

# Memorandum

## Department of Planning



**To:** Planning and Public Works Committee

**From:** Shilpi Bharti, Planner

**Date:** August 24, 2023

**RE:** **Chesterfield Commons Six, Lot 3 (ASDSP):** A Third Amended Site Development Section Plan, Amended Landscape Plan, Lighting Plan and Amended Architectural Elevations for a 1.28 acre tract of land zoned “C-8” Planned Commercial District located on the north side of Chesterfield Airport Road and west of Boone’s Crossing.

### **Summary**

CPH, LLC has submitted an Amended Site Development Section Plan, Amended Landscape Plan, Lighting Plan, and Amended Architectural Elevations for an existing fast-food restaurant Chick-fil-A located at 17365 Chesterfield Airport Road.

Proposed Development includes:

- Expanding the drive-thru lane on the west
- Removing 14 parking spaces
- Parking reduction request for 45%
- Relocating existing order canopy to west
- New canopy proposed on the east
- Amended Landscape Plan
- Lighting Plan



Figure 1: Subject Site Aerial

The petition was reviewed by the Planning Commission on August 14, 2023. At that time, the Commission recommended approval of the request as submitted by a vote of 4-2, along with a recommendation of Power of Review by City Council. The City Council has called for Power of Review under Section 405.02.200 of the City Code.

Attachments: August 14, 2023 Planning Commission Staff Report  
 Amended Site Development Section Plan  
 Landscape Plan  
 Lighting Plan

## Planning Commission Staff Report

**Project type:** Amended Site Development Section Plan

**Meeting Date:** August 14, 2023

**From:** Shilpi Bharti, Planner *SB*

**Location:** 17365 Chesterfield Airport Road.

**Description:** **Chesterfield Commons Six, Lot 3 (ASDSP):** A Third Amended Site Development Section Plan, Amended Landscape Plan, Lighting Plan and Amended Architectural Elevations for a 1.28 acre tract of land zoned “C-8” Planned Commercial District located on the north side of Chesterfield Airport Road and west of Boone’s Crossing.

### PROPOSAL SUMMARY

CPH, LLC has submitted an Amended Site Development Section Plan, Amended Landscape Plan, Lighting Plan, and Amended Architectural Elevations for an existing fast-food restaurant Chick-fil-A located at 17365 Chesterfield Airport Road.

Proposed Development includes:

- Expanding of Drive-thru Lane
- Removing 14 parking spaces
- Parking reduction request
- Relocating existing order canopy
- New canopy proposed on the east
- Amended Landscape Plan
- Lighting Plan



Figure 1: Subject Location

### HISTORY OF SUBJECT SITE

The subject site is in the Chesterfield Commons Six subdivision. The subdivision is a 19.1-acre tract of land located north of Chesterfield Airport Road. The site was rezoned from “NU- Non-Urban District” to “C-8” Planned Commercial District” by St. Louis County in 1988 following the Ordinance 13,933. In 2004, the Ordinance was amended to allow drive-through restaurants on the outparcels along Chesterfield

Airport Road and an increase in the height of the light standards following the ordinance 2096. A Site Development Section Plan for Lot 3 was approved in 2006. A small amendment was submitted to the City which was approved in 2007 to make minor changes to the drive-thru lanes. In 2013, Amended Site Development Section Plan was approved to allow a 477 square foot addition, removal of outdoor seating area and addition of a dual drive-thru lane. An 8% of parking reduction was also approved with the second Amended Site Development Section Plan.

## **SURROUNDING LAND USE AND ZONING**

The subject site is zoned C8 - Planned Commercial. Property on north is zoned PI-Planned Industrial. Properties on west and south are zoned PC-Planned Commercial. Property east of the subject site is zoned C8 -Planned Commercial.

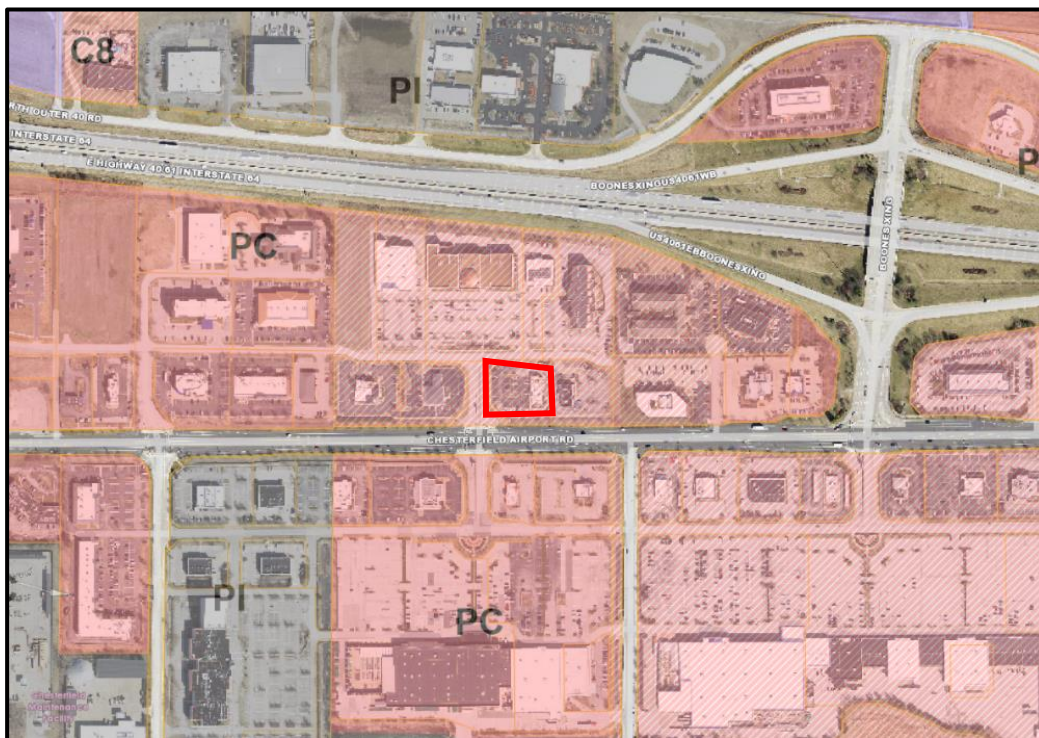


Figure 2: Zoning Map

## **STAFF ANALYSIS**

The existing site experiences undesirable congestion issues. Currently, the drive-thru customers for Chick-fil-A extends beyond the property line queueing onto Arnage Rd. (private street). In order to accommodate all the drive-thru customers inside the site and prevent conflicts between the drive-thru customers and customers seeking to park in the lot, the restaurant is expanding their existing two-lane drive-thru lane and eliminating 14 of the existing parking spaces from the site plan. The existing menu board and canopy on the south are proposed to be relocated to the east of the property.



Figure 3: Aerial of Site

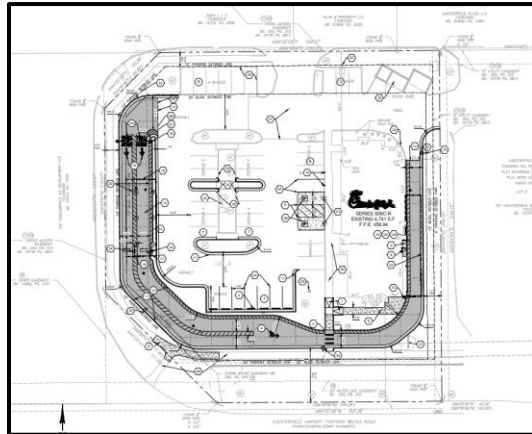


Figure 4: Amended Site Plan

**Elevations**

Applicant is amending the East Elevation to include a new canopy to service the drive thru. The existing canopy and menu board along Chesterfield Airport Road are proposed to be relocated to west side of the subject site.

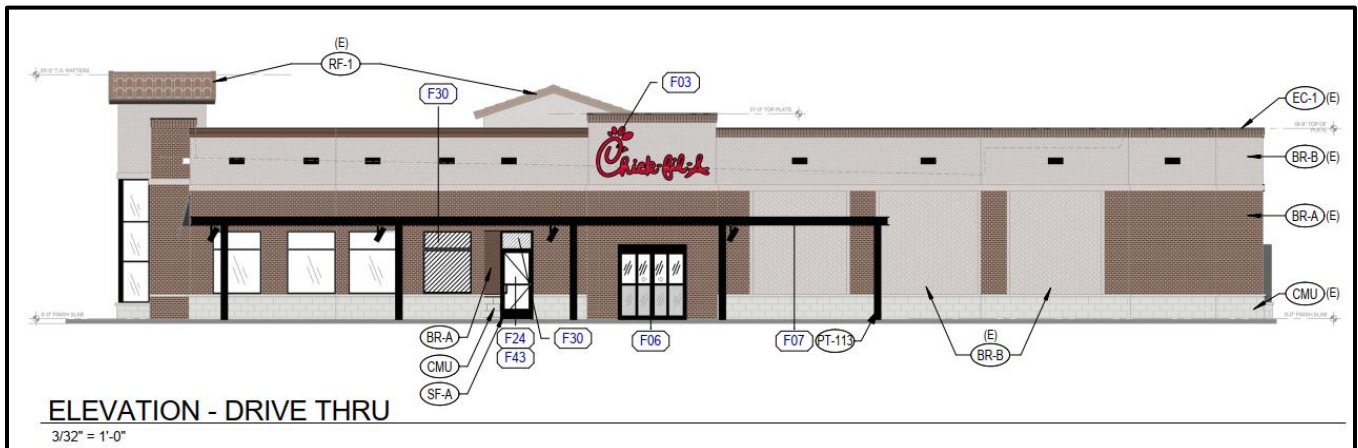


Figure 5: East side Elevation

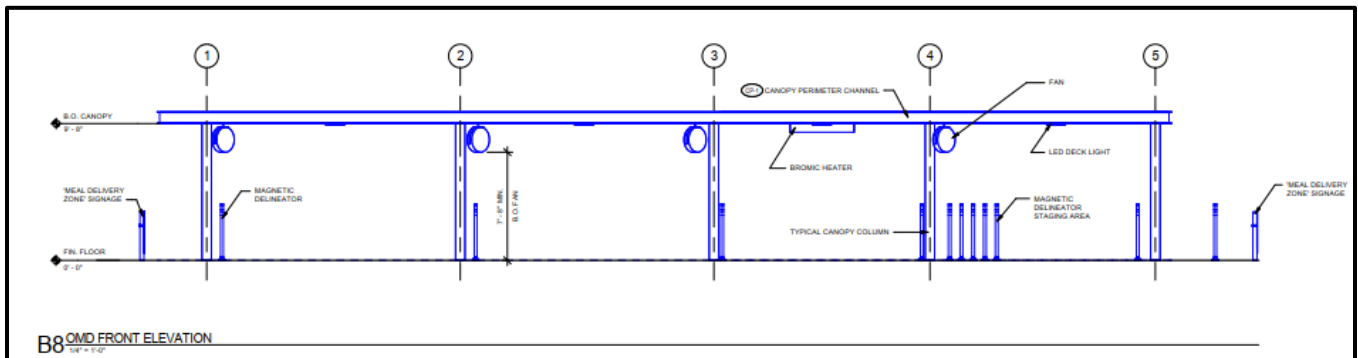


Figure 6: Canopy on west side

## Parking

As per City of Chesterfield Unified Development Code, minimum parking requirement for fast food restaurant is 15/1000 GFA. The minimum parking required for the existing 4,741 sq. ft. Chick-fil-A restaurant is 71 parking spaces. The site has previously been approved for a parking reduction. As the proposal further reduces parking on the site, an additional parking reduction is required. Parking reductions in excess of 20% require Planning Commission approval.

