



VII. C.

690 Chesterfield Pkwy W • Chesterfield MO 63017-0760
Phone: 636-537-4000 • Fax 636-537-4798 • www.chesterfield.mo.us

August 29, 2008

Planning Commission
City of Chesterfield
690 Chesterfield Parkway West
Chesterfield, MO 63017

The Planning Commission agenda for **September 8, 2008** will include the following item for your consideration:

Kraus Farm Office Center/Building A (Opus Northwest): A Site Development Section Plan, Architectural Elevations, Landscape Plan and Lighting Plan for a 14.414 acre "PC" Planned Commercial District-zoned tract of land located at 14730 Conway Road, near the northwest corner of Highway 40/Interstate 64 and Timberlake Manor Drive.

Planning Commission:

Stock and Associates, on behalf of Opus Northwest, has submitted for your review and approval of a Site Development Section Plan, Architectural Elevations, Landscape Plan and Lighting Plan for the above-referenced property. The Department of Planning and Public Works has reviewed this request and submits the following report.

Background

On June 16, 2008, the City of Chesterfield approved Ordinance 2462, which changed the zoning for the 14.414-acre subject tract from "NU" Non-Urban District to "PC" Planned Commercial District.

Submittal Information

1. The request is for five (5)-story 172,655 square foot office building.
2. The exterior building materials are proposed to consist of precast concrete, tinted glass with prefinished metal panels.

Architectural Review Board Recommendations

The project was reviewed by the Architectural Review Board on August 4, 2008. The ARB voted, by a margin of 5-0, to forward the project for approval, stating there were no recommendations

Departmental Input

The submittal is in compliance with all applicable City Ordinances. The Department of Planning and Public Works request action on the Site Development Section Plan, Architectural Elevations, Landscape Plan, and Lighting Plan.

