 DRAWN: TEP

CONSORT HOMES
 17887 C. Hawthorn Ave. #100
 Chesterfield, MO 63005 Ph: 636.777.7500

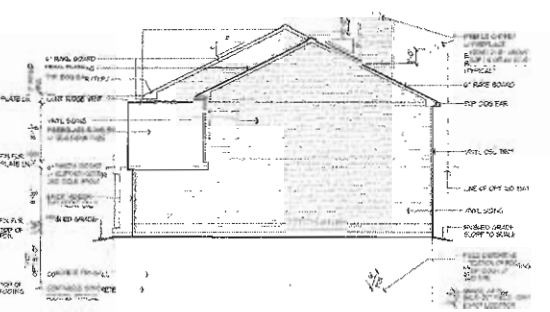
Revisions/Submissions:
 Date:



LEFT SIDE ELEVATION "6" SCALE 1/4" = 1'-0"



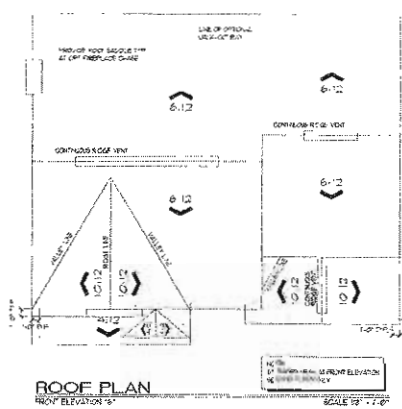
REAR ELEVATION "6" SCALE 1/4" = 1'-0"



RIGHT SIDE ELEVATION "6" SCALE 1/4" = 1'-0"



FRONT ELEVATION "6" SCALE 1/4" = 1'-0"



ROOF PLAN ROOF ELEVATION "5" SCALE 1/4" = 1'-0"

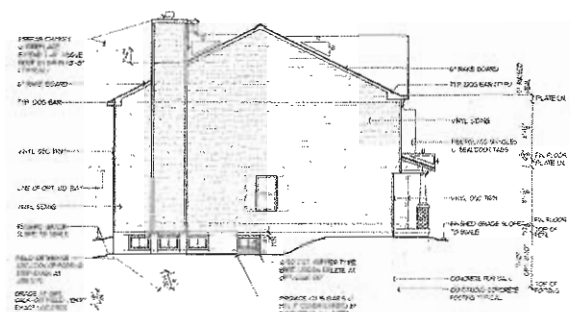
Notes:

1. All work to be in accordance with the latest editions of the International Building Code and the International Residential Code.
2. All materials to be of equal or better quality than those specified.
3. All work to be done in accordance with the manufacturer's instructions.
4. All work to be done in accordance with the applicable building codes.
5. All work to be done in accordance with the applicable local, state, and federal regulations.
6. All work to be done in accordance with the applicable industry standards.
7. All work to be done in accordance with the applicable best practices.
8. All work to be done in accordance with the applicable safety protocols.
9. All work to be done in accordance with the applicable environmental regulations.
10. All work to be done in accordance with the applicable accessibility requirements.

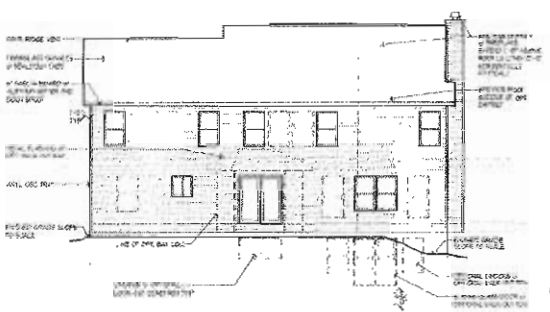
Project #	050099
Issue Date	1/1/10
Scale	1/4" = 1'-0"
Drawn	TEP
Revised/Submitted	
Date	

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 Chesterfield, MO 63005 Ph: 636.777.7200