There is a shared parking agreement between Amini's and Outparcels 1, 2, 3 and 4. As per parking agreement, the outlots are permitted to utilize 21 shared parking spaces within the southern portion of the Amini's parking area. It should be noted that while Chick-fil-A (or any of the other outlots) has rights to share this parking, the parking cannot be used to satisfy the minimum parking requirements as they are not restricted as required by the UDC for that purpose. As a result, the proposal results in a 45% parking reduction being requested. The changes to the site will positively impact conflicts within the site and allows for better utilization of the parking spaces that will remain as there will be adequate room for drive thru queueing and entering/existing parking spaces. The attached parking reduction request notes that the, "dual drive-thru has been shown on average to decrease the number of dine in customers by 13%, decrease the number of carry out customers by 7%, and increase the number of drive-thru customers by 20%." While generally supportive of increasing the efficiency of the site, Staff would note concerns with further increasing volume to the drive-thru will further the congestion issues on Arnage Rd. and negatively impact adjacent properties.

In reviewing the parking demand study for the parking reduction, the UDC includes the following design features and review criteria.

- 1) The parking demand study provides sufficient number and types of spaces to serve the uses identified on the site.
- 2) Adequate provisions are made for the safety of all parking facility users, including motorists, bicyclists and pedestrians.
- 3) Sites are designed to minimize or alleviate traffic problems.
- 4) Parking spaces are located near the uses they are intended to serve and shall provide safe and convenient access for pedestrian access to the facility.
- 5) Adequate on-site parking is provided during each phase of development of the district.
- 6) The development provides opportunities for shared parking or for other reductions in trip generation through the adoption of transportation demand management (TDM) techniques to reduce trip generation, such as car pools, van pools, bicycles, employer transit subsidies, compressed work hours, and high-occupancy vehicle (HOV) parking preference.
- 7) Reductions in the number of parking spaces should be related to significant factors such as, but not limited to:
  - a) Shared parking opportunities;
  - b) Hours of operation;
  - c) The availability and incorporation of transit services and facilities;
  - d) Opportunities for reduced trip generation through pedestrian circulation between mixed uses;
  - e) Off-site traffic mitigation measures;

- f) Recognized variations in standards due to the scale of the facilities;
- g) Parking demand for a specified use; and
- h) The provisions of accessible parking spaces beyond those required per the UDC.

In particular, Staff would note concerns with satisfying requirement 3. to alleviate traffic congestion.

### Lighting

The site is updating the lighting fixture on existing light poles and proposing three new light poles on east, west and south. Applicant is also proposing a canopy light with maximum of 33.7fc. As per City of Chesterfield Unified development code, canopies light shall be adequate to facilitate the activities taking place as well as to provide a safe, secure environment.

### Landscaping

The Amended Landscape plan replace/relocate Six (6) existing trees, and include groundcovers and shrubs.

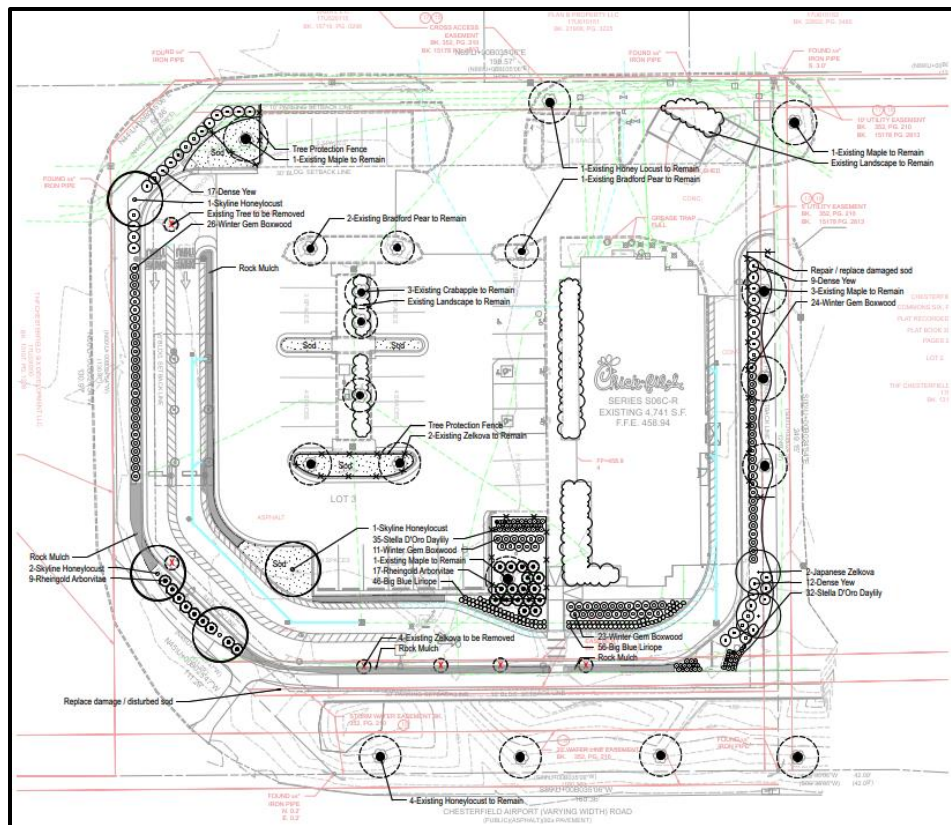


Figure 7: Proposed Landscaping

### DEPARTMENTAL INPUT

Staff has reviewed this proposed development and found it to be in compliance with the City's Unified Development Code and site-specific ordinances, with the exception of the minimum parking requirement.

All outstanding comments have been addressed at this time. Staff recommends Planning Commission to take action on the Amended Site Development Plan, Parking reduction request, Amended Landscape Plan, and Lighting Plan.

**MOTION**

The following options are provided to the Planning Commission for consideration relative to this application:

- 1) "I move to approve (or deny) the Amended Site Development Section Plan, Amended Landscape Plan, Lighting Plan, Parking reduction, and Amended Architectural Elevations for Chesterfield Commons Six, Lot 3 as presented."
- 2) "I move to approve the Amended Site Development Section Plan, Amended Landscape Plan, Lighting Plan, Parking reduction, and Amended Architectural Elevations for Chesterfield Commons Six, Lot 3 with the following conditions..." (Conditions may be added, eliminated, altered or modified)

Attachments: Amended Site Development Section Plan Packet  
Parking Reduction Request



500 West Fulton Street  
Sanford, FL 32771  
Phone: 407.322.6841  
Fax: 407.330.0639

July 14<sup>th</sup>, 2023

Parking Study For:

Chick-Fil-A; Store #1976  
17365 Chesterfield Airport Road  
Chesterfield, MO 63005-1414

Chick-fil-A is planning to remodel the interior of their existing restaurant located at 17365 Chesterfield Airport Road in the City of Chesterfield. In conjunction with interior remodeling, Chick-fil-A plans to reconfigure the parking lot and drive aisle areas to significantly lengthen the second drive-thru lane as well as relocate the drive thru lane order point canopy in order to relieve traffic congestion during peak demand. As the site exists currently, the drive-thru layout does not adequately handle the current drive-thru customer volume, due to a short dual lane drive-thru configuration. The drive-thru lane currently backs up into the parking lot which negatively impacts both the drive-thru and dine in customers as parking spots are not accessible without waiting in line.

The proposed drive-thru improvements will have a positive impact on the site by allowing additional vehicle queuing, by increasing the speed at which customers can place their orders, and by reducing the percentage of carry out and dine in customers. The change will keep drive-thru traffic from backing up into the parking lot and increase the overall efficiency of drive-thru operations.

The proposed drive thru improvements require that the existing parking lot be reconfigured and will reduce available onsite parking from 53 to 39. Chick-fil-A has a cross parking agreement with the neighboring Amini's site which allows for the use of 21 parking spaces. The City of Chesterfield recognizes the use of twenty (21) of these spaces to satisfy the Chick-fil-A parking count. Therefore, with the additional offsite parking that the City recognizes, the proposed improvements will result in a total available parking count of 60 spaces to offer its customers for use at their restaurant.

Per Section 405.04.040 of the current City of Chesterfield Ordinance, parking spaces are to be provided at 15 spaces per 1,000 square feet of building area for the "Restaurant, fast-food" category. The existing building area is 4,741 square feet, and will stay the same after the proposed site improvements. Based on the current parking code, the building square footage will require Chick-fil-A to provide 71 parking spaces, which is eleven (11) more than what is proposed. Please see the proposed Site Development Plan under submission for detailed site layout information.

In previous phases of this sites development, the City of Chesterfield approved an 8% reduction of parking requirements due to the positive impacts of the Mulit-Lane Order Point (MLOP). Since a MLOP is still proposed at this time, Chick-fil-A would like to request an additional reduction for a total reduction of 15.5%. This would equate to a reduction of eleven (11) parking spaces, considering the required 71 parking spaces. In addition, based on typical store averages provided by Chick-fil-A, expanding an existing





dual lane drive-thru has been shown on average to decrease the number of dine in customers by 13%, decrease the number of carry out customers by 7%, and increase the number of drive-thru customers by 20%. The overall reduction of 20% of the number of customers that need to occupy parking spaces, which results in a decreased parking demand. Since Chick-fil-A is required by the City code of Ordinance to provide 71 parking spaces and since previous sites have shown a reduced parking demand of up to 20%. This parking analysis reflects a required parking count of 60 spaces, which is eleven (11) less than the City code typically requires with the proposed configuration. Please see the tables below which summarizes the Cities parking requirements, provided parking, and typical changes in drive-thru usage for Chick-fil-A sites that have significantly increased the length of an existing dual lane drive-thru.