Respectfully submitted,

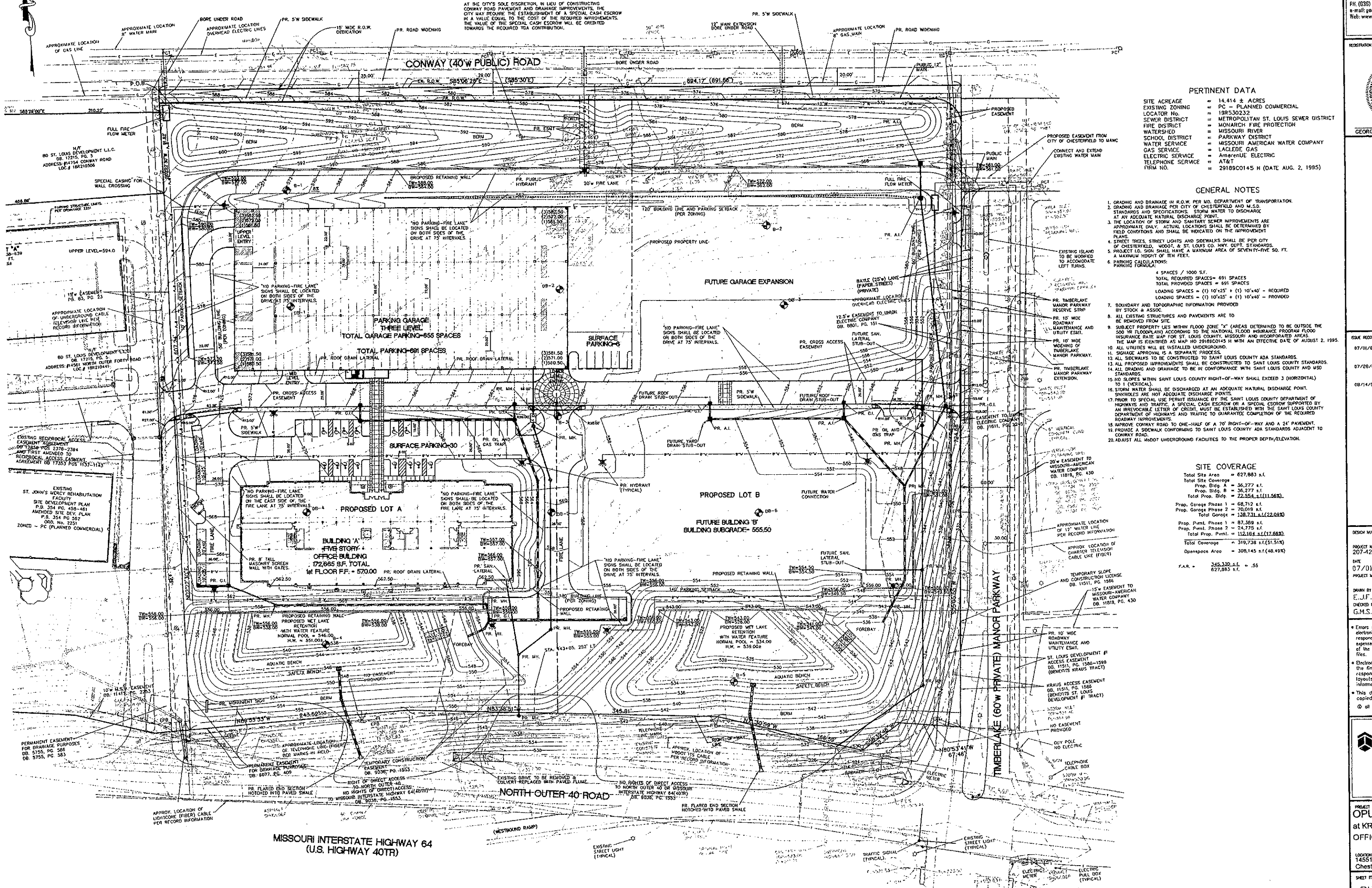


Annissa G. McCaskill-Clay, AICP
Lead Senior Planner

Cc: City Administrator
City Attorney
Director of Planning and Public Works
Planning and Development Services Director

(IN FEET)
1 inch = 40 ft

AT THE CITY'S SOLE DISCRETION, IN LIEU OF CONSTRUCTING CONWAY ROAD PAVEMENT AND DRAINAGE IMPROVEMENTS, THE CITY MAY REQUIRE THE ESTABLISHMENT OF A SPECIAL CASH ESCROW IN A VALUE COVAL TO THE COST OF THE REQUIRED IMPROVEMENTS. THE VALUE OF THE SPECIAL CASH ESCROW WILL BE CREDITED TOWARDS THE REQUIRED TGA CONTRIBUTION.



PERTINENT DATA

| | |
|-------------------|-----------------------------------------|
| SITE ACREAGE | = 14.414 ± ACRES |
| EXISTING ZONING | = PC - PLANNED COMMERCIAL |
| LOCATOR No. | = 19R530232 |
| SEWER DISTRICT | = METROPOLITAN ST. LOUIS SEWER DISTRICT |
| FIRE DISTRICT | = MONARCH FIRE PROTECTION |
| WATERSHED | = MISSOURI RIVER |
| SCHOOL DISTRICT | = PARKWAY DISTRICT |
| WATER SERVICE | = MISSOURI AMERICAN WATER COMPANY |
| GAS SERVICE | = LACLEDE GAS |
| ELECTRIC SERVICE | = Amerene ELECTRIC |
| TELEPHONE SERVICE | = AT&T |
| FIRM NO. | = 29189C0145 H (DATE AUG. 2, 1995) |

