

## Planning Commission Staff Report

|                      |   |
|----------------------|---|
| <b>Project Type:</b> | Site Development Plan   |
| <b>Meeting Date:</b> | August 26, 2019   |
| <b>From:</b>         | Andrew Stanislav, Planner <i>AS</i>   |
| <b>Location:</b>     | 15320 Conway Road   |
| <b>Description:</b>  | <b><u>SMS Group (15320 Conway Road):</u></b> A Site Development Plan, Landscape Plan, Lighting Plan, Architectural Elevations and Architect's Statement of Design for a 0.93 acre tract of land zoned "PC" Planned Commercial District located on the south side of Conway Road approximately 500 feet west of its intersection with Chesterfield Parkway East (18S310348). |

### **SUMMARY**

The request is for the development of a 11,020 square foot commercial building located on the south side of Conway Road west of its intersection with Chesterfield Parkway East and north of I-64/US-40. The subject site is zoned "PC" Planned Commercial District and is governed under the terms and conditions of City of Chesterfield Ordinance Number 3005.

This item was previously considered by the Planning Commission at their May 29, 2019 meeting where a motion was passed to approve the Site Development Plan unanimously by a vote of 6 to 0. The Site Development Plan submittal for 15320 Conway Road is returning to the Planning Commission for approval in accordance with Section 31-02-10A.5 of the Unified Development Code, which requires Site Development Plans to be recorded with the St. Louis County Recorder of Deeds within sixty (60) days of approval.



Figure 1: Subject Site Aerial

The Site Development Plan was not recorded within the required sixty (60) day time period and must return to the Planning Commission for approval. A subsequent approval will allow an additional sixty (60) days from time of approval for the Site Development Plan to be recorded with St. Louis County.

The Site Development Plan submittal remains unchanged since the May 29, 2019 Planning Commission meeting, and a copy of the Staff Report from this meeting is attached.

### **HISTORY OF SUBJECT SITE**

The subject property was zoned “R3” Residence District by St. Louis County in 1965. A petition was received by the City in June 2017 to request a zoning map amendment to a “PC” Planned Commercial District. The request was approved by City Council in May 2018 with the development criteria for this site approved in the Attachment “A” of Ordinance [3005](#).

A Municipal Zoning Approval (MZA) was approved in August 2018 authorizing the demolition of a single family home on the site built in 1950 according to St. Louis County records.

### **STAFF RECOMENDATION**

Staff has reviewed the submittal and recommends approval. If approved, a recorded copy of the Site Development Plan, Landscape Plan, Tree Stand Delineation, Tree Preservation Plan, and Lighting Plan, would need to be submitted to the City by October 25, 2019.

### **MOTION**

The following options are provided to the Planning Commission for consideration relative to this application:

- 1) “I move to approve (or deny) the Site Development Plan, Landscape Plan, Lighting Plan, Architectural Elevations and Architect’s Statement of Design for the development located at 15320 Conway Road.”
- 2) “I move to approve (or deny) the Site Development Plan, Landscape Plan, Lighting Plan, Architectural Elevations and Architect’s Statement of Design for the development located at 15320 Conway Road with the following conditions...” (Conditions may be added, eliminated, altered, or modified).

Attachments: May 29, 2019 Planning Commission Staff Report  
Site Development Plan Packet

## Planning Commission Staff Report

|                      |   |
|----------------------|---|
| <b>Project Type:</b> | Site Development Plan   |
| <b>Meeting Date:</b> | May 29, 2019  |
| <b>From:</b>         | Andrew Stanislav, Planner <i>AS</i>   |
| <b>Location:</b>     | 15320 Conway Road   |
| <b>Description:</b>  | <b><u>SMS Group (15320 Conway Road):</u></b> A Site Development Plan, Landscape Plan, Lighting Plan, Architectural Elevations and Architect's Statement of Design for a 0.93 acre tract of land zoned "PC" Planned Commercial District located on the south side of Conway Road approximately 500 feet west of its intersection with Chesterfield Parkway East (18S310348). |

### **PROPOSAL SUMMARY**

The request is for the development of a 11,020 square foot commercial building located on the south side of Conway Road west of its intersection with Chesterfield Parkway East and north of I-64/US-40. The subject site is zoned "PC" Planned Commercial District and is governed under the terms and conditions of City of Chesterfield Ordinance Number 3005.

The exterior building materials will primarily consist of Nichiha concrete panels and a bronze insulated glass storefront window with aluminum wrapped panels and louvers. Rooftop-mounted mechanical equipment will be screened by the Nichiha concrete panel parapet wall and a trash enclosure will be eight feet in height and compliment the primary building materials.



Figure 1: Subject Site Aerial

**HISTORY OF SUBJECT SITE**

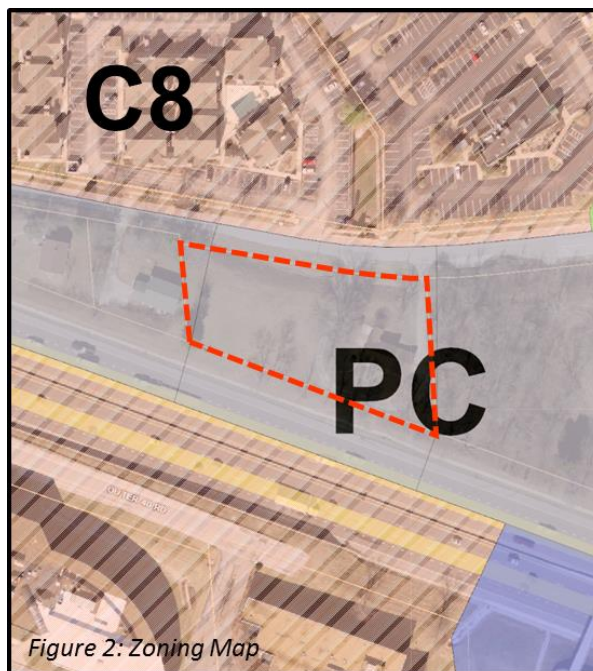
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A Municipal Zoning Approval (MZA) was approved in August 2018 authorizing the demolition of a single family home on the site built in 1950 according to St. Louis County records.

**LAND USE AND ZONING OF SURROUNDING PROPERTIES**

The land use and zoning for the properties surrounding this parcel are described below:

| Direction | Zoning                            | Land Use                               |
|-----------|-----------------------------------|--|
| North     | “C-8” Planned Commercial District | Hotel (Sonesta ES Suites)              |
| South     | “C-8” Planned Commercial District | Office Buildings                       |
| East      | “PC” Planned Commercial District  | Undeveloped land                       |
| West      | “PC” Planned Commercial District  | Undeveloped land (single family homes) |



**COMPREHENSIVE PLAN ANALYSIS**

The subject site is located within Ward 2 of the City of Chesterfield and is within the “Urban Core” land use designation per the City’s Land Use Plan as seen in Figure 3 above. The Comprehensive Plan identifies the Urban Core designation as incorporating high-density residential, retail, and office uses containing the highest density development in Chesterfield.

The Comprehensive Plan includes Commercial Development Policies as well as specific policies which are applicable to developments within the Urban Core area:

- **3.1 Quality Commercial Development** – Commercial developments should positively affect the image of the City, provide employment opportunities, and offer retail/service options to residents.

The proposed development complies with this policy by providing additional services to residents within the Urban Core while also producing an updated aesthetic through site and building design, landscaping, and material selections.

- **3.1.1 Quality of Design** – Overall design standards should provide for smaller-scale, mixed-use, project-oriented developments. Developments should emphasize architectural design, pedestrian circulation, landscaping, open space, innovative parking solutions and landscape buffering between any adjacent residential uses.

This policy intends to enhance the compatibility of a commercial development, both functionally and visually, within an individual site as well as with neighboring properties and uses. The proposed commercial building addresses the elements of this policy through the structure's updated architecture as well as by providing pedestrian connections both on- and off-site. Landscaping is also provided throughout the site, including along Conway Road, along the southern portion of the site facing I-64/US-40, and along the front façade facing Conway Road.

- **3.3 "Strip Commercial" Development** – "Strip commercial" developments are characterized by independently-sited freestanding buildings. These retail or office centers compound problems of vehicular and pedestrian access and creates an unattractive and disjointed appearance, resulting in conflicts with adjacent residential use. This type of commercial development is not encouraged. Retail and office uses that are focused and contained at selected well-defined commercial centers, or "nodes," are recommended.

The proposed development is located within the Urban Core and is located near the intersection of Conway Road and Chesterfield Parkway East with highway frontage. Pedestrian connections are proposed both on- and off-site as well as cross access easements to adjacent properties east and west zoned "PC" Planned Commercial that have not yet been developed.

- **3.6 Urban Core** – The Urban Core should be developed to contain the highest density of mixed-use development in Chesterfield. It should serve as the physical and visual focus for the City and include both residential and commercial developments with parks, municipal services, and preservation of historic structures and areas, with cultural, entertainment and pedestrian amenities for its residents.

Located in the Urban Core, the proposed development is a single-story commercial development of approximately 11,020 square feet. As previously mentioned, pedestrian connections are proposed as well as cross access to neighboring undeveloped commercial sites to the west and east. The proposed development complies with the 30 percent open space requirement and proposes an updated aesthetic.



### **Circulation System and Access**

Vehicular access to the development will be at the northeastern corner of the site off of Conway Road which aligns with the access drive for Springhill Suites opposite the subject site. There is also a proposed cross access easement to the "PC" Planned Commercial zoned properties directly east and west for potential connections upon development of these abutting parcels. A sidewalk will also be installed along the frontage of Conway Road, which is proposed to connect to the site's internal sidewalk by crossing the front parking area.

### **Topography and Parking**

The subject property contains a downward slope, generally from the southwest portion of the site toward the northeast corner. A retaining wall is proposed along the parking area of both the east and west portions of the property to account for the site's grade. Forty-one total parking spaces are proposed, including three ADA parking spaces, to be located along the frontage of Conway Road to the north as well as to the east of the proposed building.

### **Landscape Design and Screening**

Landscaping is proposed for this development in accord with the requirements established in the Unified Development Code. The five-foot parking setbacks established in the site specific ordinance are proposed to be landscaped, most notably that along Conway Road. The site's southern frontage parallel to I-64/US-40 is also proposed for a similar landscape treatment. The landscape design provides both deciduous and evergreen trees throughout the site, along with a variety of shrubs and flowering plants to ensure a variety of seasonal color and texture is present. Ash and other trees in poor condition are also proposed for removal.

Screening systems for the mechanical units and trash enclosure are proposed to match or be integrated within the building's design. Rooftop-mounted mechanical equipment will be screened by the Nichiha concrete panel parapet wall, and a trash enclosure of splitfaced concrete block with buff finish will be eight feet in height and complement the primary building materials with Nichiha finished gates.

### **Lighting**

The proposed lighting plan consists of utilitarian fixtures proposed in the parking area and mounted on the building facades for navigating the site. There are nine wall fixtures amongst the north, east and west sides of the building, and five light fixtures surround the proposed parking area. All fixtures on the site are flat lensed, fully shielded, and are downward facing. No decorative light fixtures are proposed.

### **Architectural Elevations**

The proposed building will be approximately 20 feet tall and comprised of a Nichiha concrete panel façade in a warm beige color with gray accent panels of the same material. Bronze insulated glass with aluminum frame is proposed for the storefront with five-foot deep aluminum frame louvers carried around the entire building, including both the frontage along Conway Road and I-64/US 40. A six-foot deep aluminum clad canopy with supports accents the doorway entries to

each tenant space on the north elevation facing Conway Road. The elevations for this proposed development are depicted in Figure 5 below.

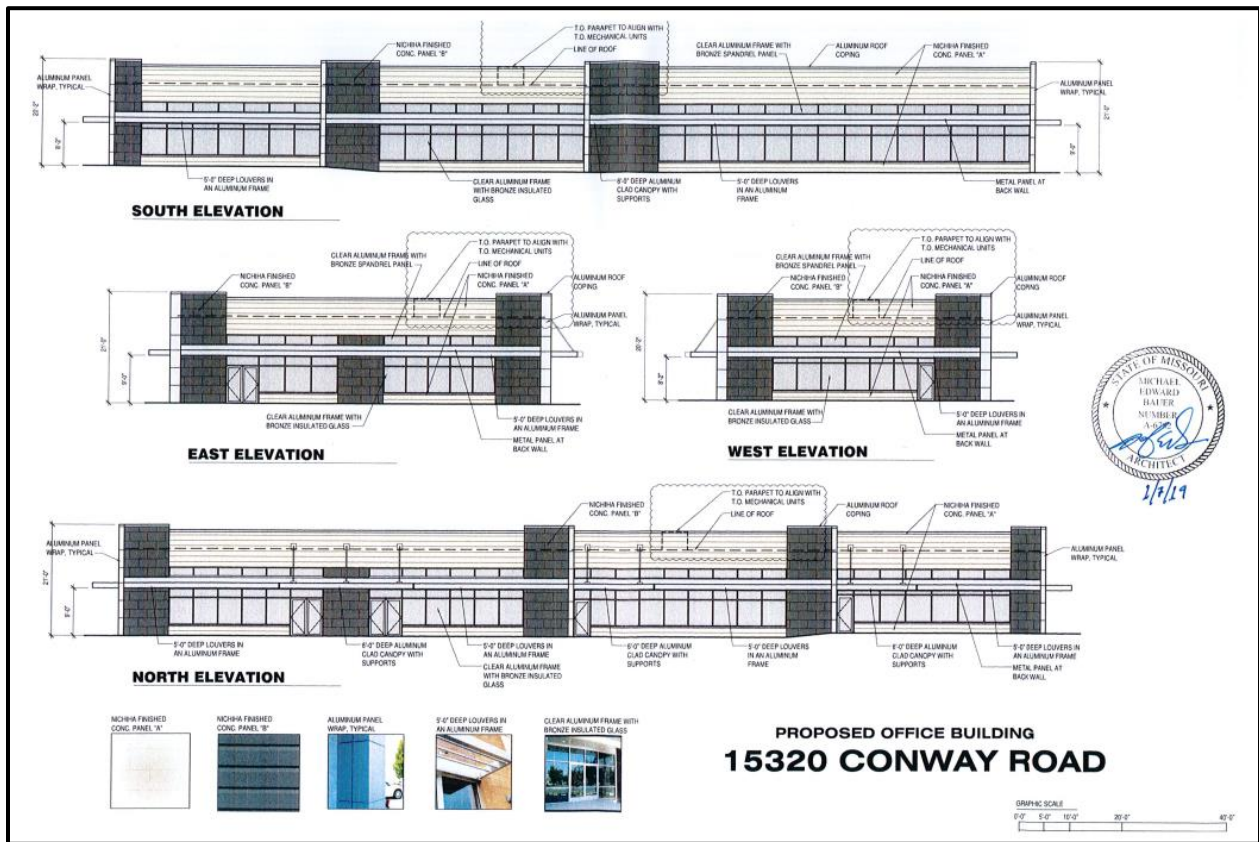


Figure 5: Proposed Building Elevations

### ARCHITECTURAL REVIEW BOARD INPUT

This project was reviewed by the Architectural Review Board (ARB) on September 13, 2018. At that meeting, the Board recommended approval with four conditions:

- **Provide details for the trash enclosure and the retaining walls.**

A detail for both the trash enclosure and retaining wall has since been provided and is included in the Staff Report packet. The trash enclosure is eight (8) feet in height comprised of materials complementary to the building, and the retaining wall includes segmental concrete block with a buff finish to match the trash enclosure.

