


## Architectural Review Board Staff Report

**Meeting Date:** August 12, 2021

**From:** Chris Dietz, Planner 

**Location:** 18491 Outlet Blvd.

**Description:** **Chesterfield Blue Valley, Lot 1H ASDSP:** An Amended Site Development Section Plan, Landscape Plan, Lighting Plan, Tree Stand Delineation, Tree Preservation Plan, Architectural Elevations and Architectural Statement of Design for a 6.01-acre tract of land located along the east side of Outlet Boulevard, north of its intersection with Olive Street Road.

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### **PROPOSAL SUMMARY**

Stock and Associates, on behalf of Echo Park, has submitted an Amended Site Development Section Plan, Landscape Plan, Lighting Plan, Tree Stand Delineation, Tree Preservation Plan, Architectural Elevations and Architectural Statement of Design for Lot 1H of the Chesterfield Blue Valley subdivision.

The purpose of this request is to convert an existing vacant building and parking lot on the site to an automobile dealership and inventory parking area. This site is being repurposed in conjunction with the Site Development Section Plan for Lot 1G, which will feature a standalone parking area and incidental carwash to support the proposed use on Lot 1H.

### **HISTORY OF SUBJECT SITE**

2006—Site was rezoned from “NU” Non-Urban District to “PC” Planned Commercial District.



*Figure 1: Subject Site Aerial*

2008—Initial Site Development Concept Plan was approved for this development.

2013—Overall Design Package for the Chesterfield Blue Valley Development was approved by the Planning Commission, as required by the governing ordinance.

2015—A Site Development Section Plan for a 60,000 ft<sup>2</sup> building on Lot 1H was approved. In addition, Amended Elevations were approved to allow a change from a green accent color to a blue accent color.

2016-2018—Architectural Elevations were amended twice to update the building’s lighting and accent color. A third request for Amended Architectural Elevations was proposed for the incorporation of overhead doors on the east elevation of the existing building. However, this request was ultimately withdrawn by the applicant after concerns of screening being raised by the Architectural Review Board.

**STAFF ANALYSIS**

There are three (3) sets of criteria by which this development should be evaluated, as all three pertain to this development. In order from general to more specific requirements these are:

- UDC Architectural Review Design Standards
- Chesterfield Valley Development Requirements
- Chesterfield Blue Valley Design Standards

These sets of criteria, as they pertain to this project, will be discussed in further detail below.

**UDC Architectural Review Design Standards:**

The Unified Development Code’s Architectural Review Design Standards are broken down into two (2) areas of review: Site Design and Building Design.

General Requirements for Site Design are further broken down into the following categories:

- Site Relationship
- Circulation and Access
- Topography and Parking
- Retaining Walls (Not applicable)

General Requirements for Building Design are also broken down into the following categories:

- Scale
- Design
- Materials and Color
- Landscape Design and Screening
- Signage
- Lighting

The UDC also includes specific site and building design criteria for commercial and industrial architecture, as well as shopping center and office complex uses, shown in Table 1 below:

	<b>Access</b>	<b>Exterior Elements</b>	<b>Landscaping and Screening</b>	<b>Scale</b>	<b>Site Design</b>
<b>Commercial and Industrial Architecture</b>	Locate service and loading areas away from public streets and out of the main circulation system and parking areas. Provide access for service vehicles, trash collection and storage areas from alleys when possible. If not possible, utilize the street with the least traffic volume and visual impact.	See Section 405.04.010(D), General Requirements For Building Design, of this Article.	Screen utility meters and surface transformer switching pads.	See Section 405.04.010(D), General Requirements For Building Design, of this Article.	Design and locate building equipment and utilities to minimize visibility from public streets, surface parking lots, and neighboring properties.

*Table 1: General Guidelines for Site Design*

**General Requirements for Site Design:**

The Unified Development Code details both desirable and undesirable practices for Site Design, as shown in the table below:

Desirable Practices	Undesirable Practices
Provide safe pedestrian movement between elements	Site design that impairs or interferes with other properties or developments
Provide public plazas, courtyards, assembly areas, etc.	Excessive noise, lighting, glare
Incorporate scenic views, fountains, public art, etc., within outdoor spaces	Delivery zones, trash enclosures, storage areas, transformers and generators that are not screened and are visible by the public
Consider climate, solar angles, and outdoor activities when designing elements within outdoor spaces	Aboveground public utilities

*Table 2: General Guidelines for Site Design*

**Chesterfield Valley Development Requirements:**

The Unified Development Code also details criteria for development within Chesterfield Valley. These criteria, as they pertain specifically to this development, are listed in the table below:

- Screen trash enclosures and construct with materials consistent to the building.
- Screen loading areas and construct with materials consistent to the building.
- Screen outdoor storage of goods, equipment or automobiles for sale or service from I-64/US 40.
- Locate parking primarily to the side or rear of any building façade facing I-64/US 40.

**Chesterfield Blue Valley Design Standards:**

In addition to the design standards outlined in the UDC, the governing ordinance, Ordinance 2805, has certain architectural provisions for this development. Among these provisions, the ordinance states that an overall Design Package specifically for the Chesterfield Blue Valley subdivision is required. Adopted in 2013, the goal for this Design Package is to provide “a coordinated, upscale design theme present in every architectural and landscape feature including built form, lighting, exterior furniture and landscaping”. Ordinance 2805 also states that this Design Package should give consideration to creating a visually-appealing development pattern, particularly from I-64 achieved by retaining open spaces and creating consistency in the location and massing of structures on site.

The Design Package categories that apply to this request are:

- Material Palette
- Color Palette
- Lighting
- Street Furniture
- Landscape

This proposal’s compliance with each of these sections of the design package will be discussed in detail and will appear in *italics* in their applicable sections below. A copy of this Design Package is included in the Architectural Review Board packet.

**A. Site Relationships**

Lot 1H is located along the southeast boundary of the Chesterfield Blue Valley development with vacant parcels to the south and Chesterfield Premium Outlet mall to the northwest.



Figure 2: Site Relationships

### B. Circulation and Access

The subject site has vehicular cross access between both neighboring parcels which completely encompasses the parking area leading to the outlet mall on Lot 2A as well as to Lot 1G. There also exists a pedestrian path that leads from Outlet Boulevard through the parking area and up to the building's main entrance.