- GENERAL NOTES**
1. GRADING AND DRAINAGE IN R.O.W. PER MD. DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS. STORM WATER TO DISCHARGE AT AN ADEQUATE NATURAL DISCHARGE POINT.
 2. THE LOCATION OF STORM AND SANITARY SEWER IMPROVEMENTS ARE APPROXIMATE ONLY. ACTUAL LOCATIONS SHALL BE DETERMINED BY FIELD CONDITIONS AND SHALL BE INDICATED ON THE IMPROVEMENT PLANS.
 3. STREET TREES, STREET LIGHTS AND SIDEWALKS SHALL BE PER CITY OF CHESTERFIELD, ADOPT & ST. LOUIS COUNTY HWY DEPT. STANDARDS.
 4. PROJECT I.D. SIGN SHALL HAVE A MAXIMUM AREA OF SEVENTY-FIVE SQ. FT. A MAXIMUM HEIGHT OF TEN FEET.
 5. PARKING FORMULA:
 - 4 SPACES / 1000 S.F.
 - TOTAL PROVIDED SPACES = 691 SPACES
 - TOTAL REQUIRED SPACES = 691 SPACES
 - LOADING SPACES = (1) 10'x25' + (5) 10'x40' - REQUIRED
 - LOADING SPACES = (1) 10'x25' + (1) 10'x40' - PROVIDED
 6. BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY STOCK & ASSOC.
 7. ALL EXISTING STRUCTURES AND PAVEMENTS ARE TO BE REMOVED FROM SITE.
 8. SUBJECT PROPERTY LIES WITHIN FLOOD ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 500 YR FLOODPLAIN) ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP FOR ST. LOUIS COUNTY, MISSOURI AND INCORPORATED AREAS. THE MAP IS IDENTIFIED AS MAP NO. 29189C0145 H WITH AN EFFECTIVE DATE OF AUGUST 2, 1995.
 9. ALL UTILITIES WILL BE INSTALLED UNDERGROUND.
 10. SIGNAGE APPROVAL IS A SEPARATE PROCESS.
 11. ALL SIDEWALKS TO BE CONSTRUCTED TO SAINT LOUIS COUNTY ADA STANDARDS.
 12. ALL PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED TO SAINT LOUIS COUNTY STANDARDS.
 13. ALL GRADING AND DRAINAGE TO BE IN CONFORMANCE WITH SAINT LOUIS COUNTY AND USO STANDARDS.
 14. NO SLOPES WITHIN SAINT LOUIS COUNTY RIGHT-OF-WAY SHALL EXCEED 3 (HORIZONTAL) TO 1 (VERTICAL).
 15. STORM WATER SHALL BE DISCHARGED AT AN ADEQUATE NATURAL DISCHARGE POINT. SHORTLINES ARE NOT ADEQUATE DISCHARGE POINTS.
 16. PRIOR TO SPECIAL USE PERMIT ISSUANCE BY THE SAINT LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC, A SPECIAL CASH ESCROW OR A SPECIAL ESCROW SUPPORTED BY AN IRREVOCABLE LETTER OF CREDIT, MUST BE ESTABLISHED WITH THE SAINT LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC TO GUARANTEE COMPLETION OF THE REQUIRED ROADWAY IMPROVEMENTS.
 17. IMPROVE CONWAY ROAD TO ONE-HALF OF A 70' RIGHT-OF-WAY AND A 24' PAVEMENT.
 18. PROVIDE A SIDEWALK CONFORMING TO SAINT LOUIS COUNTY ADA STANDARDS ADJACENT TO CONWAY ROAD.
 19. ADJUST ALL MOIST UNDERGROUND FACILITIES TO THE PROPER DEPTH/ELEVATION.

SITE COVERAGE

| | |
|----------------------|-------------------------|
| Total Site Area | = 627,883 s.f. |
| Total Site Coverage | = 36,277 s.f. |
| Prop. Bldg. A | = 36,277 s.f. |
| Prop. Bldg. B | = 36,277 s.f. |
| Total Prop. Bldg. | = 72,554 s.f. (11.56%) |
| Prop. Garage Phase 1 | = 68,712 s.f. |
| Prop. Garage Phase 2 | = 70,019 s.f. |
| Total Garage | = 138,731 s.f. (22.09%) |
| Prop. Pvm. Phase 1 | = 87,369 s.f. |
| Prop. Pvm. Phase 2 | = 24,775 s.f. |
| Total Prop. Pvm. | = 112,144 s.f. (17.86%) |
| Total Coverage | = 319,738 s.f. (51.1%) |
| OpenSpace Area | = 308,145 s.f. (48.9%) |
| F.A.R. | = 345.330 s.f. = .55 |
| | = 627,883 s.f. |

251 Chesterfield Building
St. Louis, MO 63103
PR. (636) 530-5000
e-mail: general@stock.com
Web: www.stock.com

REGISTRATION
STATE OF MISSOURI
GEORGE M. STOCK
LICENSED PROFESSIONAL ENGINEER
NUMBER 5-281

ISSUE RECORD
07/01/08 SITE DEVELOPMENT AND SCHEMATIC PLAN
07/28/08 SITE DEVELOPMENT PLAN REVISION
08/14/08 SITE DEVELOPMENT PLAN REVISION

DESIGN NUMBER
PROJECT NUMBER
207-4220
DATE
07/01/08
PROJECT MANAGER

DRAWN BY
E.J.F.
CHECKED BY
G.M.S.