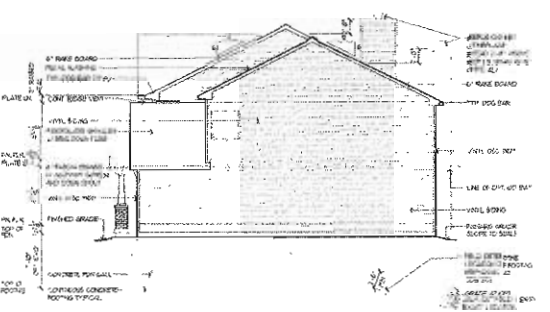
PROPOSED MASTER PLAN FOR:
THE WINDSOR PREMIER SPEC.
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 ELEVATIONS AND ROOF PLAN #6



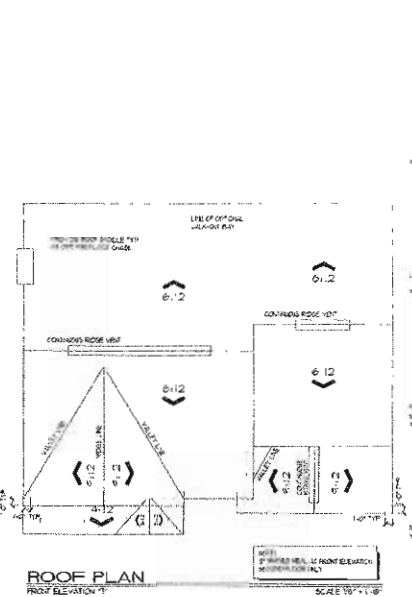
LEFT SIDE ELEVATION '7'



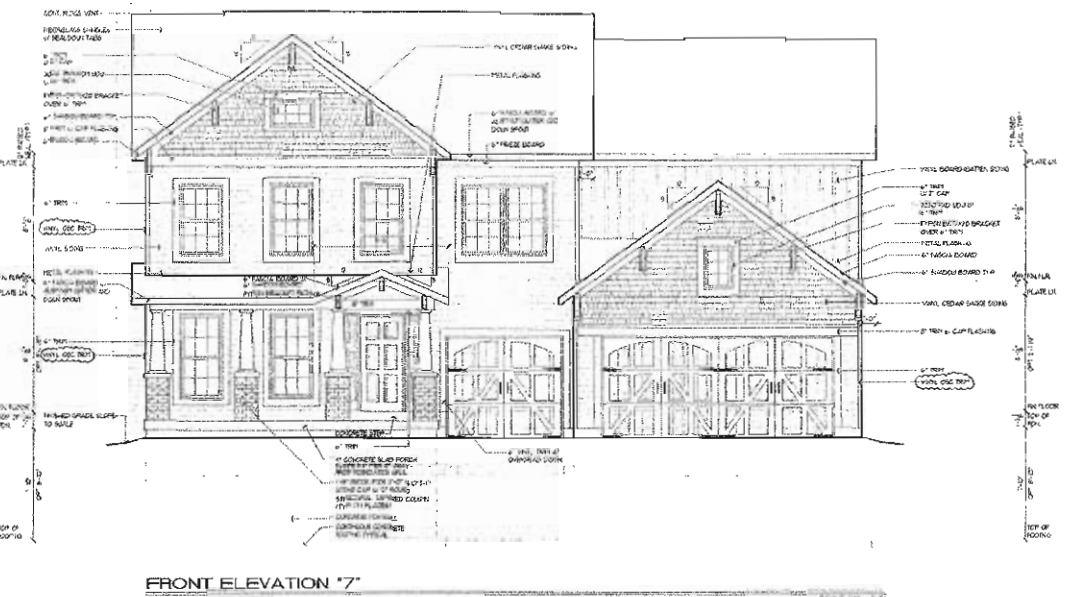
REAR ELEVATION '7'



RIGHT SIDE ELEVATION '7'

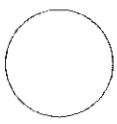


ROOF PLAN



FRONT ELEVATION '7'

