



VILC

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Phone: 636-537-4000 • Fax 636-537-4798 • www.chesterfield.mo.us

September 5, 2007

Planning Commission
City of Chesterfield
690 Chesterfield Parkway West
Chesterfield, MO 63017

The Planning Commission agenda for **September 10, 2007** will include the following item for your consideration:

Porta-Fab (Mechanical Enclosure) Spirit Airpark: An Amended Site Development Plan for 5.75 acres of land zoned "M-3" Planned Industrial District located along Chesterfield Airport Rd. east of Spirit of St. Louis Blvd. and west of Goddard Ave.

Dear Planning Commission:

Prime Site International on behalf of Porta-Fab Corporation has submitted a mechanical enclosure for your review. The Department of Planning and Public Works has reviewed this submittal and submits the following report.

BACKGROUND

1. Spirit of St. Louis Airport approved via St. Louis County Ordinance Number 2212 approved rezoning from "NU" Non Urban to "M-3" Planned Industrial District and was subsequently amended by St. Louis County Ordinance Numbers 9642, 11,768, 13,838 and 13,935.
2. On March 2, 1992 the City of Chesterfield adopted Ordinance 656 which amended St. Louis County Ordinance 13,935 and to reduce the right of way on Edison Ave from 60 feet to 40 feet with 10 feet road easement.
3. On April 3, 1994 the City of Chesterfield adopted Ordinance Number 870 which adopted St. Louis County Ordinances 2212, 9642, 11,768, 13,838, and 13,935 and allowed additional permitted uses.
4. On April 15, 1996, the City of Chesterfield adopted Ordinance Number 1156 which amended St. Louis County Ordinance 13,838 and City of Chesterfield Ordinance 656 and repealed City of Chesterfield Ordinance 870 and changes the boundary of the "M-3" Planned Industrial District.

5. On September 15, 1997, the City of Chesterfield adopted ordinance Number 1312 which amended Ordinance 1156 to allow fraternal organizations within the established "M-3" Planned Industrial District.
6. On July 20 1998, the City of Chesterfield adopted Ordinance Number 1430 which reduced the side yard setback for 660 Goddard from 10 feet to 3 feet from the northern boundary and 9 feet on the southern boundary.

SUBMITTAL INFORMATION

1. The request is for a new eleven (11) foot by twelve (12) foot enclosure for an emergency generator and fuel tank to provide power to the Verizon telecommunications tower located at 18080 Chesterfield Airport Road on the Porta-Fab building.
2. The enclosure will be located adjacent to an existing building housing Verizon equipment at the rear of the Porta-Fab building.
3. The enclosure will consists of a six (6) foot high interlocking vinyl picket sight-proof fence.
4. Ordinance number 1430 states that, 'All mechanical equipment, rooftop or ground mounted, shall be adequately screened by roofing or other screening, as approved by the Planning Commission.'

DEPARTMENTAL INPUT

The submittal was reviewed for compliance with City of Chesterfield ordinances. The Department of Planning requests approval of the Amended Site Development Plan and mechanical enclosure.

Respectfully submitted,



Shawn P. Seymour
Project Planner

Respectfully submitted,

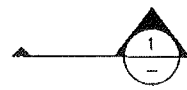


Mara M. Perry, AICP
Senior Planner of Plan Review

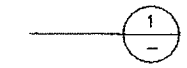
Cc: City Administrator
City Attorney
Director of Planning and Public Works

Attachments: Amended Site Development Plans, illustrating the proposed generator and screening.

SYMBOLS



SECTION NUMBER
DRAWING NUMBER ON WHICH SECTION OR DETAIL APPEARS.
(-) INDICATES REFERENCED FROM SAME DRAWING.



DETAIL NUMBER
DRAWING NUMBER ON WHICH SECTION OR DETAIL APPEARS.
(-) INDICATES REFERENCED FROM SAME DRAWING.

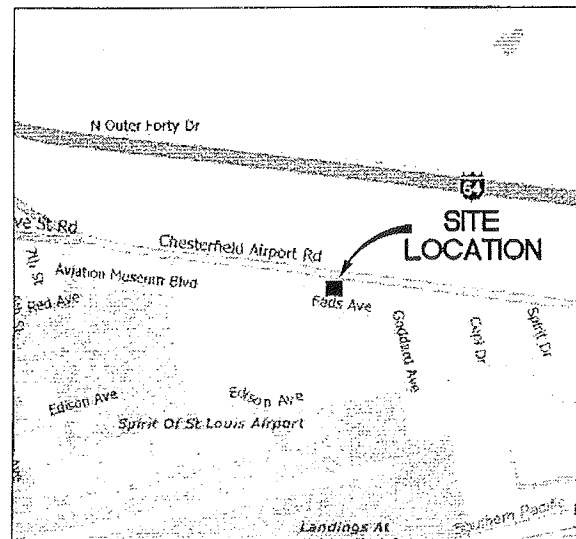
ABBREVIATIONS

AGL	ABOVE GRADE LINE	HT	HEIGHT
AMP	AMPERE	KDG	KUHLMANN DESIGN GROUP
ARCH	ARCHITECT	LF	LINEAR FEET
BLDG	BUILDING	MIN	MINIMUM
CL	CENTER LINE	MISC	MISCELLANEOUS
CONC	CONCRETE	NTS	NOT TO SCALE
CONSTR	CONSTRUCTION	OC	ON CENTER
CONTR	CONTRACTOR	PL	PLATE
DET	DETAIL	PP	POWER POLE
DIA	DIAMETER	REQ'D	REQUIRED
DIAG	DIAGONAL	SF	SQUARE FEET
DIM	DIMENSION	SHT	SHEET
DN	DOWN	SIM	SIMILAR
DWG	DRAWING	SPECS	SPECIFICATIONS
EA	EACH	STD	STANDARD
ELEC	ELECTRICAL	STL	STEEL
ELEV	ELEVATION	STRUCT	STRUCTURAL
EO	EQUAL	TC	TOP OF CURB
EQUIP	EQUIPMENT	TOC	TOP OF CONCRETE
EXIST	EXISTING	TOP	TOP OF PAVING
FND	FOUNDATION	TOS	TOP OF STEEL
FTG	FOOTING	TYP	TYPICAL
GA	GAUGE	UNO	UNLESS NOTED OTHERWISE
GALV	GALVANIZED		
GND	GROUND		

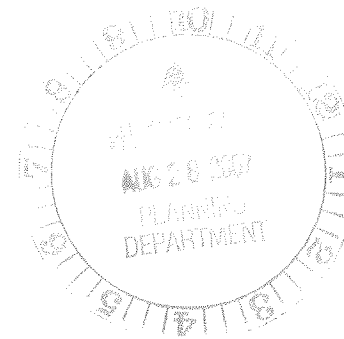


Site Engineering Plans

STL SPIRIT AIRPORT



**18080 CHESTERFIELD AIRPORT ROAD
CHESTERFIELD, MO 63005**



DISCLAIMER OF RESPONSIBILITY
I HEREBY SPECIFY THAT THE DOCUMENTS INTENDED TO BE AUTHENTICATED BY MY SEAL ARE LIMITED TO THIS SHEET, AND I HEREBY DISCLAIM ANY RESPONSIBILITY FOR ALL OTHER DRAWINGS, SPECIFICATIONS, ESTIMATES, REPORTS OR OTHER DOCUMENTS OR INSTRUMENTS RELATING TO OR INTENDED TO BE USED FOR ANY PART OR PARTS OF THE ARCHITECTURAL OR ENGINEERING PROJECT OR SURVEY.

GENERAL NOTES

1. THE CONTRACTOR SHALL SUPERVISE AND DIRECT ALL WORK USING HIS BEST SKILL AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, PROCEDURES AND SEQUENCES FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
2. THE CONTRACTOR SHALL VISIT THE JOB SITE TO REVIEW THE SCOPE OF WORK AND EXISTING CONDITIONS INCLUDING, BUT NOT LIMITED TO ELECTRICAL SERVICE AND OVERALL COORDINATION.
3. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO SUBMITTING HIS BID. ANY DISCREPANCIES, CONFLICTS OR OMISSIONS, ETC. SHALL BE REPORTED TO VERIZON WIRELESS BEFORE PROCEEDING WITH THE WORK.
4. THE CONTRACTOR SHALL PROTECT ALL AREAS FROM DAMAGE, WHICH MAY OCCUR DURING CONSTRUCTION. ANY DAMAGE TO NEW AND EXISTING CONSTRUCTION, STRUCTURE, OR EQUIPMENT SHALL BE IMMEDIATELY REPAIRED OR REPLACED TO THE SATISFACTION OF VERIZON WIRELESS AT THE EXPENSE OF THE CONTRACTOR.
5. THE CONTRACTOR SHALL SAFEGUARD THE OWNER'S PROPERTY DURING CONSTRUCTION AND SHALL REPLACE ANY DAMAGED PROPERTY OF THE OWNER TO ORIGINAL CONDITION.
6. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSES FOR REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED IN CONJUNCTION WITH THE EXECUTION OF WORK.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE SITE WHILE THE JOB IS IN PROGRESS AND UNTIL THE JOB IS COMPLETE.
8. ALL CONSTRUCTION WORK SHALL CONFORM TO THE U.B.C. I.B.C. OR B.O.C.A. AND ALL APPLICABLE LOCAL REGULATIONS, ORDINANCES, STATUTES & CODES.
9. VERIZON WIRELESS SHALL OBTAIN THE CONSTRUCTION PERMIT. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ADDITIONAL PERMITS, LICENSES AND INSPECTIONS NECESSARY FOR PERFORMANCE OF THE WORK AND INCLUDE THOSE IN THE COST OF THE WORK TO THE OWNER.
10. CITY APPROVED PLANS SHALL BE KEPT IN A PLAN BOX AND SHALL NOT BE USED BY WORKMEN. ALL CONSTRUCTION SETS SHALL REFLECT SAME INFORMATION. THE CONTRACTOR SHALL ALSO MAINTAIN IN GOOD CONDITION ONE COMPLETE SET OF PLANS WITH ALL REVISIONS, ADDENDA AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES. THESE ARE TO BE UNDER THE CARE OF JOB SUPERINTENDENT.
11. THE CONTRACTOR SHALL PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A OR 2-A-10-B-C WITHIN 75 FEET OF TRAVEL DISTANCE TO ALL PORTIONS OF THE BUILD OUT AREA DURING CONSTRUCTION.
12. ANY CONNECTION FEES FOR ELECTRICAL SERVICE SHALL BE PAID BY THE CONTRACTOR.
13. THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY POWER. CONTRACTOR SHALL NOT USE THE VERIZON WIRELESS GENERATOR ON SITE.
14. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE INITIAL FUEL FILL OF THE SITE GENERATOR.