- **Due to the high visibility of the site, ensure mechanical equipment is placed to be adequately screened. The height of the roofline should be delineated on the building elevations.**

The building elevations have since been revised to include the requested information and depicts the roofline, mechanical unit location, and top of parapet walls.



- **The color elevations and renderings should be revised to better reflect the materials being utilized, specifically the bronze windows.**

Proposed exterior materials are labeled on the building elevations and sample images are included for each finish.

- **Add landscaping to the north side of the building to soften the appearance, as presented in the rendering. Revise the landscape plan accordingly.**

The proposed landscape plan has been revised to incorporate plantings on the north façade facing Conway Road as depicted in the building rendering.

### **STAFF RECOMENDATION**

Staff has reviewed the Site Development Plan, Landscape Plan, Lighting Plan, Architectural Elevations and Architect’s Statement of Design, and has found the proposal to be in compliance with the site specific ordinance, Comprehensive Plan, and City Code requirements. Staff recommends approval of the proposed commercial development at 15320 Conway Road.

### **MOTION**

The following options are provided to the Planning Commission for consideration relative to this application:

- 1) “I move to approve (or deny) the Site Development Plan, Landscape Plan, Lighting Plan, Architectural Elevations and Architect’s Statement of Design for the development located at 15320 Conway Road.”
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Attachments:    Site Development Plan  
                          Landscape Plan  
                          Tree Stand Delineation  
                          Tree Preservation Plan  
                          Lighting Plan & Cut Sheets  
                          Architect’s Statement of Design  
                          Architectural Elevations  
                          Rendering  
                          Detail of Trash Enclosure & Retaining Wall

# SITE DEVELOPMENT PLAN

# 15320 CONWAY ROAD

CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI

### SETBACK REQUIREMENTS

NORTH (ALONG CONWAY RD. FRONTAGE) - 5' PARKING / 20' BUILDING  
 EAST AND WEST SIDES - 5' PARKING / 20' BUILDING  
 SOUTH (ALONG I-64 R/W) - 5' PARKING / 10' BUILDING

### FLOOR AREA RATIO (FAR)

MAXIMUM ALLOWABLE = 0.55  
 PROPOSED: 11,020 S.F. BUILDING / 40,705 S.F. SITE = 0.27

### OPEN SPACE

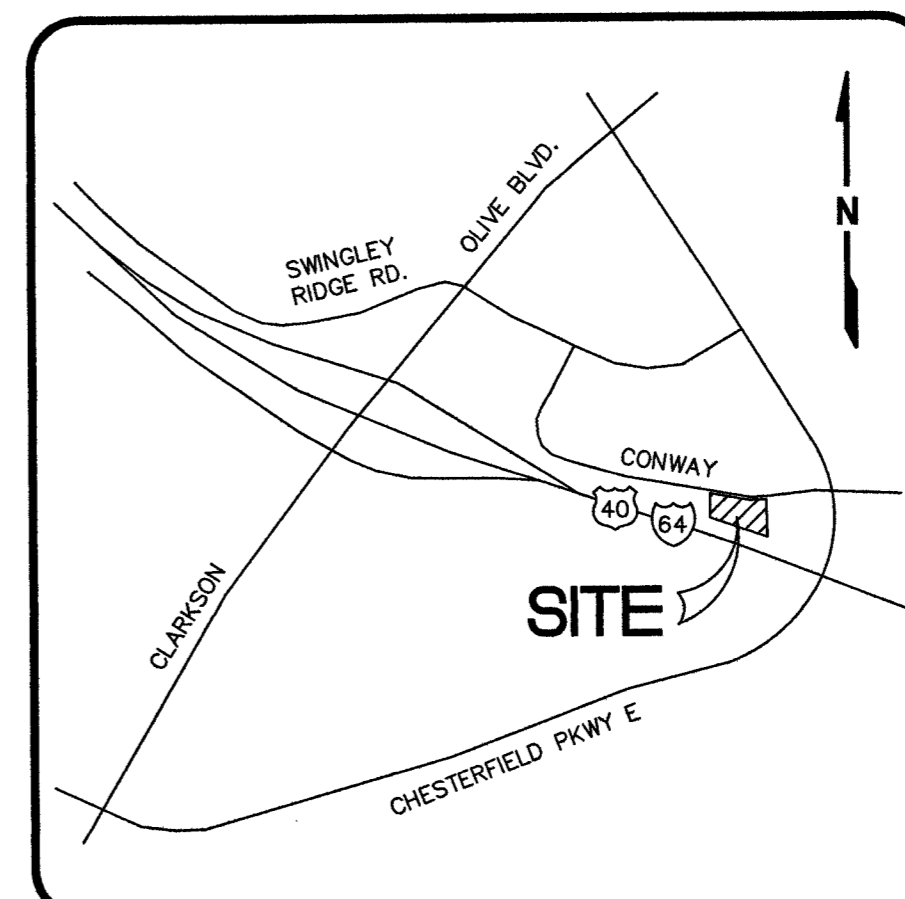
BUILDING AREA = 11,020 S.F.  
 PARKING AND DRIVE PAVEMENT = 17,342 S.F.  
 REMAINING OPEN SPACE = 12,343 S.F.  
 12,343 / 40,705 S.F. TOTAL = 30.3% OPEN SPACE (30% REQUIRED)

### PARKING CALCULATIONS

GENERAL OFFICE: MIN. PARKING REQUIRED = 3.3 PER 1,000 S.F. GROSS FLOOR AREA  
 MAX. PARKING REQUIRED = 4.5 PER 1,000 S.F. GFA  
 TOTAL FLOOR AREA = 11,020 S.F.  
 MINIMUM REQUIRED = 3.3 x 11,020 = 36 SPACES  
 MAXIMUM REQUIRED = 4.5 x 11,020 = 49 SPACES  
 PARKING SPACES PROVIDED = 38 SPACES PLUS 3 ACCESSIBLE SPACES (41 TOTAL)

### PROJECT DATA

LOCATOR NO. : 18S310348  
 ADDRESS : 15320 CONWAY ROAD  
 CHESTERFIELD, MO 63017  
 OWNER : SMS GROUP, LLC  
 AREA OF TRACT : 40,705 S.F. = 0.93 AC. ±  
 PRESENT ZONING : PC - PLANNED COMMERCIAL  
 PRESENT USAGE : SINGLE FAMILY RESIDENTIAL  
 PROPOSED USAGE : COMMERCIAL  
 SCHOOL DISTRICT : PARKWAY  
 FIRE DISTRICT : MONARCH  
 WATERSHED(S) : MISSOURI RIVER  
 FIRM PANEL : 29189C0170K  
 UTILITIES : MISSOURI-AMERICAN WATER CO.  
 METRO. ST. LOUIS SEWER DIST.  
 LACLEDE GAS COMPANY  
 AT&T TELEPHONE COMPANY  
 AMEREN UE



LOCATION MAP  
N.T.S.

| DESCRIPTION                 | SYMBOL        |
|-----------------------------|---------------|
| EXISTING MAJOR CONTOUR      | —500—         |
| EXISTING MINOR CONTOUR      | —502—         |
| PROPOSED MAJOR CONTOUR      | —504—         |
| PROPOSED MINOR CONTOUR      | —502—         |
| PROPOSED SPOT ELEVATION     | +502.00       |
| EXISTING SANITARY SEWER     | —●—           |
| EXISTING STORM SEWER        | —□—           |
| PROPOSED SANITARY SEWER     | —●—           |
| PROPOSED STORM SEWER        | —■—           |
| EXISTING WATERLINE          | —W—           |
| EXISTING FIRE HYDRANT       | —H—           |
| EXISTING GAS LINE           | —G—           |
| EXISTING OVERHEAD UTILITY   | —OE—          |
| USE IN PLACE                | (U.I.P.)      |
| ADJUST TO GRADE             | (A.T.G.)      |
| TO BE REMOVED               | (T.B.R.)      |
| TO BE REMOVED AND REPLACED  | (T.B.R.&R.)   |
| TO BE REMOVED AND RELOCATED | (T.B.R.&REL.) |

### PROPERTY LEGAL DESCRIPTION

A TRACT OF LAND IN FRACTIONAL SECTION 10, TOWNSHIP 45 NORTH, RANGE 4 EAST, IN THE COUNTY OF ST. LOUIS, MISSOURI, BEING PART OF A TRACT OF LAND DESCRIBED IN DEED RECORDED BOOK 1199 PAGE 392 OF THE ST. LOUIS COUNTY RECORDS, AND DESCRIBED AS BEGINNING AT THE NORTHWEST CORNER OF A TRACT OF LAND CONVEYED TO MAZIE MOSS HORD BY DEED RECORDED IN BOOK 1199 PAGE 392 OF THE ST. LOUIS COUNTY RECORDS; THENCE ALONG THE WEST LINE OF PROPERTY CONVEYED TO HORD AS AFORESAID, SOUTH 4 DEGREES 35 MINUTES 48 SECONDS EAST 144.04 FEET TO THE NORTH LINE OF MISSOURI STATE HIGHWAY NO. 40 (TRAFFIC RELIEF), 200 FEET WIDE; THENCE ALONG THE NORTH LINE OF HIGHWAY NO. 40, SOUTH 70 DEGREES 9 MINUTES 00 SECONDS EAST 311.93 FEET; THENCE NORTH 4 DEGREES 35 MINUTES 48 SECONDS WEST 216.76 FEET TO A POINT IN THE CENTER LINE OF CONWAY ROAD, 40 FEET WIDE; THENCE ALONG THE CENTER LINE OF SAID ROAD SOUTH 83 DEGREES 49 MINUTES 52 SECONDS WEST 68.97 FEET AND NORTH 80 DEGREES 08 MINUTES 47 SECONDS WEST 232.36 FEET TO THE POINT OF BEGINNING.

SMS GROUP, LLC, THE OWNER(S) OF THE PROPERTY SHOWN ON THIS PLAN FOR AND IN CONSIDERATION OF BEING GRANTED APPROVAL OF SAID PLAN FOR DEVELOPMENT OF PROPERTY UNDER THE PROVISIONS OF SECTION 03 OF CITY OF CHESTERFIELD UNIFIED DEVELOPMENT CODE, DO HEREBY AGREE AND DECLARE THAT SAID PROPERTY FROM THE DATE OF RECORDING THIS PLAN SHALL BE DEVELOPED ONLY AS SHOWN THEREON, UNLESS SAID PLAN IS AMENDED BY THE CITY OF CHESTERFIELD, OR VOIDED OR VACATED BY ORDER OF ORDINANCE OF THE CITY OF CHESTERFIELD COUNCIL.

SEAN M. SORTOR  
 STATE OF MISSOURI )  
 COUNTY OF ST. LOUIS ) SS.  
 ON THIS DAY OF A.D., 2019, BEFORE ME PERSONALLY APPEARED SEAN M. SORTOR, TO ME KNOWN, WHO, BEING BY ME SWORN IN, DID SAY THAT HE IS THE MANAGING MEMBER OF SMS GROUP, LLC, A LIMITED LIABILITY CORPORATION IN THE STATE OF MISSOURI, AND THAT THE SEAL AFFIXED TO THE FOREGOING INSTRUMENTS IS THE CORPORATE SEAL OF SAID CORPORATION, AND THAT SAID INSTRUMENT WAS SIGNED ON BEHALF OF SAID LIMITED LIABILITY CORPORATION BY AUTHORITY OF ITS MEMBERS, AND THE SAID SEAN M. SORTOR ACKNOWLEDGED SAID INSTRUMENT TO BE THE FREE ACT AND DEED OF SAID LIMITED LIABILITY CORPORATION.

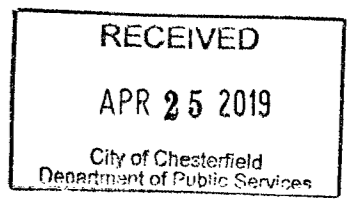
IN TESTIMONY WHEREOF, I HAVE HERETO SET MY HAND AND AFFIXED MY NOTARIAL SEAL AT MY OFFICE IN ST. LOUIS COUNTY, MISSOURI, THE DAY AND YEAR LAST ABOVE WRITTEN.