REVISION	DATE	DESCRIPTION
1	1/1/10	ISSUE FOR PERMIT
2	1/1/10	ISSUE FOR PERMIT
3	1/1/10	ISSUE FOR PERMIT
4	1/1/10	ISSUE FOR PERMIT
5	1/1/10	ISSUE FOR PERMIT
6	1/1/10	ISSUE FOR PERMIT
7	1/1/10	ISSUE FOR PERMIT
8	1/1/10	ISSUE FOR PERMIT
9	1/1/10	ISSUE FOR PERMIT
10	1/1/10	ISSUE FOR PERMIT



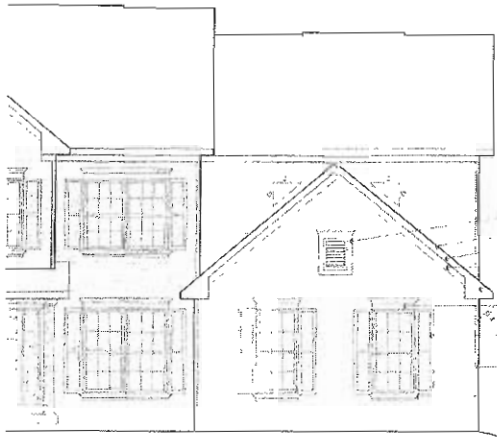
NO.	DATE	REVISIONS/SUBMISSIONS

CONSORT HOMES
 1787 Chesterfield Airport Road
 Chesterfield, MO 63005 Ph: 636.777.3900

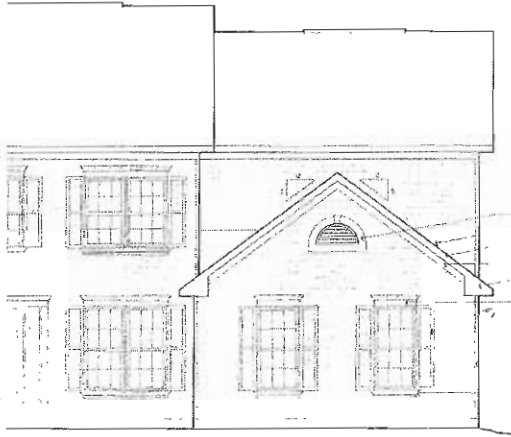
PROJECT #: 06009P
 ISSUE DATE: 1/1/10
 SCALE: 1/4" = 1'-0"
 TEP

PROPOSED MASTER PLAN FOR:
THE WINDSOR PREMIER SPEC.
 ELEVATIONS AND ROOF PLAN #7

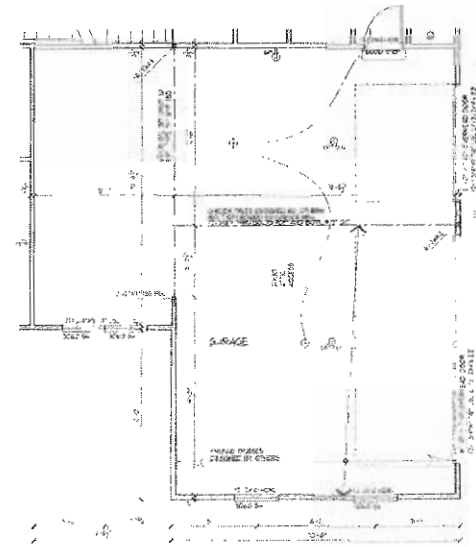
SHEET
0.7



FRONT ELEVATION 3'
OPTIONAL SIDE ENTRY GARAGE
SCALE: 1/4" = 1'-0"

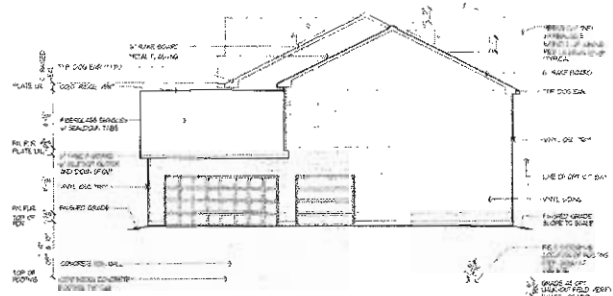


FRONT ELEVATION 1'
OPTIONAL SIDE ENTRY GARAGE
SCALE: 1/4" = 1'-0"