10740 NALL AVE, SUITE 400
OVERLAND PARK, KS 66211
PHONE: (913) 344-2800

Index of Sheets

T-1	TITLE SHEET
C-1	SURVEY
C-2	SITE PLAN
C-3	ENLARGED SITE PLAN
S-1	GENERATOR DETAILS, NOTES, SPECIFICATIONS
E-1	ENLARGED SITE PLAN + ELECTRICAL DETAILS

DIRECTIONS

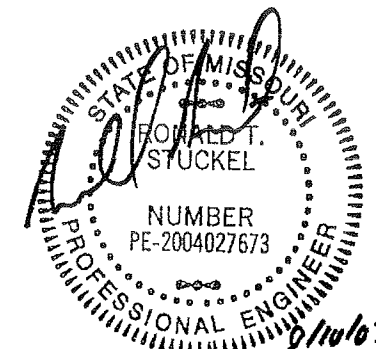
(FROM VERIZON WIRELESS - MTSO ST. LOUIS, MO. OFFICE)
GO WEST FROM ST LOUIS ON I-64/US-40 (23.2 MI), MERGE ONTO LONG ROAD VIA EXIT 16 (0.6 MI), TURN RIGHT ONTO CHESTERFIELD AIRPORT ROAD (1.1 MI) TURN LEFT INTO PARKING LOT, EXISTING TOWER SITE SHELTER BEHIND PORTA-FAB BUILD.

PROJECT INFORMATION

PROJECT:	GENERATOR RETROFIT
CELL SITE NUMBER:	STL 02, CELL 0133
PROPERTY OWNER:	PORTA FAB CORP. PH:(636) 537-5555
UTILITIES:	AMEREN UE (800) 552-7583
SITE INFORMATION	
ADDRESS:	18080 CHESTERFIELD AIRPORT RD CHESTERFIELD, MO 63005

VERIZON WIRELESS APPROVALS

	INITIALS	DATE
OPERATIONS MANAGER	S.Y.	03/26/07
SR. CONST. ENGINEER	T.M.	03/27/07
IMPLEMENTATION MANAGER	D.P.	03/28/07
REAL ESTATE MANAGER	M.C.	03/29/07
LANDLORD	L.T.	04/19/07



ENGINEERS SEAL FOR CIVIL-SITE ONLY

VERIZON WIRELESS

Designation **STL 02 CELL 0133**

Prepared By: **KdG** Kuhlmann Design Group, Inc.
15 E. WASHINGTON BELLEVILLE, IL 62220
Tel: (618) 234-8898
St. Louis, Missouri
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Date: 03/26/07	Designed By: RTS
KdG Project No: 070003-0015	Checked By: GRA

STL SPIRIT AIRPORT

Sheet: **T-1**

REV	DATE	REVISION DESCRIPTION
A	03/26/07	ISSUED FOR REVIEW
0	06/22/07	CONSTRUCTION DOCUMENTS
1	07/25/07	REVISED LEASE AREA & ADDED FENCE
2	08/10/07	REVISED FENCE DETAIL

LEGAL DESCRIPTION (PARENT PARCEL)

LAND REFERRED TO IN THIS DESCRIPTION IS SITUATED IN THE COUNTY OF ST. LOUIS, STATE OF MISSOURI, AND DESCRIBED AS FOLLOWS:

PARCEL NO. 1: A TRACT OF LAND IN ST. LOUIS AIR PARK, IN U.S. SURVEY 122, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE INTERSECTION OF THE SOUTH LINE OF U.S. HIGHWAY NO. 40 T.R., 100 FEET WIDE, WITH THE WEST LINE OF GODDARD AVENUE, 40 FEET WIDE, EASEMENT, THENCE NORTH 82 DEGREES 30 MINUTES 00 SECONDS WEST ALONG THE SOUTH LINE OF U.S. HIGHWAY NO. 40 T.R., 100 FEET WIDE, A DISTANCE OF 36.65 FEET TO A POINT, THENCE SOUTH 11 DEGREES 10 MINUTES 00 SECONDS EAST ALONG U.S. HIGHWAY NO. 40 T.R., A DISTANCE OF 5.28 FEET TO A POINT, THENCE NORTH 82 DEGREES 30 MINUTES WEST ALONG U.S. HIGHWAY NO. 40 T.R., 100 FEET WIDE, A DISTANCE OF 620.02 FEET TO A POINT, THENCE SOUTH 7 DEGREES 30 MINUTES 00 SECONDS WEST, A DISTANCE OF 295.00 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED TRACT: SOUTH 7 DEGREES 30 MINUTES 00 SECONDS WEST, A DISTANCE OF 200.00 FEET TO A POINT IN THE NORTH LINE OF EADS AVENUE, 60 FEET WIDE EASEMENT, THENCE SOUTH 82 DEGREES 30 MINUTES 00 SECONDS WEST, A DISTANCE OF 200.00 FEET TO A POINT, THENCE NORTH 7 DEGREES 30 MINUTES 00 SECONDS EAST, A DISTANCE OF 222.00 FEET TO A POINT, THENCE SOUTH 82 DEGREES 30 MINUTES 00 SECONDS EAST, A DISTANCE OF 222.00 FEET TO THE POINT OF BEGINNING, ACCORDING TO A SURVEY THEREOF BY TRATHGER & PATENT, INC. IN DECEMBER, 1967.

PARCEL NO. 2 PART OF ST. LOUIS AIR PARK, A SUBDIVISION IN ST. LOUIS COUNTY, MISSOURI, AS PER A PLAT THEREOF RECORDED IN PLAT BOOK 107, PAGE 42 DESCRIBED AS FOLLOWS: COMMENCING AT THE INTERSECTION OF THE SOUTH LINE OF U.S. HIGHWAY NO. 40 T.R., 100 FEET WIDE, WITH THE WEST LINE OF GODDARD AVENUE, 60 FEET WIDE, THENCE NORTH 82 DEGREES 30 MINUTES WEST ALONG THE SOUTH LINE OF U.S. HIGHWAY NO. 40 T.R., 100 FEET WIDE, A DISTANCE OF 36.65 FEET TO A POINT, THENCE SOUTH 11 DEGREES 10 MINUTES EAST ALONG U.S. HIGHWAY NO. 40 T.R., 5.28 FEET TO A POINT, THENCE NORTH 82 DEGREES 30 MINUTES WEST ALONG THE SOUTH LINE OF U.S. HIGHWAY NO. 40 T.R., 100 FEET WIDE, A DISTANCE OF 620.02 FEET TO A POINT, THENCE SOUTH 7 DEGREES 30 MINUTES 00 SECONDS WEST, 295 FEET TO A POINT, THENCE NORTH 7 DEGREES 30 MINUTES 00 SECONDS EAST, 222 FEET TO A POINT, THENCE SOUTH 82 DEGREES 30 MINUTES 00 SECONDS EAST, 222 FEET TO THE POINT OF BEGINNING.

LEGAL DESCRIPTION (GENERATOR LEASE PARCEL)

A PARCEL OF LAND IN ST. LOUIS AIR PARK, AS RECORDED IN PLAT BOOK 107, PAGE 42 OF THE ST. LOUIS COUNTY RECORDS, BEING IN PART OF U.S. SURVEY 122 AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEASTLY CORNER OF A TRACT OF LAND CONVEYED TO THE PORTA-FAB CORPORATION BY DEED RECORDED IN DEED BOOK 8129, PAGE 2127 OF THE ST. LOUIS COUNTY RECORDS, THENCE ALONG THE EASTERN LINE OF SAID TRACT SOUTH 7 DEGREES 30 MINUTES 00 SECONDS WEST, 342.52 FEET; THENCE NORTH 82 DEGREES 30 MINUTES 00 SECONDS WEST, 108.51 FEET; THENCE NORTH 82 DEGREES 55 MINUTES 35 SECONDS WEST 25.00 FEET TO THE POINT OF BEGINNING OF THE LEASE SITE PREMISES AS DESCRIBED IN THIS PARAGRAPH; THENCE NORTH 82 DEGREES 55 MINUTES 35 SECONDS WEST, 108.51 FEET; THENCE NORTH 7 DEGREES 04 MINUTES 25 SECONDS EAST, 10.00 FEET; THENCE SOUTH 82 DEGREES 05 MINUTES 35 SECONDS EAST, 4.00 FEET; THENCE SOUTH 7 DEGREES 04 MINUTES 25 SECONDS WEST, 10.00 FEET TO THE POINT OF BEGINNING.

SAID LEASE (CELL SITE) PREMISES BEING SITUATED IN THE CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI AND CONTAINING 90 SQUARE FEET OR 0.002 ACRES MORE OR LESS.