MY TERM EXPIRES \_\_\_\_\_  
 (NOTARY PUBLIC)

THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE CITY OF CHESTERFIELD PLANNING COMMISSION AND DULY VERIFIED ON THE DAY OF APRIL 25, 2019, BY THE CHAIRPERSON OF SAID COMMISSION, AUTHORIZING THE RECORDING OF THIS SITE DEVELOPMENT PLAN PURSUANT TO CHESTERFIELD ORDINANCE NUMBER 200, AS ATTESTED TO BY THE DIRECTOR OF PLANNING AND DEVELOPMENT SERVICES AND THE CITY CLERK.

JUSTIN WYSE, AICP  
 DIRECTOR OF PLANNING AND DEVELOPMENT SERVICES  
 CITY OF CHESTERFIELD, MISSOURI

WIKIE HASS,  
 CITY CLERK  
 CITY OF CHESTERFIELD, MISSOURI



THIS PLAN WAS PREPARED USING RECORD/AVAILABLE SURVEYS, PROPERTY DESCRIPTIONS, TOPOGRAPHIC INFORMATION, UTILITY MAPS/MARKINGS, AERIAL PHOTOS, ETC. AS SUCH, THE DESIGN OF IMPROVEMENTS SHOWN HEREON IS TO BE CONSIDERED STRICTLY PRELIMINARY, AND SUBJECT TO REVISION AS A RESULT OF ACTUAL BOUNDARY SURVEYS, FINAL ENGINEERING DESIGN AND AGENCY(S) REVIEW/APPROVAL.

I HEREBY CERTIFY THAT I HAVE PREPARED OR DIRECTED THE PREPARATION OF THIS PLAN BASED ON THIS INFORMATION. IT IS TO BE CONSIDERED STRICTLY PRELIMINARY, AND IS NOT TO BE USED FOR CONSTRUCTION.

MICHAEL CLAY VANCE, PE  
 E-25616  
 VANCE ENGINEERING, INC. AUTHORITY NO. 2003022194

### UNDERGROUND UTILITIES NOTE

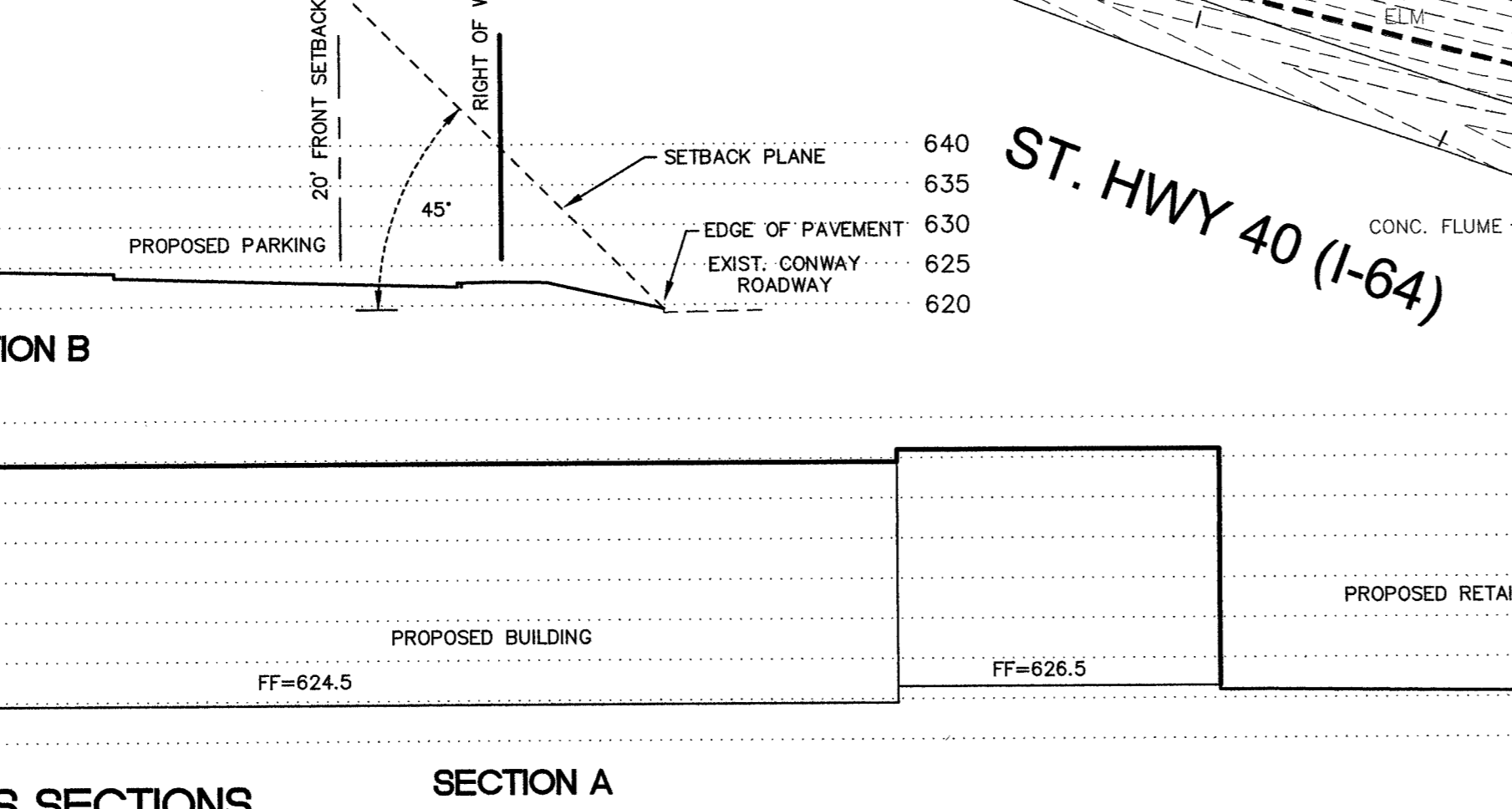
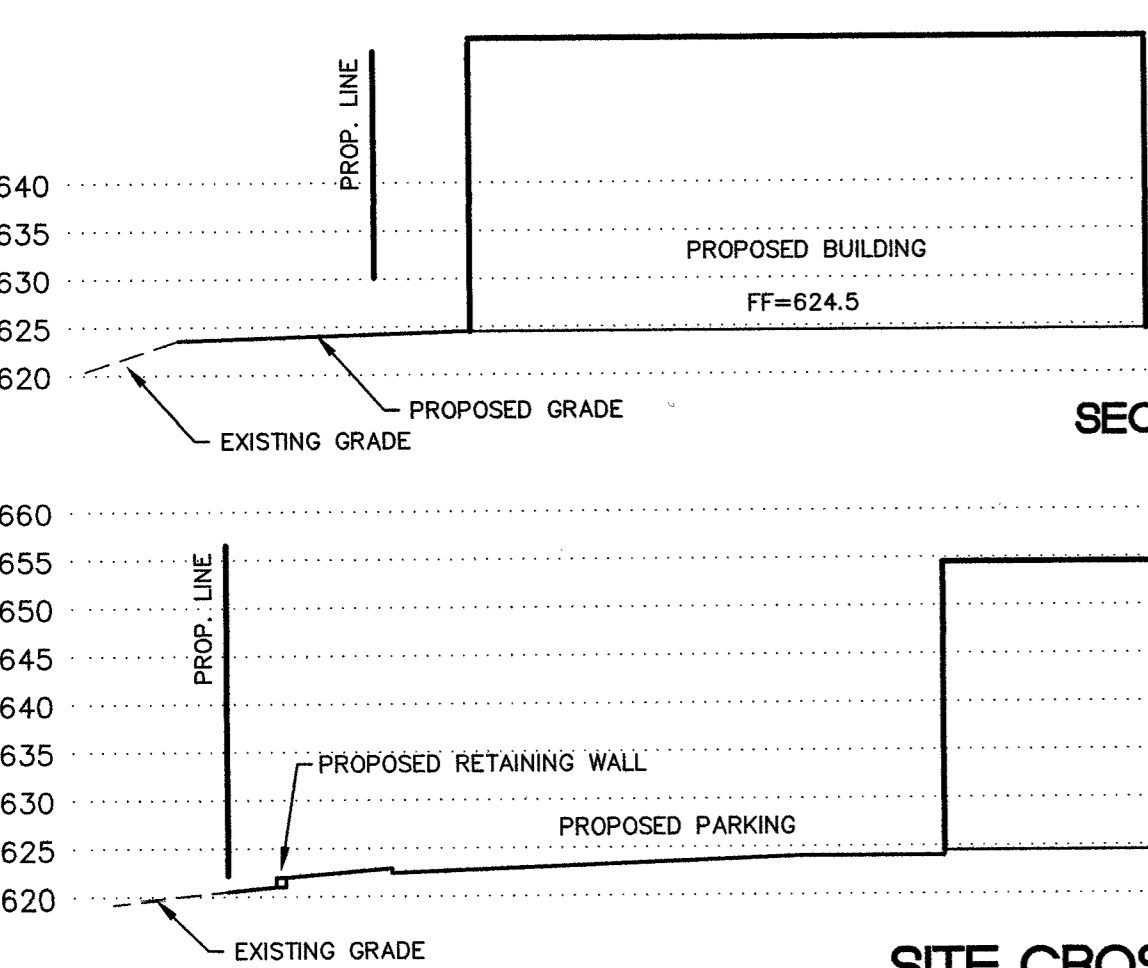
UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE RECORDS. THEREFORE, THE LOCATIONS OF ANY UNDERGROUND FACILITIES SHOWN HEREON MUST BE CONSIDERED APPROXIMATE. PRIOR TO BEGINNING WORK ON THE SITE, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT LOCATION OF THESE FACILITIES, ALONG WITH ANY IN EXISTENCE THAT ARE NOT SHOWN; TO VERIFY THEIR LOCATION BOTH HORIZONTALLY AND VERTICALLY (IN ACCORDANCE WITH THE REQUIREMENTS OF THE RESPECTIVE UTILITY/FACILITY OWNER); AND TO VERIFY THAT MINIMUM CLEARANCES AND COVER REQUIREMENTS BETWEEN THE EXISTING FACILITIES AND THE PROPOSED WORK WILL BE MET.

JACOBI GEOTECHNICAL ENGINEERING, INC. HAS REVIEWED THESE PLANS FOR COMPLIANCE REGARDING GEOTECHNICAL RECOMMENDATIONS RELATED TO SITE DEVELOPMENT. BASED ON THIS REVIEW AND AVAILABLE SUBSURFACE INFORMATION, IT IS OUR PROFESSIONAL OPINION THAT THE PROJECT MAY BE CONSTRUCTED IN ACCORDANCE WITH THE PLANS, GOOD CONSTRUCTION PRACTICES, AND RECOMMENDATIONS GIVEN IN OUR REPORT "EXPLORATION OF SUBSURFACE CONDITIONS & FOUNDATION RECOMMENDATIONS" FOR 15320 CONWAY ROAD, CHESTERFIELD, MISSOURI, DATED SEPTEMBER 13, 2018.

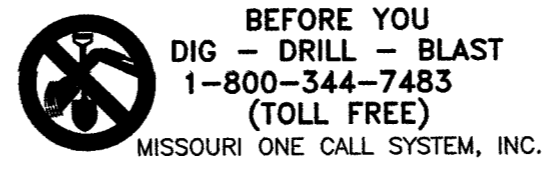
WE HAVE NOT PREPARED ANY PART OF THESE PLANS AND MY SEAL ON THESE PLANS IS INTENDED TO CONFIRM MY PERSONAL REVIEW OF THE SITE PLAN AS IT RELATES TO STABILITY OF SLOPES AND OTHER GEOTECHNICAL ISSUES.

JACOBI GEOTECHNICAL ENGINEERING, INC. MUST BE INVOLVED DURING THE CONSTRUCTION PHASE OF THE PROJECT IN ORDER TO DETERMINE IF SUBSURFACE CONDITIONS ARE AS ANTICIPATED FROM THE FIELD EXPLORATION DATA, THAT OUR RECOMMENDATIONS RELATIVE TO THE GRADING ARE IMPLEMENTED AND THAT OTHER GEOTECHNICAL ASPECTS OF SITE DEVELOPMENT ARE PERFORMED IN ACCORDANCE WITH THESE PLANS.

JACOBI GEOTECHNICAL ENGINEERING, INC.



SITE CROSS SECTIONS  
 SCALE: 1" = 20' (HORIZ. & VERT.)



