



II.A.

690 Chesterfield Pkwy W • Chesterfield MO 63017-0760
Phone: 636-537-4000 • Fax 636-537-4798 • www.chesterfield.mo.us

Architectural Review Board Staff Report

Project Type: Amended Architectural Elevations

Meeting Date: September 15, 2011

From: Justin Wyse, AICP
Senior Planner

Location: East side of Chesterfield Mall

Applicant: ka on behalf of CBL and Associates Properties, Inc.

Description: **Chesterfield Village Mall (American Girl)**: Amended Architectural Elevations and an Architect's Statement of Design for a 10.84 acre lot of land zoned "C8" Planned Commercial District located in the southwest corner of the intersection of Interstate 64 and Clarkson Road.

PROPOSAL SUMMARY

ka, on behalf of CBL and Associates Properties, Inc., has submitted a request for Amended Architectural Elevations for Chesterfield Village Mall. The request is for approval of amendments to the former Wapango space.

HISTORY OF SUBJECT SITE

Chesterfield Mall was zoned "C-8" Planned Commercial via St. Louis County Ordinance 6,815. St. Louis County Ordinance 6,815 was subsequently amended by St. Louis County Ordinance 10,241, and later by City of Chesterfield Ordinance 577.

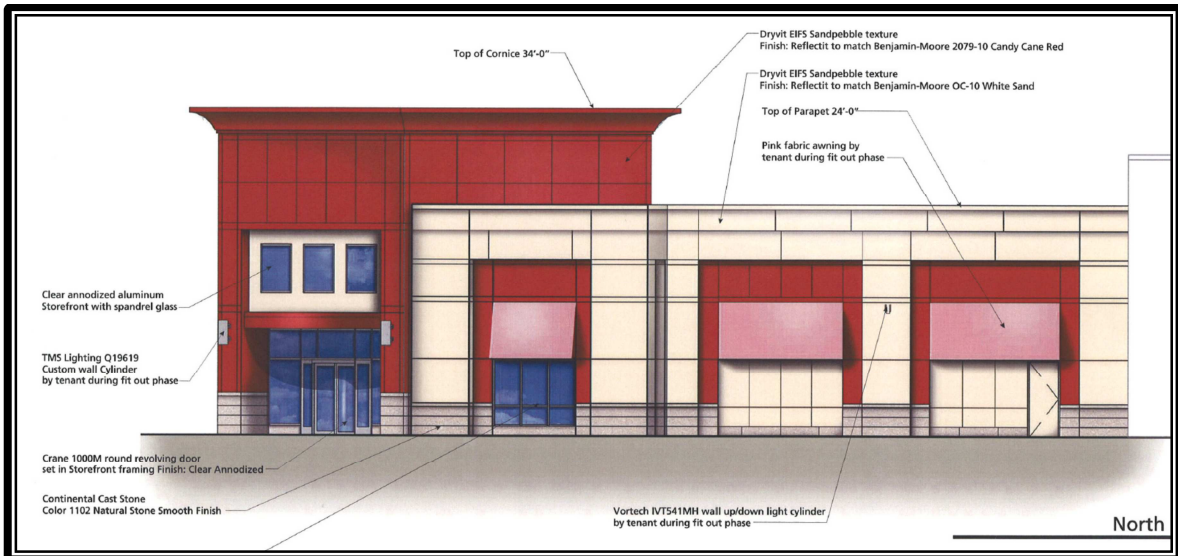
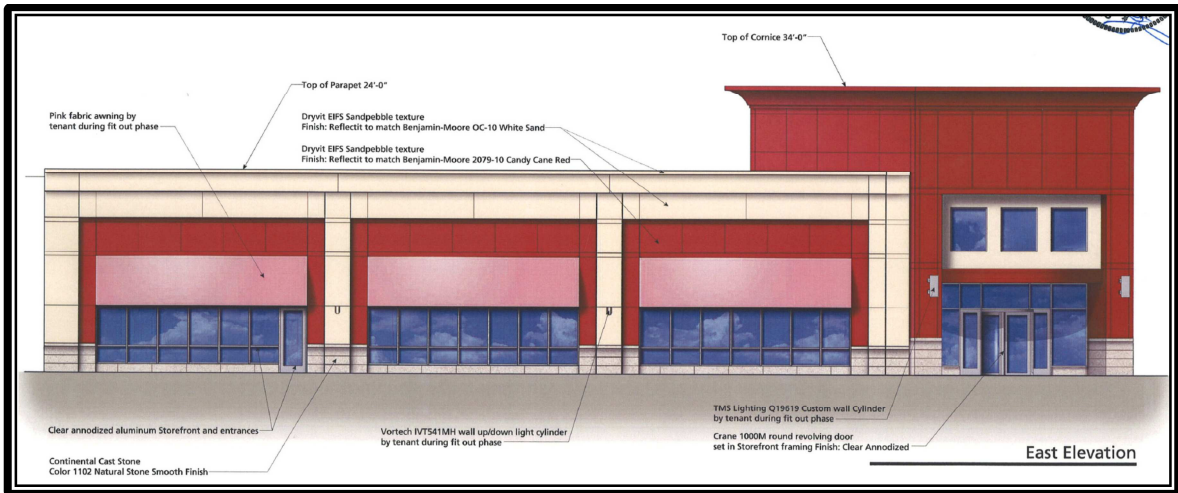
On March 8, 2004, an Amended Site Development Plan, Landscape Plan and Amended Architectural Elevations were approved by the City of Chesterfield. At that time,