The current proposal would close off a large portion of the parking area for the use of inventory vehicle parking, utilizing a system of low bollard fencing on the northwest, southwest and southeast sides and access gates to the northeast. Bollard fencing toward the northeast corner of the parking lot will run directly across pavement. Customer parking will be located outside of the fenced area and the proposed fencing would not restrict traffic flow through the cross-access easements. The applicant intends to retain the pedestrian path through the parking area leading to the building, unimpeded. Figure 3 below illustrates the proposed circulation and access for the repurposed site.



Figure 3: Color Site Plan

**C. Topography**

The site is generally flat with a Stormwater Master Channel running to the northeast.

**General Requirements for Building Design**

**A. Scale**

The existing building is roughly 60,000 ft<sup>2</sup> which will be repurposed to accommodate an automobile dealership and is consistent in size to other buildings within the Blue Valley Development.

**B. Design**

The overall design of the building will mostly remain the same as what was originally approved for the site, with a few modifications: First, the decorative blue seam roof and awnings on the west elevation will be removed. Second, the west elevation will feature a new pedestrian door along with two 10' x 20' overhead doors to allow inventory vehicles to enter the building for service and additional indoor parking. An existing screening wall on the northeast elevation (fifteen feet (15') in height) will be extended to screen these overhead doors at a height of twelve feet (12'). This design will carry over in to Lot 1G in conjunction with this development. A bicycle rack will also be installed near the main entrance of the building.

*The proposed building design retains the prairie-style architecture outlined in Chesterfield Blue Valley's Design Package.*

A 2'6" bollard fence will surround a large portion of the site's parking area with gated access to this lot on the northeast side facing the building's main entrance. These gates measure between 4'6" and 6'0" in height and will be non-illuminated. The existing west access points will be closed with landscaped curbed areas with bollards running across. This bollard fencing is located as identified by pink hatching shown in Figure 3 above. A photo example of this bollard fencing is included in the ARB packet. The two (2) gates entering this inventory parking area will stand 6'0" at their highest point and will not be illuminated. A photo example of this gate and a detail are both found in the ARB packet as well.

*The proposed bollard fencing is not outlined in Chesterfield Blue Valley's Design Package and is not found elsewhere in the subdivision.*

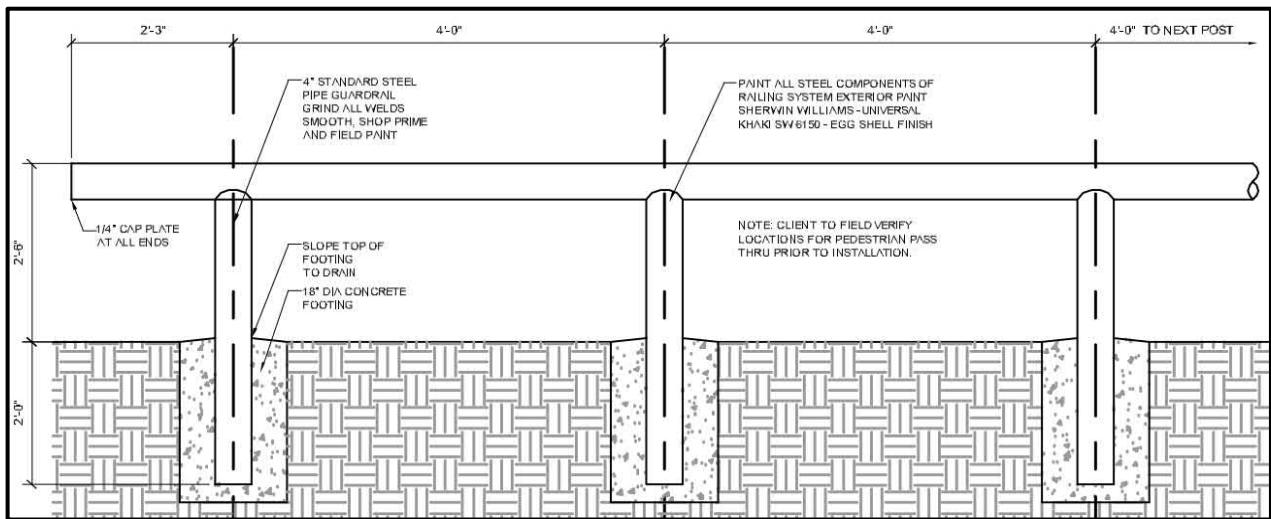


Figure 4: Bollard Fencing Detail

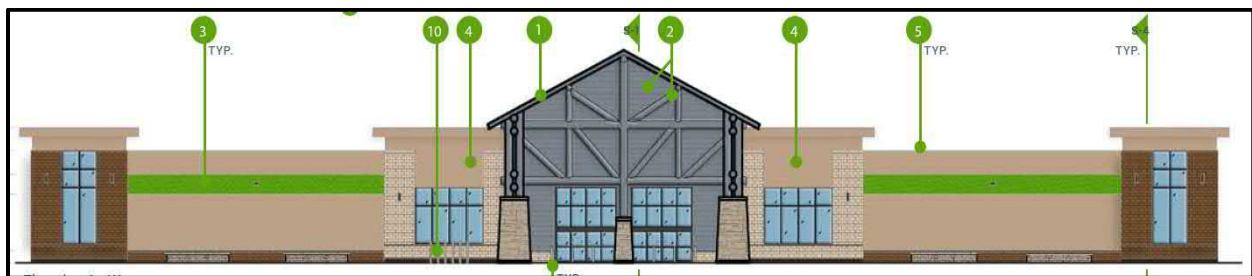


Figure 5: Southwest Elevation

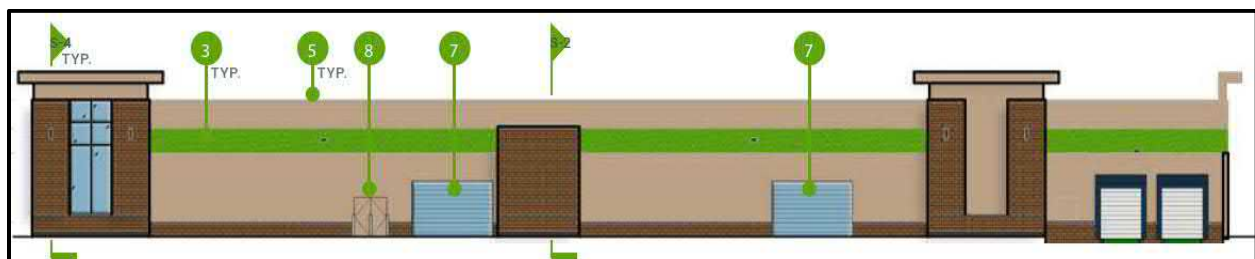


Figure 6: Southeast Elevation

While this screening wall runs across both Lots 1G and 1H, Figure 7 only details the screening wall as it appears on Lot 1H. Figure 8 depicts the screening wall across both lots in its entirety.