**SMS Group LLC**  
 1717 Wilson Avenue  
 Chesterfield, MO 63005

**Vance Engineering, Inc.**  
 10537 Lackland Road  
 St. Louis, MO 63114  
 P: 314.427.1800

VANCE ENGINEERING, INC.  
 MISSOURI STATE CERTIFICATE OF AUTHORITY NO. 2003022194

**15320 CONWAY ROAD**

**SITE DEVELOPMENT PLAN**

PRELIMINARY

MICHAEL CLAY VANCE, P.E.  
 ENGINEER LIC E-25616

REVISED

|          |               |
|----------|---------------|
| 12/05/17 | CITY          |
| 01/16/18 | FF&HT         |
| 02/11/18 | FF&HT/STBK    |
| 03/11/18 | SETBACKS      |
| 04/02/18 | SETBACK TBL   |
| 04/27/18 | OPN SPC       |
| 06/27/18 | SITE LIGHTING |
| 08/28/18 | CITY          |
| 02/15/19 | CITY          |
| 03/13/19 | CITY          |
| 04/12/19 | CITY          |

**15077**  
 05/04/17  
 1/1  
 COPYRIGHT 2019



**LANDSCAPE GUIDELINE SPECS:**

**GENERAL:**

- All natural vegetation shall be maintained where it does not interfere with construction or the permanent plan of operation. Every effort possible shall be made to protect existing structures or vegetation from damage due to equipment usage. Contractor shall at all times protect all materials and work against injury to public.
- The landscape contractor shall be responsible for any coordination and sequencing with other site related work being performed by other contractors. Refer to additional drawings for further coordination of work to be done.
- Underground facilities, structures and utilities must be considered approximate only. There may be others not presently known or shown. It shall be the landscape contractor's responsibility to determine or verify the existence of and exact location of the above (Call utility location services in municipality).
- Plant material are to be planted in the same relationship to grade as was grown in nursery conditions. All planting beds shall be cultivated to 6" depth minimum and graded smooth immediately before planting of plants. Plant groundcover to within 12" of trunk of trees or shrubs planted within the area.
- It shall be the landscape contractor's responsibility to:
  - Verify all existing and proposed features shown on the drawings prior to commencement of work.
  - Report all discrepancies found with regard to existing conditions or proposed design to the landscape architect immediately for a decision.
  - Stake the locations of all proposed plant material and obtain the approval of the owner's representative or landscape architect ten (10) days prior to installation.
- Items shown on this drawing take precedence over the material list. It shall be the landscape contractor's responsibility to verify all quantities and conditions prior to implementation of this plan. No substitutions of types or size of plant materials will be accepted without written approval from the landscape architect.
- Provide single-stem trees unless otherwise noted in plant schedule.
- All plant material shall comply with the recommendations and requirements of ANSI Z601 "American Standards for Nursery Stock".
- It shall be the contractor's responsibility to provide for inspection of the plant material by the Landscape Architect (or Owners' Representative) prior to acceptance. Inspections may take place before, during or after installation. Plants not conforming exactly to the plant list will not be accepted and shall be replaced at the landscape contractor's expense.
- All bids are to have unit prices listed. The Owner has the option to delete any portion of the contract prior to signing the contract or beginning work. This will be a unit price contract; quotes shall be valid for 12 months.
- Should auger equipment be utilized in excavating any plant pits, vertical sides of plant pits shall be thoroughly scarified to avoid creation of "polished side walls" prior to plant material installation.
- All excess topsoil, rocks, debris and/or tainted soils shall be removed by the general contractor prior to plant project is turned over to the landscape contractor to commence landscape installation.
- Keep all plant material (except turf) a minimum of 36" clear of fire hydrants.

- Landscape contractor shall kill & remove all existing weeds within the project site.
- All tags, nursery stakes, labels, etc. shall be removed by the landscape contractor at completion of all landscape installation.
- Landscape contractor shall be in compliance with all federal, state and local laws / regulations relating to insect infestation and/or plant diseases.
- All substitutions of plant material shall be submitted to landscape architect for approval.

**PRUNING:**

- Lightly prune trees at time of planting. Prune only the crossover limbs, intermingled leaders and/or any broken branches. Some interior twigs and lateral branches may be pruned. However, do not remove the terminal buds of branches that extend to the edge of the crown.
- All pruning shall comply with ANSI A300 standards.

**INSURANCE:**

- The landscape contractor shall submit certificates of insurance for workman's compensation and general liability.

**MULCH:**

- All mulch to be shredded oak bark mulch at 3" depth (after compaction) unless otherwise noted. Mulch shall be clean and free of all foreign materials, including weeds, mold, deleterious materials, etc.
- No plastic sheeting or filter fabric shall be placed beneath shredded bark mulch beds. Mirafal fabric shall be used beneath all gravel mulch beds. Lap fabric 6" over adjacent coverages.
- Edge all beds with spade-cut edge unless otherwise noted.

**MAINTENANCE:**

- Landscape Contractor shall provide a separate proposal to maintain all plants, shrubs, groundcover, perennials and annuals for a period of 12 months after acceptance.
- Contractor shall ensure that only competent and trained personnel shall provide such services and that such services be provided in a timely manner.
- Watering of seeded or sodded lawns shall begin immediately and shall continue to be provided continuously for the following 72 hours. Regardless, the landscape contractor shall be responsible for all landscape maintenance until project turnover.

**SIGHT TRIANGLES:**

- No landscape material or other obstructions shall be placed or be maintained within the sight distance area so as not to impede the vision between a height of thirty inches (30") and ten feet (10') above the adjacent street or paving surfaces.
- Sight triangles at the intersection of a public street and a private access way (except for single family residences) shall also be formed by measuring from the point of intersection of the street frontage curbs and the entrance curb lines a distance of 35' and connecting the points so established to form the sight triangle area.

**TOPSOIL:**

- Topsoil mix for all proposed landscape plantings shall be five (5) parts well-drained screened organic topsoil to one (1) part Canadian sphagnum peat moss as per planting details. Roto-till topsoil mix to a depth of 6" minimum and grade smooth.
- Provide a soil analysis, as requested, made by an independent soil-testing agency outlining the % of organic matter, inorganic matter, deleterious material, pH and mineral content.
- Any foreign topsoil used shall be free of roots, stumps, weeds, brush, stones (larger than 1"), litter or any other extraneous or toxic material. Landscape contractor shall be fully responsible for correcting all negative soil issues prior to plant installation. Killing and removal of all weeds shall be the responsibility of the landscape contractor as part of this task.
- Landscape contractor to apply pre-emergent herbicide to all planting beds upon completion of planting operations and before application of shredded bark mulch.
- Install siltation controls prior to commencement of any grading operations. Inspect and maintain all siltation fences on a weekly basis until vegetation is established.

**TURF:**

- All disturbed lawn areas to be seeded with a mixture of Turf-Type fescue (300# per acre) and bluegrass (18# per acre). Lawn areas shall be unconditionally warranted for a period of 90 days from date of final acceptance. Bare areas more than one square foot per any 50 square feet shall be replaced.
- Seed and fertilization operations shall occur between May 1 and June 15th or between September 1 and October 15th unless directed by others in writing AND Irrigation system is operating.
- Granular or pelleted fertilizer consisting of 50% water-insoluble slow release nitrogen, phosphorous and potassium in a 12-12-12 composition.
- The turf contractor shall be responsible for protection of finished grade; restore and repair any erosion or water damage and obtain owners' approval prior to seeding or sod installation.
- Landscape contractor shall offer an alternate price for sod in lieu of seed. Sod shall be cut at a uniform thickness of 3/4". No broken pieces, irregular pieces or torn pieces will be accepted. Any points carrying concentrated water loads and all slopes of 15% or greater shall be sodded.
- All sod shall be placed a maximum of 24 hours after harvesting.
- Recondition existing lawn areas damaged by Contractor's operations including equipment/material storage and movement of vehicles.
- Sod Contractor to ensure sod is placed below sidewalk and all paved area elevations to allow for proper drainage.

**EROSION CONTROL BLANKET (Where applicable):**

- All seeded areas on slopes greater than 4:1 shall receive an erosion control blanket which shall consist of loose straw mat and anchor pins as manufactured by: Northern American Green, D5 T5 or approved equal. Install per manufacturer's recommendations.

**WARRANTY:**

- All plant material (excluding ground cover, perennials and annuals) are to be warranted for a period of 12 months after complete installation of all landscape material at 100% of the installed price.
- Any plant material found to be defective shall be removed and replaced within 30 days of notification or in growth season determined to be best for that plant.
- Only one replacement per tree or shrub shall be required at the end of the warranty period, unless loss is due to failure to comply with the warranty.
- Lawn establishment period will be in effect once the lawn has been mowed three times. Plant establishment period shall commence on the date of acceptance and 100% completion.
- A written guarantee shall be provided to the owner per conditions outlined in #1 above.

**PLANT SCHEDULE**

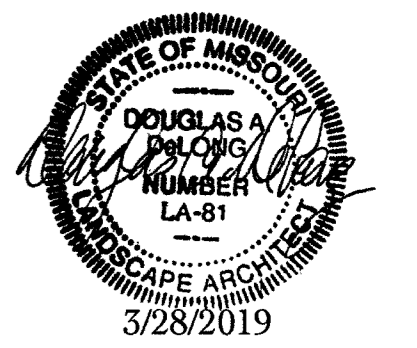
| TREES              | QTY | COMMON NAME / BOTANICAL NAME  | SIZE     | Slow | Moderate | Fast | < 6" | 6 - 18" | 18 - 36" | > 3' | < 18" | 3 - 6' | 6 - 10' | 10 - 15' | > 15' | < 15' | 15 - 25' | 25 - 40' | 40 - 65' | > 65' |
|--------------------|-----|---|----------|------|----------|------|------|---------|----------|------|-------|--------|---------|----------|-------|-------|----------|----------|----------|-------|
| HACK               | 2   | Common Hackberry / <i>Celtis occidentalis</i>   | 2.5"Cal. |      |          | ●    |      |         |          |      |       |        |         |          |       |       |          |          |          |       |
| GVZ                | 1   | Green Vase Zelkova / <i>Zelkova serrata</i> 'Green Vase'                                | 2.5"Cal. |      |          | ●    |      |         |          |      |       |        |         |          |       |       |          |          |          |       |
| GL                 | 1   | Greenspire Littleleaf Linden / <i>Tilia cordata</i> 'Greenspire'                        | 2.5"Cal. |      |          | ●    |      |         |          |      |       |        |         |          |       |       |          |          |          |       |
| HSE                | 1   | Homestead Elm / <i>Ulmus x</i> 'Homestead'  | 2.5"Cal. |      |          | ●    |      |         |          |      |       |        |         |          |       |       |          |          |          |       |
| SAW                | 1   | Santooth Oak / <i>Quercus acutissima</i>  | 2.5"Cal. |      | ●        |      |      |         |          |      |       |        |         |          |       |       |          |          |          |       |
| OGRM               | 2   | 'October Glory' Maple / <i>Acer rubrum</i> 'October Glory'                              | 2.5"Cal. |      |          | ●    |      |         |          |      |       |        |         |          |       |       |          |          |          |       |
| SHL                | 2   | 'Skyline' Locust / <i>Gleditsia triacanthos</i> 'Skyline'                               | 2.5"Cal. |      |          | ●    |      |         |          |      |       |        |         |          |       |       |          |          |          |       |
| EVERGREEN TREES    | QTY | COMMON NAME / BOTANICAL NAME  | SIZE     | Slow | Moderate | Fast | < 6" | 6 - 18" | 18 - 36" | > 3' | < 18" | 3 - 6' | 6 - 10' | 10 - 15' | > 15' | < 15' | 15 - 25' | 25 - 40' | 40 - 65' | > 65' |
| CBS                | 2   | Colorado Blue Spruce / <i>Picea pungens</i> 'Glauca'                                    | 6'-7'    |      | ●        |      |      |         |          |      |       |        |         |          |       |       |          |          |          |       |
| GGA                | 1   | Green Giant Arborvitae / <i>Thuja plicata</i> 'Green Giant'                             | 6'-7'    | ●    |          |      |      |         |          |      |       |        |         |          |       |       |          |          |          |       |
| NS                 | 1   | Norway Spruce / <i>Picea abies</i>  | 6'-7'    |      |          |      |      |         |          |      |       |        |         |          |       |       |          |          |          |       |
| REDP               | 1   | Red Pine / <i>Pinus resinosa</i>  | 6'-7'    |      |          |      |      |         |          |      |       |        |         |          |       |       |          |          |          |       |
| TAYJ               | 2   | Taylor Juniper / <i>Juniperus virginiana</i> 'Taylor'                                   | 6'-7'    |      |          |      |      |         |          |      |       |        |         |          |       |       |          |          |          |       |
| FLOWERING TREES    | QTY | COMMON NAME / BOTANICAL NAME  | SIZE     | Slow | Moderate | Fast | < 6" | 6 - 18" | 18 - 36" | > 3' | < 18" | 3 - 6' | 6 - 10' | 10 - 15' | > 15' | < 15' | 15 - 25' | 25 - 40' | 40 - 65' | > 65' |
| JTL                | 1   | Ivory Silk Japanese Tree Lilac / <i>Syringa reticulata</i> 'Ivory Silk'                 | 2.5"Cal. |      |          | ●    |      |         |          |      |       |        |         |          |       |       |          |          |          |       |
| KC                 | 2   | Kwanzan Cherry / <i>Prunus serrulata</i> 'Kwanzan'                                      | 2.5"Cal. |      |          | ●    |      |         |          |      |       |        |         |          |       |       |          |          |          |       |
| RB                 | 1   | Redbud / <i>Cercis canadensis</i>   | 2.5"Cal. |      |          | ●    |      |         |          |      |       |        |         |          |       |       |          |          |          |       |
| TCH                | 2   | Thornless Cockspur Hawthorn / <i>Crataegus crusgalli</i> var. <i>inermis</i>            | 2.5"Cal. |      | ●        |      |      |         |          |      |       |        |         |          |       |       |          |          |          |       |
| SERV               | 1   | 'Autumn Brilliance' Serviceberry / <i>Amelanchier X grandiflora</i> 'Autumn Brilliance' | 2.5"Cal. |      |          | ●    |      |         |          |      |       |        |         |          |       |       |          |          |          |       |
| SHRUBS             | QTY | COMMON NAME / BOTANICAL NAME  | SIZE     | Slow | Moderate | Fast | < 6" | 6 - 18" | 18 - 36" | > 3' | < 18" | 3 - 6' | 6 - 10' | 10 - 15' | > 15' | < 15' | 15 - 25' | 25 - 40' | 40 - 65' | > 65' |
| YAUN               | 16  | Compact Youngstown Andorra Juniper / <i>Juniperus horizontalis</i> 'Youngstown'         | 5 gal.   | ●    |          |      |      |         |          |      |       |        |         |          |       |       |          |          |          |       |
| GTJ                | 18  | Gold Tip Juniper / <i>Juniperus chinensis</i> 'Gold Tip'                                | 5 Gal.   | ●    |          |      |      |         |          |      |       |        |         |          |       |       |          |          |          |       |
| GVB                | 15  | Green Velvet Boxwood / <i>Buxus</i> 'Green Velvet'                                      | 5 gal.   |      | ●        |      |      |         |          |      |       |        |         |          |       |       |          |          |          |       |
| LLHYD              | 24  | Little Lime Hydrangea / <i>Hydrangea paniculata</i> 'Little Lime'                       | 5 gal.   |      | ●        |      |      |         |          |      |       |        |         |          |       |       |          |          |          |       |
| LSMA               | 24  | Low Scape Mound Chokeberry / <i>Aronia melanocarpa</i> 'Low Scape Mound'                | 5 Gal.   |      | ●        |      |      |         |          |      |       |        |         |          |       |       |          |          |          |       |
| DVIB               | 11  | Marlesii Double File Viburnum / <i>Viburnum plicatum tomentosum</i> 'Marlesii'          | 24"-30"  |      | ●        |      |      |         |          |      |       |        |         |          |       |       |          |          |          |       |
| ANNUALS/PERENNIALS | QTY | COMMON NAME / BOTANICAL NAME  | SIZE     |      |          |      |      |         |          |      |       |        |         |          |       |       |          |          |          |       |
| HRD                | 53  | Happy Returns Daylily / <i>Hemerocallis</i> hybrid 'Happy Returns'                      | 1 gal.   |      |          |      |      |         |          |      |       |        |         |          |       |       |          |          |          |       |
| LE                 | 35  | Lamb's Ears / <i>Stachys byzantina</i> 'Silver Carpet'                                  | 1 gal.   |      |          |      |      |         |          |      |       |        |         |          |       |       |          |          |          |       |