LEGAL DESCRIPTION (ACCESS & UTILITY EASEMENT)

A STRIP OF LAND THROUGH ST. LOUIS AIR PARK, AS RECORDED IN PLAT BOOK 107, PAGE 42 OF THE ST. LOUIS COUNTY RECORDS, BEING IN PART OF U.S. SURVEY 122 AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

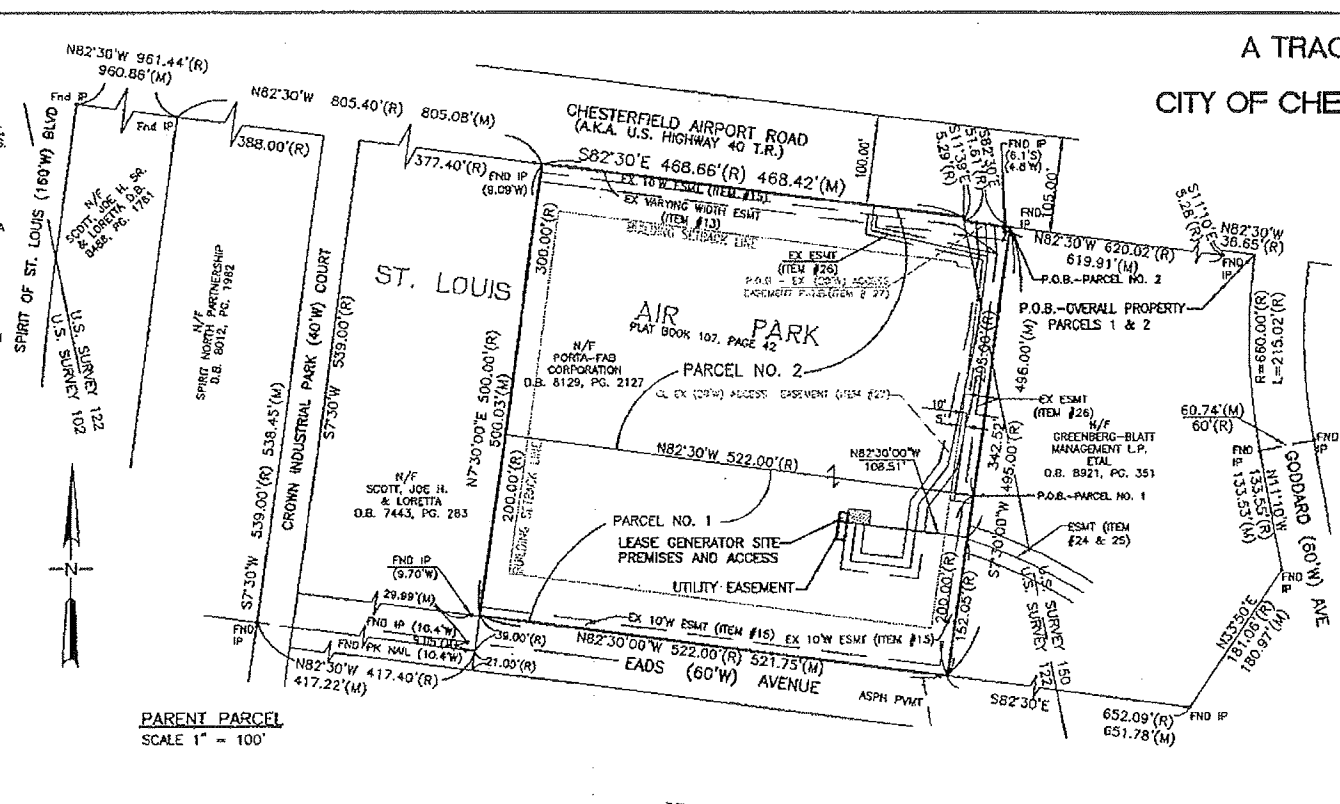
COMMENCING AT THE NORTHEASTLY CORNER OF A TRACT OF LAND CONVEYED TO THE PORTA-FAB CORPORATION BY DEED RECORDED IN DEED BOOK 8129, PAGE 2127 OF THE ST. LOUIS COUNTY RECORDS; THENCE ALONG THE EASTERN LINE OF SAID TRACT SOUTH 7 DEGREES 30 MINUTES 00 SECONDS WEST, A DISTANCE OF 342.52 FEET; THENCE NORTH 82 DEGREES 30 MINUTES 00 SECONDS WEST, 108.51 FEET; THENCE NORTH 82 DEGREES 55 MINUTES 35 SECONDS WEST 25.00 FEET TO THE POINT OF BEGINNING OF THE 20 FOOT WIDE EASEMENT AS DESCRIBED IN THIS PARAGRAPH; THENCE SOUTH 7 DEGREES 04 MINUTES 25 SECONDS WEST, 20.00 FEET; THENCE NORTH 82 DEGREES 55 MINUTES 35 SECONDS WEST, 9.00 FEET; THENCE NORTH 7 DEGREES 04 MINUTES 25 SECONDS EAST, 20.00 FEET; THENCE SOUTH 82 DEGREES 55 MINUTES 35 SECONDS EAST 9.00 FEET TO THE POINT OF BEGINNING.

SAID ACCESS AND UTILITY EASEMENT BEING SITUATED IN THE CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI AND CONTAINING 180 SQUARE FEET OR 0.004 ACRES MORE OR LESS.

NOTES CORRESPONDING TO SCHEDULE 'B':

- BUILDING LINES, EASEMENTS, RESTRICTIONS AND POWERS OF TRUSTEES TO LEVY ASSESSMENTS RECORDED IN BOOK 5154 PAGE 177 AND AMENDMENT THEREOF RECORDED IN BOOK 5154 PAGE 177 AND AMENDMENT THEREOF RECORDED IN BOOK 5672 PAGE 382 AND A 15 FOOT UTILITY EASEMENT ESTABLISHED BY INSTRUMENT RECORDED IN BOOK 6403 PAGE 2137 AND WAIVER AND MODIFICATION OF RESTRICTIONS ACCORDING TO INSTRUMENT RECORDED IN BOOK 6725 PAGE 642. (AFFECTS LEASE SITE, SEE PLAT AND DOCUMENTS FOR MORE INFORMATION)
- EASEMENT(S) TO UNION ELECTRIC COMPANY RECORDED IN BOOK 8404 PAGE 1679. (DOES NOT AFFECT LEASE SITE OR EASEMENT)
- RURAL DEVELOPMENT PLAN OF ST. LOUIS AIR PARK, TOGETHER WITH PROVISIONS AS THEREIN STATED, RECORDED IN PLAT BOOK 145 PAGE 82 AND AMENDED DEVELOPMENT PLAN OF ST. LOUIS AIR PARK, RECORDED IN PLAT BOOK 156 PAGE 93. (AFFECTS LEASE SITE, SEE DOCUMENTS FOR MORE INFORMATION)
- EASEMENT FOR WATER PIPE TO ST. LOUIS COUNTY WATER COMPANY RECORDED IN BOOK 7842 PAGE 1757 (SEE PLAT FOR LOCATION).
- LIABILITIES PERTAINING TO DIRECT ACCESS TO U.S. HIGHWAY NO. 40 T.R. EXCEPT BY MEANS OF AN OUTER ROADWAY CONSTRUCTED AND MAINTAINED BY A GOVERNMENTAL AGENCY UNDER THE TERMS, CONDITIONS AND PROVISIONS OF SUIT CAUSE NO. 290860 OF THE CIRCUIT COURT OF ST. LOUIS COUNTY, MISSOURI (DOES NOT APPEAR TO AFFECT LEASE SITE, SEE DOCUMENTS FOR MORE INFORMATION).
- EASEMENT(S) TO THE METROPOLITAN ST. LOUIS SEWER DISTRICT RECORDED IN BOOK 8589 PAGE 2258 (SEE PLAT FOR LOCATION).
- TERMS AND PROVISIONS AS SHOWN ON PLAT RECORDED IN PLAT BOOK 156 PAGE 93 AND 87. (AFFECTS LEASE SITE, SEE DOCUMENTS FOR MORE INFORMATION)
- TERMS AND PROVISIONS ACCORDING TO ORDINANCE NO. 2212, A CERTIFIED COPY OF WHICH IS RECORDED IN BOOK 6712 PAGE 1843 (AFFECTS LEASE SITE, SEE DOCUMENTS FOR MORE INFORMATION).
- EASEMENTS AND RIGHTS OF WAY, ACCORDING TO INSTRUMENTS RECORDED IN BOOK 6725 PAGE 650, BOOK 6725 PAGE 663 AND BOOK 6725 PAGE 657 (DOES NOT APPEAR TO AFFECT LEASE SITE, SEE DOCUMENTS FOR MORE INFORMATION).
- TERMS AND PROVISIONS ACCORDING TO ORDINANCE NO. 2212, A CERTIFIED COPY OF WHICH IS RECORDED IN BOOK 6768 PAGE 151 (AFFECTS LEASE SITE, SEE DOCUMENTS FOR MORE INFORMATION).
- TERMS AND PROVISIONS OF DEVELOPMENT PLAT RECORDED IN PLAT BOOK 161 PAGE 20, AND AMENDMENTS THEREOF RECORDED IN BOOK 6748 PAGE 493, BOOK 6830 PAGE 1149, BOOK 6834 PAGE 1749, BOOK 6872 PAGE 966, BOOK 6879 PAGE 372, BOOK 6912 PAGE 1860, BOOK 6917 PAGE 815, BOOK 6919 PAGE 1416, BOOK 7185 PAGE 2347 AND BOOK 9008 PAGE 2014 (AFFECTS LEASE SITE, SEE DOCUMENTS FOR MORE INFORMATION).
- EASEMENT(S) TO ST. LOUIS COUNTY, MISSOURI RECORDED IN BOOK 7591 PAGE 1234 AND BOOK 7597 PAGE 1667 (DOES NOT APPEAR TO AFFECT LEASE SITE, SEE DOCUMENTS FOR MORE INFORMATION).
- TERMS AND PROVISIONS OF ORDINANCE NO. 1156, AS AMENDED, ACCORDING TO INSTRUMENT RECORDED IN BOOK 11143 PAGE 158 AND BOOK 11888 PAGE 1255 (AFFECTS LEASE SITE, SEE DOCUMENTS FOR MORE INFORMATION).
- RESTRICTIONS AND CONDITIONS, ACCORDING TO INSTRUMENT RECORDED IN BOOK 6725 PAGE 642 (AFFECTS LEASE SITE, SEE DOCUMENTS FOR MORE INFORMATION).
- EASEMENT FOR USE OF A RAILROAD TRACK AND RAIL ACCESS RESERVED BY GRANTOR IN THAT CERTAIN GENERAL WARRANTY DEED RECORDED IN BOOK 7849 PAGE 2493 OF THE ST. LOUIS COUNTY RECORDS (DOES NOT APPEAR TO AFFECT LEASE SITE, SEE PLAT FOR LOCATION AND ADDITIONAL INFORMATION).
- EASEMENT GRANTED BY PORTA-FAB CORPORATION, ACCORDING TO INSTRUMENT RECORDED IN BOOK 8360 PAGE 227 (DOES NOT APPEAR TO AFFECT LEASE SITE, SEE PLAT AND DOCUMENTS FOR MORE INFORMATION).
- EASEMENT(S) TO THE METROPOLITAN ST. LOUIS SEWER DISTRICT RECORDED IN BOOK 9041 PAGE 1670 AND BOOK 9059 PAGE 358 (DOES NOT APPEAR TO AFFECT LEASE SITE, SEE PLAT AND DOCUMENTS FOR MORE INFORMATION).
- MEMORANDUM OF LEASE EXECUTED BY PORTA-FAB CORPORATION, A DELAWARE CORPORATION, "LANDLORD," AND CYBENTEL CELLULAR TELEPHONE COMPANY, A MISSOURI PARTNERSHIP, "TENANT," DATED AS OF AUGUST 28, 1997 AND RECORDED AUGUST 29, 1997 IN BOOK 11271 PAGE 1922, INCLUDING TERMS, PROVISIONS AND LIMITATIONS AS THEREIN SET FORTH (DOES NOT APPEAR TO AFFECT LEASE SITE, SEE PLAT AND DOCUMENTS FOR MORE INFORMATION).
- NON-DISTURBANCE AND ATTORNMENT AGREEMENTS RECORDED IN BOOK 11271 PAGE 1952, BOOK 11271 PAGE 1956, BOOK 11271 PAGE 1960 AND BOOK 11271 PAGE 1964. (DOES NOT AFFECT LEASE SITE OR EASEMENT)
- AFFIDAVITS OF SURVEYOR'S ERROR PERTAINING TO MEMORANDUM OF LEASE, RECORDED IN BOOK 11271 PAGE 1922 AND NON-DISTURBANCE AND ATTORNMENT AGREEMENT, RECORDED IN BOOK 11271 PAGE 1964, ACCORDING TO INSTRUMENTS RECORDED IN BOOK 11418 PAGE 723 AND BOOK 11507 PAGE 1848. (DOES NOT AFFECT LEASE SITE OR EASEMENT)
- TERMS, PROVISIONS AND CONDITIONS AS SHOWN ON PLAT RECORDED IN PLAT BOOK 107 PAGE 42 AND 43 OF THE ST. LOUIS COUNTY RECORDS. (AFFECTS LEASE SITE, SEE DOCUMENTS FOR MORE INFORMATION)
- RIGHT OF RAILROAD COMPANY SERVING THE RAILROAD SIDING LOCATED ON THE SUBJECT PROPERTY, AND TO THE TIES, RAILS AND OTHER PROPERTIES CONSTITUTING SAID RAILROAD SIDING OR IN AND TO THE USE THEREOF AND ALSO RIGHTS OF OTHERS THERETO ENTITLED IN AND TO THE USE THEREOF. (DOES NOT APPEAR TO AFFECT LEASE SITE OR EASEMENT)
- FRANCHISING STATEMENT EXECUTED BY PORTA-FAB CORPORATION TO BAYVIEW LOAN SERVING, LLC RECORDED IN BOOK 16364 PAGE 2880. (NOT A SURVEY MATTER)
- ANY ASSESSMENTS FOR MAINTENANCE OF SEWER SYSTEM. (NOT A SURVEY MATTER)

