



VII. D.

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September 3, 2008

Planning Commission
City of Chesterfield
690 Chesterfield Parkway West
Chesterfield, MO 63017

The Planning Commission agenda for **September 8, 2008** will include the following item for your consideration:

Mark Andy Inc. (18081 Chesterfield Airport Rd.): An Amended Site Development Concept Plan, Conceptual Landscape Plan, Tree Stand Delineation Plan, and Tree Preservation Plan, for a 23 acre tract of land located on the north side of Chesterfield Airport Road, one half mile west of the corner of Long Rd. and Chesterfield Airport Road.

Planning Commission:

Stock and Associates, have submitted on behalf of Mark Andy Inc., an Amended Site Development Concept Plan, Conceptual Landscape Plan, Tree Stand Delineation Plan, and Tree Preservation Plan for the above referenced project. The Department of Planning has reviewed this request and submits the following report.

BACKGROUND

1. In 1972, St. Louis County approved resolution 1961, 1972 which gave approval for a Preliminary Plan for a 23 acre tract zoned "FP M-3" Flood Plain Planned Industrial.
2. On February 20th, 2008, The City of Chesterfield approved Ordinance 2437 changing the zoning to "PI" Planned Industrial District.

SUBMITTAL INFORMATION

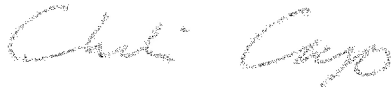
1. The request to amend the existing Site Development Concept Plan has be made in order to facilitate a proposed lot split of the tract into Lot A and Lot B.

2. The purpose of the lot split is to allow future development of the north lot known as Lot A.

DEPARTMENTAL INPUT

The submittal is in compliance with all applicable City of Chesterfield ordinances. The Department of Planning requests action on the Amended Site Development Concept Plan.

Respectfully submitted,



Charlie Campo
Project Planner

Respectfully submitted,



Mara M. Perry, AICP
Senior Planner of Plan Review

Cc: City Administrator
City Attorney
Department of Public Works

Attachments: Amended Site Development Concept Plan
Conceptual Landscape Plan
Tree Stand Delineation Plan
Tree Preservation Plan

MEMORANDUM FOR THE PLANNING COMMISSION OF THE CITY OF CHESTERFIELD, MISSOURI, DATED 11/11/2008.

RECOMMENDATION: The Planning Commission recommends that the City Council approve the rezoning of the subject property from R-1 to R-2.

BACKGROUND: The subject property is located at the intersection of ... The rezoning is necessary to allow for the development of a residential subdivision.

FLOOR AREA, HEIGHT, BUILDING AND STRUCTURE REQUIREMENTS

- 1. Height
2. The maximum building height, including equipment and antennae, shall not exceed 35 feet.
3. The maximum building height, including equipment and antennae, shall not exceed 35 feet.

RECOMMENDATION: The Planning Commission recommends that the City Council approve the rezoning of the subject property from R-1 to R-2.

BACKGROUND: The subject property is located at the intersection of ... The rezoning is necessary to allow for the development of a residential subdivision.

PARKING AND COMMON REQUIREMENTS

- 1. Parking and Common Requirements
2. The minimum number of parking spaces shall be determined based on the use of the property.

RECOMMENDATION: The Planning Commission recommends that the City Council approve the rezoning of the subject property from R-1 to R-2.

BACKGROUND: The subject property is located at the intersection of ... The rezoning is necessary to allow for the development of a residential subdivision.

ARCHITECTURAL

- 1. Architectural
2. The exterior appearance of the building shall be in accordance with the City of Chesterfield Code.

RECOMMENDATION: The Planning Commission recommends that the City Council approve the rezoning of the subject property from R-1 to R-2.

BACKGROUND: The subject property is located at the intersection of ... The rezoning is necessary to allow for the development of a residential subdivision.

ACCESSORY USES

- 1. Accessory Uses
2. Accessory uses shall be permitted on the subject property provided they do not constitute a substantial change in the use of the property.

RECOMMENDATION: The Planning Commission recommends that the City Council approve the rezoning of the subject property from R-1 to R-2.

BACKGROUND: The subject property is located at the intersection of ... The rezoning is necessary to allow for the development of a residential subdivision.