PLAN GENERATED FOR:  
 SMS Group LLC  
 1717 Wilson Ave  
 Chesterfield MO 63005

**Landscape TECHNOLOGIES**  
 (636) 498-1800  
 67 Jacobs Creek Drive  
 Chesterfield, MO 63005  
 R. RANDALL K. MARSH  
 LICENSED PROFESSIONAL ARCHITECT #000011  
 DATE: 01/14/17

PLANTING PLAN FOR THE PROPOSED  
**15320 Conway Road**  
 CHESTERFIELD, MISSOURI

DRAWN: R. MARSH  
 CHECKED: RM/EL  
 DATE: 8/18/16  
 SCALE: N/A  
 JOB No.: 2016-112  
 SHEET  
**L-2**  
 OF TWO SHEETS

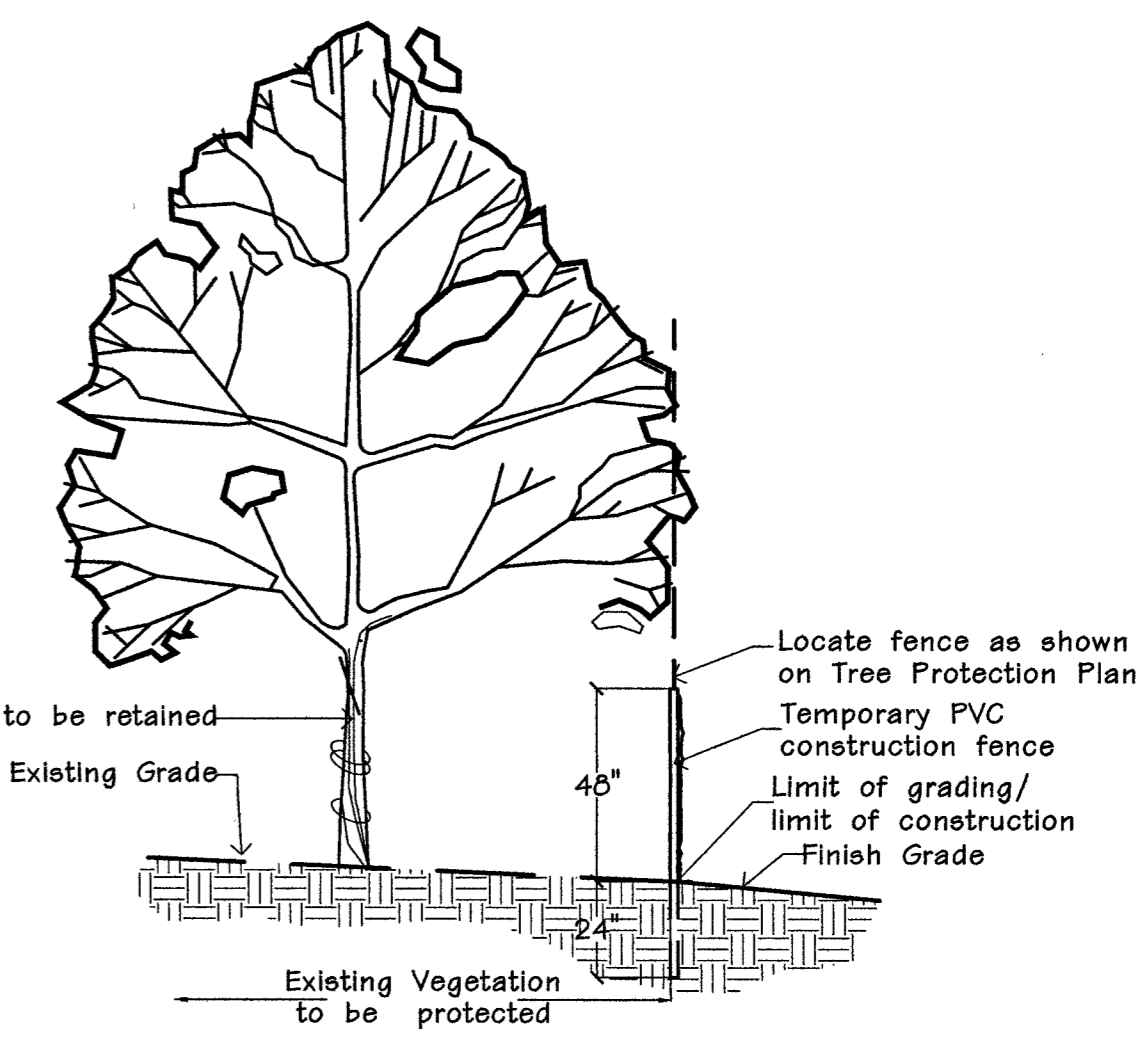


Douglas A. DeLong, Landscape Architect LA-81

Consultants:

# 15320 Conway Road Chesterfield, MO.

SMS Group, LLC



TREE PROTECTION DETAIL  
n.t.s.

**TREE PROTECTION NOTES:**

- 1) Pre-construction meeting to be held on-site to include a presentation of tree protection measures to operators; construction supervisors; developer's representative; and city zoning inspector.
- 2) Clearing limits shall be rough staked or marked by the applicant's surveyor in order to facilitate location for trenching and fencing installation.
- 3) No early maintenance schedule is required. Where noted on plan, contractor to trench and root prune prior to any grading activity. Required siltation devices to be installed along limit of disturbance line.
- 4) No clearing or grading shall begin in areas where the treatment and preservation measures have not been completed including the installation of tree protection fencing along all "Limit of Disturbance" lines shown on the plan.
- 5) Tree Protection Fencing shall be 4-foot high temporary plastic construction fence. No equipment traffic/parking, concrete washout, material storage or other such construction activity shall be permitted to penetrate the protection fencing or disrupt the Protected Woodland Area except for the removal of dead or invasive plant material. Any proposed plantings shall be subject to the review and approval of the City Arborist. All ground plane shall be mulched with hardwood bark mulch. Tree Protection Signage will be placed along the Protection Fencing as shown as the dashed line on the plan.
- 6) Tree protection measures to be maintained throughout construction sequence.

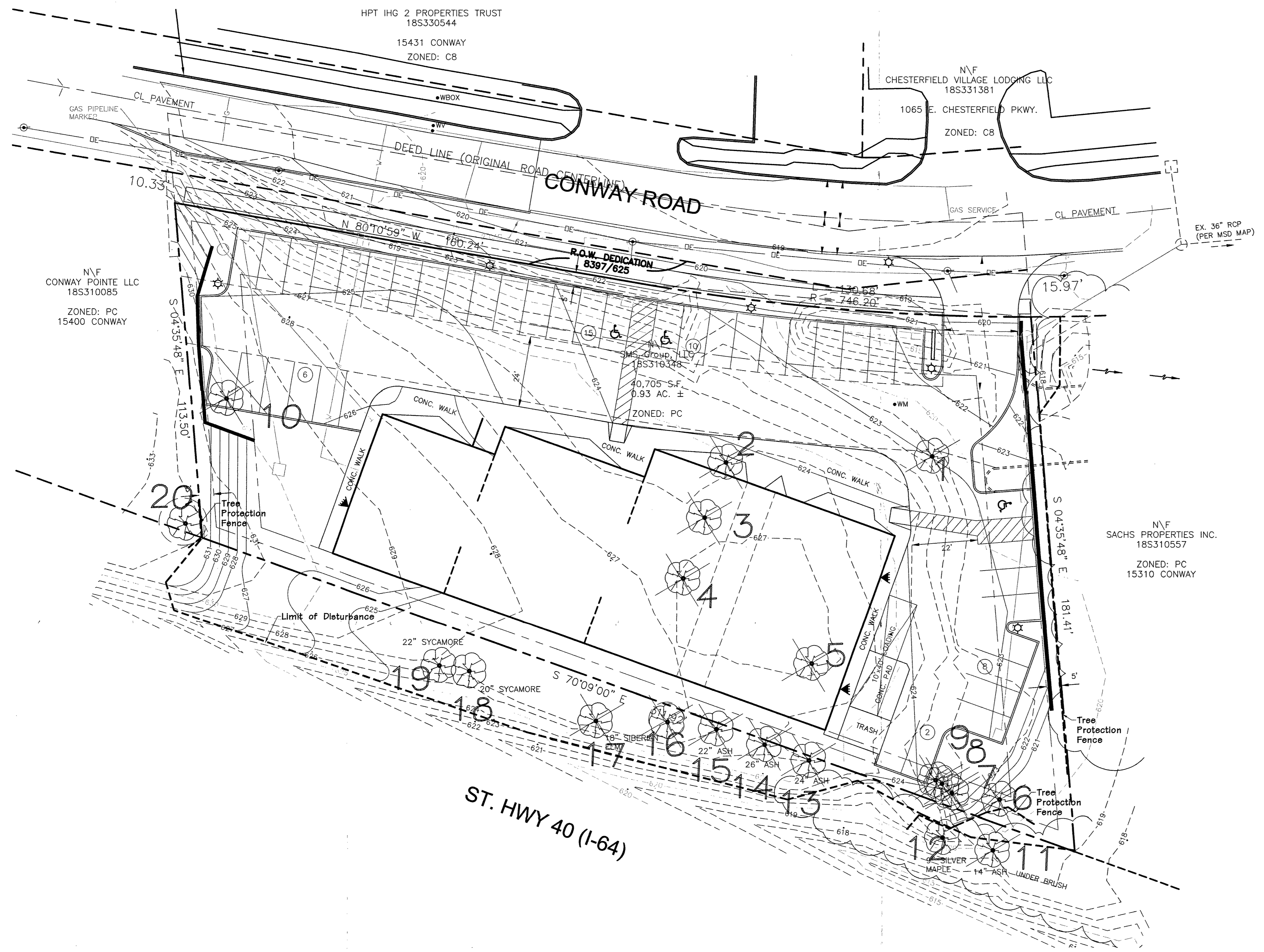
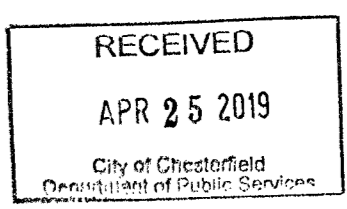
TOTAL CANOPY OF EXISTING INDIVIDUAL TREES ON SITE 3,368 sq. ft.  
(EXCLUDES GREEN ASH)  
CANOPY REMOVED = 3,666 SQ. FT. (100%)  
CANOPY TO REMAIN = 0 SQ. FT. (0%)  
REQUIRED PRESERVATION = 0 SQ. FT. (0%)  
MITIGATION PLANTINGS NOT REQUIRED AS THERE IS LESS THAN 5,000 SQ. FT. OF EXISTING CANOPY ON SITE.