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Project For
OPUS
Opus No.
One North
Suite 610
Columbia, MO
314-299-1111
314-299-2111

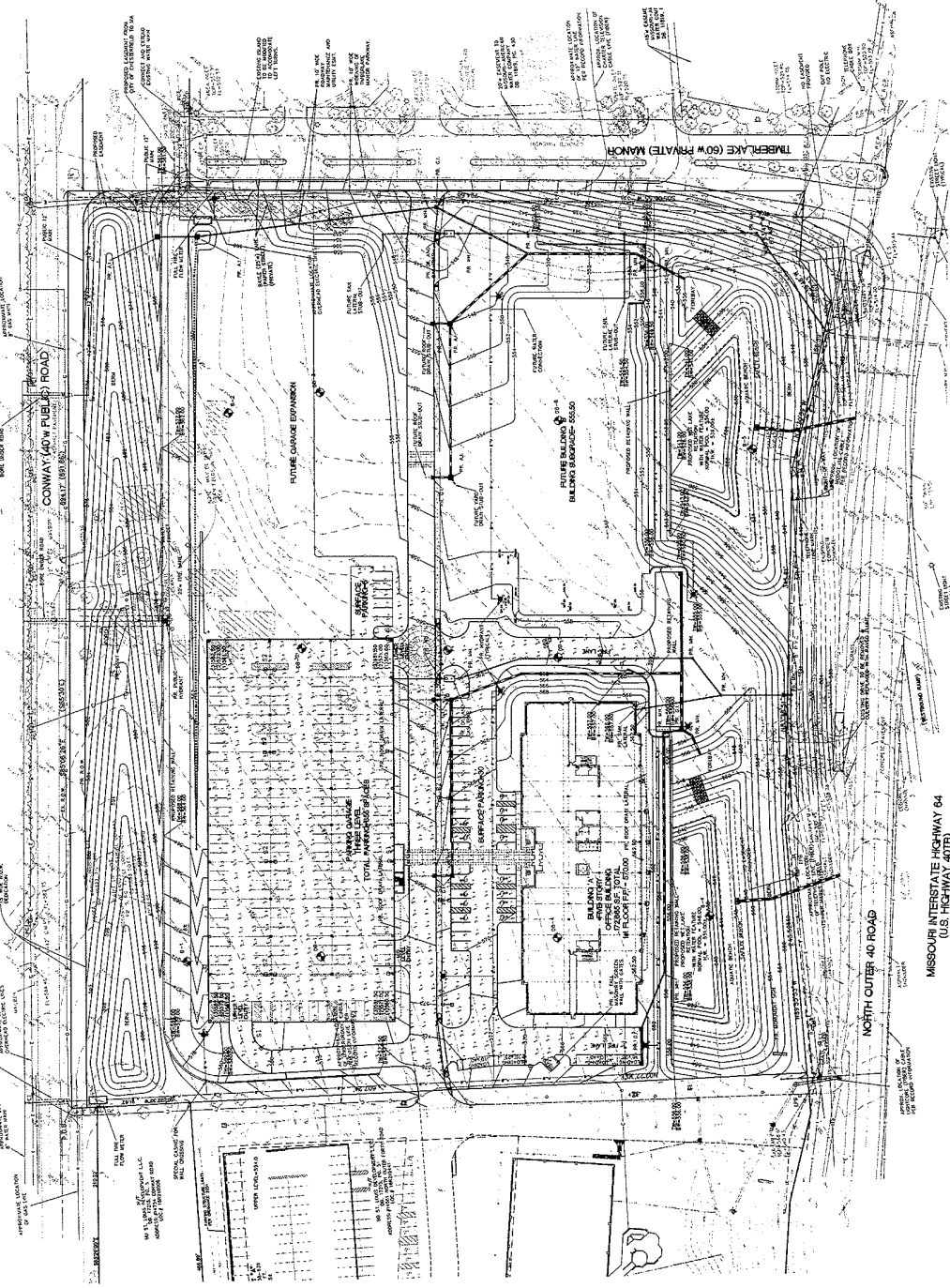
PROJECT
OPUS I at
at KRAUS FA
OFFICE CENTER
14551 North Outer
Chesterfield, MO
SHEET TITLE
SITE PLAN