<b>City of Chesterfield Parking Requirements</b>				
Use	Requirement	Units	Required	Rounded
Restaurant, Fast Food	15 spaces per 1,000 sq ft	4.741	71.1	71
	15.5% Parking Reduction		=	-11
				<b>60</b>

<b>Chick-fil-A Parking Summary</b>				
<b>Existing Site</b>	Building Sq Ft	Onsite Parking	Offsite Parking	Total Parking
	4,741	53	21	<b>74</b>
<b>Proposed Site</b>	Building Sq Ft	Onsite Parking	Offsite Parking	Total Parking
	4,741	39	21	<b>60</b>

<b>Summary of Expanded Dual-Lane Drive-Thru Impacts</b>			
<b>Before</b>	Percentage of customers who use the Drive-Thru	Percentage of customers who use Carry Out	Percentage of customers who use Dine-In
	55%	22%	23%
<b>After</b>	Percentage of customers using the Drive-Thru	Percentage of customers using Carry Out	Percentage of customers using Dine-In
	75%	15%	10%

Based on the data provided, Chick-fil-A feels that the site provides adequate parking as proposed and respectfully requests approval of the noted (15.5%) parking reduction.

Sincerely,

Jason Toole, P.E.

CONSTRUCTION PLANS FOR



Chick-fil-A  
5200 Buffington Road  
Atlanta, Georgia  
30349-2998

17365 CHESTERFIELD AIRPORT ROAD, CHESTERFIELD, ST. LOUIS COUNTY, MO, 63005

STORE # 01976

SECTION 125 - TOWNSHIP 45 NORTH- RANGE 4 EAST

PARCEL ID: 17U330189



www.cphcorp.com  
Building Better Communities Together

1031-C W. 23rd Street  
Panama City, FL 32405  
Ph: 850.563.1490

Plans Prepared By:  
CPH, LLC  
A Full Service A & E Firm

JASON L. TOOLE, P.E.  
202309223

This item has been digitally signed and sealed by Jason L. Toole, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

CONSULTANTS

**OWNER**  
CHICK-FIL-A, INC.  
5200 BUFFINGTON ROAD  
ATLANTA, GEORGIA 30349  
ATTN.: MICAH DOWDY  
(678) 764-6637  
micah.dowdy@cfacorp.com

**ENGINEER**  
CPH, LLC.  
1031-C WEST 23RD STREET  
PANAMA CITY, FLORIDA 32405  
ATTN.: JASON L. TOOLE, P.E.  
(850) 563-1490  
jtoole@cphcorp.com

**SURVEYOR**  
SHERRILL ASSOCIATES INC.  
316 MAIN STREET, EDWARDSVILLE,  
IL. 62025  
ATTN.: DAVID J. SHERRILL  
(618) 656-9251

**ARCHITECT**  
CPH, LLC.  
500 WEST FULTON STREET  
SANFORD, FLORIDA 32771  
ATTN.: BROOK K. SHERRARD,  
AIA, NCARB, LEED AP  
(407) 322-6841  
bsherrard@cphcorp.com

**LANDSCAPE ARCHITECT**  
MANLEY LAND DESIGN  
51 OLD CANTON ST.  
ALPHARETTA, GA 30009  
ATTN.: AARON NEITZKE, RLA,  
(770) 442-8171 EXT 102

UTILITY PROVIDERS

**ELECTRIC**  
AMEREN CORPORATION  
PO BOX 66149 ST. LOUIS, MO 63166  
(314) 342-1111  
myhomeamerenmissouri@ameren.com

**TELEPHONE/CABLE/FIBER**  
SOUTHWESTERN BELL TELEPHONE  
COMPANY  
12851 MANCHESTER ROAD SUITE 1E  
ST. LOUIS, MO 63131  
(314) 505-0843

**WATER & SEWER**  
MISSOURI-AMERICAN WATER COMPANY  
727 CRAIG ROAD  
ST. LOUIS, MO 63141  
ATTN.: DELLA STRODER  
(866) 430-0820  
della.stroder@amwater.com

**STORM DRAINAGE**  
CITY OF CHESTERFIELD PUBLIC WORKS  
690 CHESTERFIELD PARKWAY W  
CHESTERFIELD, MO 63017  
ATTN.: JIM ECKRICH  
(636) 537-4764  
jeckrich@chesterfield.mo.us

APPROVAL AGENCIES

**CITY OF CHESTERFIELD**  
PLANNING AND ZONING  
CITY OF CHESTERFIELD  
690 CHESTERFIELD PARKWAY W  
CHESTERFIELD, MO 63017  
ATTN.: CHRISTINE DOROUGH  
(636) 537-4741  
cdorough@chesterfield.mo.us

**BUILDING DEPARTMENT**  
CITY OF CHESTERFIELD  
690 CHESTERFIELD PARKWAY W  
CHESTERFIELD, MO 63017  
ATTN.: JUSTIN WYSE  
(636) 537-4000  
pdsdirector@chesterfield.mo.us

**HEALTH DEPARTMENT**  
ST. LOUIS COUNTY DEPARTMENT OF PUBLIC HEALTH  
6121 N. HANLEY ROAD  
ATTN.: MS. CATHERINE  
(314) 615-0894  
mredecker@stlouiscountymo.gov

INDEX OF SHEETS

C-1.0 COVER SHEET  
SHEET-1 OF 1 ALTA/NSPS LAND TITLE SURVEY  
C-2.0 SITE PLAN  
C-2.1 PARKING EASEMENT EXHIBIT  
ES-1.0 SITE LIGHTING PHOTOMETRIC PLAN  
ES-2.0 SITE LIGHTING CUT SHEETS  
L-100 LANDSCAPE PLAN

City of Chesterfield  
DEPARTMENT OF PLANNING  
SCRIPT FOR A SITE DEVELOPMENT PLAN

See attached Legal Description

Rev. 02/2020

MAPS

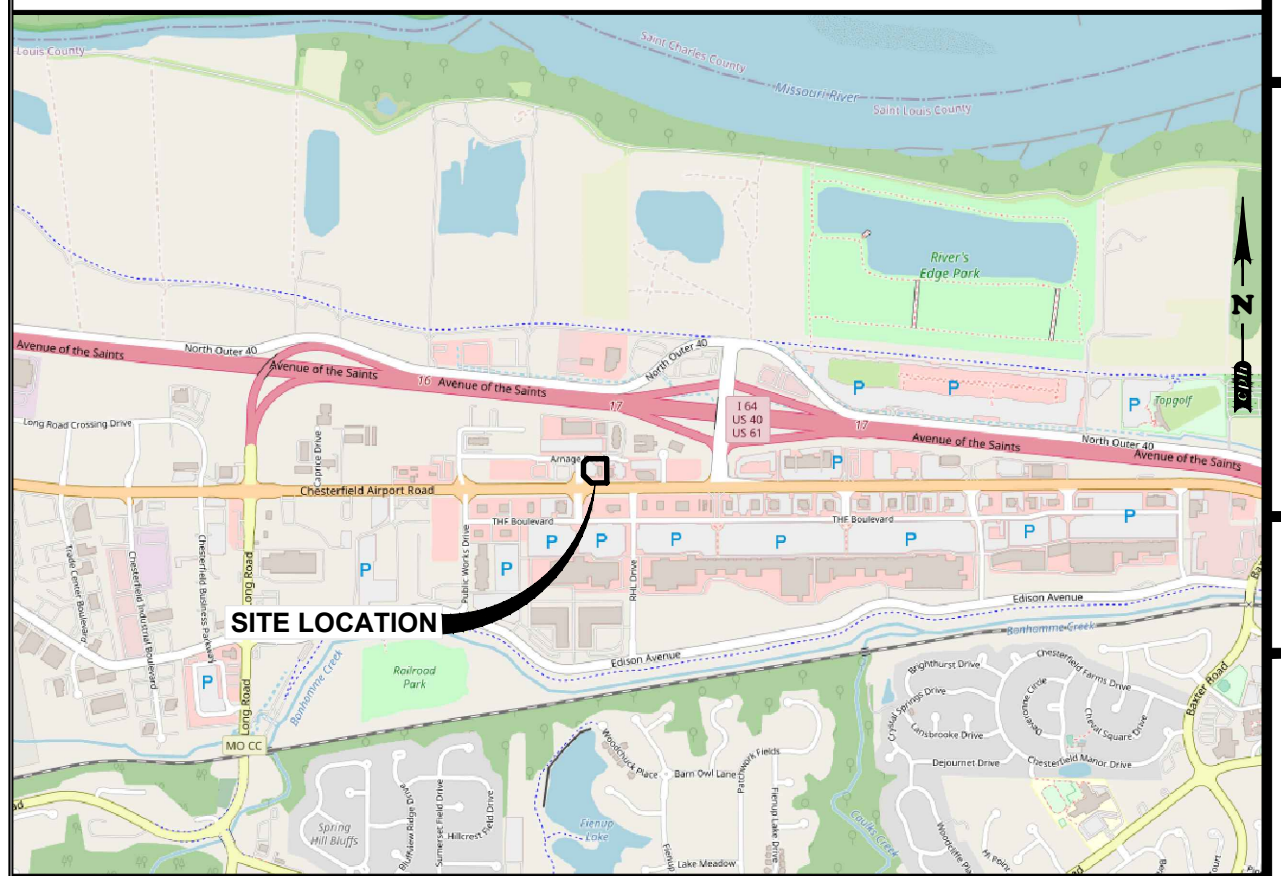
(AND INCLUDE THIS SECTION)

This Site Development Plan was approved by the City of Chesterfield Planning Commission and duly verified on the \_\_\_ day of \_\_\_\_\_, 20\_\_\_, by the Chairperson of said Commission, authorizing the recording of this Site Development Plan pursuant to Chesterfield Ordinance Number 200, as attested to by the Director of Planning and the City Clerk.

Julia Wyse, ACP  
Director of Planning  
City of Chesterfield, Missouri

Vickie McGowan, City Clerk  
City of Chesterfield, Missouri

Rev. 02/2020



VICINITY MAP  
SCALE: 1" = 3,000'



LOCATION MAP  
SCALE: 1" = 500'

(AND EITHER INCLUDE THIS SECTION FOR A CORPORATION)

State of Missouri ) SS.  
County of St. Louis )

On this 13th day of June, A.D., 2023, before me personally appeared Robert J. Jakubek, to me known, who, being by me sworn, did say that he/she is the Manager of Chesterfield Six Development, L.L.C., a corporation in the State of Missouri, and that the seal affixed to the foregoing instrument is the corporate seal of said corporation, and that said instrument was signed on behalf of said corporation by authority of its Board of Directors and the said Robert J. Jakubek, (Office of Corporation) acknowledged said instrument to be the free act and deed of said corporation.

In Testimony Whereof, I have hereunto set my hand and affixed my Notarial Seal at my Office in St. Louis County, Missouri, the day and year last above written.