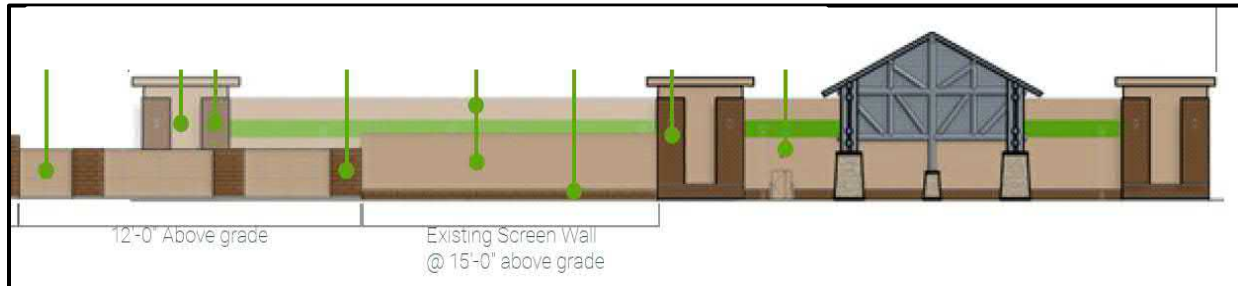


Figure 7: Screening Wall / Northeast Elevation

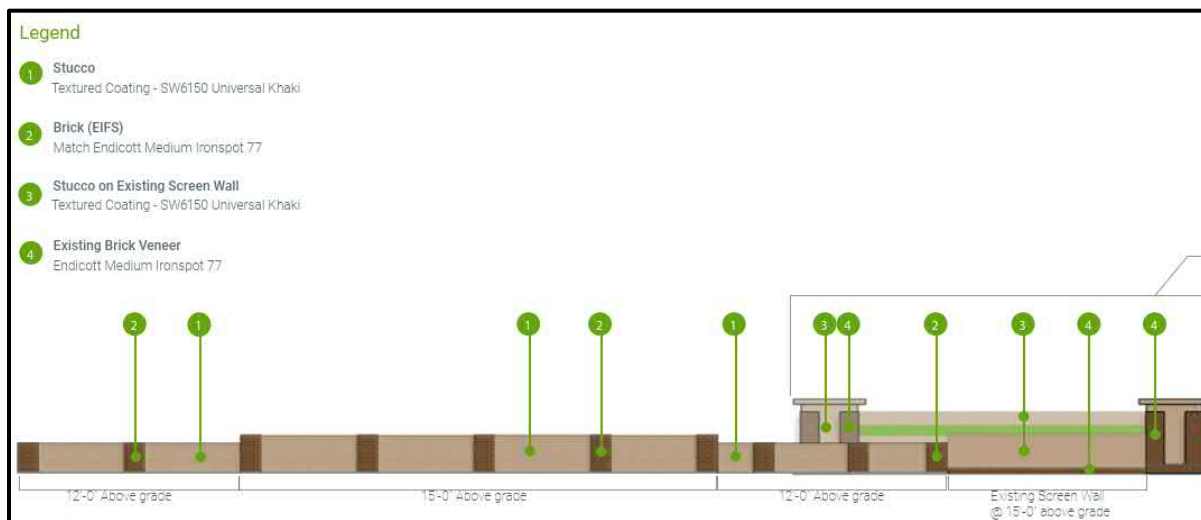


Figure 8: Screening Wall Elevation (1G & 1H)

### C. Materials and Color

The material design of the re-purposed building will retain all of the components that currently exist, including the split-faced masonry, brick, tilt-up concrete, EIFS and Standing Seam metal roofing. The proposed bicycle rack will be comprised of an aluminum frame. The bollard fencing will be comprised of steel. The proposed 10' x 20' overhead doors will be comprised of transparent polycarbonate.

The brick, tilt-up concrete and split-faced masonry will retain their existing colors, while the standing seam metal roofing will change from blue to grey. The blue coping caps around each side of the building will be painted tan to match the adjacent material's color. The accent band wrapping around the building will also change from blue to light green. The existing brown timber accents located on both the east and west elevations will be painted grey and the new steel bollard rails will be painted tan to match the existing EIFS on the building. The proposed receptacle enclosure located in the southwest corner of the site will feature the same materials and color of the existing building.

The existing screening wall on the northeast elevation is comprised of tilt-up concrete paneling with stucco finish and brick veneer. The proposed addition of the screening wall will be comprised of Cement Masonry Units (CMU) with stucco and brick-patterned EIFS.

*The Material Palette for the Chesterfield Blue Valley Design Package calls for brick and stone veneer, EIFS, smooth face architectural metal, exposed steel structure, painted concrete wall pans with sand texture finish, open metal trellises, glass and aluminum store fronts and curtain walls, canvas and metal awnings. The color palette requires earth tones accompanied by accent colors for view corridors and arrival points.*

**D. Landscape Design and Screening**

Landscaping will be heavily utilized to screen components throughout the site. The bollard fencing in the northwest corner of the site will be partially screened by shrubs and decorative grasses while the receptacle enclosure and overhead doors along the I-64 corridor will be screened by evergreen plantings. A landscape buffer is required along the I-64 corridor. However, due to the location of the Stormwater Master Channel along the northeast property line, an alternative landscape buffer is required, per the Concept Landscape Plan that was approved with the 2<sup>nd</sup> Site Development Concept Plan. The applicant plans to incorporate denser landscaping along the northeast property line where feasible as well as along the extended screening wall on the building's east elevation. The intent of this screening wall, in conjunction with the additional landscaping, is to fully screen the overhead doors, receptacle enclosure and parts of Lot 1G from view along I-64. Inversely, fencing and landscaping on Lot 1G will also assist in accommodating this requirement for Lot 1H. All planting selections comply with the Unified Development Code landscape requirements.