RECREATION

- 1. Recreation
2. Recreation facilities shall be provided in accordance with the City of Chesterfield Code.

STOCK & ASSOCIATES Consulting Engineers, Inc. 237 Chesterfield Business Parkway, Chesterfield, MO 63005. H.T. # 1379, M.S.D. Pg. 13185-02, B.S.E. MAP # 17-7.

- 6. If proposed sight triangles cannot be provided at the access locations, acquisition of right-of-way, modification of pavement markings, and other measures may be required to provide adequate sight triangles as directed by the St. Louis County Department of Highways and Transportation.

K. TRAFFIC STUDY

- 1. The developer shall conduct a traffic study as directed by the City of Chertfield and provide a copy of the study to the City of Chertfield. The study shall include current and forecast traffic volumes, peak hour traffic, and other data necessary to evaluate the impact of the proposed development on the existing and proposed transportation system. The study shall be prepared in accordance with the standards set forth in the City of Chertfield's Traffic Engineering Manual.

L. POWER OF REVIEW

- 1. The Mayor or a Commissioner of the Ward in which a development is proposed may request that the site plan be referred to the St. Louis County Council meeting, and Planning Commission, for review and approval. The Council meeting will take that appropriate action relative to the proposal.

M. STORMWATER

- 1. The Chertfield Valley Master Stormwater Plan indicates a thirty (30) foot high bottom ditch shall be constructed along the eastern boundary of the site. The developer shall provide a detailed plan of the ditch to be constructed to the east of the pump station at Long Road. The ditch shall be constructed in accordance with the standards set forth in the City of Chertfield's Stormwater Management Manual. The developer shall provide a detailed plan of the ditch to be constructed to the east of the pump station at Long Road. The ditch shall be constructed in accordance with the standards set forth in the City of Chertfield's Stormwater Management Manual.

- D. The developer shall be responsible for the construction and maintenance of the site's stormwater management system. The developer shall provide a detailed plan of the stormwater management system to the City of Chertfield for review and approval.

III. COMMENCEMENT OF CONSTRUCTION

- A. The developer shall commence construction within two (2) years of approval of the site plan. The developer shall provide a detailed plan of the construction schedule to the City of Chertfield for review and approval.

IV. GENERAL CRITERIA

- A. **SITE DETAILMENT CONCEPT PLAN**
 - 1. Any Site Development Concept Plan shall show all information required by the City of Chertfield's Site Detailment Concept Plan Code.
 - 2. The Site Development Concept Plan shall be prepared in accordance with the City of Chertfield's Site Detailment Concept Plan Code.
 - 3. The Site Development Concept Plan shall be prepared in accordance with the City of Chertfield's Site Detailment Concept Plan Code.
 - 4. The Site Development Concept Plan shall be prepared in accordance with the City of Chertfield's Site Detailment Concept Plan Code.

B. SITE DEVELOPMENT SECTION PLAN SUBMITTAL REQUIREMENTS

- The Site Development Section Plan shall adhere to the above criteria and to the following:

- 5. The developer may elect to propose alternative property, size and/or type of stormwater improvements that are functionally equivalent to those required by the City of Chertfield. The developer shall provide a detailed plan of the alternative stormwater improvements to the City of Chertfield for review and approval.

- 6. The developer shall provide a detailed plan of the stormwater management system to the City of Chertfield for review and approval. The plan shall include a detailed description of the stormwater management system, including the location and design of all stormwater management facilities.

- 7. The developer shall provide a detailed plan of the stormwater management system to the City of Chertfield for review and approval. The plan shall include a detailed description of the stormwater management system, including the location and design of all stormwater management facilities.

- 8. The developer shall provide a detailed plan of the stormwater management system to the City of Chertfield for review and approval. The plan shall include a detailed description of the stormwater management system, including the location and design of all stormwater management facilities.