My term expires 11/07/2026

Rev. 02/2020

(AND INCLUDE THIS SECTION FOR AN INDIVIDUAL)

State of \_\_\_\_\_ ) SS.  
County of \_\_\_\_\_ )

On this \_\_\_ day of \_\_\_\_\_, A.D., 20\_\_\_, before me personally appeared \_\_\_\_\_ and \_\_\_\_\_, his wife, to me known (Individuals) (Wife) to be the party(ies) described in, and who executed the foregoing instrument, and acknowledged that he, she or they executed the same as his, her, or their free act and deed.

In Testimony Whereof, I have hereunto set my hand and affixed my Notarial Seal at my Office in \_\_\_\_\_, the day and year last above written.

My term expires \_\_\_\_\_

Rev. 02/2020

CHICK-FIL-A  
CHESTERFIELD  
17365 CHESTERFIELD  
AIRPORT ROAD  
CHESTERFIELD, MO 63005

FSR#01976

BUILDING TYPE / SIZE: S06C-R  
RELEASE: vX.YY.MM

REVISION SCHEDULE

NO.	DATE	DESCRIPTION
1		
2		
3		

CONSULTANT PROJECT # C291126  
PRINTED FOR Permit  
DATE 3/29/2023  
DRAWN BY CPH, LLC

Information contained on this drawing and in all digital files produced for above named project may not be reproduced in any manner without express written or verbal consent from authorized project representatives.

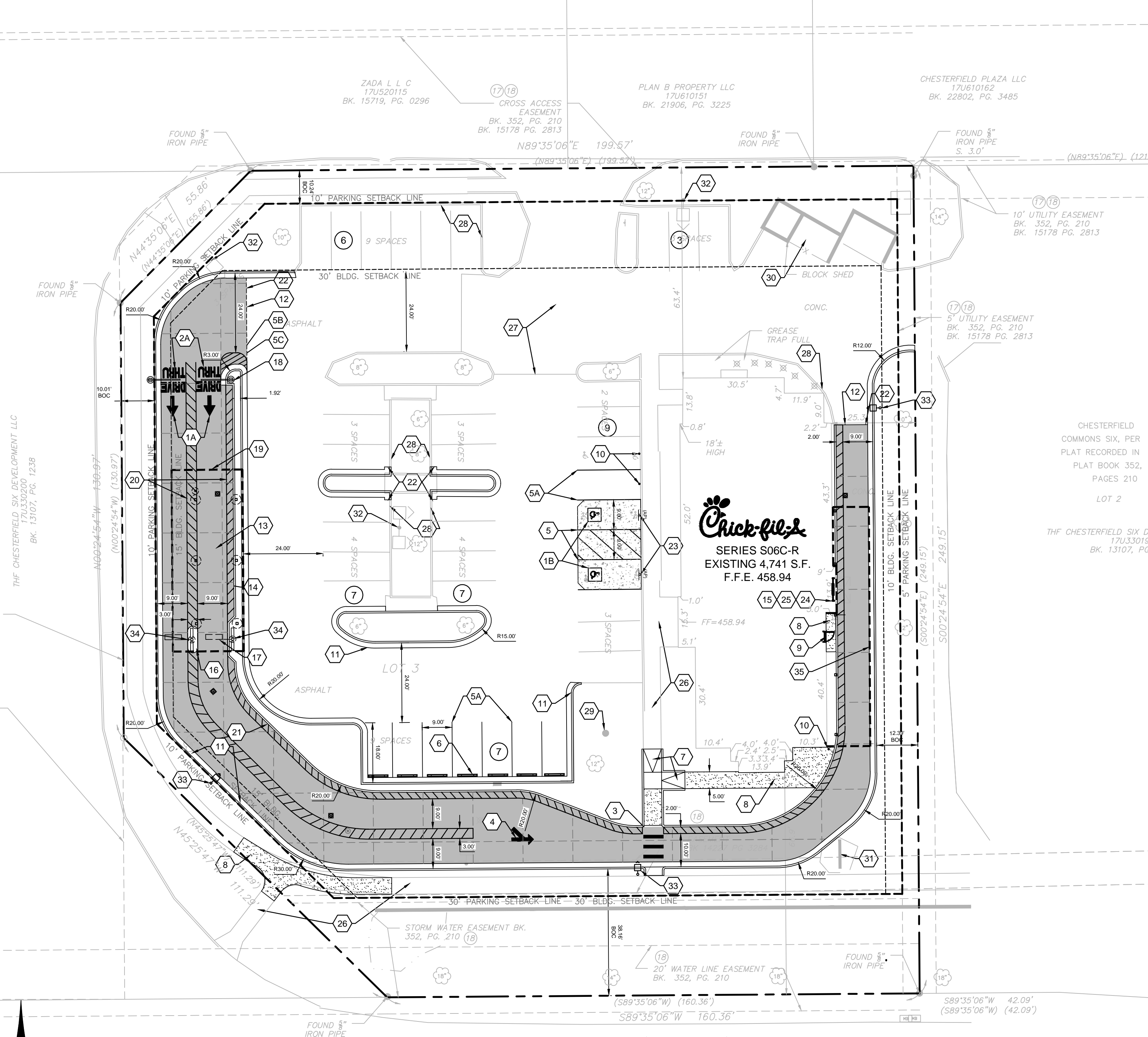
SHEET COVER SHEET

SHEET NUMBER

C-1.0

**DISTURBED AREA**

NEW PAVEMENT AREA	1,613 S.F.
REPLACEMENT OF EXISTING PAVEMENT	7,128 S.F.
TOTAL DISTURBED AREA	8,741 S.F.



**DESIGN NOTES & KEY PLAN**

- 1A PROPOSED DIRECTIONAL ARROW
- 1B PROPOSED PAINTED HANDICAP PARKING SYMBOL
- 2A PROPOSED DRIVE-THRU GRAPHICS
- 3 PROPOSED CROSSWALK MARKINGS
- 4 PROPOSED MULTI-LANE DIRECTIONAL GRAPHICS
- 5 PROPOSED STANDARD OR HANDICAP PARKING STALL PER CODE
- 6A PROPOSED 4" SOLID WHITE STRIPING
- 6B PROPOSED 4" SOLID YELLOW STRIPING
- 6C PROPOSED DIAGONAL STRIPING, SINGLE YELLOW SOLID LINE / 4" WIDE.
- 7 PROPOSED SIDEWALK ACCESSIBLE RAMP
- 8 PROPOSED CONCRETE SIDEWALK
- 9 PROPOSED ENTRY DOOR FROST SLAB DETAIL
- 10 PROPOSED CONCRETE BOLLARD
- 11 PROPOSED CONCRETE CURB & GUTTER (TYP)
- 12 PROPOSED BUTT JOINT
- 13 PROPOSED CONCRETE PAVEMENT DRIVE-THRU LANE
- 14 PROPOSED EXPANSION JOINT
- 15 PROPOSED DRIVE-THRU ISOMETRIC
- 16 PROPOSED DRIVE-THRU ORDER POINT ISLAND
- 17 PROPOSED MENU BOARD LOOP DETECTION SYSTEM
- 18 PROPOSED DRIVE-THRU CLEARANCE BAR (REFER TO SIGNAGE PACKAGE)
- 19 PROPOSED FREE-STANDING ORDER POINT CANOPY (REFER TO ARCH. PLANS)
- 20 PROPOSED CHEVRON & DIAGONAL STRIPED WALKWAY, SINGLE YELLOW SOLID LINE / 4" WIDE PER CFA SPECIFICATIONS.
- 21 PROPOSED CONCRETE INTEGRAL CURB
- 22 PROPOSED SAWCUT LIMITS. CONTRACTOR SHALL NEATLY SAWCUT. REMOVE AND MATCH EXISTING PAVEMENT & CURBING WITH SMOOTH TRANSITION.
- 23 PROPOSED BOLLARD MOUNTED SIGN
- 24 PROPOSED DRIVE-THRU PLAN - FLUSH WITH FFE
- 25 PROPOSED DRIVE-THRU DOOR. REFER TO ARCH PLAN
- 26 EXISTING CONCRETE SIDEWALK TO REMAIN
- 27 EXISTING HMAC PAVEMENT TO REMAIN
- 28 EXISTING CONCRETE CURB & GUTTER (TYP) TO REMAIN
- 29 EXISTING FLAG POLE TO REMAIN
- 30 EXISTING TRASH ENCLOSURE TO REMAIN
- 31 EXISTING PYLON SIGN TO REMAIN. SIGNAGE VENDOR TO UPDATE EXISTING PYLON SIGN TO CURRENT CFA BIR STANDARDS. PROVIDE SHOP DRAWINGS FOR REVIEW BY ARCHITECT AND CFA DESIGN PRIOR TO COMPLETING ANY FABRICATION OR WORK.
- 32 EXISTING LIGHT POLE TO REMAIN
- 33 PROPOSE LIGHT POLE AND FOUNDATION
- 34 PROPOSE MENU BOARD
- 35 PROPOSED MEAL DELIVERY CANOPY (REFER TO ARCH. PLANS)

**SIGN LEGEND**

- \*\* CONTRACTOR TO REFER TO THE SIGNAGE PACKAGE FOR PLACEMENT AND SPECIFICATIONS OF ALL SIGNS \*\*
- A HANDICAP PARKING SIGN (SEE SIGNAGE PACKAGE) R7-8; 12" X 18" (TYP.)
  - B HANDICAP PARKING FINE SIGN (SEE SIGNAGE PACKAGE) 6" X 12" (TYP.)
  - C "VAN ACCESSIBLE" SIGN (SEE SIGNAGE PACKAGE) R7-8P; 6" X 12" (TYP.)

**SITE LEGEND**

- 2 = PARKING SPACE PER ROW
- 18 = DETAIL NUMBER
- 18 = SHEET NUMBER
- 18 = LIGHT POLE

**SITE DATA**

**STATEMENT OF INTENT**

PROPOSED PROJECT IS PART OF OWNER'S EXISTING PROPERTY REINVESTMENT PROGRAM TO IMPROVE CUSTOMER SERVICE AND RESTAURANT OPERATIONS. PROPERTY IMPROVEMENTS WILL INCLUDE DUAL LANE DRIVE THRU WITH CANOPY AND ENTRANCE DRIVE RELOCATION. EXISTING PARKING LOT WILL BE ADJUSTED TO SUPPORT ELEMENTS PROPOSED.