Westfield (former owners) agreed that any other changes to the elevations of the Mall would be brought forward for review by the Commission.

Since 2004, the City of Chesterfield Planning Commission has approved several plans for amendments to the site, lighting, landscaping, and elevations of various portions of the Mall. In July of 2005, the Commission requested, and the petitioner agreed that future changes to elevations would be reviewed in conjunction with the elevations of the whole shopping center.

The existing Wapango tenant space was approved in February of 2007 by the City of Chesterfield Planning Commission, after receiving a recommendation for approval from the Architectural Review Board. This area is now before the Board for another amendment to the elevations to accommodate a new tenant.





STAFF ANALYSIS

General Requirements for Site Design:

A. Site Relationships

Addressed As Written

Addressed with Modification

Not Applicable

The site is built out and the overall relationship of the building to the site and surrounding areas has been addressed through previously approved plans.

B. Circulation System and Access

Addressed As Written *Addressed with Modification* *Not Applicable*

The circulation and access to the site has already been approved and no changes are being proposed to the circulation on the site.

C. Topography

Addressed As Written *Addressed with Modification* *Not Applicable*

The subject site has already been developed and no changes are proposed to the topography.

D. Retaining Walls

Addressed As Written *Addressed with Modification* *Not Applicable*

No retaining walls are being proposed for the development.

General Requirements for Building Design:

A. Scale

Addressed As Written *Addressed with Modification* *Not Applicable*

The existing scale of the building will remain the same as it was approved and built.

B. Design

Addressed As Written *Addressed with Modification* *Not Applicable*

The design of the site will stay largely intact as it exists today. The existing curved entrance done in conjunction with the former tenant is proposed to be removed and replaced with a straight wall.

C. Materials and Color

Addressed As Written *Addressed with Modification* *Not Applicable*

The proposed elevations will be constructed of a steel structure with cold-formed framed walls clad with a cast stone watertable, aluminum storefront on Exterior Insulation Finishing System (EIFS), prefinished aluminum copings, and a Thermoplastic Ofefin (TPO) single ply roof membrane. The proposal includes a high main portal entrance to clearly distinguish the entrance. The entrance is proposed as a candy cane red that will be contrasted by the white sand body of the tenant space. Pink awnings are proposed to visually create surface texture and provide a sense of human scale.

D. Landscape Design and Screening

Addressed As Written *Addressed with Modification* *Not Applicable*

Landscape for the development is existing on the site.

E. Signage

Addressed As Written *Addressed with Modification* *Not Applicable*

Signage is not submitted for approval at this time. Signage will be reviewed against the Sign Package for the site and will be approved by Staff.

F. Lighting

Addressed As Written *Addressed with Modification* *Not Applicable*

New architectural light fixtures are being proposed on the building and will be flat lens fully enclosed fixtures per the City of Chesterfield code. The applicant is proposing to modify the light fixtures to ensure light does not extend above the roof line, as required by the City of Chesterfield Lighting Ordinance.

DEPARTMENTAL INPUT

Staff has reviewed the Amended Architectural Elevations and has found the application to be in conformance with City of Chesterfield Ordinance 577, and all other applicable Zoning Ordinance requirements. Staff requests action on the Amended Architectural Elevations for The Chesterfield Village Mall (American Girl).