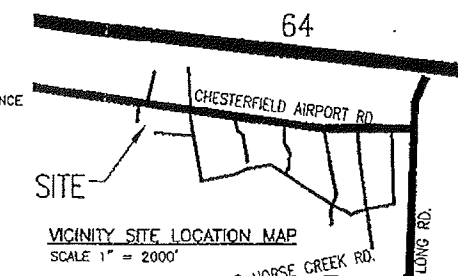
PARENT PARCEL
SCALE 1" = 100'



**A TRACT OF LAND IN ST. LOUIS AIR PARK,
IN PART OF U.S. SURVEY 122
CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI**

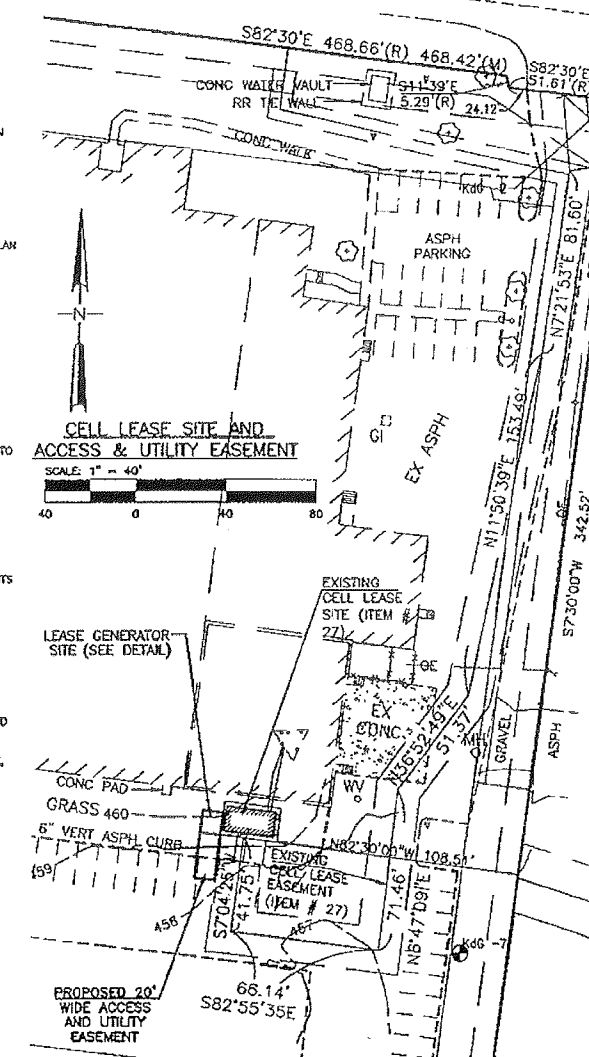
LEGEND

- IRON PIPE FOUND
- IRON PIPE SET
- CONC MONUMENT FD.
- CUT CROSS
- RECORD OR DEED DISTANCE
- CORRECTED DISTANCE
- MEASURED DISTANCE
- POWER POLE
- TREE
- R/W RIGHT OF WAY
- P.P.L. PARENT PARCEL LINE



GENERAL NOTES:

- THIS IS NOT A MISSOURI MINIMUM STANDARD DETAIL PROPERTY BOUNDARY SURVEY.
- ALTHOUGH MONUMENTATION WAS FOUND WITHIN TOLERANCES SUPPORTING THE LOT LINES AS PLOTTED HEREON, IT IS RECOMMENDED THAT A BOUNDARY SURVEY BE PERFORMED TO FULLY RECONCILE ANY DISCREPANCIES BEFORE DEMOLITION TAKES PLACE AND/OR THE CONSTRUCTION OF IMPROVEMENTS. NO PROPERTY LINES OR CORNERS SHOWN HEREON HAVE BEEN DETERMINED OR SET DEPENDING ON THE BOUNDARY OR TITLE LINES SHOWN HEREON. SUBJECT TO ALL HIGHWAYS, LOCAL RIGHTS-OF-WAY AND EASEMENTS OF RECORD.
- THIS PLAT OR MAP REFLECTS INFORMATION FOUND IN OLD REPUBLIC TITLE COMPANY OF ST. LOUIS, INC. TITLE, ORDER NUMBER 07055008, DATED APRIL 13, 2007 @ 8:00 AM.
- UTILITIES AND RIGHTS-OF-WAY ARE LOCATED FROM FIELD OBSERVATIONS, MUNICIPAL OR PRIVATE MAPS OR OTHER AVAILABLE INFORMATION.
- MISSOURI STATE PLANE COORDINATES INFORMATION: (NAD 83) EAST ZONE CONVERTED FROM METERS TO FEET; VERTICAL DATUM NAV 80
 -POINT ID: K60-2
 -GRID FACTOR: 0.99997950
 -NORTH: 1032630.73
 -EAST: 780696.35
 -ELEVATION: 461.08
 -POINT ID: K60-7
 -GRID FACTOR: 0.99916118
 -NORTH: 1032268.96
 -EAST: 780608.65
 -ELEVATION: 457.68
- BASIS OF BEARINGS: PER DEED TO PORTA-FAB CORPORATION RECORDED IN DEED BOOK 8129 PAGE 2127 IN THE ST. LOUIS COUNTY RECORDS



FLOOD PLAN AND FEMA INFORMATION:

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS WITHIN ZONE 'X' (500-YEAR FLOOD; AREA OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD) OF FLOOD INSURANCE RATE MAP NUMBER 29185C0120H, EFFECTIVE DATE: 8/02/1995. ACCORDING TO FEMA, ZONES B, C, AND X ARE THE FLOOD INSURANCE RATE ZONES THAT CORRESPOND TO AREAS OUTSIDE THE 1-PERCENT ANNUAL CHANCE FLOODPLAIN. AREAS OF 1-PERCENT ANNUAL CHANCE FLOODING WHERE AVERAGE DEPTHS ARE LESS THAN 1 FOOT, AREAS OF 1-PERCENT ANNUAL CHANCE STREAM FLOODING WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN 1 SQUARE MILE, OR AREAS PROTECTED FROM THE 1-PERCENT ANNUAL CHANCE FLOOD BY LEVEES, NO BASE FLOOD ELEVATIONS OR DEPTHS ARE SHOWN WITHIN THIS ZONE. INSURANCE PURCHASE IS NOT REQUIRED IN THESE ZONES.