ADDRESS: 17365 CHESTERFIELD AIRPORT ROAD  
CHESTERFIELD, MO 63095

CHICK-FIL-A SITE AREA: 1.28 AC ± (55,757 S.F. ±)

ZONING: C8: PLANNED COMMERCIAL

PARCEL ID: 17U330189

**BUILDING INFORMATION**

EXISTING & PROPOSED CONDITION:

EXISTING BUILDING AREA: 4,741 S.F.  
EXISTING FLOOR AREA RATIO: .065  
NUMBER OF STORIES: 1

**LAND COVERAGE SUMMARY**

EXISTING CONDITION:

IMPERVIOUS AREA:	39,171 S.F. 70.25%
OPEN SPACE:	16,586 S.F. 29.75%
TOTAL:	55,757 S.F. (100.00%)

PROPOSED CONDITION:

IMPERVIOUS AREA:	39,022 S.F. 69.99%
OPEN SPACE:	16,735 S.F. 30.01%
TOTAL:	55,757 S.F. (100.00%)

BUILDING SETBACKS	REQUIRED	PROVIDED
FRONT (SOUTH)	30'	66.9'
SIDE (WEST)	10'	167.44'
SIDE (EAST)	10'	25.3'
REAR (NORTH)	30'	63.4'

PARKING SETBACK	REQUIRED	PROVIDED
FRONT (SOUTH)	30'	38.16'
SIDE (WEST)	10'	10.01'
SIDE (EAST)	5'	11.39'
REAR (NORTH)	10'	10.24'

**PARKING INFORMATION**

15 SPACES /1000 SF = 4.741 SF/1000 SF X 15 = 71 SPACES  
8% REDUCTION ALLOWED = 71 SPACES - 8% = 65 SPACES  
REQUIRED AN ADDITIONAL REDUCTION.

PARKING PROVIDED	REGULAR	HANDICAP	TOTAL
REGULAR	37 SPACES		
OFF-SITE	21 SPACES		
HANDICAP		2 SPACES	
TOTAL			60 SPACES

EXISTING PARKING	REGULAR	HANDICAP	TOTAL
REGULAR	51 SPACES		
HANDICAP		2 SPACES	
TOTAL			53 SPACES

CFA HAS ACCESS TO CROSS PARKING EASEMENT TO SATISFY PARKING REQUIREMENT. 21 PARKING SPACES AVAILABLE.

**GENERAL NOTES**

- DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS SHOWN (BOC) WHICH INDICATES BACK OF CURB.
- ALL CURBED RADII ARE TO BE 10' AND 3' UNLESS OTHERWISE NOTED.
- ALL SIGNS SHALL HAVE A 70" MIN. CLEARANCE FROM FINISH GRADE TO BOTTOM OF LOWEST SIGN MOUNTED ON POST. ALL SIGNAGE INCLUDING REGULATORY SIGNAGE, SHALL MEET THE LOCAL AGENCY DESIGN GUIDELINES & MUTCD REQUIREMENTS.
- ALL SIGNS SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR.
- ALL STRIPING SHALL BE IN CONFORMANCE WITH LOCAL AGENCY REQUIREMENTS.
- ADJUST ALL MANHOLE RINGS AND CLEAN OUT COVERS TO BE FLUSH WITH FINISHED GRADE. ALL PARTS TO BE TRAFFIC BEARING (AASHTO H-20 LOADING). MANHOLE COVERS SHALL MEET THE LOCAL AGENCY STANDARD.
- TRANSITIONS TO BE FLUSH ALL ALONG THE ACCESSIBLE ROUTE. CONTRACTOR SHALL ENSURE THE MAXIMUM CONSTRUCTED LEVEL TRANSITION AT EVERY JOINT DOES NOT EXCEED THE MAXIMUM ALLOWABLE UNDER THE ADA AFTER SETTLEMENT, EXPANSION, CONTRACTION, ETC. CHANGES IN LEVEL OF 1/4" HIGH MAXIMUM SHALL BE PERMITTED TO BE VERTICAL. CHANGES IN LEVEL BETWEEN 1/4" HIGH MINIMUM AND 1/2" HIGH MAXIMUM SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2.
- ALL CONCRETE POURS SHALL BE BOUND BY EXPANSION JOINTS WHEN ABUTTING ANOTHER CONCRETE POUR / SLAB OR ASPHALT PAVEMENT, INCLUDING CURBING.
- ALL AFFECTED SIDEWALKS, RAMPS AND CROSSWALKS WILL BE BUILT AND INSPECTED TO MEET CURRENT ADA REQUIREMENTS.
- ALL EXISTING STRIPING SHALL BE RE-STRIPED TO MATCH EXISTING CONDITIONS UNLESS NOTED OTHERWISE ON PLAN.

**Chick-fil-A**  
5200 Buffington Road  
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30349-2998

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1031-C W. 23rd Street  
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Plans Prepared By:  
**CPH, LLC**  
A Full Service A & E Firm

JASON L. TOOLE, P.E.  
202309223

This item has been digitally signed and sealed by Jason L. Toole, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

**CHICK-FIL-A**  
**CHESTERFIELD**  
17365 CHESTERFIELD AIRPORT ROAD  
CHESTERFIELD, MO 63005

**FSR#01976**

BUILDING TYPE / SIZE: S06C-R  
RELEASE: vX.YY.MM

**REVISION SCHEDULE**

NO.	DATE	DESCRIPTION
1		
2		
3		

CONSULTANT PROJECT #	C291126
PRINTED FOR	Permit
DATE	3/29/2023
DRAWN BY	CPH, LLC

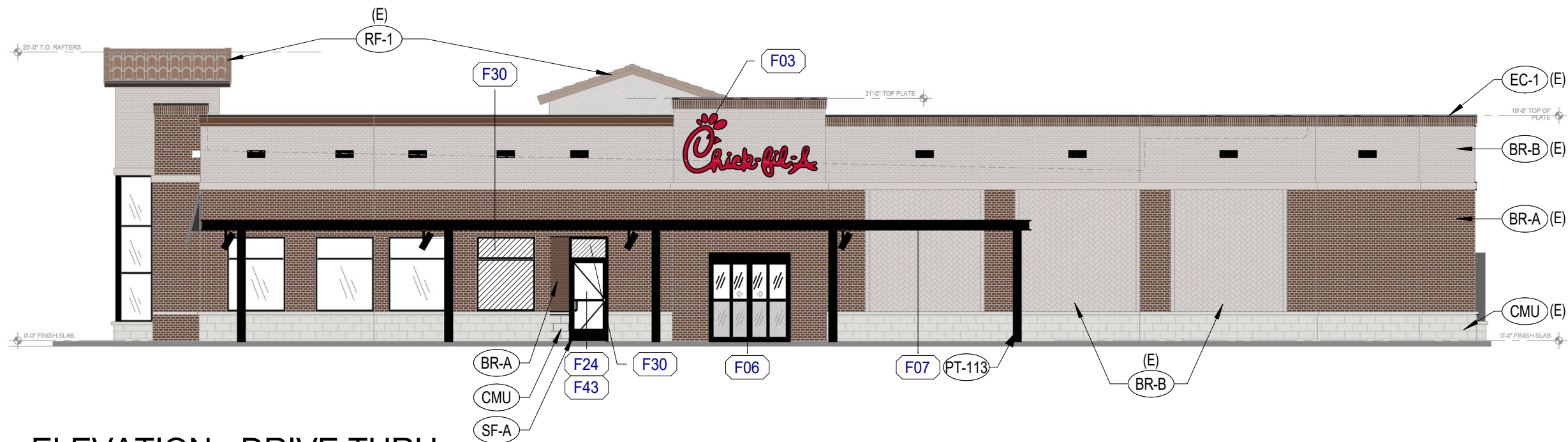
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**AMENDED SITE DEVELOPMENT SECTION PLAN**

SHEET NUMBER

**C-2.0**





## ELEVATION - DRIVE THRU

3/32" = 1'-0"

### GENERAL NOTES -EXTERIOR COLORED...

- 1 U.N.O. ALL EXISTING METAL COPING SHALL BE PAINTED TO MATCH "EC-1"
- 2 CONTRACTOR TO VERIFY ALL EXTERIOR LIGHTS ARE LED LIGHTING. IF NOT, REPLACE WITH LED LIGHT FIXTURES IN ORIGINAL LOCATIONS. RE: ELECTRICAL

### ELEVATION KEYNOTE LEGEND

KEYNOTE	DESCRIPTION
F03	LIGHTED SIGNAGE; REPLACE EXISTING OPEN BEAK SIGNAGE WITH NEW STANDARD, BY SIGNAGE VENDOR
F06	DRIVE THRU SERVICE DOOR, SEE NATIONAL ACCOUNTS AND G-002
F07	OMD CANOPY BY CANOPY VENDOR, SEE PLANS & DETAILS
F24	NEW STOREFRONT DOOR. RE: FLOOR PLAN AND DOOR SCHEDULE.
F30	REPLACE EXISTING ALUMINUM STOREFRONT WINDOW GLAZING WITH 1/2" TEMPERED SPANDREL GLAZING, CLEAR - LOW-E. PROVIDE THERMALLY BROKEN AT EXTERIOR LOCATIONS. SOLARBAN 90 W/ ICD COATING #3-0770 WARM GRAY ON INTERIOR SIDE.
F43	APPLY 3M 7725-10 OPAQUE WHITE VINYL SIGNAGE SAYING "TEAM MEMBERS ONLY" TO EXTERIOR SURFACE OF EXTERIOR DRIVE THRU DOOR.
F44	REMOVE EXISTING STORE HOURS VINYL SIGN AND APPLY 3M 7725-10 OPAQUE WHITE VINYL SIGNAGE WITH NEW STORE HOURS TO EXTERIOR SURFACE OF EXTERIOR ENTRY DOOR AS REQUIRED. VERIFY NEW STORE HOURS DIFFER FROM EXISTING BEFORE REMOVAL/REPLACEMENT.



## ELEVATION - ENTRY

3/32" = 1'-0"

### EXTERIOR COLORED ELEVATIONS

01976, STRATEGIC REINVESTMENT, 17365 CHESTERFIELD AIRPORT ROAD, CHESTERFIELD, MO 63005

THE CHICK-FIL-A DESIGN INTENT PACKAGE REPRESENTS A BRAND COMPLIANT DESIGN SOLUTION. SITE ADAPT PROFESSIONALS ARE RESPONSIBLE FOR APPLICATION OF DESIGN AND COMPLIANCE OF WITH ORDINANCES AND CODES.