- 1. Location map, north arrow, and plan scale. The scale shall be no greater than one (1) inch equals one hundred (100) feet.
- 2. Property boundaries, including subdivision or all of street center lines, right-of-way lines, easements, and the names, size and location of all lots and parcels.
- 3. Property lines showing the exact development including proposed improvements for each lot on the plan.
- 4. Provide floor area ratios (F.A.R.).
- 5. A note indicating all areas will be landscaped/vegetated.
- 6. A note indicating all buildings, size, including height and depth, the location of all buildings, size, including height and depth, the location of all buildings, size, including height and depth, the location of all buildings, size, including height and depth.
- 7. Detail the location of all buildings, size, including height and depth, the location of all buildings, size, including height and depth, the location of all buildings, size, including height and depth.
- 8. Detail the location of all buildings, size, including height and depth, the location of all buildings, size, including height and depth, the location of all buildings, size, including height and depth.
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- 13. Detail the location of all buildings, size, including height and depth, the location of all buildings, size, including height and depth, the location of all buildings, size, including height and depth.
- 14. Detail the location of all buildings, size, including height and depth, the location of all buildings, size, including height and depth, the location of all buildings, size, including height and depth.

- 5. The applicant shall provide adequate detention and/or hydraulic retention for runoff from the site and adjacent areas. The applicant shall provide a detailed plan of the stormwater management system to the City of Chertfield for review and approval.

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- 15. Detail existing and proposed contours at intervals of not more than one (1) foot and existing 150 foot contour lines of the site as determined by a certified surveyor.
- 16. Address, time, and zoning in accordance with the City of Chertfield Code.
- 17. Comply with all preliminary plan requirements of the City of Chertfield's Subdivision Regulations per the City of Chertfield's Subdivision Regulations.
- 18. Signed and sealed in accordance with the State of Missouri Department of Economic Development, Division of Professional Regulation, Professional Engineer, Professional Surveyor, and Professional Land Surveyor.
- 19. Provide a detailed plan of the stormwater management system to the City of Chertfield for review and approval.
- 20. Comply with City Engineering Plan.

V. TRUST FUND CONTRIBUTION

- A. As the development is not subject to public generation assessment, the developer shall contribute to the City of Chertfield's Trust Fund. The contribution shall be calculated based on the number of residential units to be developed on the site.

VI. SPECIAL CONTRIBUTIONS

- A. The City of Chertfield may require the developer to contribute to the City of Chertfield's Special Contributions Fund. The contribution shall be calculated based on the number of residential units to be developed on the site.

- 1. Prior to the issuance of an occupancy permit, the developer shall submit a final report to the City of Chertfield. The report shall include a detailed description of the stormwater management system, including the location and design of all stormwater management facilities.

- 2. The developer shall provide a detailed plan of the stormwater management system to the City of Chertfield for review and approval. The plan shall include a detailed description of the stormwater management system, including the location and design of all stormwater management facilities.

- 3. The developer shall provide a detailed plan of the stormwater management system to the City of Chertfield for review and approval. The plan shall include a detailed description of the stormwater management system, including the location and design of all stormwater management facilities.

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VI. RECORDS

- A. The City of Chertfield shall maintain a record of all site plan applications and approvals. The developer shall provide a detailed plan of the stormwater management system to the City of Chertfield for review and approval.

VII. ENFORCEMENT

- A. The City of Chertfield shall enforce the conditions of the site plan. The developer shall provide a detailed plan of the stormwater management system to the City of Chertfield for review and approval.

- B. The City of Chertfield shall enforce the conditions of the site plan. The developer shall provide a detailed plan of the stormwater management system to the City of Chertfield for review and approval.

VIII. OTHER COMMENTS

- 1. The City of Chertfield shall enforce the conditions of the site plan. The developer shall provide a detailed plan of the stormwater management system to the City of Chertfield for review and approval.