THIS NOTE IS FOR THE PURPOSE OF PROVIDING INFORMATION AS INDICATED ON THE CURRENT FLOOD INSURANCE RATE MAP FOR THIS AREA, AND SHOULD NOT BE CONSTRUED AS AN INDICATOR AS TO WHETHER FLOOD INSURANCE SHOULD, OR SHOULD NOT BE PURCHASED.

UTILITY NOTE:

EXISTING UTILITIES SHOWN HEREON ARE LOCATED ACCORDING TO AVAILABLE PUBLIC AND PRIVATE MAPS AND A SURVEY. EXCEPT FOR LINES WITH SURVEY COORDINATES SHOWN, LOCATIONS ARE ASSUMED TO BE APPROXIMATE AND SHOULD BE FIELD VERIFIED BEFORE EXCAVATION BEGINS. SURFACE EXPRESSIONS (GRADE, POLES, VALVES, MANHOLES) HAVE BEEN FIELD LOCATED.

CALL BEFORE YOU DIG: 800-DIG-RITE. MISSOURI LAW REQUIRES THAT ANY PERSON MAKING OR BEGINNING ANY EXCAVATION NOTIFY ALL UNDERGROUND FACILITY OWNERS/OPERATORS WHICH MAY BE AFFECTED BY SAID EXCAVATION AT LEAST TWO (2) NOT MORE THAN TEN WORKING DAYS IN ADVANCE, EXCEPT IN THE CASE OF AN EMERGENCY. CALL BEFORE YOU DIG: 800-344-7483.

ZONING INFORMATION:

PER CITY OF CHESTERFIELD PLANNING DEPARTMENT THIS AREA IS ZONED M-3 (PLANNED INDUSTRIAL)

SURVEYOR'S STATEMENT:

THIS IS TO CERTIFY TO VERIZON WIRELESS AND OLD REPUBLIC TITLE COMPANY OF ST. LOUIS, INC., THAT KUHLMANN DESIGN GROUP, INC. DURING THE MONTH OF FEBRUARY, 2007, PERFORMED A TOPOGRAPHIC SURVEY OF A PARCEL OF LAND BEING PART OF ST. LOUIS AIR PARK, IN PART OF U.S. SURVEY 122, ST. LOUIS COUNTY, MISSOURI. THIS SURVEY OF THE LEASE PARCEL AND LEASE ACCESS AND UTILITY EASEMENT AS SHOWN IS FROM RECORD INFORMATION AND AN ACTUAL FIELD SURVEY.

Michael S. Huber July 10, 2007
MICHAEL S. HUBER, 40 PLS. No. 002491 Expires: 12/31/2009

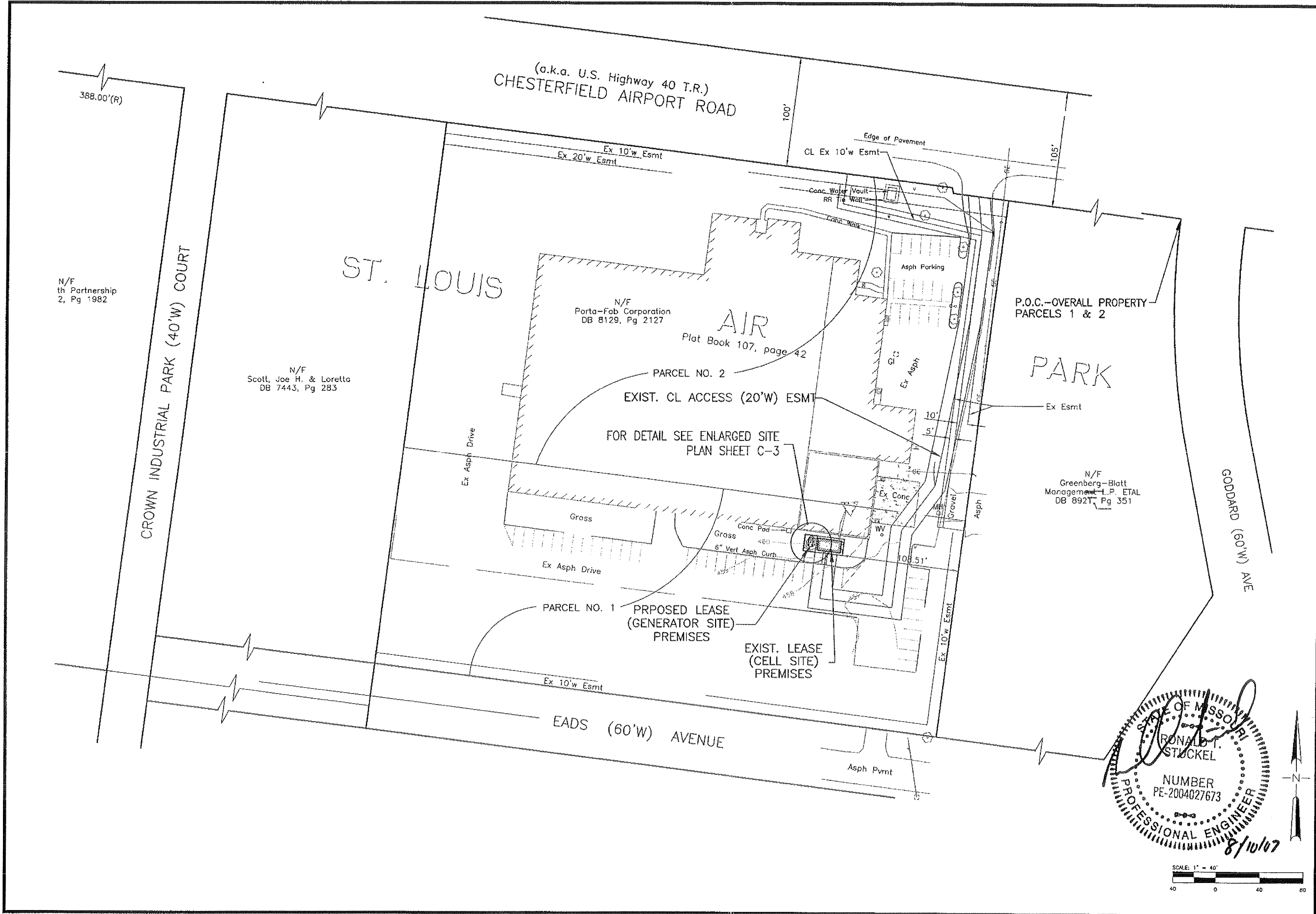
Date:	JUNE, 2006
Designed By:	RTS
Drawn By:	NPW
Checked By:	MSH
1 DAY PERMITTING PURPOSES	7/10/07
ONLY SUBJECT TO REVIEW	
FOUNDATIONS	
NO.	
Revisions	

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St. Louis, Missouri
Professional Land Surveyor
Expire: 12/31/2008

LS-2491
MICHAEL SAM HUBER
PROFESSIONAL LAND SURVEYOR

Job No. 070003-0015
Sheet: **C-1**
STLC SPIRIT AIRPORT, MO



388.00'(R)

N/F
th Partnership
2, Pg 1982

CROWN INDUSTRIAL PARK (40'W) COURT

N/F
Scott, Joe H. & Loretta
DB 7443, Pg 283

ST. LOUIS

(a.k.a. U.S. Highway 40 T.R.)
CHESTERFIELD AIRPORT ROAD

N/F
Porta-Fab Corporation
DB 8129, Pg 2127

AIR
Plat Book 107, page 42

PARCEL NO. 2
EXIST. CL ACCESS (20'W) ESMT

FOR DETAIL SEE ENLARGED SITE
PLAN SHEET C-3

P.O.C.—OVERALL PROPERTY
PARCELS 1 & 2

PARK

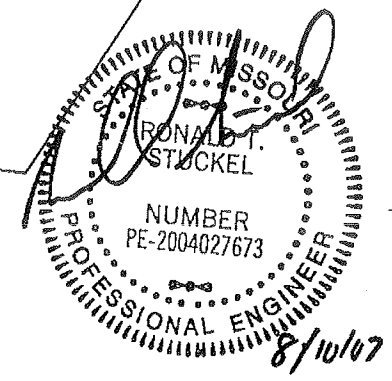
N/F
Greenberg-Blatt
Management L.P. ETAL
DB 8927, Pg 351