*Chesterfield Blue Valley's Design Package states that Landscaping should add to the visual appeal, help in spatial definition, wayfinding and effective circulation, keeping in mind that site entries, walkways and parking fields should be well illuminated and not create isolated areas and allow clear views throughout each site.*

**E. Lighting**

The parking area will include additional lighting fixtures that match those existing on the site today. All existing fixtures will be used in place and no other new fixtures are being proposed with this request.

*These fixtures adhere to Chesterfield Blue Valley's Design Package.*



**F. Exterior Renderings**



*Figure 9: View from I-64 Exit Ramp (Landscape faded from view)*



*Figure 10: Southwest Elevation*



*Figure 11: View from Outlet Blvd.*

**DEPARTMENT INPUT**

This project is currently under Staff review and will not proceed to the Planning Commission until all outstanding items have been addressed. All recommendations made by the Architectural Review Board will be included in Staff's report to the Planning Commission. Staff requests review and recommendation by the Architectural Review Board on the Amended Site Development Section Plan for Chesterfield Blue

Valley, Lot 1H (Echo Park). A copy of the Chesterfield Blue Valley Design Package and the applicant's submittal packet are attached to this report for the Board's consideration.

### **MOTION**

The following options are provided to the Architectural Review Board for consideration relative to this application:

- 1) "I move to forward the Amended Site Development Section Plan, Landscape Plan, Lighting Plan, Tree Stand Delineation, Tree Preservation Plan, Architectural Elevations and Architectural Statement of Design for Chesterfield Blue Valley, Lot 1H (Echo Park), as presented, with a recommendation for approval (or denial) to the Planning Commission."
- 2) "I move to forward the Amended Site Development Section Plan, Landscape Plan, Lighting Plan, Tree Stand Delineation, Tree Preservation Plan, Architectural Elevations and Architectural Statement of Design for Chesterfield Blue Valley, Lot 1H (Echo Park), to the Planning Commission with a recommendation for approval with the following recommendations..."

Attachments: Chesterfield Blue Valley Design Package  
Architectural Review Board Packet

### **Introduction**

Chesterfield Blue Valley (CBV) is a mixed use development at the gateway to the City of Chesterfield and St. Louis County at Chesterfield Airport Road and relocated Olive Street Road. The 1.4 million square foot project is anchored by St. Louis Premium Outlets which is scheduled to open in August 2013. CBV is a land development project of Chesterfield Blue Valley, LLC, a Missouri limited liability company (CBV, LLC). CBV, LLC's manager is Wolfe Properties, LLC, whose principal is R. Dean Wolfe. CBV, LLC's listing broker is L3 Corporation whose principals are Ian Silberman and Craig Wielansky.

The purpose of this Construction Manual is to compile in one place important information about CBV to give prospective owners and users a good starting point as to what to expect when developing a project within CBV. Please note that the information contained in this Construction Manual is a starting point only and is not intended to serve as a comprehensive compilation of all relevant documents and information. Prospective owners and users are expected and encouraged to conduct their own due diligence. CBV, LLC has attempted to be helpful by providing the information included in this Construction Manual but makes no warranties or representations as to its accuracy or completeness. Moreover, all information and documents included in this Construction Manual are subject to change due to market conditions, governmental directives or other reasons. CBV, LLC is not under any duty to advise anyone of any such changes.

### **Architectural Concept Standards**

The following are the architectural standards contemplated for CBV. These standards are likely to be incorporated into formal legal documents. CBV, LLC reserves the right to modify or waive these standards as market conditions may dictate. Moreover, these standards are subject to modification and supplementation by governmental authorities.

#### **General**

CBV, LLC envisions a project design based on the character, principles and theme of the Prairie Style of Architecture which contains horizontal lines, flat or hipped roofs with broad overhanging eaves, and window groups in horizontal banks as the principle means of

**APPROVED**

architectural expression. The goal is for a coordinated, upscale design theme present in every architectural and landscape feature including built form, lighting, exterior furniture and landscaping. The historic Brasher House, if reused, would be an exception. It is not the intent of these standards to limit or diminish use of “corporate trade dress” on store fronts.

### **Material Palette**

Brick and stone veneer, exterior insulation plaster system (EIFS), smooth face architectural metal, exposed steel structure, painted concrete wall panels with sand texture finish, open metal trellises, glass and aluminum store fronts and curtain walls, canvas and metal awnings, and appropriate cornices and overhangs will be acceptable.

### **Color Palette**

Earth tones accompanied by complimentary accent colors for view corridors and arrival points will be the standard. Attached is the list of colors and materials used in St. Louis Premium Outlets for buyer’s reference.

### **Lighting**

Lighting scheme will complement the architectural style creating a consistent theme and look throughout the CBV development.

- **Parking Field Illumination.** High mast poles and fixtures matching those on street lights throughout CBV that do not transmit light beyond the extent of each parcel throughout the parking fields shall be used. Pole and fixture color will match street light poles and fixtures in size, shape, height and color. Attached is the cut sheet for the street lights for buyer’s reference. Foot candle and photo metric design shall meet City of Chesterfield standards.
- **Walkway Illumination.** Pedestrian scale vertical lamps should be distributed on pedestrian corridors in a complimentary style and color.
- **Building Illumination.** Wall sconces will be fixed on appropriate vertical points and at building corners. Sconces will have a complimentary style and color to other light fixtures.

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### **Street Furniture**

The design, character and materials of benches, waste receptacles, bollards, table and chair combos, stand-alone chairs and bicycle racks should be coordinated and complete the architectural design throughout the development.

### **Landscaping**

Details of the landscape are critical components of the character and quality of the design. Landscaping should add to the visual appeal, help in spatial definition, way finding and effective circulation, keeping in mind that site entries, walkways and parking fields should be well illuminated and not create isolated areas and allow clear views throughout each site.