**Revisions:**

| Date    | Description   | No. |
|---------|---------------|-----|
| 2/22/19 | City Comments | 1   |
| 3/28/19 | City Comments | 2   |

Drawn: BAD  
Checked: DAD

DeLong Landscape Architecture, LLC  
7620 West Bruno Ave  
St. Louis, MO. 63117  
(314) 346-4856  
delong.la@gmail.com  
Missouri State Certificate of Arboristry: #201500145



**Tree Preservation Plan**  
SCALE 1"=20'-0"

| ON SITE TREES 15320 Conway Road |              |                      |              |                  |                     |
|---------------------------------|--------------|----------------------|--------------|------------------|---------------------|
| Number                          | Common Name  | DBH Of Trunk         | Canopy Area  | Condition Rating | Description         |
| 1                               | Silver Maple | 30                   | 1,384        | 2                |                     |
| 2                               | Ash          | 24                   | 1,017        | 3                | Not counted         |
| 3                               | Ash          | 32                   | 1,519        | 3                | Not counted         |
| 4                               | Ash          | 28                   | 1,256        | 3                | Not counted         |
| 5                               | Siberian Elm | 16                   | 0            | 0                | Dead                |
| 6                               | Sassafras    | 18                   | 452          | 3                |                     |
| 7                               | Black Cherry | 14                   | 314          | 1                | Major Branches Dead |
| 8                               | Sassafras    | 10                   | 314          | 3                |                     |
| 9                               | Sassafras    | 10                   | 452          | 3                |                     |
| 10                              | Mulberry     | 8" Multi-stem        | 452          | 3                |                     |
|                                 |              | <b>Total On Site</b> | <b>3,368</b> |                  |                     |

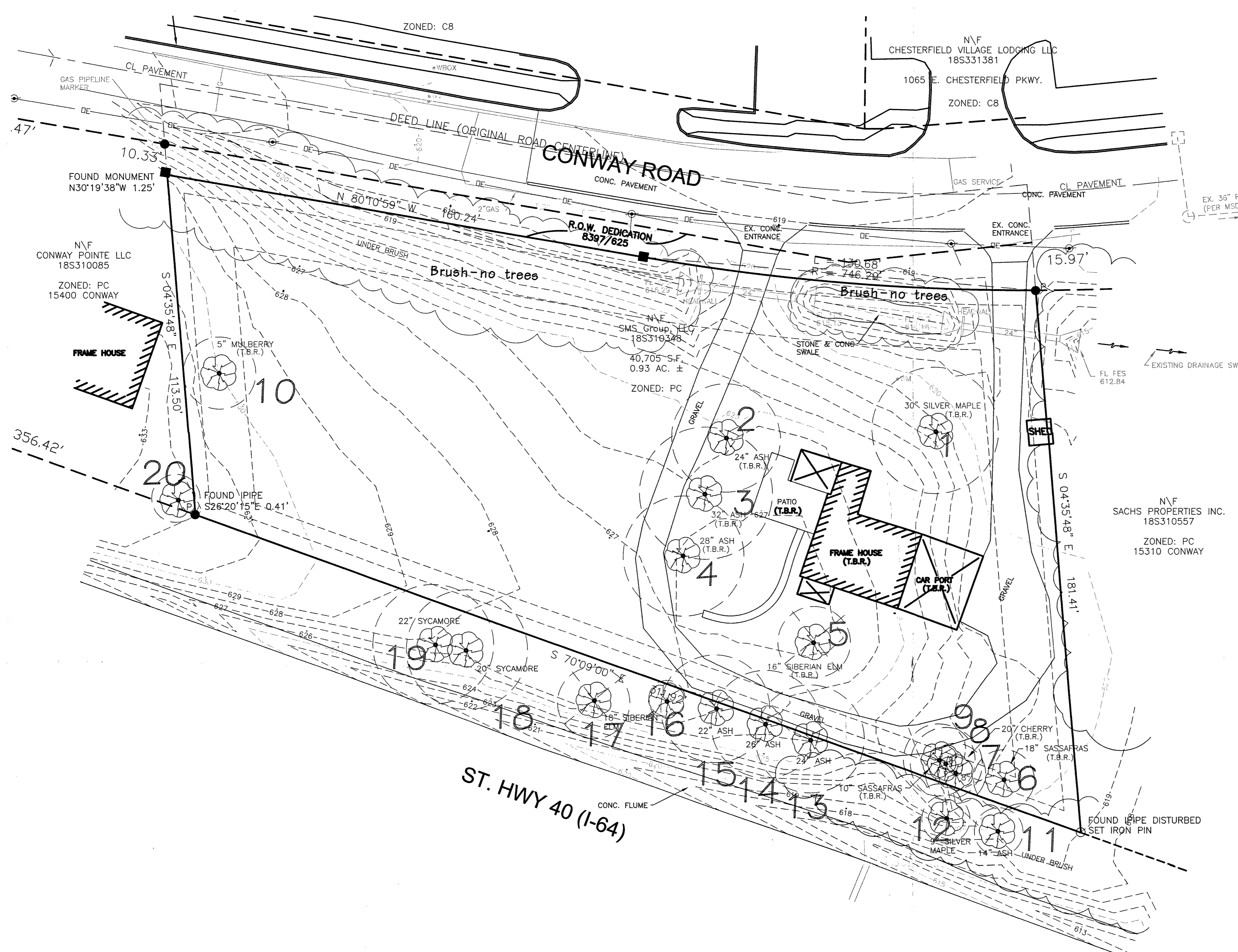
| OFF SITE TREES 15320 Conway Road |               |                       |              |                  |                       |
|----------------------------------|---------------|-----------------------|--------------|------------------|-----------------------|
| Number                           | Common Name   | DBH Of Trunk          | Canopy Area  | Condition Rating | Description           |
| 11                               | Ash           | 14                    | 200          | 1                | 90% Dead not counted  |
| 12                               | Silver Maple  | 9                     | 200          | 3                |                       |
| 13                               | Ash           | 24                    | 1,017        | 3                | Not Counted           |
| 14                               | Ash           | 26                    | 1,017        | 2                | Not Counted           |
| 15                               | Ash           | 22                    | 452          | 2                | Not Counted           |
| 16                               | Hackberry     | 6                     | 113          | 3                |                       |
| 17                               | Siberian Elm  | 18                    | 0            | 0                | Dead                  |
| 18                               | Sycamore      | 17                    | 1,256        | 3                |                       |
| 19                               | Sycamore      | 18                    | 1,256        | 2                | Decay in Major Branch |
| 20                               | Norway Spruce | 8                     | 153          | 3                |                       |
|                                  |               | <b>Total Off Site</b> | <b>2,978</b> |                  |                       |

**LEGEND**

- Location
- Reference Number
- Tree To Be Removed

|              |                        |
|--------------|------------------------|
| Sheet Title: | Tree Preservation Plan |
| Sheet No:    | TPP                    |
| Date:        | 6/6/2018               |
| Job #:       | 135.010                |

Prepared For:  
SMS Group LLC  
1717 Wilson Avenue  
Chesterfield, MO. 63005



**Tree Stand Delineation Plan**  
SCALE 1"=20'-0"

| ON SITE TREES 15320 Conway Road |              |               |              |                  |                     |
|---------------------------------|--------------|---------------|--------------|------------------|---------------------|
| Number                          | Common Name  | DBH Of Trunk  | Canopy Area  | Condition Rating | Description         |
| 1                               | Silver Maple | 30            | 1,384        | 2                |                     |
| 2                               | Ash          | 24            | 1,017        | 3                | Not counted         |
| 3                               | Ash          | 32            | 1,519        | 3                | Not counted         |
| 4                               | Ash          | 28            | 1,256        | 3                | Not counted         |
| 5                               | Siberian Elm | 16            | 0            | 0                | Dead                |
| 6                               | Sassafras    | 18            | 452          | 3                |                     |
| 7                               | Black Cherry | 14            | 314          | 1                | Major Branches Dead |
| 8                               | Sassafras    | 10            | 314          | 3                |                     |
| 9                               | Sassafras    | 10            | 452          | 3                |                     |
| 10                              | Mulberry     | 8" Multi-stem | 452          | 3                |                     |
| <b>Total On Site</b>            |              |               | <b>3,368</b> |                  |                     |

| OFF SITE TREES 15320 Conway Road |               |              |              |                  |                       |
|----------------------------------|---------------|--------------|--------------|------------------|-----------------------|
| Number                           | Common Name   | DBH Of Trunk | Canopy Area  | Condition Rating | Description           |
| 11                               | Ash           | 14           | 200          | 1                | 90% Dead not counted  |
| 12                               | Silver Maple  | 9            | 200          | 3                |                       |
| 13                               | Ash           | 24           | 1,017        | 3                | Not Counted           |
| 14                               | Ash           | 26           | 1,017        | 2                | Not Counted           |
| 15                               | Ash           | 22           | 452          | 2                | Not Counted           |
| 16                               | Hackberry     | 6            | 113          | 3                |                       |
| 17                               | Siberian Elm  | 18           | 0            | 0                | Dead                  |
| 18                               | Sycamore      | 17           | 1,256        | 3                |                       |
| 19                               | Sycamore      | 18           | 1,256        | 2                | Decay in Major Branch |
| 20                               | Norway Spruce | 8            | 153          | 3                |                       |
| <b>Total Off Site</b>            |               |              | <b>2,978</b> |                  |                       |

**Tree Stand Delineation Narrative**

The overall lot comprises a total of 0.93 Ac and has a total of 3,368 sq ft of Tree Canopy made up of individual trees. Tree Stand Delineation map was completed by field inspection.

Off site trees have a total canopy of 2,978 sq ft.

No Monarch, state champion or rare trees were found on the site.

RATING: 1=Poor Quality  
3=Average Quality  
5=Excellent Quality

**LEGEND**

- Location
- Reference Number
- Dead Tree To Be Removed

RECEIVED  
APR 25 2019  
City of Chesterfield  
Department of Public Services

Tree Stand Delineation Prepared under direction of Dennis Greene of Happy Tree Service Certified Arborist IL-0414-A  
*Dennis Greene*  
Base Map Provided by: Vance Engineering, Inc.

Prepared For:  
**SMS Group LLC**  
1717 Wilson Avenue  
Chesterfield, MO. 63005

Douglas A. DeLong, Landscape Architect LA-81

Consultants:

**15320 Conway Road  
Chesterfield, MO.**

SMS Group, LLC

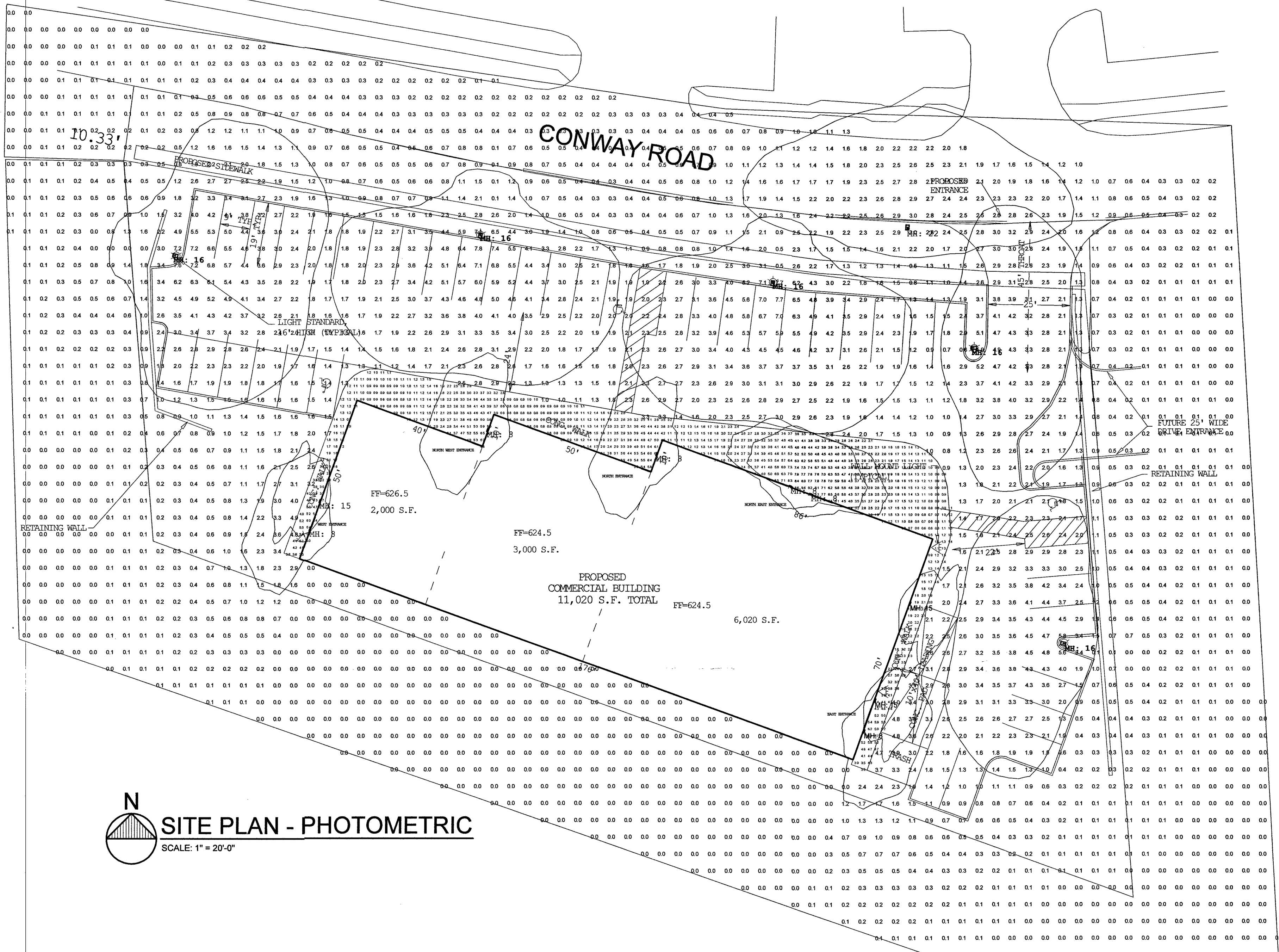
**Revisions:**

| Date    | Description   | No. |
|---------|---------------|-----|
| 3/28/19 | City Comments | 1   |
|         |               |     |
|         |               |     |
|         |               |     |
|         |               |     |
|         |               |     |
|         |               |     |
|         |               |     |
|         |               |     |
|         |               |     |

Drawn: BAD  
Checked: DAD

**DeLong**  
andscape Architecture, LLC  
7620 West Bruno Ave  
St. Louis, MO. 63117  
(314) 346-4856  
delong\_la@gmail.com  
Missouri State Certificate of Authority: #201300146

|              |                        |
|--------------|------------------------|
| Sheet Title: | Tree Stand Delineation |
| Sheet No:    | <b>TSD</b>             |
| Date:        | 2/22/2019              |
| Job #:       | 135.010                |