GRAPHIC SCALE
1 inch = 40 feet
1 inch = 20 feet

FIXTURES MOUNTED AT 20' INCLUDING BASE

SECTION IS BASED ON CURRENT ILLUMINATION DATA. THIS SECTION IS BASED ON THE ASSUMPTION THAT ALL THE PREVIOUSLY MENTIONED, WITH THE EXCEPTED ITEMS, WILL BE INSTALLED AND OPERATED AS SHOWN. THE ILLUMINATION DATA IS BASED ON THE PREVIOUSLY MENTIONED, WITH THE EXCEPTED ITEMS, WILL BE INSTALLED AND OPERATED AS SHOWN.

| Numeric Summary | | | | | |
|--------------------|-------------|-------|-------------|--------|-------|
| Label | CalcType | Units | Avg | Max | Min |
| TOP DECK | Illuminance | Fc | 2.64 | 7.8 | 0.5 |
| GENERAL SITE | Illuminance | Fc | 3.31 | 8.0 | 0.5 |
| Luminance Schedule | | | | | |
| Symbol | Qty | Label | Arrangement | Lumens | LIF |
| S1 | 8 | S2 | BACK-BACK | 31000 | 0.650 |
| S2 | 10 | S1 | SINGLE | 31000 | 0.650 |



Stuck & Associates
Consulting Engineers, P.C.
2310 Westwood Boulevard, Suite 200
Westwood, Missouri 64088
Phone: 314-881-8800
Fax: 314-881-8801
www.stuck.com

DATE: 07/26/2009
PROJECT: OPUS I
DRAWN BY: GEORGE W. STUCK
CHECKED BY: C. STUCK

CLIENT: OPUS I
PROJECT: OPUS I BRD II
OFFICE CENTER
19000 North Outer 40 Road
Chattanooga, MO 63017

PROJECT NAME: OPUS I
SITE: OPUS I BRD II
OFFICE CENTER

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MISSOURI INTERSTATE HIGHWAY 64
(U.S. HIGHWAY 40TR)

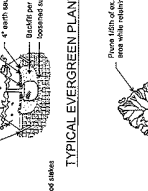
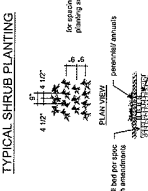
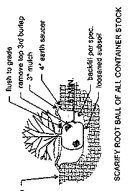
NORTH OUTER 40 ROAD