Landscaping along the four major streets—Outlet Boulevard, Premium Way, Premium Street and Blue Valley Avenue—should be consistent with Master Landscape plans filed as part of the 2<sup>nd</sup> Amended Site Development Concept Plan. Each buyer is to be responsible for the installation of street landscaping on the frontages of each parcel to the street curb line. The City of Chesterfield requires an in-ground irrigation system for all planted areas.

### **Sidewalks**

Each buyer is to be responsible for installation of sidewalks on or adjacent to the parcel purchased.

### **Storm Channels**

Each buyer is to be responsible for the maintenance of adjacent storm water channels serving the buyer's parcel, whether or not the channels are part of the parcel purchased and are creditable as part of the 30% green space requirement of each parcel. However, CBV reserves the right to delegate this responsibility to an association to which owners contribute.

### **Master Sign Plan**

Signage is to be consistent with the Master Sign Plan approved by the City of Chesterfield.

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### **Internal Roads**

Roads are to be defined by raised curbs, landscaping and pedestrian walkways. Colored and textured paving at locations to demarcate pedestrian routes, to calm traffic and to define entry points will be required.

### **Screen Walls**

Decorative screen walls are to be architectural in nature and provide a visual barrier for well-maintained utilities, service devices, compactor and loading areas.

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RECEIVED  
City of Chesterfield  
08/04/2021  
Department of Public Services

# EchoPark - St. Louis, MO Architectural Review

Lot 1H

August 12, 2021

wd

**EchoPark**  
AUTOMOTIVE

These drawings and specifications are intended to express design intent only and do not reflect actual site conditions. Neither party shall have any obligation nor liability to the other (except stated above) until a written agreement is fully executed by both parties.

These drawings and specifications are confidential and shall remain the sole property of Sonic Automotive Inc., which is the owner of the copyright in this work. They shall not be reproduced (in whole or in part), shared with third parties or used in any manner on other projects or extensions to this project without the prior written consent of Sonic Automotive Inc..

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## The EchoPark Experience

- **Each retail space we develop provides a welcoming, enjoyable atmosphere with an open concept and functional zones tailored to specific activities**

Interactive research areas with iPads

Comfortable lounge spaces (as opposed to closed offices)

- **The environment empowers guests of EchoPark to shop the way they want at their desired pace.**
- **Full sensory environment ties the brand's digital and physical assets into a seamless, flexible and compelling shopping experience.**
- **Our design cues are derived from modern retail, hospitality and digital spaces.**
- **Our goal has always been to provide a guest experience that breaks the stereotype of the used car dealership. We are doing this with our people and technology infused facilities.**

Respect for our guests

Comfortable environment

Vehicle inventory that meet our guest needs

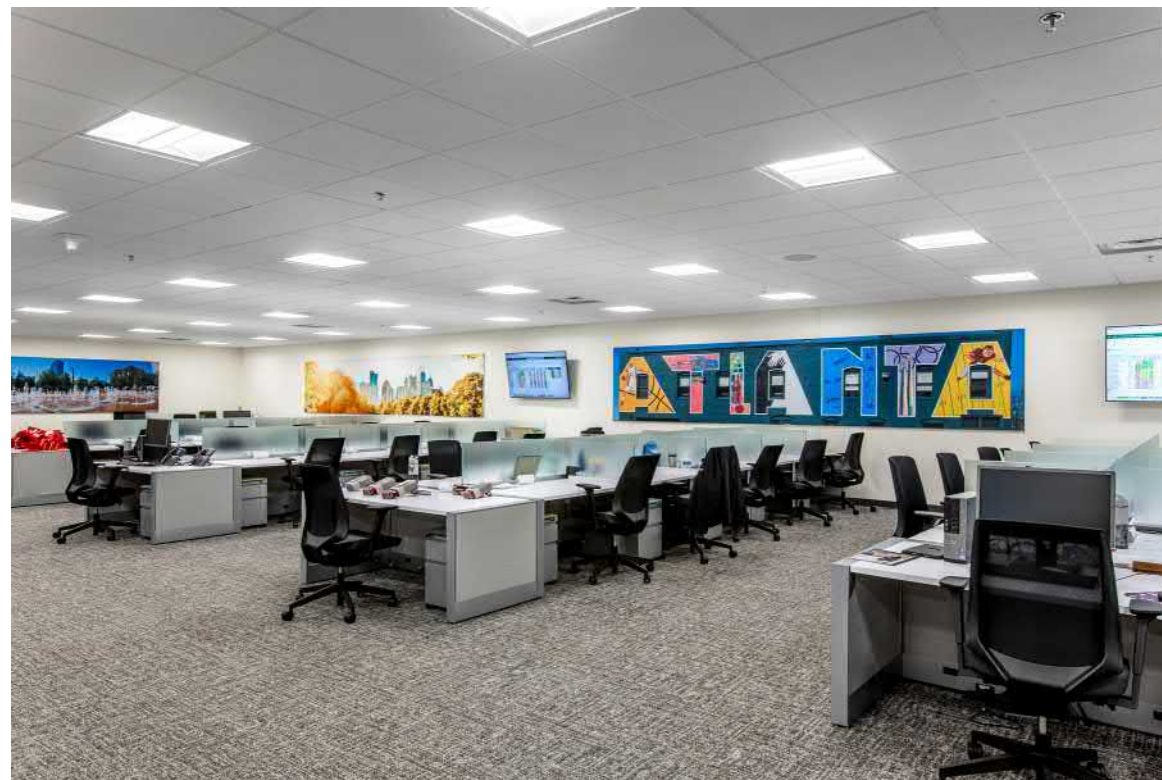
*Denver 2014- "I think it is important for all interested parties to note that we have been preparing for this for many years. Bringing innovative change to the industry takes experience, investment and patience. We have been working tirelessly to create a really different and amazing experience for all our guests."*