MOTION

The following options are provided to the Architectural Review Board for consideration relative to this application:

- 1) "I move to forward the Amended Architectural Elevations for Chesterfield Village Mall (American Girl), as presented, with a recommendation for approval (or denial) to the Planning Commission."
- 2) "I move to forward the Amended Architectural Elevations for Chesterfield Village Mall (American Girl) to the Planning Commission with the following recommendations..."

Attachments

1. Architectural Review Packet Submittal



ARCHITECTURAL REVIEW BOARD
Project Statistics and Checklist

Date of First Comment Letter Received from the City of Chesterfield 08/31/2011
Project Title: American Girl at Chesterfield Mall **Location:** 291 Chesterfield Mall Road, Unit #2020
Developer: Chesterfield Mall, LLC **Architect:** KA, Inc. **Engineer:** SSC Engineering, Inc.

PROJECT STATISTICS:

Size of site (in acres): 0.25 **Total Square Footage:** 10,850 **Building Height:** 36'-0"

Proposed Usage: Commercial Retail Tenant Space

Exterior Building Materials: EIFS, Cast Stone, Aluminum Storefront Windows and Doors

Roof Material & Design: TPO roofing membrane to match existing roof systems

Screening Material & Design: All roof top equipment to be screened by roof parapet wall

Description of art or architecturally significant features (if any): The large portal/entry and awnings are significant to this project. The design follows the tenant's typical design.

ADDITIONAL PROJECT INFORMATION:

The scope of work for this project is the shell work only. The future tenant will submit for an interior upfit permit at a later date. Also, the exterior light fixtures, awnings, and signage will be provided and installed by the tenant.

Checklist: Items to be provided in an 11" x 17" format

- Color Site Plan with contours, site location map, and identification of adjacent uses.**
- Color elevations for all building faces.**
- Color rendering or model reflecting proposed topography.**
- Photos reflecting all views of adjacent uses and sites.**
- N/A **Details of screening, retaining walls, etc.**
- N/A **Section plans highlighting any building off-sets, etc. (as applicable)**
- Architect's Statement of Design which clearly identifies how each section in the Standards has been addressed and the intent of the project.**
- Landscape Plan.** As shown on proposed layout A-5
- Lighting cut sheets for any proposed building lighting fixtures. (as applicable)**
- Large exterior material samples. (to be brought to the ARB meeting)**
- N/A **Any other exhibits which would aid understanding of the design proposal. (as applicable)**
- Pdf files of each document required.**



Site Design

Site relationships: The redevelopment of this portion of the Chesterfield Mall is on the prominent corner between Ann Taylor Loft and Cheeburger Cheeburger. It is also situated below a portion of the AMC Movie Theater. This area will accommodate a boutique retail tenant that will utilize the mall's existing landscape and hardscape to accentuate the integration of the new façade.

Circulation System and Access: The site is organized to use the existing vehicular, pedestrian and service accommodations. The main vehicular approach is made from Chesterfield Center ring road, which is fed from Clarkson Road, Chesterfield Parkway West and Chesterfield Airport Road. The tenant space is also tucked behind a wide pedestrian, decorative, concrete walkway with site lighting, planters and benches. Internally the space is connected to the existing service corridor for deliveries and egress requirements.

Topography: The Existing topography is very flat and will not be altered in the proposed improvements.

Retaining walls: Not applicable.