CONWAY 40 W PUBLIC ROAD

FUTURE GARAGE EXPANSION

BUILDING SURFACE S2-S5

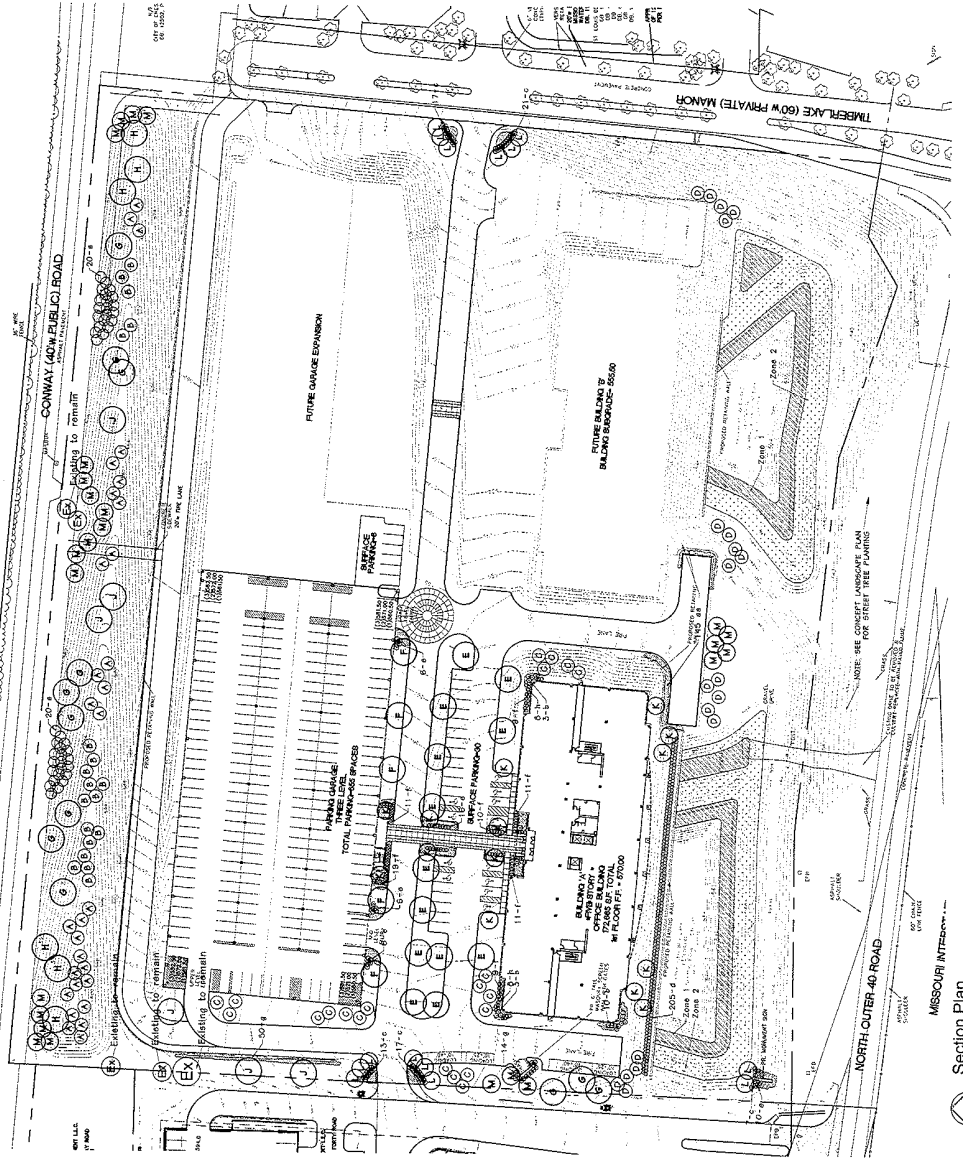
OPUS I BRD II OFFICE CENTER



GENERAL NOTES:

- 27 All street trees will be located at least 3' from proposed curb.
- 28 All street trees will be located at least 10' from all storm sewer structures.
- 29 All street trees will be located at least 5' from all utility structures.
- 30 All turf areas will be seeded.
- 31 An in-ground irrigation system will be provided.

Openspace = 008, 145 sq ft or 48.08% of site.



PLANTING SCHEDULE

| Zone | Plant Species | Quantity | Planting Notes |
|------|---------------|----------|-----------------|
| A | Pinus strobus | 1 | Plant in Zone A |
| B | Pinus strobus | 1 | Plant in Zone B |
| C | Pinus strobus | 1 | Plant in Zone C |
| D | Pinus strobus | 1 | Plant in Zone D |
| E | Pinus strobus | 1 | Plant in Zone E |
| F | Pinus strobus | 1 | Plant in Zone F |
| G | Pinus strobus | 1 | Plant in Zone G |
| H | Pinus strobus | 1 | Plant in Zone H |
| I | Pinus strobus | 1 | Plant in Zone I |
| J | Pinus strobus | 1 | Plant in Zone J |
| K | Pinus strobus | 1 | Plant in Zone K |
| L | Pinus strobus | 1 | Plant in Zone L |
| M | Pinus strobus | 1 | Plant in Zone M |
| N | Pinus strobus | 1 | Plant in Zone N |
| O | Pinus strobus | 1 | Plant in Zone O |
| P | Pinus strobus | 1 | Plant in Zone P |
| Q | Pinus strobus | 1 | Plant in Zone Q |
| R | Pinus strobus | 1 | Plant in Zone R |