08/09/2023

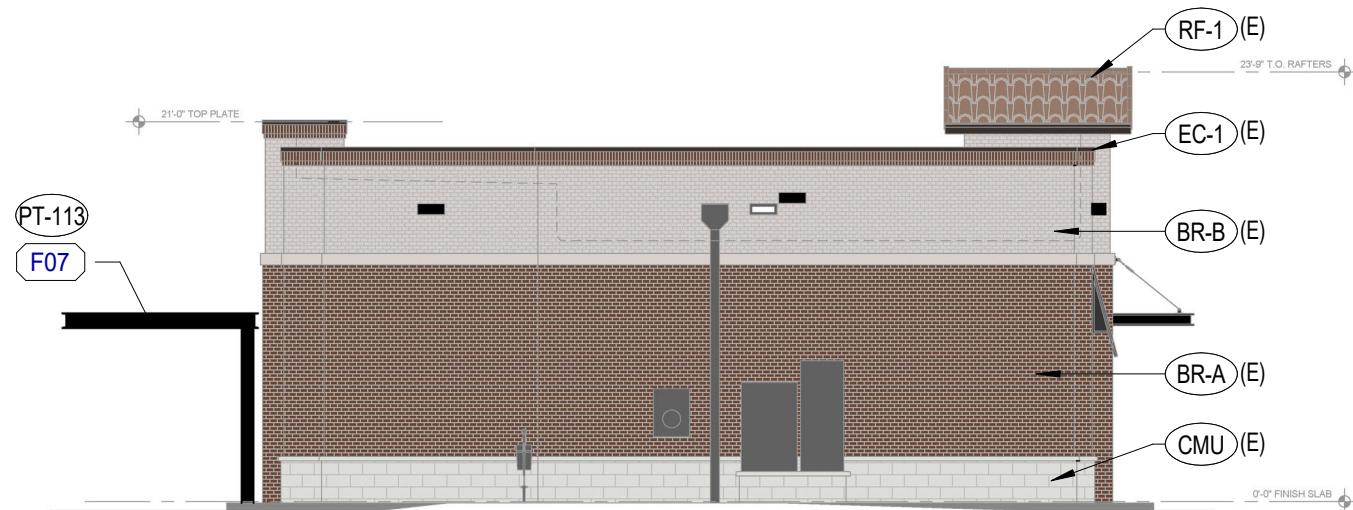


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### ELEVATION - FRONT

3/32" = 1'-0"




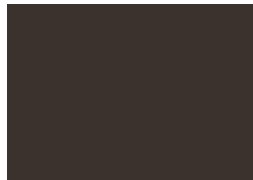

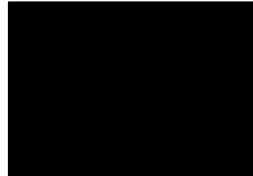



### ELEVATION - REAR

3/32" = 1'-0"

ELEVATION KEYNOTE LEGEND	
KEYNOTE	DESCRIPTION
F03	LIGHTED SIGNAGE; REPALCE EXISTING OPEN BEAK SIGNAGE WITH NEW STANDARD, BY SIGNAGE VENDOR
F07	OMD CANOPY BY CANOPY VENDOR, SEE PLANS & DETAILS
F44	REMOVE EXISTING STORE HOURS VINYL SIGN AND APPLY 3M 7725-10 OPAQUE WHITE VINYL SIGNAGE WITH NEW STORE HOURS TO EXTERIOR SURFACE OF EXTERIOR ENTRY DOOR AS REQUIRED. VERIFY NEW STORE HOURS DIFFER FROM EXISTING BEFORE REMOVAL/REPLACEMENT.

### GENERAL NOTES -EXTERIOR COLORED...

- 1 U.N.O. ALL EXISTING METAL COPING SHALL BE PAINTED TO MATCH "EC-1"
- 2 CONTRACTOR TO VERIFY ALL EXTERIOR LIGHTS ARE LED LIGHTING. IF NOT, REPLACE WITH LED LIGHT FIXTURES IN ORIGINAL LOCATIONS. RE: ELECTRICAL

COLOR MATERIALS LEGEND	
EXISTING MATERIALS	NEW MATERIALS
 <p>(BR-A) <b>BRICK (FIELD)</b> MANU: ENDICOTT CLAY SIZE: UTILITY COLOR: MEDIUM IRONSPOT</p>	 <p>(PT-113) <b>CANOPY PAINT</b> MANU: SHERWIN WILLIAMS COLOR: DARK BRONZE (SW504-B54T104)</p>
 <p>(BR-B) <b>BRICK (FIELD &amp; HERRINGBONE)</b> MANU: ACME BRICK CO. SIZE: UTILITY COLOR: SHADOW GREY</p>	 <p>(SF-A) <b>ALUMINUM STOREFRONT</b> MANU: YKK COLOR: BLACK</p>
 <p>(CMU) <b>CMU (SPLIT-FACE)</b> MANU: ARRISCRAFT SIZE: STANDARD COLOR: WHITE INTEGRAL</p>	
 <p>(EC-1) <b>PARAPET WALL COPING</b> MANU: DUROLAST/ EXCEPTIONAL METALS COLOR: DARK BRONZE (MATTE)</p>	
 <p>(RF-1) <b>CONCRETE ROOFING TILES</b> MANU: MONIER LIFETILE SIZE: STANDARD COLOR: SAXONY SHAKE HICKORY</p>	

### EXTERIOR COLORED ELEVATIONS & COLOR MATERIALS LEGEND

01976, STRATEGIC REINVESTMENT, 17365 CHESTERFIELD AIRPORT ROAD, CHESTERFIELD, MO 63005

08/09/2023

THE CHICK-FIL-A DESIGN INTENT PACKAGE REPRESENTS A BRAND COMPLIANT DESIGN SOLUTION. SITE ADAPT PROFESSIONALS ARE RESPONSIBLE FOR APPLICATION OF DESIGN AND COMPLIANCE OF WITH ORDINANCES AND CODES.



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**MIDWEST LANDSCAPE NOTES**

- Landscape Contractor to read and understand the Landscape Specifications prior to finalizing bids. The Landscape Specifications shall be adhered to throughout the construction process.
- Contractor is responsible for locating and protecting all underground utilities prior to digging.
- Contractor is responsible for protecting existing trees from damage during construction.
- All tree protection devices to be installed prior to the start of land disturbance, and maintained until final landscaping.
- All tree protection areas to be protected from sedimentation.
- All tree protection fencing to be inspected daily, and repaired or replaced as needed.
- No parking, storage or other construction activities are to occur within tree protection areas.
- All planting areas shall be cleaned of construction debris (i.e. concrete, rock, rubble, building materials, etc) prior to adding and spreading of the topsoil.
- General Contractor is responsible for adding a min of 4" clean friable topsoil in all planting beds and all grassed areas. Graded areas to be held down the appropriate elevation to account for topsoil depth. See Landscape Specifications for required topsoil characteristics.
- In all parking lot islands, the General Contractor is responsible to remove all debris, fracture/loosen subgrade to a min. 24" depth. Add topsoil to a 6"-8" berm height above island curbing; refer to landscape specifications and landscape island detail.
- Prior to beginning work, the Landscape Contractor shall inspect the subgrade, general site conditions, verify elevations, utility locations, irrigation, approve topsoil provided by the General Contractor and observe the site conditions under which the work is to be done. Notify the General Contractor of any unsatisfactory conditions. Work shall not proceed until such conditions have been corrected and are acceptable to the Landscape Contractor.
- Any deviations from the approved set of plans are to be approved by the Landscape Architect.
- Landscaping shall be installed in conformance with ANSI Z60.1 the "American Standard for Nursery Stock" and the accepted standards of the American Association of Nurserymen.
- Existing grass in proposed planting areas shall be killed and removed. Hand rake to remove all rocks and debris larger than 1 inch in diameter, prior to adding topsoil and planting shrubs.
- Soil to be tested to determine fertilizer and lime requirements prior to laying sod.
- Annual and perennial beds: add min. 4 inch layer of organic material and till to a min. depth of 12 inches. Mulch annual and perennial beds with 2-3 inch depth of mini nuggets.
- All shrubs beds (existing and new) to be mulched with a min. 3 inch layer of mulch. Rock Mulch to be provided around the building as shown and called out on the landscape plan, all other planting beds are to be mulched with double shredded hardwood mulch.
- Planting holes to be dug a minimum of twice the width of the root ball, for both shrub and tree. Set plant material 2-3" above finish grade. Backfill planting pit with topsoil and native excavated soil.
- Sod to be delivered fresh (Cut less than 24 hours prior to arriving on site), laid immediately, rolled, and watered thoroughly immediately after planting. Edge of sod at planting beds are to be "V" trenched; see Landscape Details.
- Any existing grass disturbed during construction to be fully removed, regraded and replaced. All tire marks and indentions to be repaired.
- Water thoroughly twice in first 24 hours and apply mulch immediately.
- The Landscape Contractor shall guarantee all plants installed for one full year from date of acceptance by the owner. All plants shall be alive and at a vigorous rate of growth at the end of the guarantee period. The Landscape Contractor shall not be responsible for acts of God or vandalism. See Landscape Specifications for Warranty requirements/expectations.
- Any plant that is determined dead, in an unhealthy, unsightly condition, lost its shape due to dead branches, or other symptoms of poor, non-vigorous growth, shall be replaced by the Landscape Contractor. See Landscape Specifications for warranty requirements/expectations.
- Site to be 100% irrigated in all planting beds and grass area by an automatic underground irrigation system. Irrigation as-built shall be provided to the Landscape Architect within 24 hours of irrigation install completion.
- Stake all evergreen and deciduous trees as shown in the planting detail and as per the Landscape Specifications.
- Remove stakes and guying from all trees after one year from planting.

**PLANT LIST**

Qty	Botanical Name	Common Name	Scheduled Size	Remarks
<b>Trees</b>				
4	Gleditsia triacanthos inermis 'Skyline'	Skyline Honeylocust	2.5' Cal; 12' Hgt.	B & B
2	Zelkova serrata 'Green Vase'	Green Vase Zelkova	2.5' Cal; 12' Hgt.	B & B
<b>Shrubs</b>				
84	Buxus microphylla var. japonica 'Winter Gem'	Winter Gem Boxwood	3 Gal.	
38	Taxus x media 'Densiformis'	Dense Yew	3 Gal.	
26	Thuja occidentalis 'Rheingold'	Rheingold Arborvitae	3 Gal.	
<b>Groundcovers</b>				
67	Hemerocallis 'Stella D'Oro'	Stella D'Oro Daylily	1 Gal.	Plant 18" O.C.
102	Liriope muscari 'Big Blue'	Big Blue Liriope	1 Gal.	Plant 18" O.C.
811	Sod to match existing	Sod to match existing	SF; Sod	
<b>Other</b>				
762	Rock Mulch	Rock Mulch	SF.	See Specifications

**NOTE:**

(4) zelkova and (2) honeylocust existing to be removed and replaced with (4) honeylocust and (2) zelkova.

**Notes:**

- See notes for additional tree protection requirements.
- No pruning shall be performed except by approved arborist.
- No equipment shall operate inside the protective fencing including during fence installation and removal.
- See site preparation plan for any modifications with the Tree Protection area.