**- Jeff Dyke, President Sonic and EchoPark Automotive.**

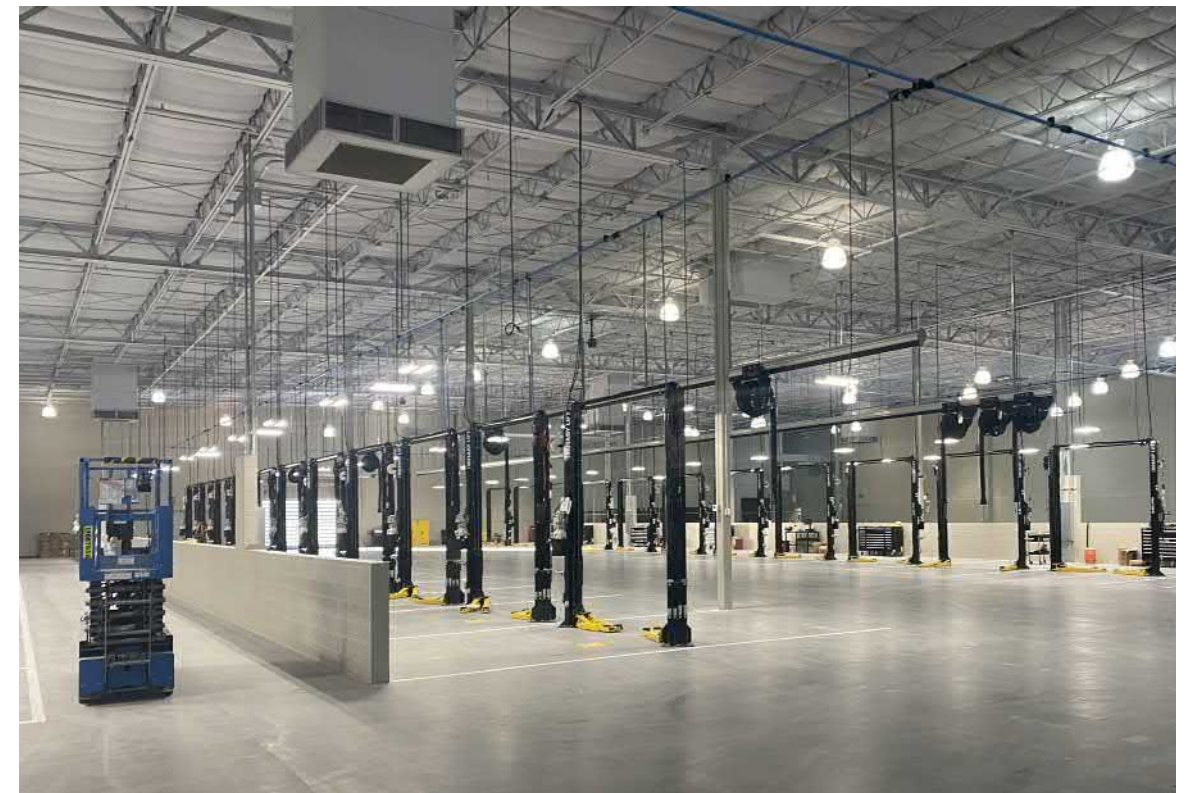
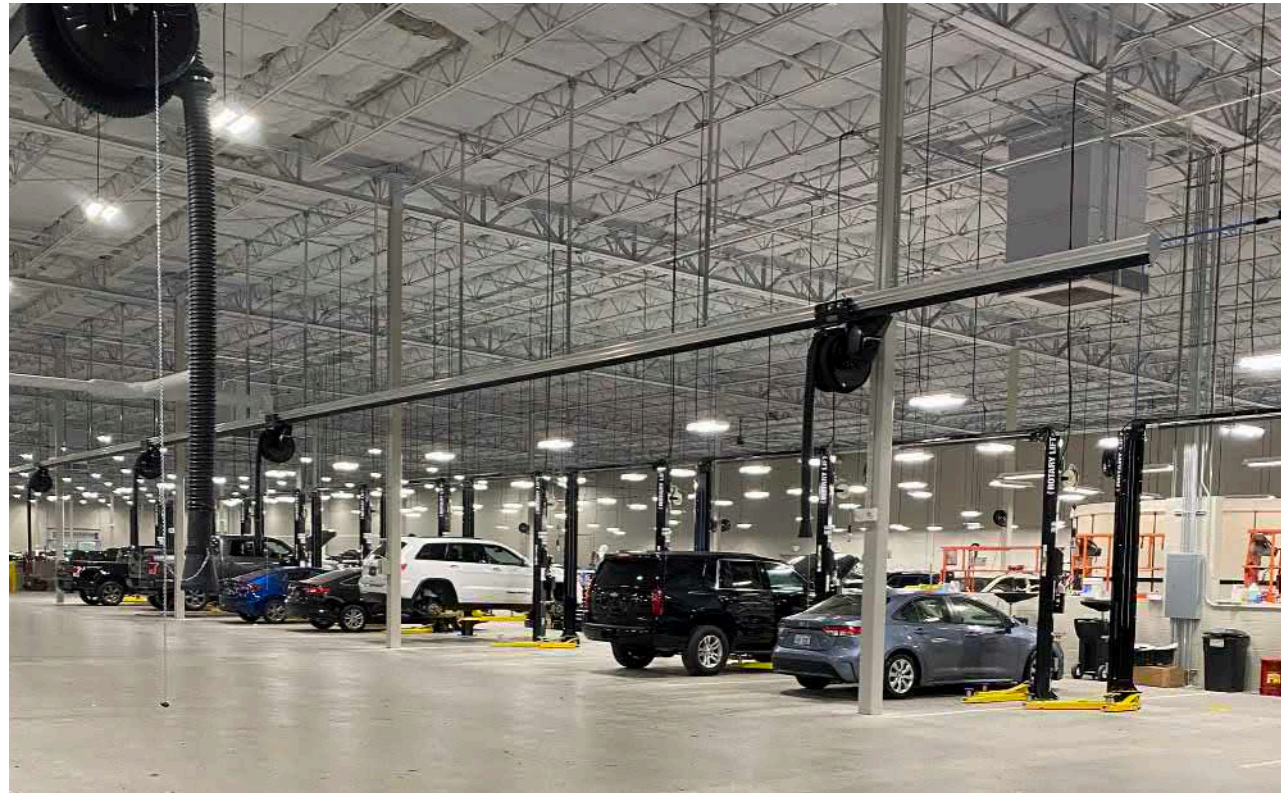
## Our Retail Space - Representative Exteriors



## Our Retail Space - Representative Interior Decor



## Our Retail Space - Representative Shop & Inventory Parking



# Architect's Statement of Design

## Address

18491 Outlet Blvd  
Chesterfield, MO. 63005

## Statement of design

This site is currently a vacant retail space and parking lot. It is the goal of Sonic to make minor building improvements and redevelop the site to be a functioning Sonic EchoPark car dealership while exceeding the City of Chesterfield's expectation of development per the Architectural Review Design Standards (section 405.04.010).