**SITE PLAN - PHOTOMETRIC**  
SCALE: 1" = 20'-0"

**Lighting Notes**

- MOUNTING HEIGHT SHOWN
- CALC SPACING VARIES
- FOOT CANDLE VALUES CALCULATED USING .95 LLF

| Calculation Summary       |      |     |     |         |         |       |
|---------------------------|------|-----|-----|---------|---------|-------|
| Label                     | Avg  | Max | Min | Max/Min | Avg/Min | Units |
| Sidewalk Against Building | 2.72 | 9.6 | 0.5 | 19.20   | 5.44    | Fc    |
| Site                      | 1.11 | 7.8 | 0.0 | N.A.    | N.A.    | Fc    |
| E Building Entrance       | 5.21 | 6.6 | 3.4 | 1.94    | 1.53    | Fc    |
| N Building Entrance       | 5.68 | 6.4 | 5.1 | 1.25    | 1.11    | Fc    |
| NE Building Entrance      | 6.75 | 9.6 | 4.0 | 2.40    | 1.69    | Fc    |
| NW Building Entrance      | 5.43 | 6.5 | 4.6 | 1.41    | 1.18    | Fc    |
| Parking Lot               | 2.80 | 7.8 | 0.6 | 13.00   | 4.67    | Fc    |
| Past Property Line        | 0.29 | 3.0 | 0.0 | N.A.    | N.A.    | Fc    |
| W Building Entrance       | 5.33 | 6.4 | 4.7 | 1.36    | 1.13    | Fc    |
| Walkway                   | 1.58 | 3.1 | 0.5 | 6.20    | 3.16    | Fc    |

| Luminaire Schedule |     |       |                                 |       |            |
|--------------------|-----|-------|---------------------------------|-------|------------|
| Symbol             | Qty | Label | Description                     | LLF   | Lum. Watts |
| →                  | 3   | A1    | DSXO LED P6 40K T4M MVOLT       | 0.950 | 134        |
| →                  | 2   | A2    | DSXO LED P4 40K T3M MVOLT       | 0.950 | 92         |
| →                  | 1   | A3    | DSXO LED P4 40K T2M MVOLT       | 0.950 | 92         |
| ↑                  | 9   | WM    | DSXW1 LED 10C 700 40K T3M MVOLT | 0.950 | 26.2       |

### D-Series Size 0 LED Area Luminaire

**Specifications**  
 EPA: 0.95 Ft (30W)  
 Length: 25" (640mm)  
 Width: 13" (330mm)  
 Height: 7" (178mm)  
 Weight: 16 lbs (7.2kg)

**Capable Luminaire**  
 This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

**Examples:** DSXO LED P6 40K T3M MVOLT SPA DDBXD

| DSXO LED   | DSXO LED   | DSXO LED   | DSXO LED   | DSXO LED   | DSXO LED  | DSXO LED   | DSXO LED                           | DSXO LED | DSXO LED |
|--|--|--|--|--|---|--|------------------------------------|----------|----------|
| Forward optics<br>P1 P4 P5 P6 P7   | 3000K<br>4000K<br>5000K<br>AMPC Amber phosphor converted | T5 Type I Short<br>T25 Type II Short<br>T2M Type II Medium<br>T5 Type II Short<br>T5 Type II Short<br>T5 Type II Short<br>T5 Type II Short | T55 Type V Short<br>T5M Type V Medium<br>T5W Type V Wide<br>BLC Backlight control <sup>3</sup><br>LCO Left corner control <sup>3</sup><br>RCC Right corner control <sup>3</sup><br>T5M Type V Medium<br>T5W Type V Wide<br>T5V Type V Very short | MVOLT <sup>1</sup><br>120 <sup>2</sup><br>208 <sup>1,4</sup><br>240 <sup>1,4</sup><br>277 <sup>1,4</sup><br>347 <sup>1,4</sup><br>480 <sup>1,4</sup> | Shipped included<br>SPA Square pole mounting<br>RPA Round pole mounting<br>WBA Wall bracket<br>SPUBA Square pole universal mounting adapter <sup>5</sup><br>RUBA Round pole universal mounting adapter <sup>5</sup> | Shipped separately<br>DMAB DDBXD U Most arm mounting bracket adapter (specify finish) <sup>6</sup> | DSXO LED Rev. 03/27/18 Page 1 of 7 |          |          |
| Related optics<br>P1P P2P P7P  |  |  |  |  |   |  |                                    |          |          |
| Shipped installed<br>NIMAR <sup>7</sup> High AIR generation 2 enabled <sup>8</sup><br>PER <sup>9</sup> LED Week-back (recycle only) (control ended separate) <sup>8</sup><br>PES <sup>9</sup> Five-wire recycle only sensor (ended separate) <sup>8</sup><br>PER7 <sup>9</sup> Seven-wire recycle only control (ended separate) <sup>8</sup><br>DMG <sup>9</sup> 0-10V dimming (extend out back of housing for external control (ended separate))<br>PRH <sup>9</sup> Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 16" <sup>9</sup><br>PRM <sup>9</sup> Network, Bi-level, motion/ambient sensor <sup>9</sup><br>PRHFCW <sup>9</sup> Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 16" <sup>9</sup> |  |  |  |  |   |  |                                    |          |          |
| Shipped installed<br>NIMAR <sup>7</sup> High AIR generation 2 enabled <sup>8</sup><br>PER <sup>9</sup> LED Week-back (recycle only) (control ended separate) <sup>8</sup><br>PES <sup>9</sup> Five-wire recycle only sensor (ended separate) <sup>8</sup><br>PER7 <sup>9</sup> Seven-wire recycle only control (ended separate) <sup>8</sup><br>DMG <sup>9</sup> 0-10V dimming (extend out back of housing for external control (ended separate))<br>PRH <sup>9</sup> Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 16" <sup>9</sup><br>PRM <sup>9</sup> Network, Bi-level, motion/ambient sensor <sup>9</sup><br>PRHFCW <sup>9</sup> Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 16" <sup>9</sup> |  |  |  |  |   |  |                                    |          |          |

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### D-Series Size 1 LED Wall Luminaire

**Specifications**  
 Width: 13-3/4" (349mm)  
 Depth: 4" (102mm)  
 Height: 6-3/8" (162mm)

**Back Box (BBW, ELCW)**  
 Width: 13-3/4" (349mm)  
 Depth: 4" (102mm)  
 Height: 6-3/8" (162mm)

**Shipped installed**  
 PE Photometric cell, button type<sup>4</sup>  
 DMG 0-10V dimming driver (no controls, wires pulled outside housing)  
 PRH 180° motion/ambient light sensor, <15' height<sup>11</sup>  
 PRHFCW 180° motion/ambient light sensor, 15-30' height, ambient sensor enabled at 16"<sup>11</sup>  
 PRMFCW Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 16"<sup>11</sup>  
 ELCW Emergency battery backup (includes external components/controls, non-ULC compliant)

**Shipped separately**  
 BBW Back-mounting bracket  
 ELCW Emergency battery backup (includes external components/controls, non-ULC compliant)

**Shipped installed**  
 DSXO Dark bronze  
 DSXW1 White  
 DSXW2 Natural aluminum  
 DSXW3 Textured dark bronze  
 DSXW4 Textured black  
 DSXW5 Textured natural aluminum  
 DSXW6 Textured white  
 DSXW7 External glass sheet<sup>12</sup>

| DSXW1 LED  |  |  |  |  |  |  |
|--|--|--|--|--|--|--|
| DSXW1 LED  | 359 350mA<br>530 530mA<br>700 700mA (1 A) <sup>1</sup><br>1000 1000mA (1 A) <sup>1</sup>   | 3000K<br>4000K<br>5000K<br>AMPC Amber phosphor converted   | T5 Type I Short<br>T25 Type II Short<br>T2M Type II Medium<br>T5 Type II Short<br>T5 Type II Short<br>T5 Type II Short<br>T5 Type II Short<br>T5 Type II Short | MVOLT <sup>1</sup><br>120 <sup>2</sup><br>208 <sup>1,4</sup><br>240 <sup>1,4</sup><br>277 <sup>1,4</sup><br>347 <sup>1,4</sup><br>480 <sup>1,4</sup> | Shipped included<br>PE Photometric cell, button type <sup>4</sup><br>DMG 0-10V dimming driver (no controls, wires pulled outside housing)<br>PRH 180° motion/ambient light sensor, <15' height <sup>11</sup><br>PRHFCW 180° motion/ambient light sensor, 15-30' height, ambient sensor enabled at 16" <sup>11</sup><br>PRMFCW Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 16" <sup>11</sup><br>ELCW Emergency battery backup (includes external components/controls, non-ULC compliant) | Shipped separately <sup>6</sup><br>BBW Back-mounting bracket<br>ELCW Emergency battery backup (includes external components/controls, non-ULC compliant) |
| Shipped installed<br>SP Single size (170, 277 or 347V) <sup>13</sup><br>DF Double face (208, 240 or 480V) <sup>13</sup><br>HS House-side shield <sup>14</sup><br>SPD Separate surge protection | Shipped separately <sup>6</sup><br>BBW Back-mounting bracket<br>ELCW Emergency battery backup (includes external components/controls, non-ULC compliant) | DSXO Dark bronze<br>DSXW1 White<br>DSXW2 Natural aluminum<br>DSXW3 Textured dark bronze<br>DSXW4 Textured black<br>DSXW5 Textured natural aluminum<br>DSXW6 Textured white<br>DSXW7 External glass sheet <sup>12</sup> | DSXO LED Rev. 03/27/18 Page 1 of 7   |  |  |  |

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**G&W ENGINEERING**  
 138 WILSON PARKWAY  
 ST. LOUIS, MO 63043  
 PROJECT NUMBER: 2018-027400  
 WWW.GANDWENGINEERING.COM  
 MISSOURI STATE CREDENTIAL AUTHORITY # 20080897

SITE PLAN PHOTOMETRIC CALCULATIONS FOR:  
 15320 CONWAY ROAD  
 CHESTERFIELD, MO 63017

SEAL  
 STATE OF MISSOURI  
 PROFESSIONAL ENGINEER  
 NUMBER PE-23628  
 11-12-2018

REVISIONS  
 CITY COMMENTS 8.29.2018  
 CITY COMMENTS 11.12.2018  
 JOB NO: 2018-0379.00  
 DRAWN BY: D.J.W./M.P.W.  
 CHECKED BY: K.S.G.  
 DATE: 07-16-2018  
 SHEET NO.

RECEIVED  
 NOV 19 2018  
 City of Chesterfield  
 Department of Public Works

**E1.0**  
 SITE PLAN - PHOTOMETRIC

## **Architects Statement of Design**

### **Building Design Summary**

Our building site has the following exposures:

To the South is Interstate 64

To the West is an existing, vacant residential property that is for sale.

To the Northwest is a Marriott Residence Inn.

To the Northeast is a restaurant.

To the East is vacant property.

### **Scale**

Our project is oriented on the South side of the property facing the Interstate. We are not directly adjacent to the buildings on properties to the north. The residential property to the West is for sale and will most likely be developed as commercial. There is no development to the East. The scale and orientation of our project is consistent and compatible with other development in the area.

### **Human Scale**

We have canopies of various depths on the perimeter of the building. The canopies are modified at the entrances for better pedestrian protection and cover.

### **Generic Scale**

There are no directly adjacent or predominant buildings for us to adjust our rhythm or height.

### **Design**

All building facades relate to one another. There is no untreated "back of the building" different from other elevations. Variations in building materials, parapet height and massing, mitigate repetitive elements.

No corporate or franchise designs are part of our project.

Parapet height variation, canopy detailing and window-wall height variations add architectural detailing at the street level.

Insulated, tinted glass and protective shade canopies enhance energy efficiencies.

Use of Nichiha panels and metal panels minimize wasted materials and are responsibly manufactured.

Variation in building footprint along with canopy variations help provide protection and visual interest to the front facade.

We have no temporary barriers planned.

Rooftop unit screening is achieved with a parapet wall extension that is integral to the building facade. No separate screens are utilized.

### **Materials & Colors**

As illustrated on the elevations, the color palette is a warm beige concrete panel with a gray accent concrete panel, contrasted with clear anodized aluminum panel wraps with rod supported, clear anodized aluminum canopies. The colors are compatible with one another and echo the color palette used directly to the North on



the Marriott Residence Inn. Colors are integral throughout the materials and are not simply applied.

**Landscape Design & Screening**

Landscaping within the development is consistent and is incorporated throughout the site design.

Landscaping has been incorporated to enhance the building entry's and surrounding areas.

Landscaping has been incorporated into the parking islands, consistent with the remainder of the site.

Retaining walls will be integrally colored concrete segmental walls. There are no screen walls other than the trash enclosure which will be constructed using the Nichiha concrete panel "B" to match the building.

**Signage**

Final signage is to be determined, however the building facade has been carefully planned with areas for wall signage consistent with the UDC.