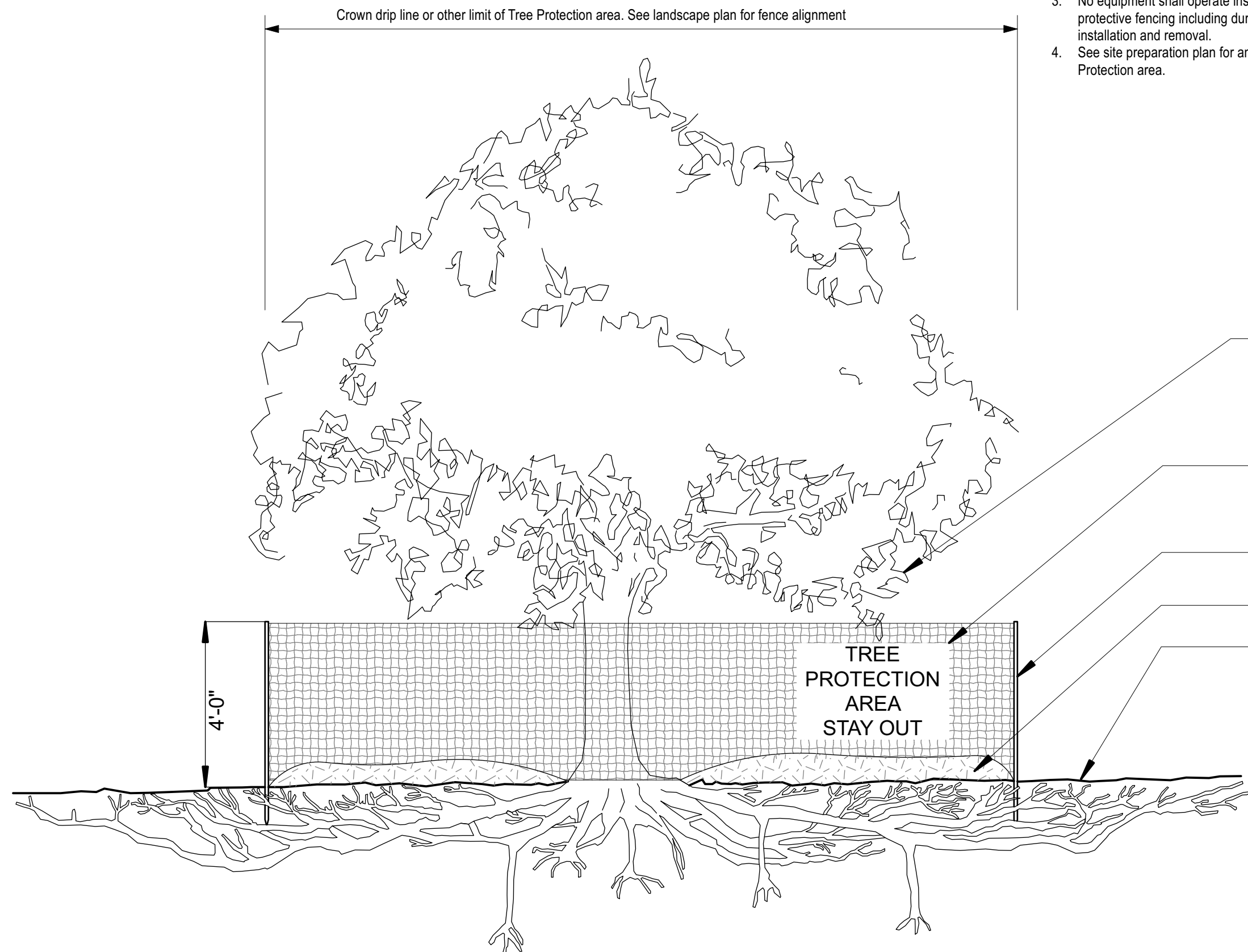
**ACTIVE PROTECTION:**  
Chain link, orange laminated plastic, wooden post and rail fencing or other equivalent restraining material, high density polyethylene

12" x 18" sign laminated in plastic spaced every 100' along the perimeter of each protection area.

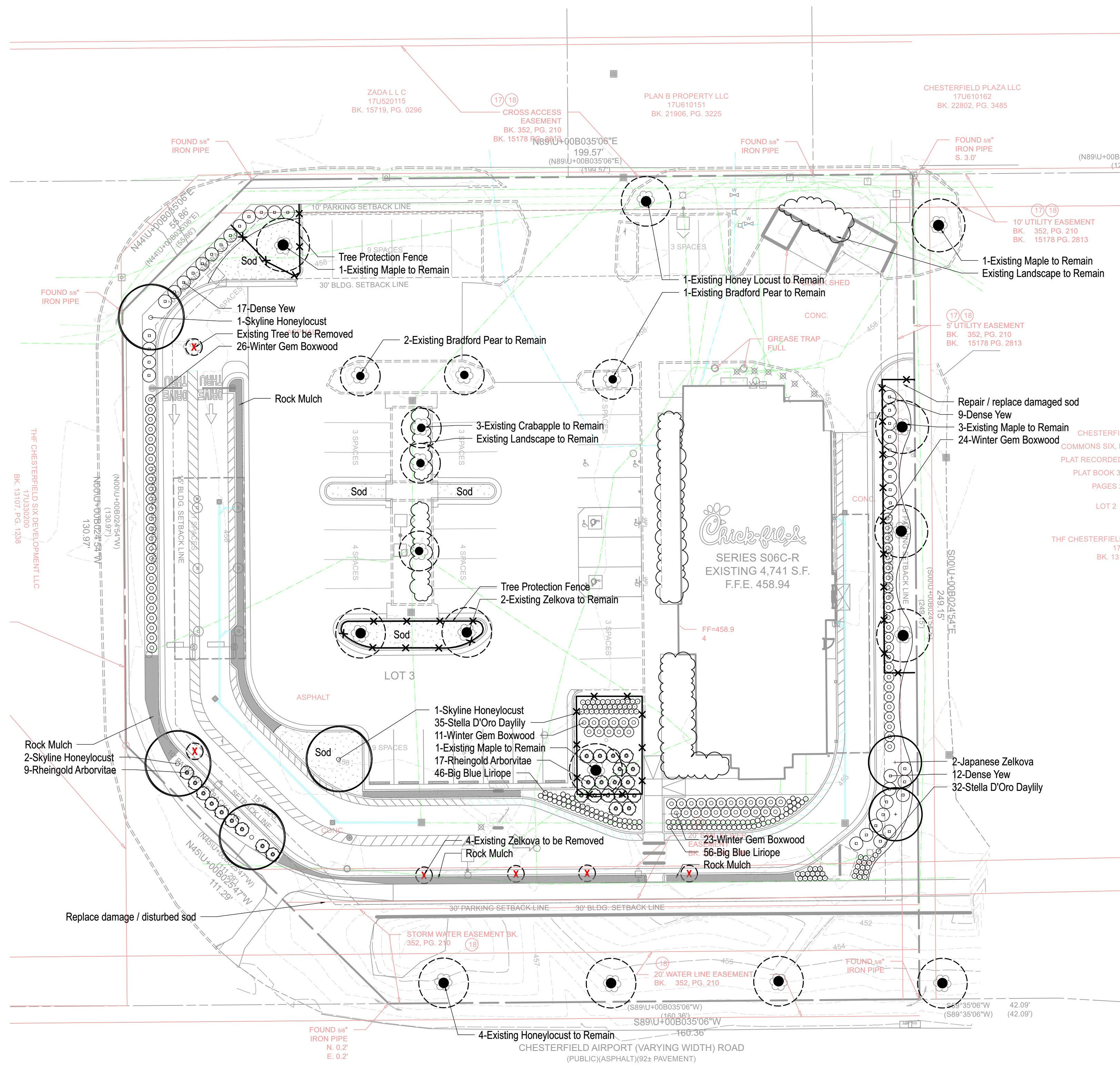
2" x 6" steel post/or approved equal.

5" thick layer of mulch.

Maintain existing grade with the tree protection fence unless otherwise indicated on the plans.

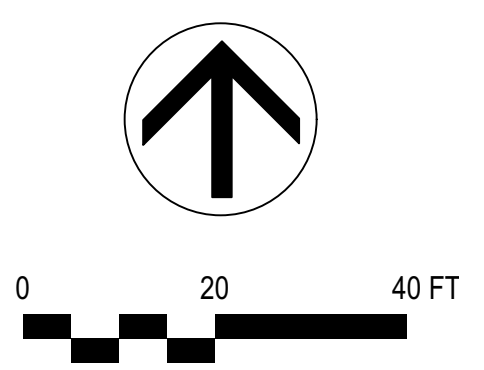


**1 TREE PROTECTION FENCING DETAIL**  
SCALE: NTS



**IRRIGATION SYSTEM RETROFIT**

- Existing irrigation system shall be retrofitted to include 100% cover to all newly created landscaped areas.
- Sprays and rotors shall be utilized on all sod and seeded areas.
- Drip irrigation shall be utilized on all planting beds, shrubs, trees, and groundcover.
- The Contractor shall be responsible to ensure new and existing irrigation components, and the system as a whole, are in proper working order.
- Add valves, sprays, rotors, drip, and/or replace zones as needed to achieve proper coverage as required.
- Only RainBird products shall be utilized.
- Mainline shall be 1.5" CLS 200 PVC.
- Lateral lines shall be 1" CLS 200 PVC.
- Rain / freeze sensor shall be installed.
- Prior to final completion, the Irrigation Contractor shall perform a walk-thru inspection with the Owner, or Owners Representative.



Manley Land Design, Inc.  
51 Old Canton Street  
Alpharetta, Georgia 30009  
770.442.8171 tel



**CHICK-FIL-A**  
**CHESTERFIELD**  
17365 CHESTERFIELD AIRPORT ROAD  
CHESTERFIELD, MO 63005

**FSU# 01976**

**REVISION SCHEDULE**

NO.	DATE	BY	DESCRIPTION
1	6/15/23	1	New Site Plan

MLD PROJECT # 2023094  
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SHEET  
**PERMIT Landscape Plan**  
SHEET NUMBER  
**L-100**

GENERAL NOTES

- POLE DETAIL IS SHOWN FOR PRESENTATION PURPOSES ONLY AND CONTRACTOR SHALL VERIFY THAT EPA RATING OF LIGHTING FIXTURE DOES NOT EXCEED CAPABILITY OF POLE.
- PHOTOMETRIC PLAN IS PROVIDED FOR LIGHT PHOTOMETRIC DATA ONLY. CIRCUITING OF THE SITE LIGHTING SHALL BE SPECIFIED IN BUILDING ELECTRICAL DESIGN DRAWINGS.
- PARKING AREA LIGHT FIXTURES ARE CLASSIFIED AS FULL CUTOFF FIXTURES PER IESNA LIGHT DISTRIBUTION GUIDELINES. ALL LIGHTING FIXTURES ARE DESIGNED, SHIELDED, AIMED AND LOCATED TO PREVENT LIGHT TRESPASS AND GLARE ONTO ADJACENT PROPERTIES OR ROADWAYS.
- REFER TO BUILDING ELECTRICAL DRAWINGS FOR EXTERIOR LIGHTING CONTROL.