### Current Conditions

The existing site is characterized by a large parking lot in front of the existing vacant Gander Outdoors building with a sidewalk and landscape islands throughout. Additionally, the site is characterized by three cross easements and landscaping bordering three sides of the property (along Outlet Blvd, the adjacent St. Louis Premium Outlets mixed use parking lot, and exit 14 of I-64).

### Proposed Site.

The existing site will maintain the existing landscaping that borders the site, curbed landscape islands, sidewalk and cross easements in order to continue to provide safe pedestrian and vehicular movement from the street to the building entrance. Curbed landscape islands and security bollard fencing will be added to the existing parking lot to designate guest parking and inventory parking. This will improve vehicular and pedestrian circulation near the entrance of the building as well as increase the amount landscaping to enhance the guest experience. An additional screen wall constructed of CMU with stucco finish of complementary color to the building will be added along the north side of the property to provide additional screening of new full vision overhead doors. Existing parking lot lighting will be maintained, three will be relocated for landscape islands that are being removed and replaced.

### Proposed Building design.

The existing building on site will maintain its scale, and footprint. The goal of the building modifications is to modernize the building and tastefully align it with EchoPark standards and function.

Proposed building updates will include the removal of the awnings flanking either side of the front and rear lumber features and freshen up the front and rear lumber features by repainting, adding new EchoPark signage and replacing the blue gable metal roofs with gray standing seam roofing. All facades with the existing blue accent bands will be repainted with Echo Park standard green. Existing building mounted lighting shall be maintained.

Two full vision glass overhead doors and a new man door will be added to the west elevation for function and to continue the EchoPark philosophy of an open and honest guest experience. Additionally, a new trash enclosure will be added to the site to conceal unsightly dumpsters and maintain a clean and desirable site. The trash enclosure will subtly take on the same design language as the main existing building while maintaining its identity as an accessory structure.

# Existing Site

## Existing Site - Location Map

### Legend

- 1** Closed Gander Outdoors of Chesterfield - Lot 1H  
Zoning Classification: PC  
Photos: 1-4
- 2** Undeveloped Lot 1 - Lot 1G  
Zoning Classification: PC  
Photos: 1, 4 & 5
- 3** Cavender's Western Outfitter  
Zoning Classification: PC  
Photos: 5 & 6
- 4** Undeveloped Lot 2  
Zoning Classification: PC  
Photos: 7 & 9
- 5** St Louis Premium Outlets - Outlet Mall  
Zoning Classification: PC  
Photos: 2, 4 & 10-12
- 6** St Louis Premium Outlets - Multi Use Parking  
Zoning Classification: PC  
Photos: 2, 3 & 10-12

\*\*\*Existing site photos located on pages 10-12



## Existing Site Conditions - Street Perspectives

### Legend

- 1 Closed Gander Outdoors of Chesterfield - Lot 1H
- 2 Undeveloped Lot 1 - Lot 1G
- 3 Cavender's Western Outfitter
- 4 Undeveloped Lot 2
- 5 St Louis Premium Outlets - Outlet Mall
- 6 St Louis Premium Outlets - Multi Use Parking



1. Gander Outdoors of Chesterfield - Entry view looking NE from Olive Street



2. Gander Outdoors of Chesterfield - Entry view looking East from Olive Street



3. Gander Outdoors of Chesterfield - Rear view looking SW from I-64 exit 14



4. Gander Outdoors of Chesterfield - Rear view looking NW from I-64



## Existing Site Conditions - Adjacent Tenants

### Legend

- 1 Closed Gander Outdoors of Chesterfield - Lot 1H
- 2 Undeveloped Lot 1 - Lot 1G
- 3 Cavender's Western Outfitter
- 4 Undeveloped Lot 2
- 5 St Louis Premium Outlets - Outlet Mall
- 6 St Louis Premium Outlets - Multi Use Parking



5. Undeveloped Lot 1 - View looking East from Outlet Blvd.



6. Cavender's Western Outfitters - View looking SE from Outlet Blvd.



7. Undeveloped Lot 2 - View looking SW from Outlet Blvd.

## Existing Site Conditions - Adjacent Tenants

- 1 Closed Gander Outdoors of Chesterfield - Lot 1H
- 2 Undeveloped Lot 1 - Lot 1G
- 3 Cavender's Western Outfitter
- 4 Undeveloped Lot 2
- 5 St Louis Premium Outlets - Outlet Mall
- 6 St Louis Premium Outlets - Multi Use Parking