**Lighting**

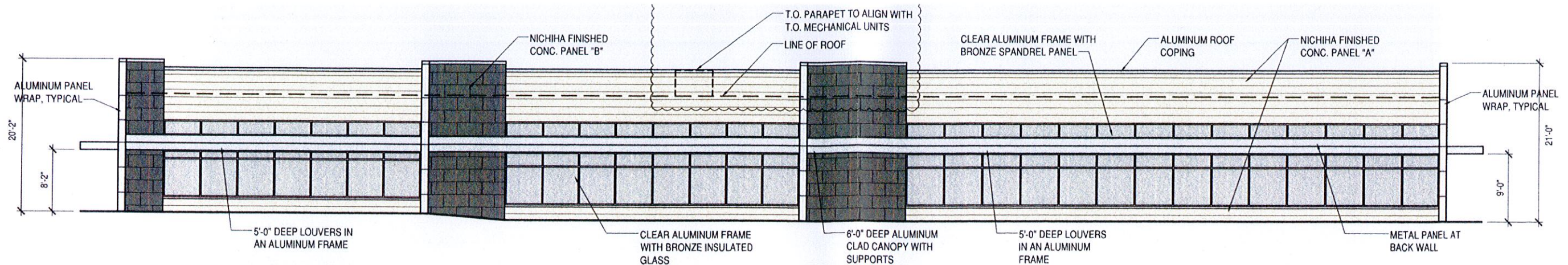
Lighting as shown on the Lighting Plan is consistent with UDC requirements.

**Specific requirements for Chesterfield Valley**

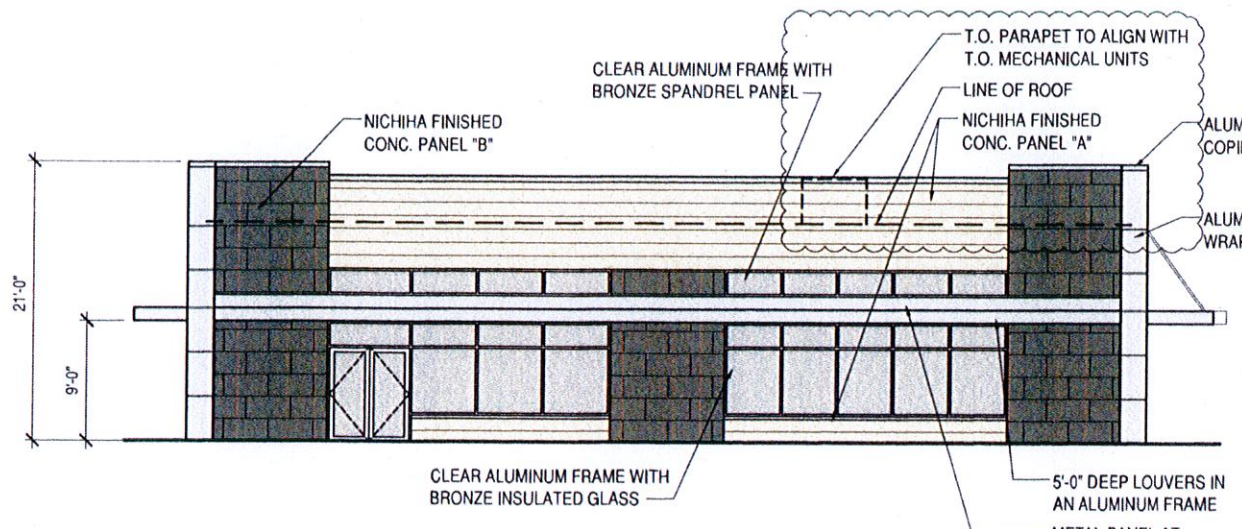
We are not located in the Valley area.

Respectfully,

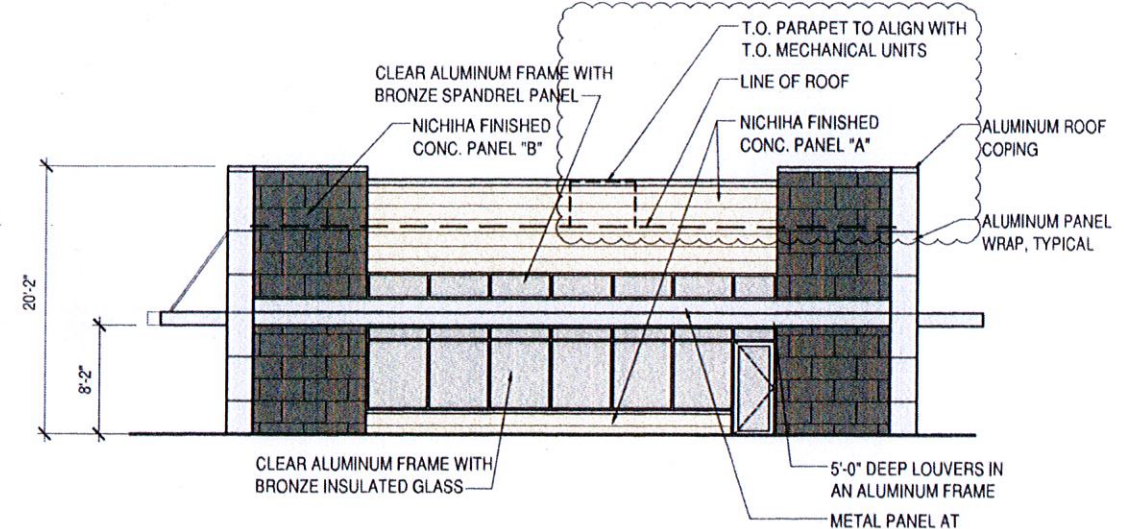
Michael Bauer



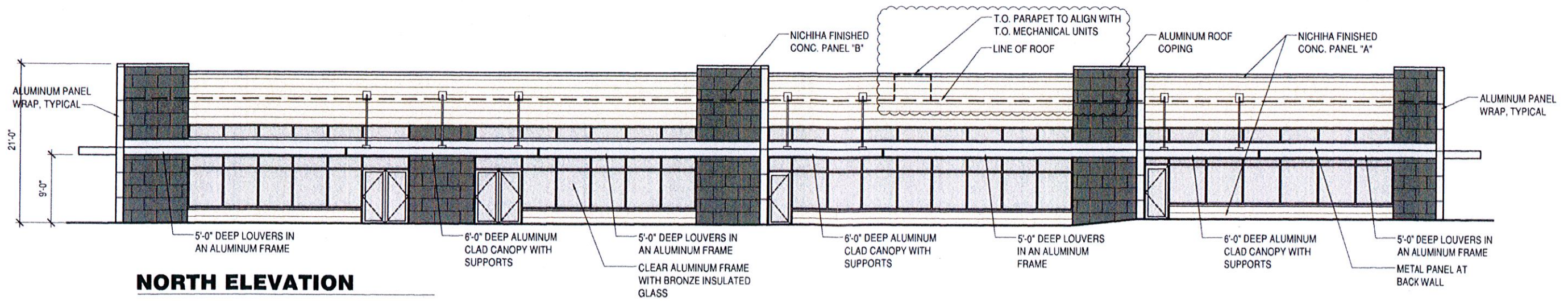
**SOUTH ELEVATION**



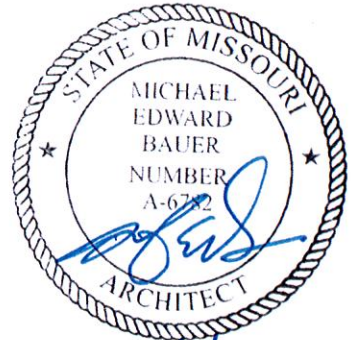
**EAST ELEVATION**



**WEST ELEVATION**



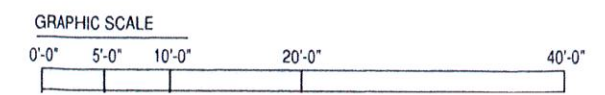
**NORTH ELEVATION**



2/7/19



**PROPOSED OFFICE BUILDING  
15320 CONWAY ROAD**



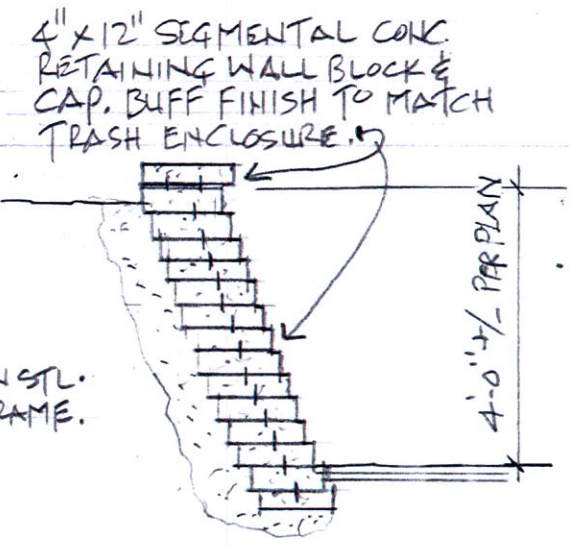
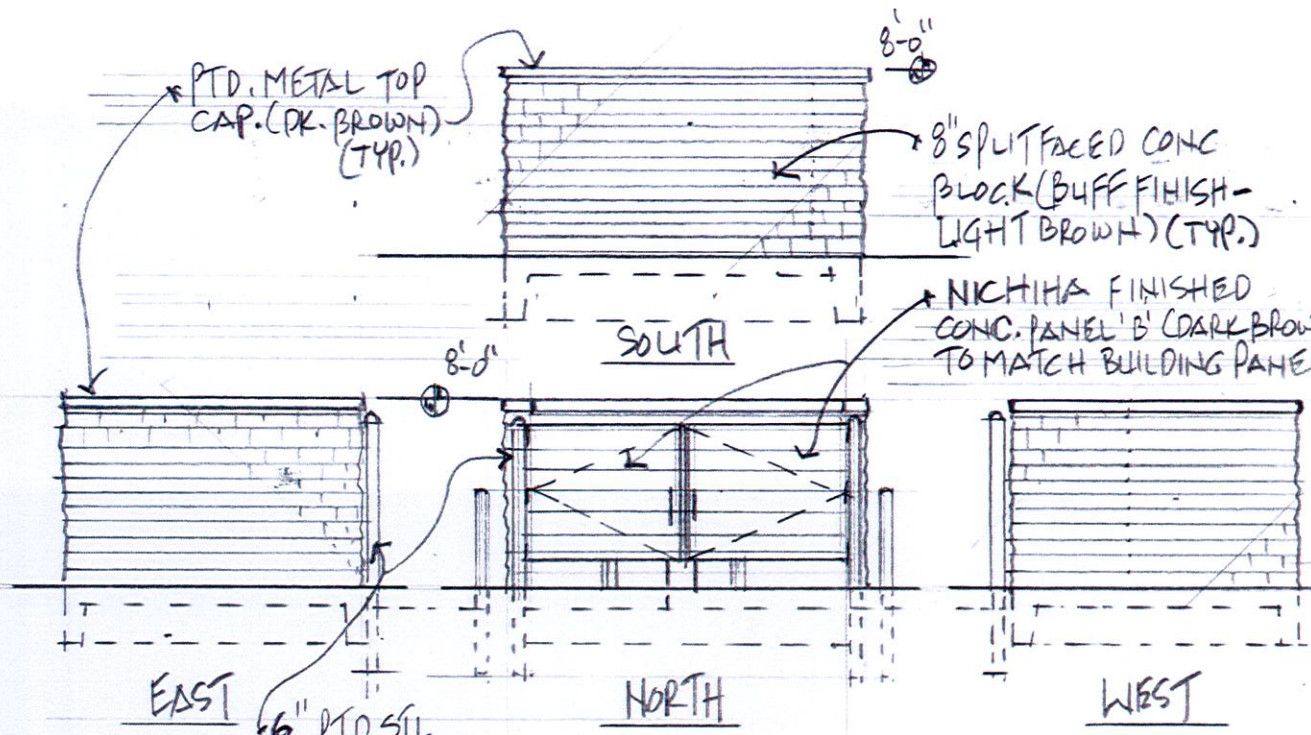
RECEIVED  
FEB 25 2019  
City of Chesterfield  
Department of Public Services



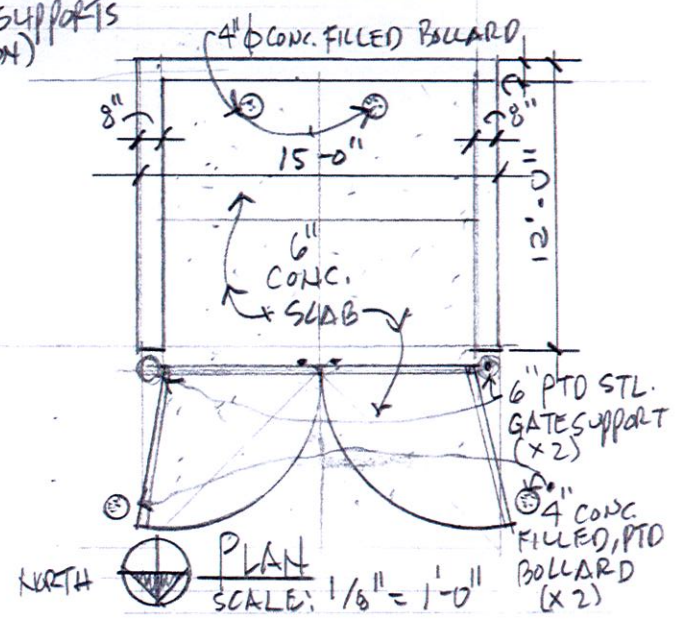
**PROPOSED OFFICE BUILDING  
15320 CONWAY ROAD**

STATE OF MISSOURI  
MICHAEL  
EDWARD  
BAUER  
NUMBER  
A-6782  
ARCHITECT

1/7/19



RETAINING WALL DETAIL  
SCALE: 3/8" = 1'-0"



TRASH ENCLOSURE & RETAINING WALL DETAIL FOR:  
15320 CONWAY ROAD - OFFICE BUILDING  
CHESTERFIELD, MO

MICHAEL E. BAUER - ARCHITECTURE  
12412 POWERS COURT - SUITE 285  
ST. LOUIS, MO 63131 314-494-8595

SHEET 1 OF 10  
1/22/19