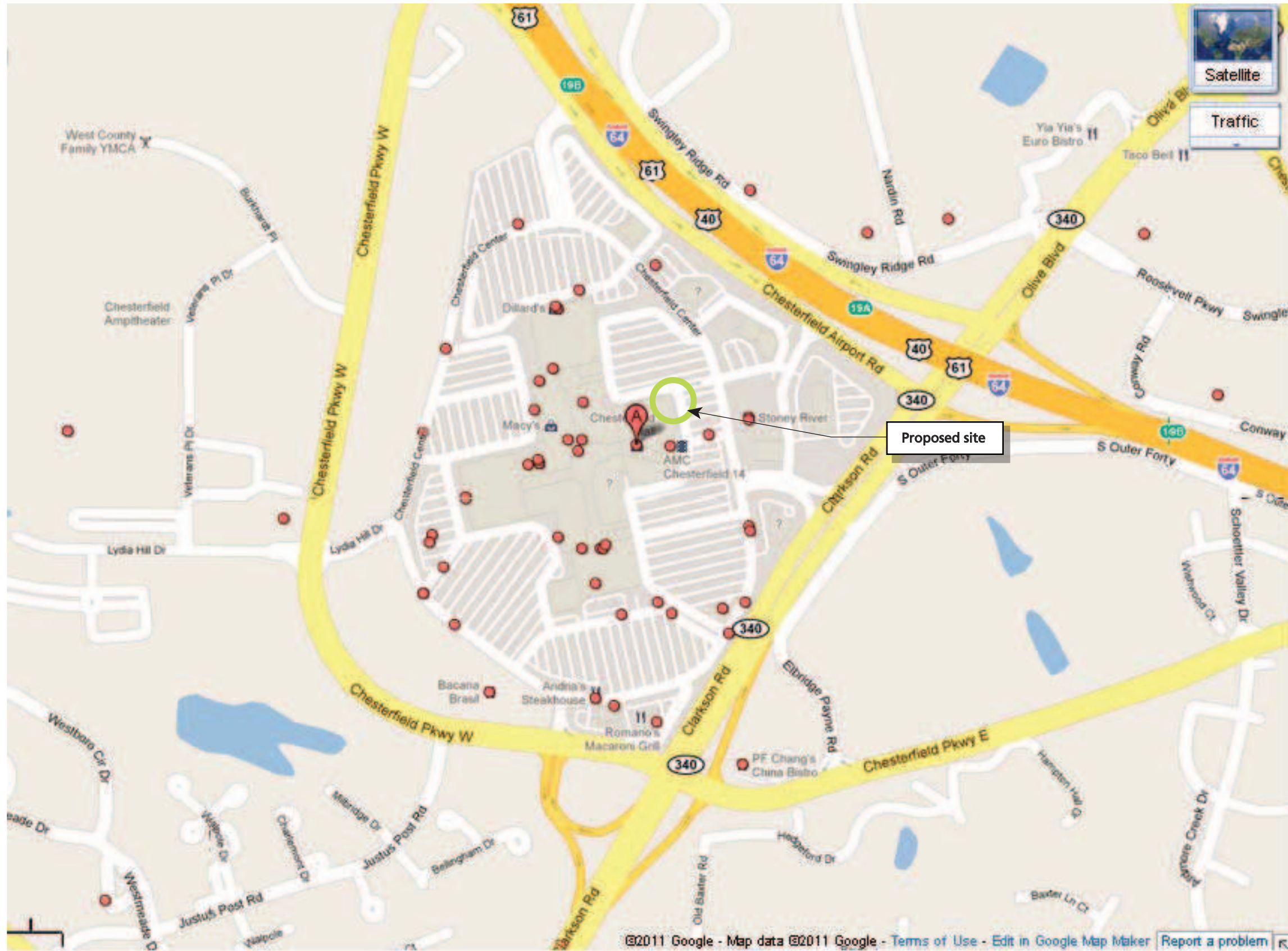
Building Design

Scale, Design, Material and colors: The proposed 10,850 square foot retail space will be constructed of a steel structure with cold-formed framed walls clad with a cast stone watertable, aluminum storefront an Exterior Insulation Finishing System (EIFS). Prefinished aluminum copings and a Thermoplastic Olefin (TPO) single ply roof membrane will protect the structure and tie into the existing roof. The design is comprised of two major elements. The first being the high main portal entrance is clearly distinguished set into the corner of the site, which proudly wears the tenant's signature candy cane red. The second element is the white sand body of the tenant space that contrasts the main portal and reinforces the red color with matching accent recesses. The recesses support the pink awnings that visually create surface texture and bring the structure down to a human scale. This is reinforced with storefronts horizontal lines. This lively structure will energize and excite both daughters and shoppers passing by.

Landscape design and screening: The mall landscaping and screening will remain to support the contextual elements of the proposed design. The former tenants elements will be removed to allow the new tenants features to shine through. All supporting functions for deliveries and waste removal will remain at the existing enclosed areas.

Signage: Signage has yet to be determined and will be submitted to the City of Chesterfield, under a separate review process.

Lighting: Building lighting will use two types of sconces to accent the elements of design. Existing site lighting will remain unchanged.