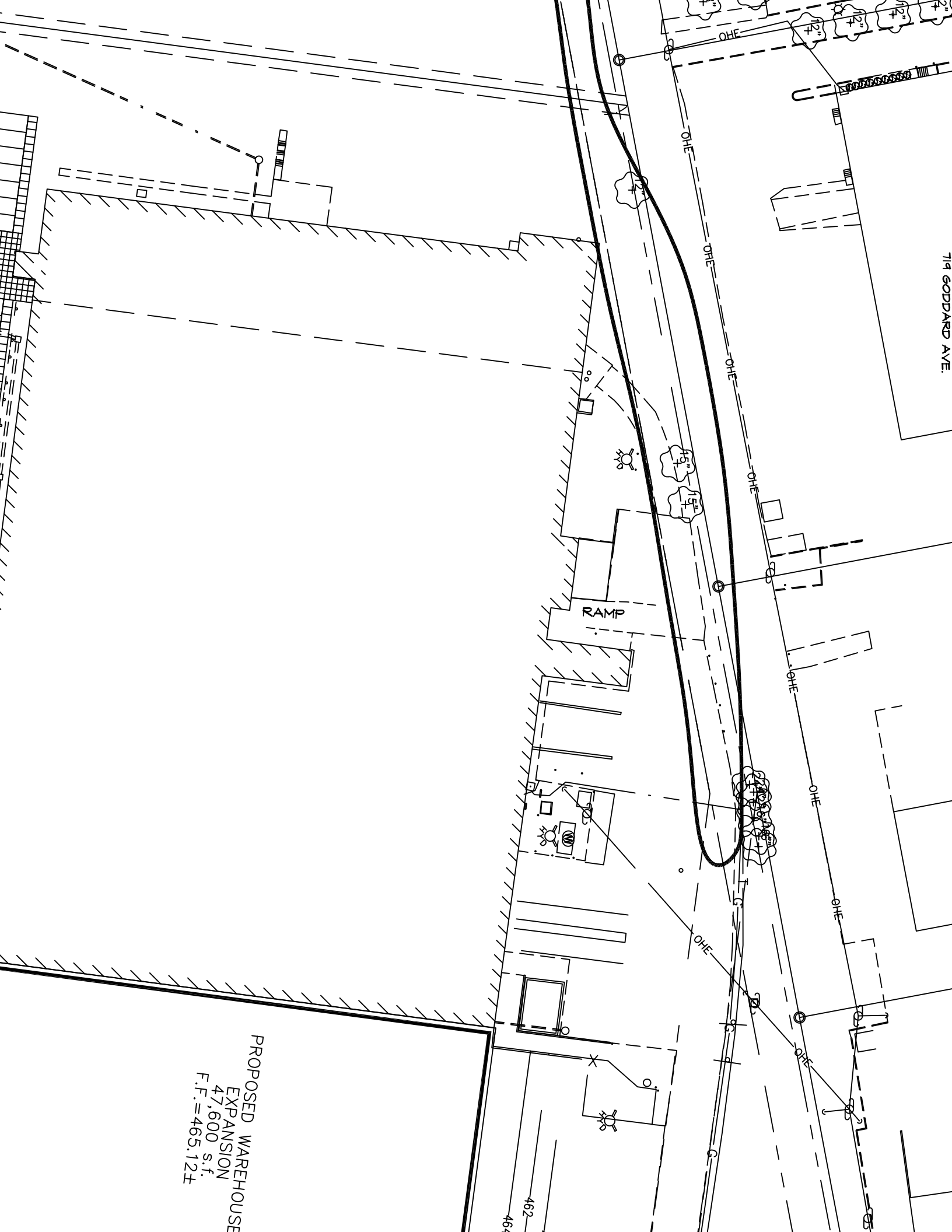
SITE DEVELOPMENT CONCEPT PLAN

11 T # 1379
 11 C # 1316-02
 BASE MAP # 127-V

STOCK & ASSOCIATES
 Consulting Engineers, Inc.

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 St. Louis, MO 63103
 Phone: (314) 591-5100
 Fax: (314) 591-5101
 Web: www.stockeng.com

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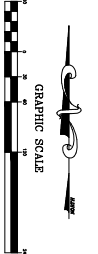
PROPOSED WAREHOUSE
EXPANSION
47,600 s.f.
F.F.=465.12±

462
465

MARK ANDY, INC.