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Plans Prepared By:  
CPH, LLC  
A Full Service A & E Firm



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**CHICK-FIL-A**  
**CHESTERFIELD**  
17365 CHESTERFIELD AIRPORT ROAD  
CHESTERFIELD, MO 63005

**FSR#01976**  
BUILDING TYPE / SIZE: S06C-R  
RELEASE: vX.YY.MM

**REVISION SCHEDULE**

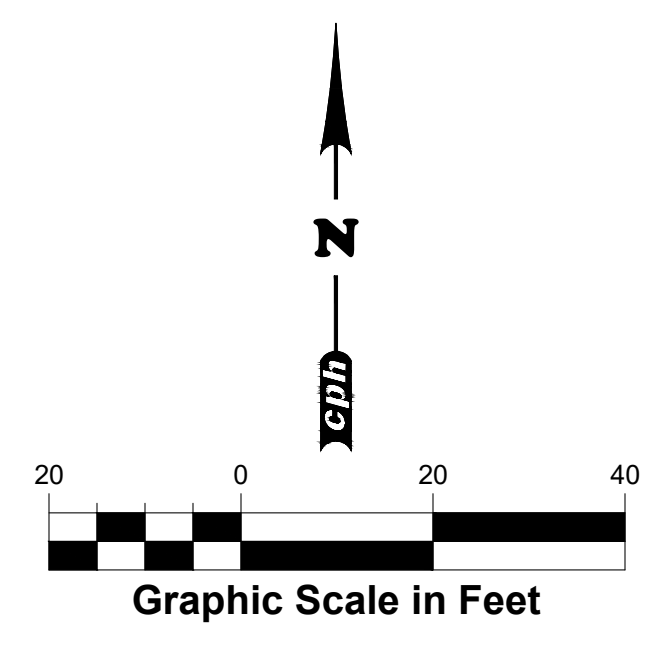
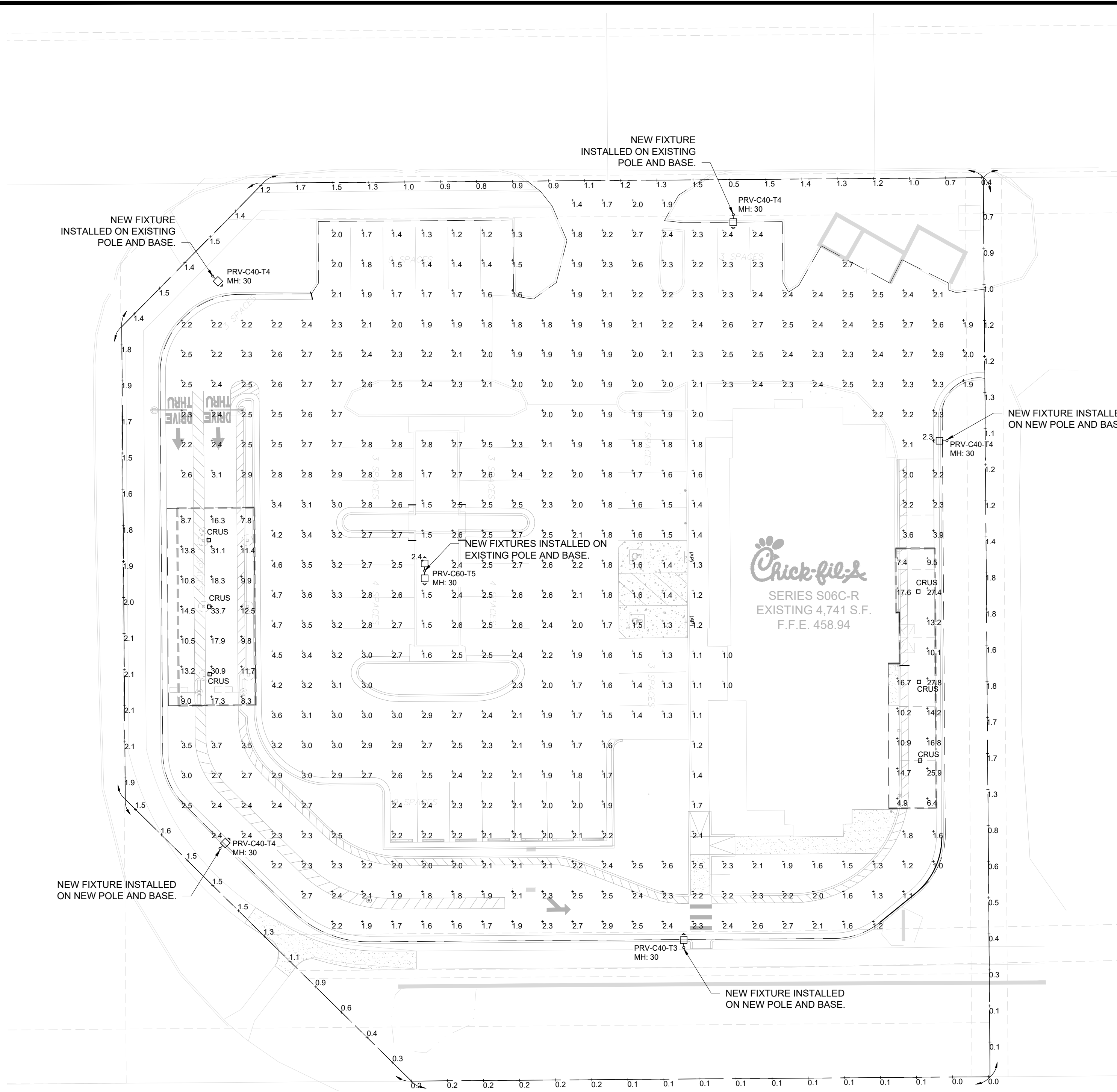
NO.	DATE	DESCRIPTION

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SHEET  
**SITE LIGHTING PHOTOMETRIC PLAN**  
SHEET NUMBER  
**ES-1.0**



CHESTERFIELD AIRPORT (VARYING WIDTH) ROAD  
(PUBLIC/ASPHALT)(92± PAVEMENT)

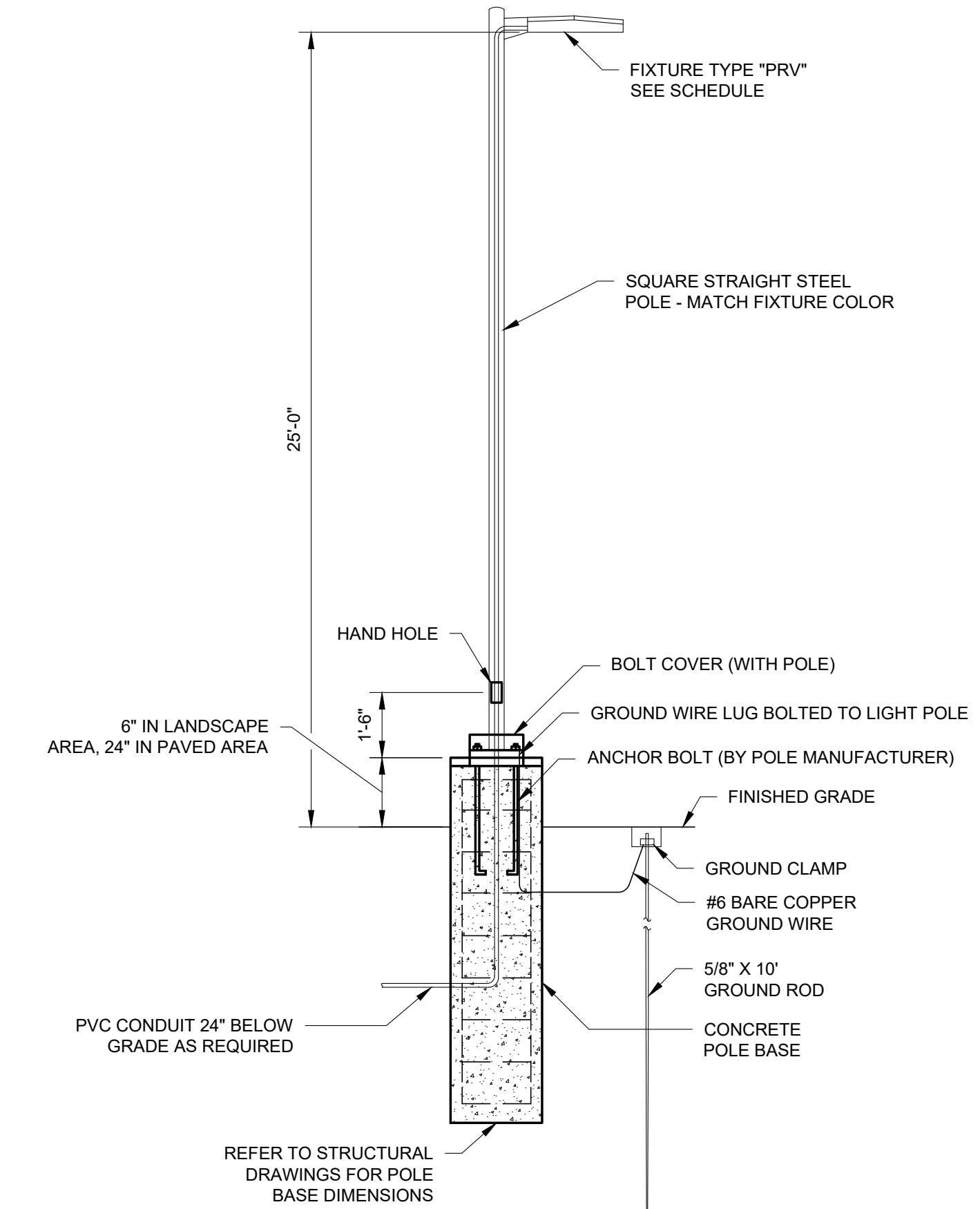
**SITE LIGHTING PHOTOMETRIC PLAN**  
SCALE: 1"=20'-0"

**LUMINAIRE SCHEDULE**

SYMBOL	QTY	LABEL	ARRANGEMENT	LUMINAIRE WATTS	LLF	DESCRIPTION
○	1	PRV-C40-T3	SINGLE	131	1.000	PRV-C40-D-UNV-T3-BZ-HSS
○	4	PRV-C40-T4	SINGLE	131	1.000	PRV-C40-D-UNV-T4-BZ-HSS
□	6	CRUS	SINGLE	74	0.850	CRUS-SC-LED-LW-30
◀ ▶	1	PRV-C60-T5	BACK-BACK	153	1.000	PRV-C60-D-UNV-T5 (2@180)

**CALCULATION SUMMARY**

LABEL	CALCTYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
OMD CANOPY	ILLUMINANCE	FC	14.61	27.8	4.9	2.98	5.67
ORDER POINT CANOPY	ILLUMINANCE	FC	15.11	33.7	7.8	1.94	4.32
PARKING LOT	ILLUMINANCE	FC	2.25	4.7	1.0	2.25	4.70
PROPERTY LINE	ILLUMINANCE	FC	1.04	2.1	0.0	N/A	N/A



**LIGHT FIXTURE/POLE DETAIL**  
N.T.S.