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Location Plan



04/01/2008	SUBMITTED	REVISION
10/01/2008	REVISED	REVISED
04/01/2009	NO CHANGE	NO CHANGE
10/01/09	REVISED	REVISED
04/01/2010	NO CHANGE	NO CHANGE
10/01/2010	REVISED	REVISED
04/08/2011	REVISED	REVISED

CHESTERFIELD MALL SITE PLAN

301 CHESTERFIELD MALL, CHESTERFIELD, MO 63071-4887
PHONE: (636) 532-4004

1"=100'
SAH 10/31/07
AMSITE

SP 1

Site Plan



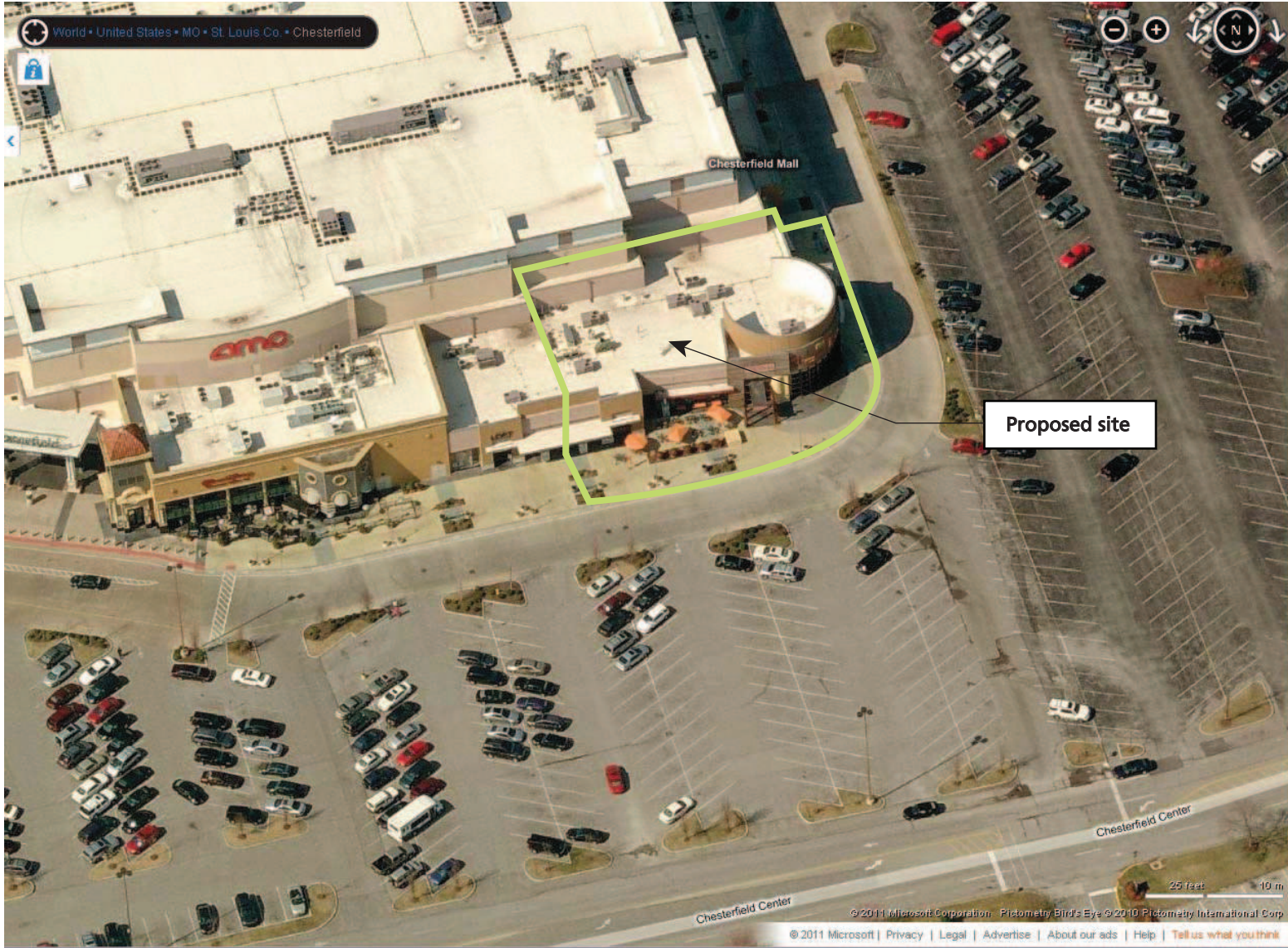
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American Girl
St. Louis, MO
Architectural Review Board Package