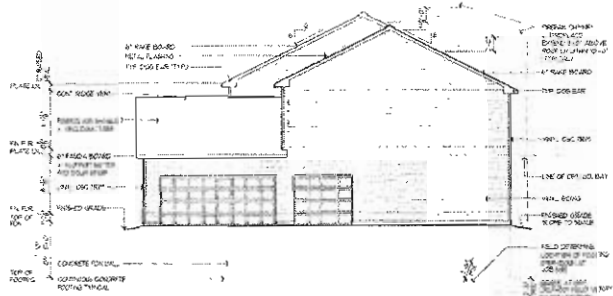


PARTIAL FIRST FLOOR PLAN
OPTIONAL SIDE ENTRY GARAGE ELEVATIONS 3 & 1
SCALE: 1/4" = 1'-0"

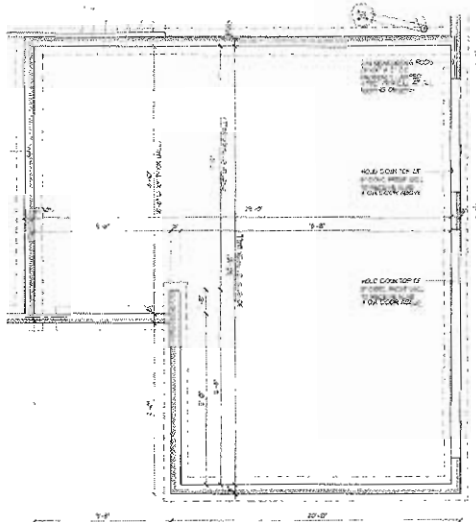
FRONT ELEVATION 3'
OPTIONAL SIDE ENTRY GARAGE
SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION 3'
OPTIONAL SIDE ENTRY GARAGE
SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION 1'
OPTIONAL SIDE ENTRY GARAGE
SCALE: 1/4" = 1'-0"



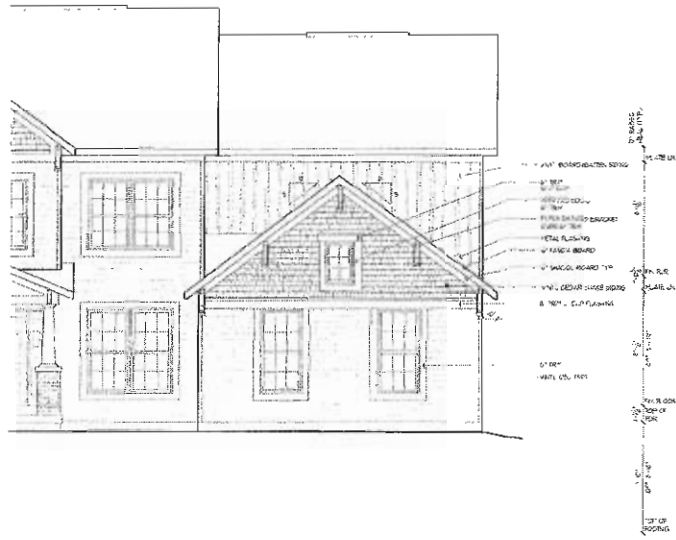
PARTIAL FOUNDATION PLAN
OPTIONAL SIDE ENTRY GARAGE ELEVATIONS 3 & 1
SCALE: 1/4" = 1'-0"