GODDARD (60'W) AVE

PARCEL NO. 1
PROPOSED LEASE
(GENERATOR SITE)
PREMISES

EXIST. LEASE
(CELL SITE)
PREMISES

EADS (60'W) AVENUE



No.	Revisions	Date
1	ADDED C-1 SHEET	08/02/07

Date: AUG 02, 2007
Designed By: RTS
Drawn By: DDH
Checked By: RTS

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Baltimore, Illinois

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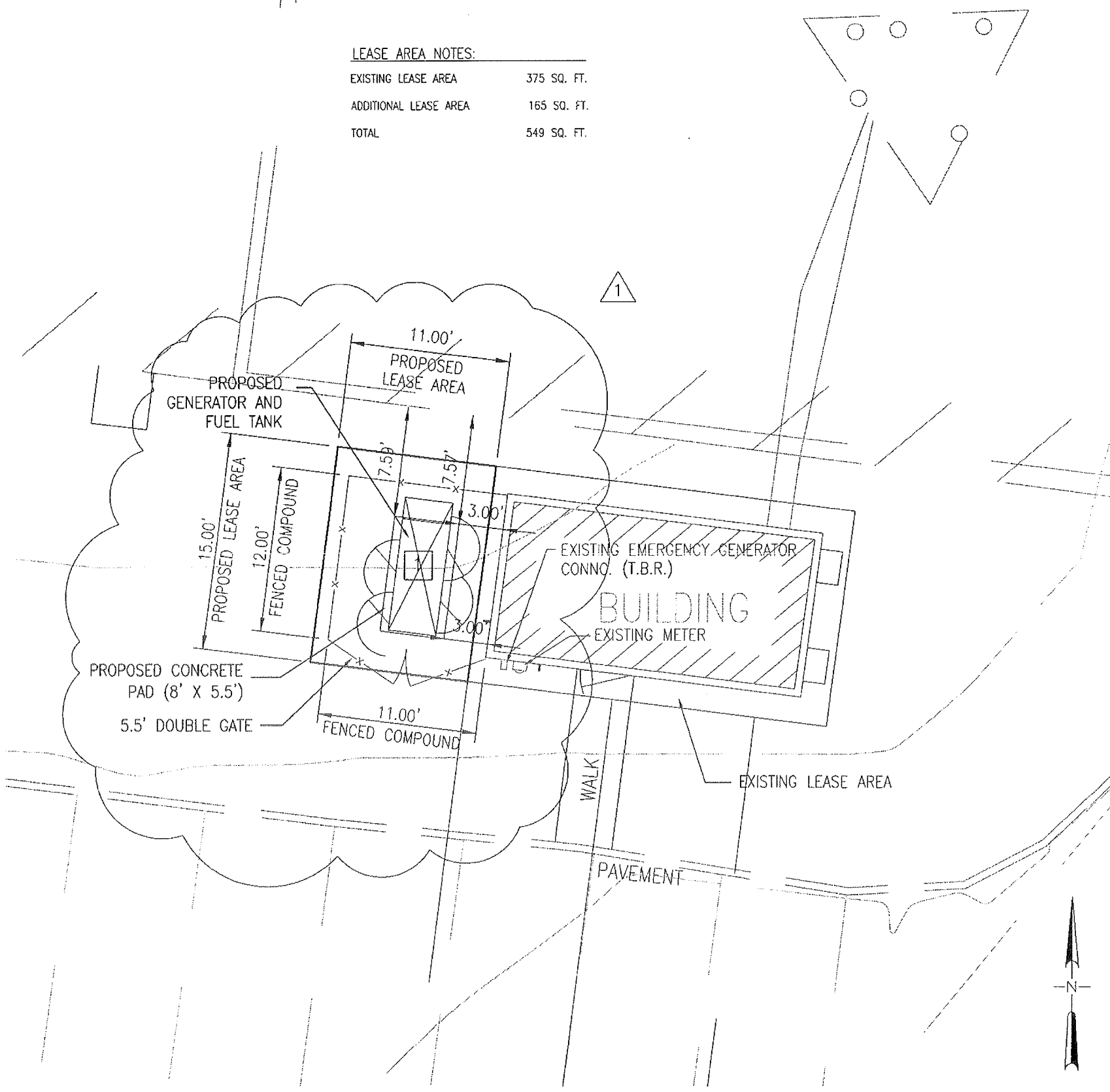
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Job No. 070003-0015

Sheet: **C-2**
STL SPIRIT AIRPORT

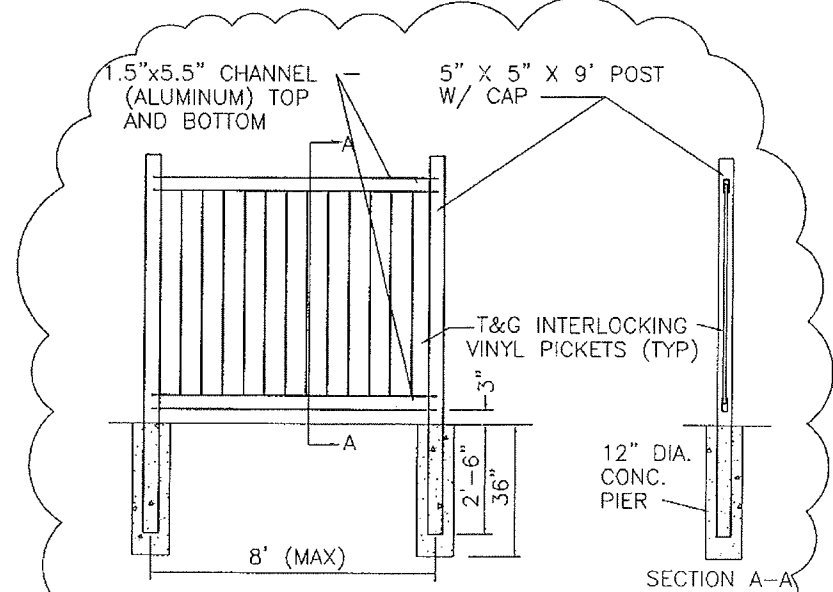
LEASE AREA NOTES:

EXISTING LEASE AREA	375 SQ. FT.
ADDITIONAL LEASE AREA	165 SQ. FT.
TOTAL	549 SQ. FT.

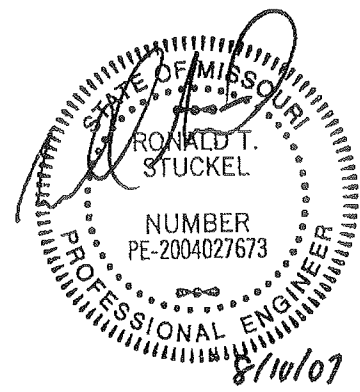


KEYED NOTES

1 GENERATOR SHALL BE INSTALLED WITH A MINIMUM OF 2.5' OF CLEAR SPACE, ON EACH SIDE OF THE LONGEST DIMENSION, OF THE GENERATOR.



1 6' HIGH VINYL SIGHT-PROOF FENCE N.T.S.



HOLD IT! CALL BEFORE YOU DIG!



Toll Free 800/344-7483
800-DIG-RITE

Contractor to contact UTILITIES prior to any excavation or demolition for the location of any pipes, cables, lines or mains. The Contractor shall also coordinate any disconnection required with the various utility companies and/or governmental agencies serving the site.

If there are any pipes, cables, lines or mains in the excavation area, utility personnel will be called to mark the facilities so you can work around them.

THE INFORMATION AND DATA SHOWN OR INDICATED ON THESE IMPROVEMENT PLANS WITH RESPECT TO EXISTING UNDERGROUND FACILITIES AND UTILITIES AT OR CONTIGUOUS TO THE SITE IS BASED ON INFORMATION AND DATA FURNISHED BY THE OWNERS OF SUCH UNDERGROUND FACILITIES AND UTILITIES, BY FIELD SURVEYS, OR BY OTHERS. NO GUARANTEE IS IMPLIED AS TO THE ACCURACY OR COMPLETENESS OF ANY SUCH INFORMATION OR DATA. THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR: 1) REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA, 2) LOCATING ALL UNDERGROUND FACILITIES AND UTILITIES, 3) COORDINATION OF THE WORK WITH THE OWNERS OF SUCH FACILITIES AND UTILITIES DURING CONSTRUCTION, 4) THE SAFETY AND PROTECTION OF ALL SUCH FACILITIES AND UTILITIES AND REPAIR ANY DAMAGE THERETO RESULTING FROM THE WORK AT HIS EXPENSE.



Date	Revised	By	No.	Date
MAR 26, 2007		RTS	1	07/25/07
		DDH	2	

Date: MAR 26, 2007
Designed By: RTS
Drawn By: DDH
Checked By: RTS

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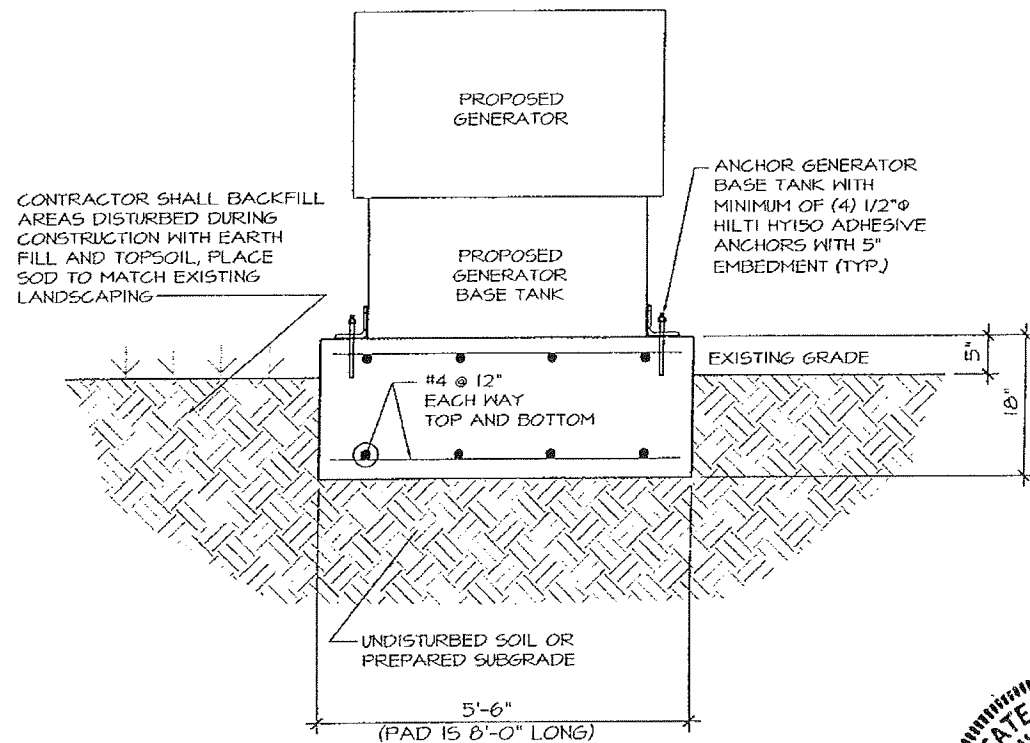
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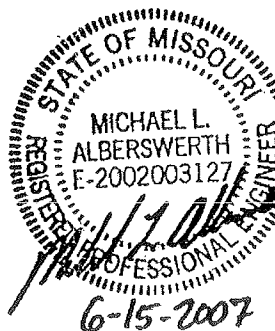
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Job No. 070003-0015