A-2
8.12.2011
ka # 11054-01



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View North on ring road



View southeast on ring road



View east on ring road

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Proposed Layout



Proposed Design

North Elevation



Proposed Design

East Elevation

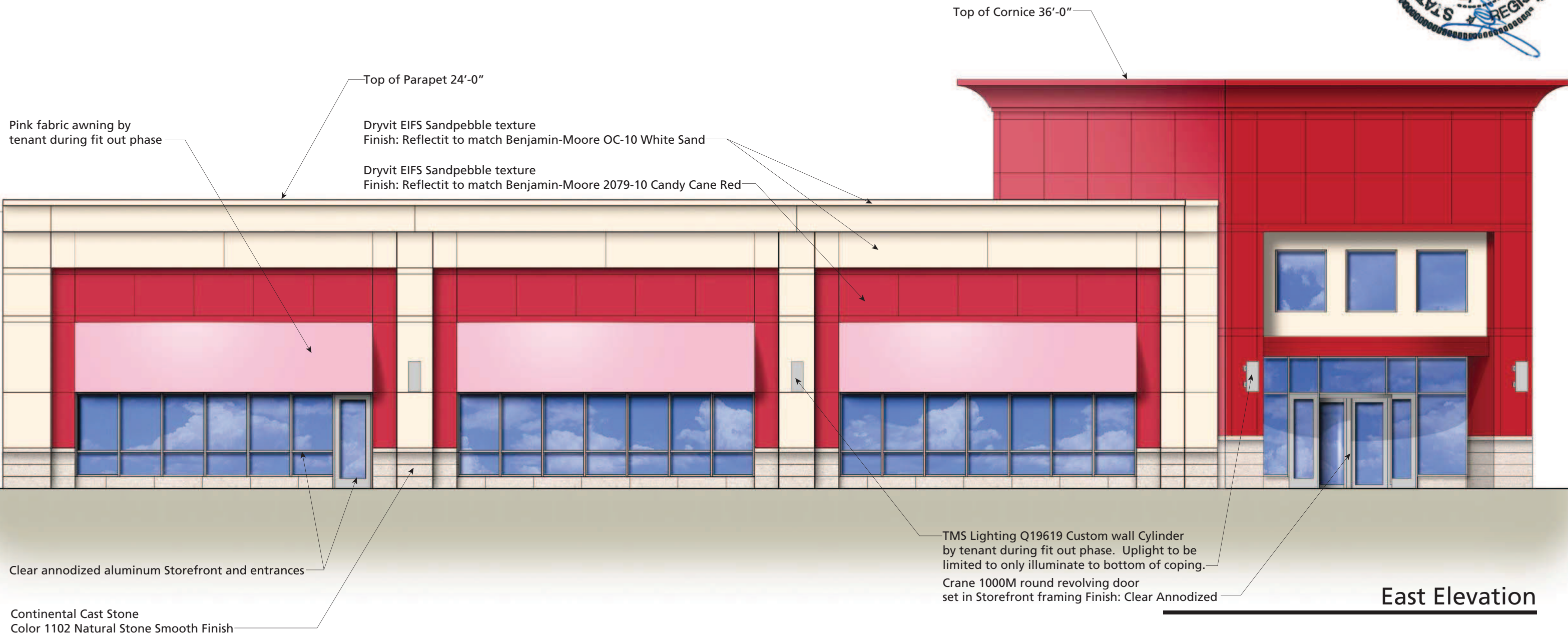
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Composite Elevations