PLANTING SCHEDULE

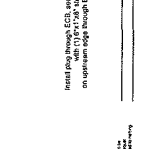
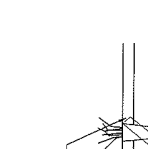
| Zone | Plant Species | Quantity | Planting Notes |
|------|---------------|----------|-----------------|
| A | Pinus strobus | 1 | Plant in Zone A |
| B | Pinus strobus | 1 | Plant in Zone B |
| C | Pinus strobus | 1 | Plant in Zone C |
| D | Pinus strobus | 1 | Plant in Zone D |
| E | Pinus strobus | 1 | Plant in Zone E |
| F | Pinus strobus | 1 | Plant in Zone F |
| G | Pinus strobus | 1 | Plant in Zone G |
| H | Pinus strobus | 1 | Plant in Zone H |
| I | Pinus strobus | 1 | Plant in Zone I |
| J | Pinus strobus | 1 | Plant in Zone J |
| K | Pinus strobus | 1 | Plant in Zone K |
| L | Pinus strobus | 1 | Plant in Zone L |
| M | Pinus strobus | 1 | Plant in Zone M |
| N | Pinus strobus | 1 | Plant in Zone N |
| O | Pinus strobus | 1 | Plant in Zone O |
| P | Pinus strobus | 1 | Plant in Zone P |
| Q | Pinus strobus | 1 | Plant in Zone Q |
| R | Pinus strobus | 1 | Plant in Zone R |

PLANTING SCHEDULE

| Zone | Plant Species | Quantity | Planting Notes |
|------|---------------|----------|-----------------|
| A | Pinus strobus | 1 | Plant in Zone A |
| B | Pinus strobus | 1 | Plant in Zone B |
| C | Pinus strobus | 1 | Plant in Zone C |
| D | Pinus strobus | 1 | Plant in Zone D |
| E | Pinus strobus | 1 | Plant in Zone E |
| F | Pinus strobus | 1 | Plant in Zone F |
| G | Pinus strobus | 1 | Plant in Zone G |
| H | Pinus strobus | 1 | Plant in Zone H |
| I | Pinus strobus | 1 | Plant in Zone I |
| J | Pinus strobus | 1 | Plant in Zone J |
| K | Pinus strobus | 1 | Plant in Zone K |
| L | Pinus strobus | 1 | Plant in Zone L |
| M | Pinus strobus | 1 | Plant in Zone M |
| N | Pinus strobus | 1 | Plant in Zone N |
| O | Pinus strobus | 1 | Plant in Zone O |
| P | Pinus strobus | 1 | Plant in Zone P |
| Q | Pinus strobus | 1 | Plant in Zone Q |
| R | Pinus strobus | 1 | Plant in Zone R |

PLANTING SCHEDULE

| Zone | Plant Species | Quantity | Planting Notes |
|------|---------------|----------|-----------------|
| A | Pinus strobus | 1 | Plant in Zone A |
| B | Pinus strobus | 1 | Plant in Zone B |
| C | Pinus strobus | 1 | Plant in Zone C |
| D | Pinus strobus | 1 | Plant in Zone D |
| E | Pinus strobus | 1 | Plant in Zone E |
| F | Pinus strobus | 1 | Plant in Zone F |
| G | Pinus strobus | 1 | Plant in Zone G |
| H | Pinus strobus | 1 | Plant in Zone H |
| I | Pinus strobus | 1 | Plant in Zone I |
| J | Pinus strobus | 1 | Plant in Zone J |
| K | Pinus strobus | 1 | Plant in Zone K |
| L | Pinus strobus | 1 | Plant in Zone L |
| M | Pinus strobus | 1 | Plant in Zone M |
| N | Pinus strobus | 1 | Plant in Zone N |
| O | Pinus strobus | 1 | Plant in Zone O |
| P | Pinus strobus | 1 | Plant in Zone P |
| Q | Pinus strobus | 1 | Plant in Zone Q |
| R | Pinus strobus | 1 | Plant in Zone R |



Typ. Erosion Control Blanket
 Typ. Erosion Control Blanket
 Typ. Erosion Control Blanket
 Typ. Erosion Control Blanket

Section Plan
 SCALE 1" = 40'