PROJECT #: 0500P
 ISSUE DATE: 1/1/10
 SCALE: 1/4" = 1'-0"
 DRAWN: TEP

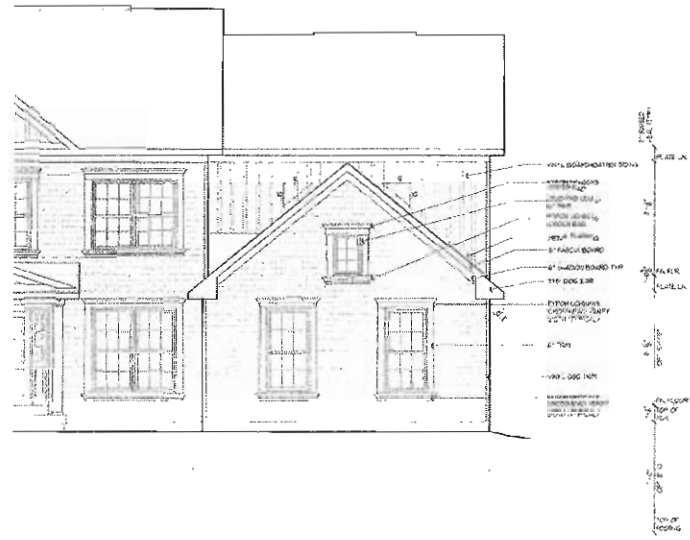
CONSORT HOMES
 18187 Chestfield Airport Road
 Chestfield, MD 20605 Ph: 636-777-7500

PROPOSED MASTER PLAN FOR:
THE WINDSOR PREMIER SPEC.
 OPTIONAL SIDE ENTRY GARAGE

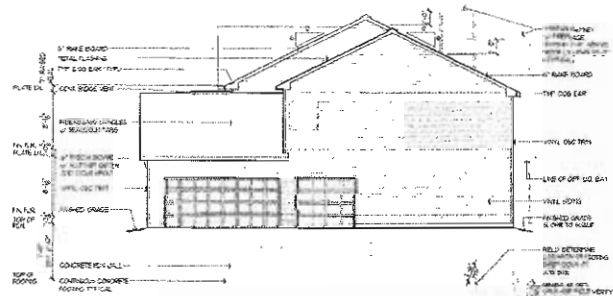
SHEET
7.3.1



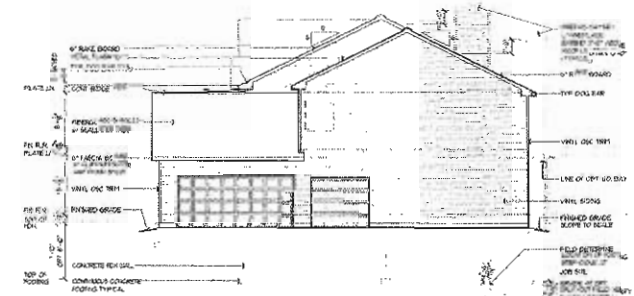
FRONT ELEVATION "7"
OPTIONAL SIDE ENTRY GARAGE
SCALE 1/4" = 1'-0"



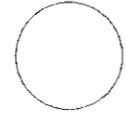
FRONT ELEVATION "5"
OPTIONAL SIDE ENTRY GARAGE
SCALE 1/4" = 1'-0"



RIGHT SIDE ELEVATION "7"
OPTIONAL SIDE ENTRY GARAGE
SCALE 1/4" = 1'-0"



RIGHT SIDE ELEVATION "5"
OPTIONAL SIDE ENTRY GARAGE
SCALE 1/4" = 1'-0"



Project #	35099P
Issue Date	1/1/10
Scale	1/4" = 1'-0"
Drawn	TEP
Revised/Submitted	
Date	

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17887 Chesterfield Airport Road
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PROPOSED MASTER PLAN FOR:
THE WINDSOR PREMIER SPEC.
OPTIONAL SIDE ENTRY GARAGE

SHEET
7.3.2

NOTE: SEE BASE FOUNDATION PLAN FOR ALL WALL FOOTINGS AND FOUNDATION DIMENSIONS. FOUNDATION IS NOT TO SCALE.

Lot 21
Highland Forest



Lot 4
SV



Lot 1
SV

Existing Consort
Windsor Display