American Girl
St. Louis, MO
Architectural Review Board Package

A-6
8.12.2011
ka # 11054-01



East Elevation

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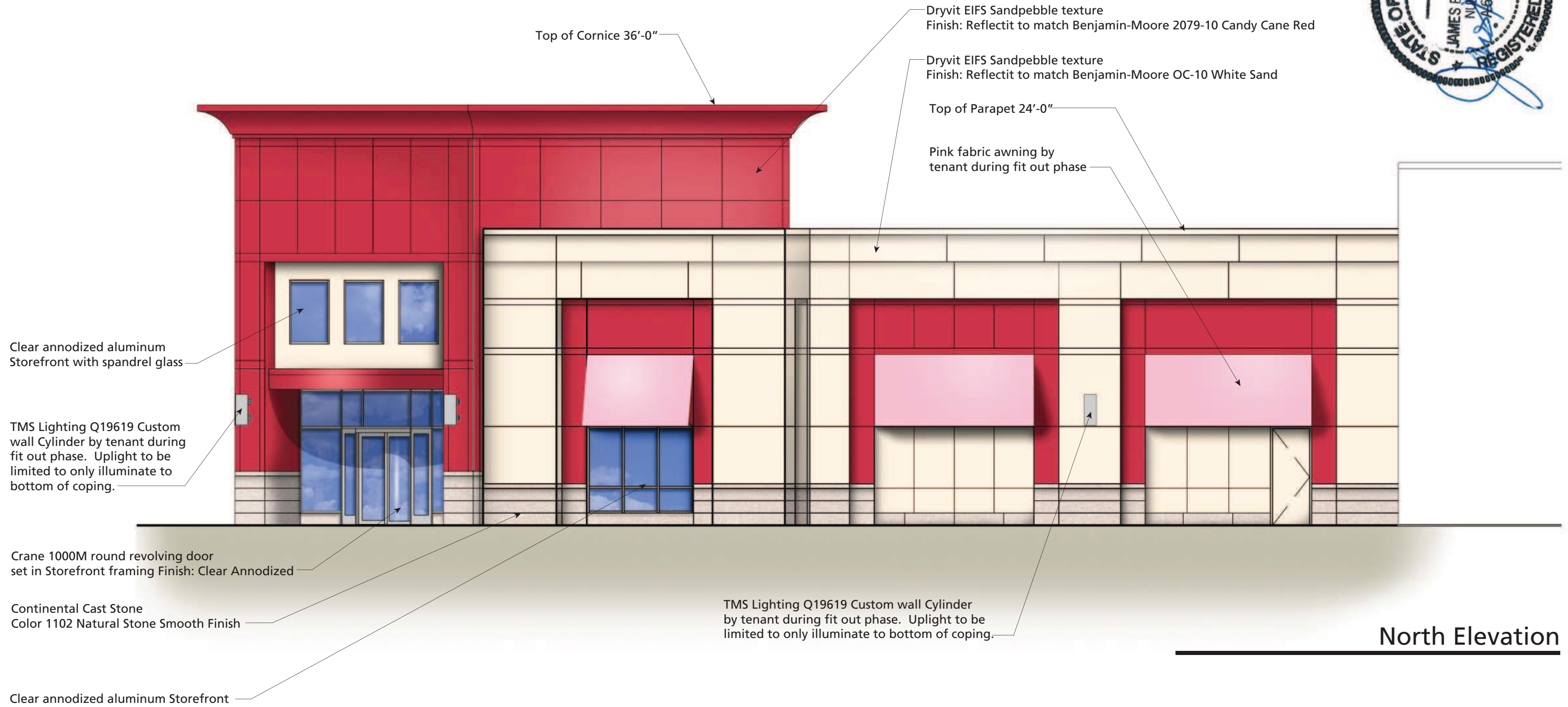


American Girl
St. Louis, MO
Architectural Review Board Package

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A-7
8.12.2011
ka # 11054-01

East Elevation



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American Girl
St. Louis, MO

Architectural Review Board Package



A-8

8.12.2011
ka # 11054-01

North Elevation



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Examples of other Locations

Ke/dc

TMS LIGHTING

TMS LIGHTING
247A SUMMERLEA ROAD BRAMPTON ONT. CANADA L6T4E1
www.tmslighting.com customerservice@tmslighting.com