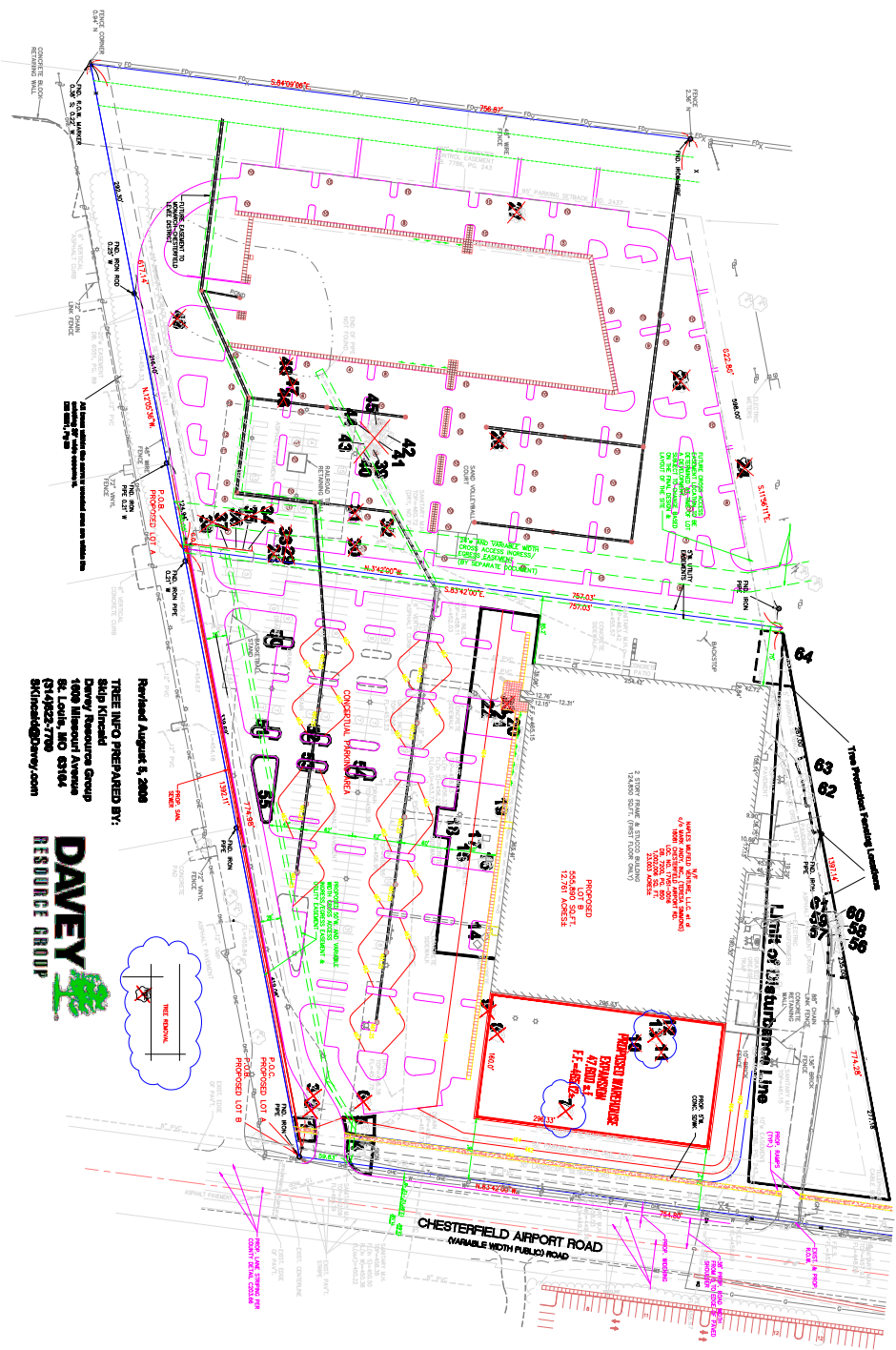
"PLANNED INDUSTRIAL" DISTRICT

A TRACT OF LAND BEING LOCATED IN
 U.S. SURVEYS 122 AND 150, TOWNSHIP 45 NORTH, RANGE 3 EAST OF THE 5TH PRINCIPAL MERIDIAN
 CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI

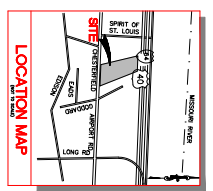


Total Site Area = 23 ac
 Existing Tree Canopy = 39,441 sf
 Tree Canopy To Be Removed = 27,597 sf
 Tree Canopy To Be Preserved = 11,844 sf (30.2%)

Line of Disturbance Line is shown as a dashed line in south east section of site. Tree protection fencing location is shown as a dashed line within the area that will not be disturbed. The fenced areas are areas where no grading, excavation, material storage, or clearing or grading shall begin in areas where tree treatment and preservation measures have not been completed. No pruning or fertilizing of protected trees is required.