Sheet: **C-3**
STL SPIRIT AIRPORT



③ TYPICAL GENERATOR PAD DETAIL
SCALE: 1"=1'-0"



St. Louis County Seismic Code Block MECHANICAL/ELECTRICAL SYSTEM COMPONENTS - EARTHQUAKE LOAD RESISTANCE							
SEISMIC USE GROUP: III			SEISMIC DESIGN CATEGORY: D				
LISTING OF EQUIPMENT AND SYSTEM COMPONENTS	ANCHORAGE TO FLOORS, ROOFS, ETC.		SWAY BRACING		LOCATION OF ANCHORAGE & SWAY BRACING DETAILS		COMMENTS
	NOT PROVIDED	PROVIDED	NOT PROVIDED	PROVIDED	ON CONSTR. DOCUMENTS	SUBSEQUENT SUBMITTAL	
					DWG. # OR SPEC. SECT.	SHOP DWGS. SEPARATE PERMIT & PLANS	
1	GENERATOR (30 OR 60 KW)		X			5-1	
2							
3							
4							
5							
6							
7							
8							
9							
10							
11							
12							
13							
14							
15							

GENERAL NOTES:

1. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, THE DESIGN AND PLACEMENT OF FORMS AND SHORING.
2. FILL MATERIALS NOT REQUIRING COMPACTION SHALL BE PLACED IN LIFTS NOT TO EXCEED 12". FILL MATERIALS REQUIRING COMPACTION SHALL BE PLACED IN LIFTS NOT TO EXCEED 8".
3. ALL CONCRETE SURFACES VISIBLE AFTER FINAL GRADING IS COMPLETE SHALL BE PATCHED AND RUBBED SMOOTH.
4. ALL PERMITS PROVIDED BY OWNER. INSPECTION SERVICES TO BE COORDINATED BY CONTRACTOR.
5. ALL EXCESS SOILS FROM EXCAVATIONS TO REMAIN ON SITE AND ALL VEGETATION RESTORED.
6. COMPACTION BY JETTING OR FLOODING IS NOT PERMISSIBLE.
7. GENERATOR SPECIFICATIONS: 60KW

UNIT - 2200 LBS
TANK - 1015 LBS
STEEL COMPARTMENT - 714 LBS

8. ALL WORK SHALL CONFORM TO LOCAL BUILDING CODES AND ORDINANCES.

GENERATOR PAD FOUNDATION:

1. REFER TO CIVIL DRAWINGS FOR ORIENTATION OF FOUNDATION WITH RESPECT TO THE OWNER'S SITE BOUNDARIES.
2. REFER TO CIVIL DRAWINGS FOR TOP OF FOUNDATION ELEVATION. SET INDICATED ASSUMED ELEVATION OF PLUS OR MINUS 0'-0" EQUAL TO THE FOUNDATION ELEVATION INDICATED ON THE CIVIL DRAWINGS.

FOUNDATIONS:

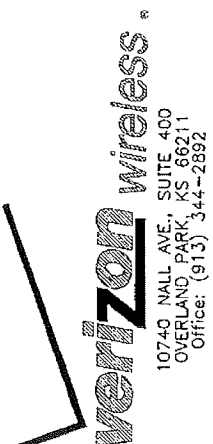
1. FOOTINGS ARE DESIGNED FOR AN ASSUMED ALLOWABLE BEARING CAPACITY OF 1500 PSF. THE CONTRACTOR IS REQUIRED TO VERIFY THE SOIL CAPACITY & INFORM THE STRUCTURAL ENGINEER AS TO THE FINDINGS. IF THE BEARING CAPACITY IS BELOW 1500 PSF ADJUSTMENTS IN FOOTING SIZE MAY BE REQUIRED.
2. FOOTINGS SHALL BE POURED INTO NEATLY-FORMED EARTH TRENCHES FOR THEIR ENTIRE DEPTH.
3. FOOTINGS SHALL BEAR ON FIRM SOIL CAPABLE OF SUPPORTING THE IMPOSED LOADS.
4. THE SITE SHALL BE STRIPPED OF ALL VEGETATION PRIOR TO FILL OR CONSTRUCTION OF THE FOUNDATION PAD.
5. ALL FILL SAND SHALL BE 0-15 P.I. WITH A COMPACTION TEST RUN ON EACH 6" LIFT - COMPACTED TO 90% MODIFIED PROCTOR.
6. ANY SOFT AREAS (TREE STUMP HOLES, ETC.) SHALL BE CUT OUT AND RECOMPACTED TO SAID PROCTOR.
7. THE CONTRACTOR SHALL KEEP THE SITE SO IT WILL HAVE POSITIVE DRAINAGE AT ALL TIMES.
8. ALL EXCAVATIONS SHALL BE FREE OF WATER BEFORE POURING CONCRETE.

CONCRETE:

1. MINIMUM CONCRETE COMPRESSIVE STRENGTH SHALL BE 4000 PSI AT 28 DAYS.
2. MINIMUM 6 SACKS OF CEMENT PER CUBIC YARD OF CONCRETE.
3. MAXIMUM 6 1/4 GALLONS OF WATER PER SACK OF CEMENT.
4. MIX DESIGN, PLACEMENT AND PROCEDURES AND METHODS OF SAMPLING AND TESTING SHALL CONFORM TO ASTM & ACI STANDARDS.

REINFORCING STEEL:

1. REINFORCING STEEL SHALL CONFORM TO ASTM STANDARD A615, GRADE 60.
2. ALL STEEL SHALL BE DETAILED, FABRICATED AND ERECTED IN CONFORMANCE WITH THE LATEST EDITION OF "ACI MANUAL OF STANDARD PRACTICE FOR REINFORCED CONCRETE STRUCTURES."
3. ALL REINFORCING SHALL BE PROPERLY SUPPORTED IN FORMS SPACED WITH NECESSARY ACCESSORIES AND SECURELY WIRED TOGETHER.
4. MINIMUM BAR LAP SHALL BE 44 BAR DIAMETERS UNLESS NOTED OTHERWISE.
5. EDGE TROWEL ALL EXPOSED CONCRETE EDGES.
6. MAXIMUM SLUMP SHALL BE 4".
7. PROVIDE CONCRETE PROTECTION FOR REINFORCING AS FOLLOWS:
FOOTINGS . . . 3"