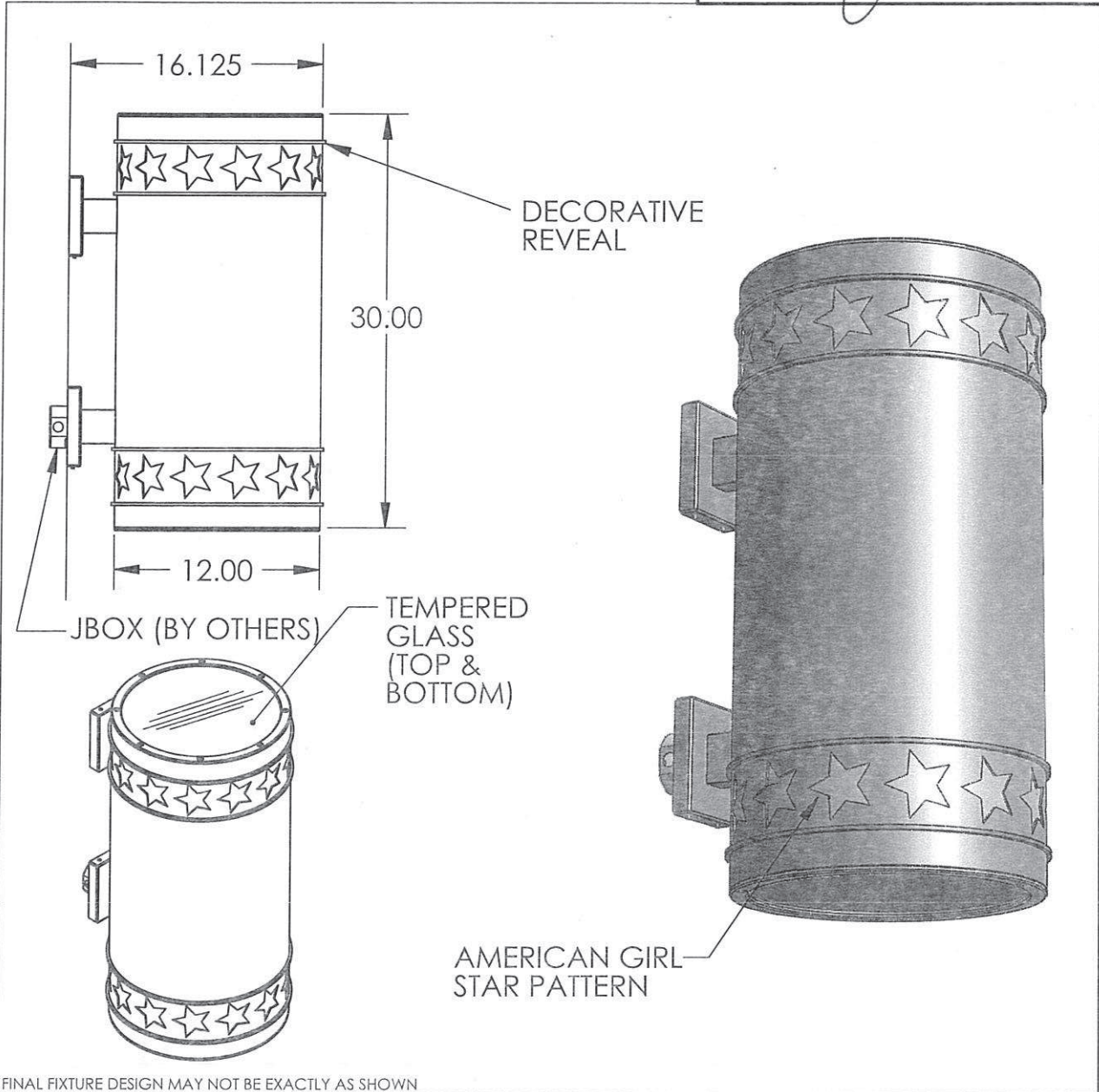
2010

TMS LIGHTING - LUMINAIRE APPROVAL DRAWING
Q19619 CUSTOM WALL CYLINDER
TYPE: REV.

APPROVED BY:

6/7/10

DATE:



FINAL FIXTURE DESIGN MAY NOT BE EXACTLY AS SHOWN

ALL DIMENSIONS ARE APPROXIMATE

GENERAL SPECIFICATIONS

- Body Assy: Alum Construction
- Finish: Brushed Aluminum
- Diffuser: Opal Acrylic Diffusers behind American Girl Stars
- Lampholder: MH Pulse Rated Medium Base
- Ballasts: Metal Halide Core and Coil 120V
- Lamps: Up To 2X50W ED17 (Lamps Included)
- Mounting: Wall

Fixture for Outdoor Application

PROPRIETARY & CONFIDENTIAL

THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF TMS LIGHTING LTD. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF TMS LIGHTING IS STRICTLY PROHIBITED.

LRP

September 1, 2011

Adam Graves
Construction Manager
Accent Construction Management
2034 Hamilton Place Blvd., Suite 400
Chattanooga, TN 37421

RE: American Girl
Space 2020
Chesterfield Mall
Chesterfield, MO 63017

Dear Mr. Graves:

The design of the new American Girl store at the Chesterfield Mall includes exterior sconces. These custom light fixtures are designed to cast light on the façade in both the up and down directions, for a decorative effect. They are not intended to illuminate walkways or drive aisles. We understand that City of Chesterfield Ordinance 2228 prohibits up-lighting, unless the applicant can show that the building will block light from extending past the top of the building. Therefore, we intend to modify the design of these fixtures to include a shield that will restrict the light emitted from the top of the fixture, and ensure that it is cut off before it reaches the top of the parapet.

Very truly yours,



Thomas C. Rosenkilde, AIA, LEED AP
Senior Project Manager

cc: Lorri Spitz / American Girl
Amy Heerema / Global Lighting Design