Revised August 5, 2008
 TREE INFO PREPARED BY:
 Ship Kincaid
 Davey Resource Group
 1400 Missouri Avenue
 St. Louis, MO 63104
 (314) 923-7700
 SKincaid@davey.com



TREE DATA

Tree Number	Species	Diameter	Area	Condition	Rating	Wound	Protect?
1	Maple, Red	10	314	Good	No	No	Yes
2	Maple, Red	12	452	Good	No	No	Yes
3	Maple, Red	14	528	Good	No	No	Yes
4	Pine, Atlantic	14	528	Good	No	No	Yes
5	Pine, Atlantic	14	528	Good	No	No	Yes
6	Pine, Atlantic	14	528	Good	No	No	Yes
7	Pine, Atlantic	16	681	Good	No	No	Yes
8	Pine, Austrian	14	528	Fair	No	No	No
9	Pine, Austrian	8	201	Fair	No	No	No
10	Pine, White	10	314	Good	No	No	No
11	Pine, White	8	201	Good	No	No	No
12	Birch, River	12	452	Good	No	No	No
13	Birch, River	12	452	Good	No	No	No
14	Sycamore	12	452	Fair	No	No	Yes
15	Sycamore	8	201	Excellent	No	No	Yes
16	Sycamore	14	528	Good	No	No	Yes
17	Maple, Red	10	314	Good	No	No	Yes
18	Maple, Red	10	314	Excellent	No	No	Yes
19	Pine, Scotch	12	452	Excellent	No	No	Yes
20	Maple, Red	12	452	Good	No	No	Yes
21	Maple, Red	8	201	Good	No	No	Yes
22	Maple, Red	6	118	Excellent	No	No	Yes
23	Maple, Red	12	452	Excellent	No	No	Yes
24	Bowden	12	452	Good	No	No	No
25	Bowden	36	2000	Good	No	No	No
26	Cornus	22	1216	Fair	No	No	No
27	Cornus	12	452	Fair	No	No	No
28	Maple, Red	12	452	Fair	No	No	No
29	Maple, Red	16	881	Fair	No	No	No
30	Maple, Red	32	3580	Fair	No	No	No
31	Sycamore	32	3580	Poor	Medium	No	No
32	Sycamore	40	2000	Fair	No	No	No
33	Pine	16	681	Good	No	No	No
34	Pine	14	528	Poor	No	No	No
35	Ash, Green	8	201	Fair	No	No	No
36	Ash, Green	14	528	Fair	No	No	No
37	Ash, Green	10	314	Fair	No	No	No
38	Pine	36	2000	Good	Yes	No	No
39	Pine	24	1488	Good	Yes	No	No
40	Sycamore	42	2000	Fair	Yes	No	No
41	Maple, Red	8	201	Fair	No	No	No
42	Maple, Red	10	314	Fair	No	No	No
43	Maple, Red	10	314	Fair	No	No	No
44	Maple, Red	8	201	Fair	No	No	No
45	Maple, Red	10	314	Fair	No	No	No
46	Maple, Red	10	314	Fair	No	No	No
47	Maple, Red	10	314	Fair	No	No	No
48	Maple, Red	10	314	Fair	No	No	No
49	Willow, Black	12	452	Fair	No	No	Yes
50	Ash, White	12	452	Fair	No	No	Yes
51	Ash, White	10	314	Fair	No	No	Yes
52	Ash, White	10	314	Poor	No	No	Yes
53	Ash, White	16	681	Poor	No	No	Yes
54	Ash, White	12	452	Poor	No	No	Yes
55	Ash, White	20	1005	Excellent	No	No	Yes
56	Sycamore	8	201	Fair	No	No	Yes
57	Sycamore	10	314	Fair	No	No	Yes
58	Sycamore	12	452	Fair	No	No	Yes

TREE PRESERVATION PLAN (rev 8/5/08)

PREPARED FOR:
 MARK ANDY, INC.
 1801 CHESTERFIELD AIRPORT ROAD
 CHESTERFIELD, MO 63033
 PHONE: (636) 1-502-4443
 FAX: (636) 319-5002