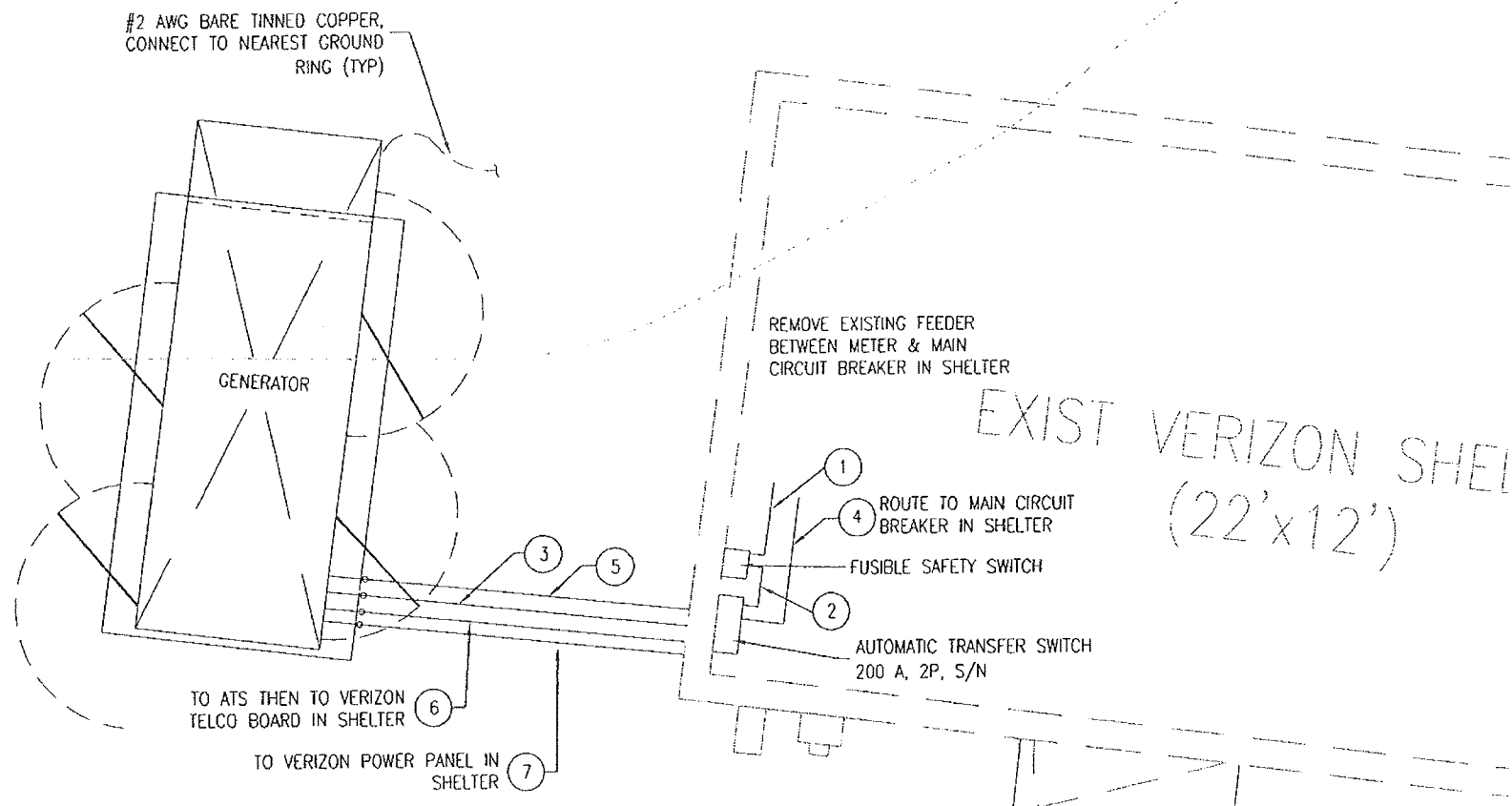


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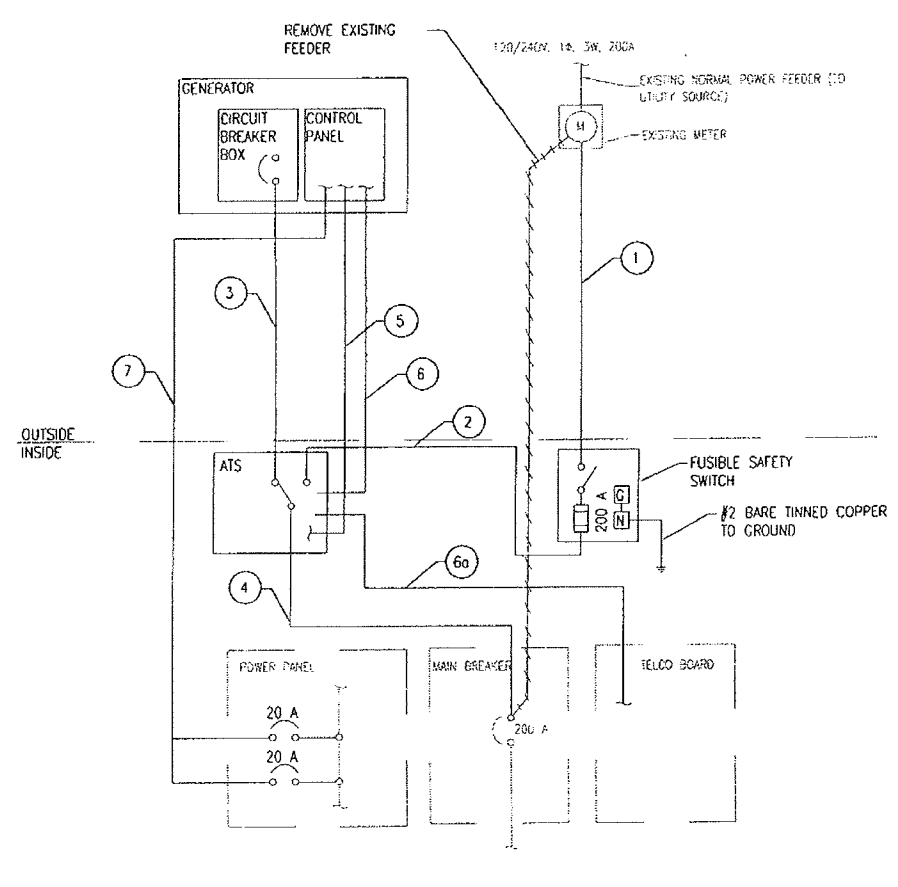


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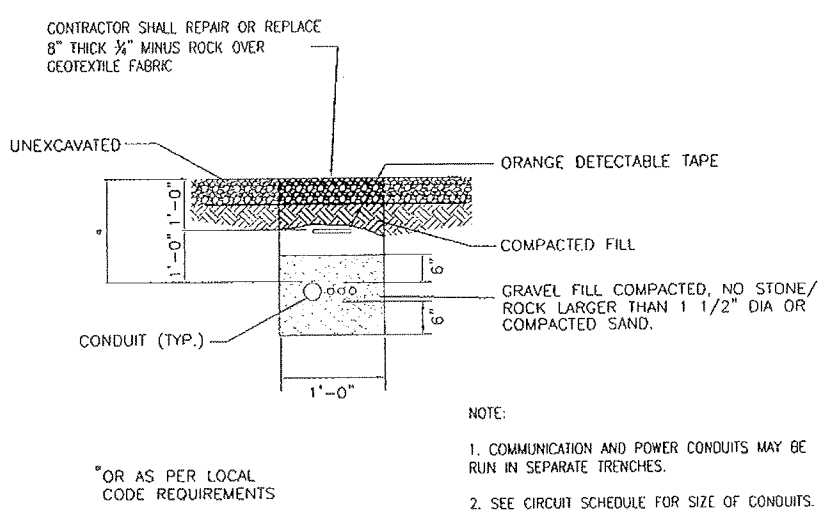
NO.	DATE
PROJECT NO. 070003	CONTRACT NO. 0015
DRAWN JAS	CHECKED JWB
DATE MARCH 9, 2007	



ENLARGED SITE PLAN 4



CONNECTION DIAGRAM 1



TRENCH DETAIL 5

- ALL ELECTRICAL WORK SHALL CONFORM TO REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE AS A MINIMUM STANDARD.
- GENERATOR, BASE TANK, AND AUTOMATIC TRANSFER SWITCH (ATS) SHALL BE FURNISHED BY THE OWNER AND INSTALLED BY THE CONTRACTOR. ALL OTHER MATERIAL AND EQUIPMENT SHALL BE CONTRACTOR FURNISHED AND INSTALLED.
- GENERATOR AND ATS INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURERS' INSTRUCTIONS.
- ALL CONDUIT SHALL BE RIGID GALVANIZED STEEL (RGS). SOME CONDUIT RUNS FOR THIS SITE MAY BE ABOVE GRADE. ANCHOR CONDUIT TO CONCRETE PAD AND/OR SHELTER WALLS. ALL CONDUIT RUNS SHALL BE INSTALLED SO THAT THEY DO NOT CREATE A TRIPPING HAZARD.
- FIELD VERIFY VERIZON METER LOCATION AND ALL INTERNAL SHELTER EQUIPMENT PRIOR TO STARTING CONSTRUCTION.
- ENLARGED SITE PLAN IS CONCEPTUAL ONLY. ACTUAL WORK, LOCATION OF EQUIPMENT, AND PROPOSED BUILDING PENETRATIONS MAY BE DIFFERENT THAN SHOWN.
- CONTRACTOR SHALL MARK/LABEL THE ALARM CABLES 6 AND 6a.
- CONTRACTOR TO NOTE LOCATION OF GENERATOR FUEL CELL LEAK DETECTOR AND AVOID DAMAGE TO SAME WHEN INSTALLING WIRING AND CONDUIT FOR THE GENERATOR.
- WIRES NO. 5 AND NO. 6 SHALL EACH BE INSTALLED IN THERE OWN SEPARATE 3/4" CONDUIT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION OF A RECORD SITE DRAWING SHOWING THE BURIED CONDUIT RUNS AND DIMENSIONS FROM EXISTING SITE FEATURES.
- BATTERY AND HEATER CIRCUITS SHALL BE HARDWIRED TO DEDICATED BREAKERS AS SHOWN. IF GFI CONVENIENCE OUTLET DEVICE SHARES CIRCUIT, THEN BATTERY OR HEATER SHALL BE WIRED TO THE LINE-SIDE TERMINALS OF THE OUTLET TO AVOID NUISANCE TRIPS OF THESE CRITICAL CIRCUITS.

GENERAL NOTES 3

NO.	FROM	TO	CONFIGURATION	FUNCTION
1	METER	FUSIBLE SAFETY SWITCH	3#3/0, 1#6G, 2" C	NORMAL POWER FEED TO ATS
2	FUSIBLE SAFETY SWITCH	AUTOMATIC TRANSFER SWITCH	3#3/0, 1#6G, 2" C	NORMAL POWER FEED TO ATS
3	GENERATOR	AUTOMATIC TRANSFER SWITCH	3#3/0, 1#6G, 2" C	EMERGENCY POWER FEED TO ATS
4	AUTOMATIC TRANSFER SWITCH	SHELTER MAIN BREAKER	3#3/0, 1#6G, 2" C	POWER FEED FROM ATS
5	AUTOMATIC TRANSFER SWITCH	GENERATOR	1 PAIR, #12G, 3/4" C	GENERATOR START CIRCUIT
6	GENERATOR	AUTOMATIC TRANSFER SWITCH	8 PAIR, #22G, 3/4" C	GENERATOR STATUS AND ALARM REMOTE INDICATION
6a	AUTOMATIC TRANSFER SWITCH	SHELTER TELCO BOARD	8 PAIR, #22G, 3/4" C	GENERATOR STATUS AND ALARM REMOTE INDICATION
7	SHELTER POWER PANEL	GENERATOR	4#12, 1#12G, 3/4" C	AUXILIARY GENERATOR LOADS (BATTERY CHARGER & JACKET WATER HEATER, CONNECT EACH TO ITS OWN 20A CIRCUIT).

CIRCUIT SCHEDULE 2



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Job No: 070003-0015

Sheet: **E-1**
STL SPIRIT AIRPORT

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MAR 26, 2007	RTS	DDH	NTD			

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