8. St. Louis Premium Outlets - View looking NW from parking lot.



9. St. Louis Premium Outlets - View looking NW from parking lot.

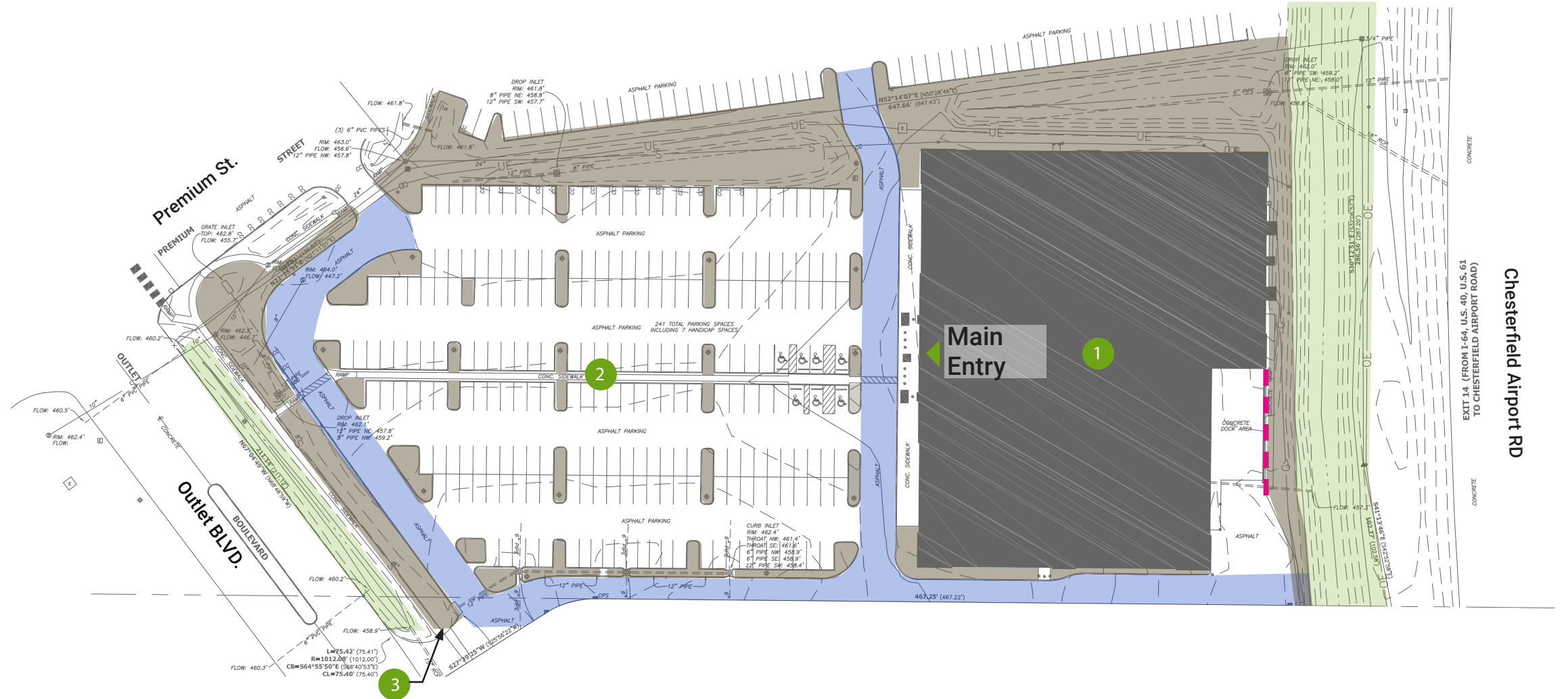


10. St. Louis Premium Outlets - View looking SE from I-64 exit 14

# Existing Site - Site Plan

## Legend

- Existing Cross Easement
  - Existing Drainage Easement
  - Existing Landscaping
  - Existing Loading Dock Wall
- 1 Closed Gander Outdoors of Chesterfield
  - 2 Existing Gander Outdoors of Chesterfield parking lot
  - 3 Existing freestanding sign

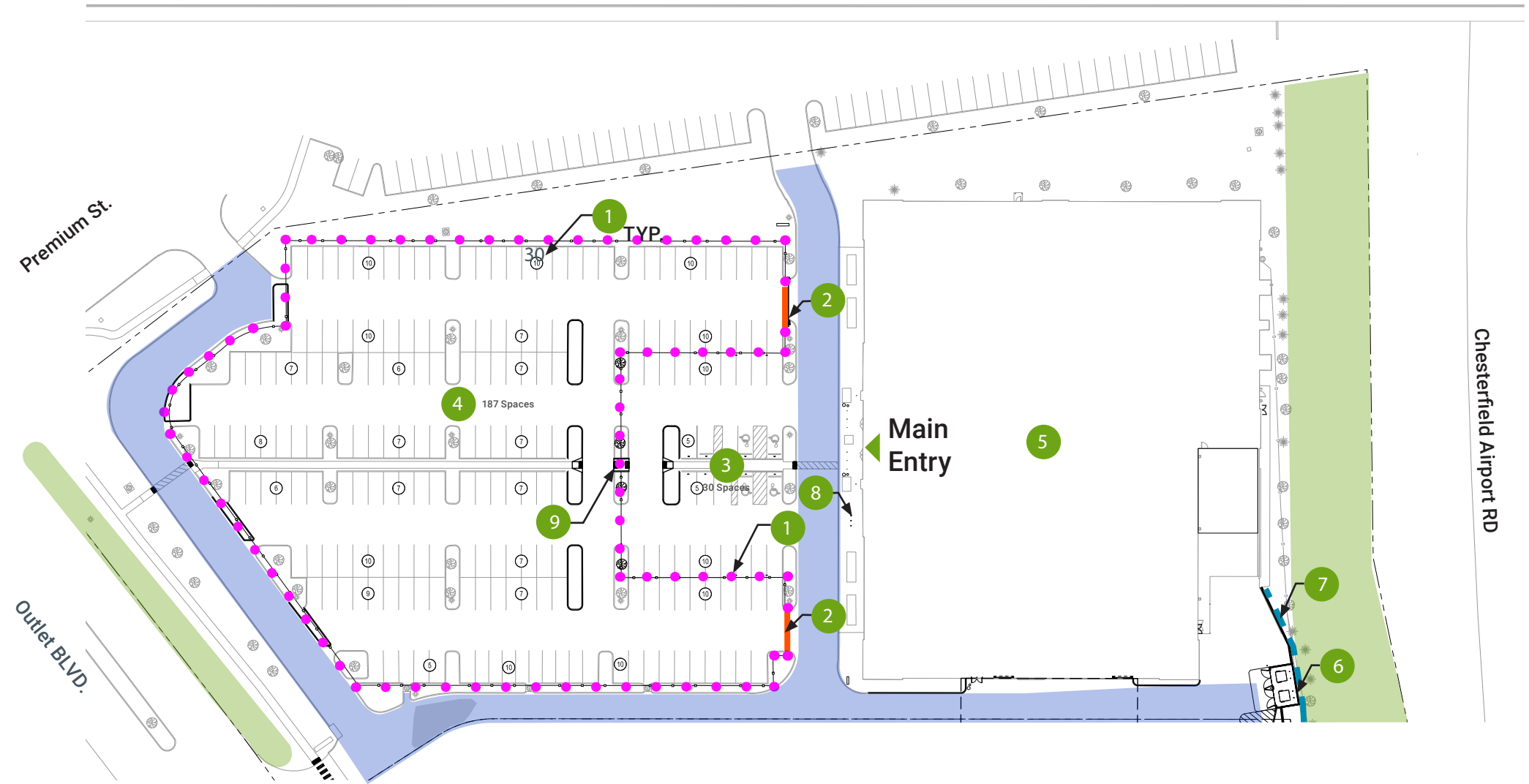


# Proposed Site

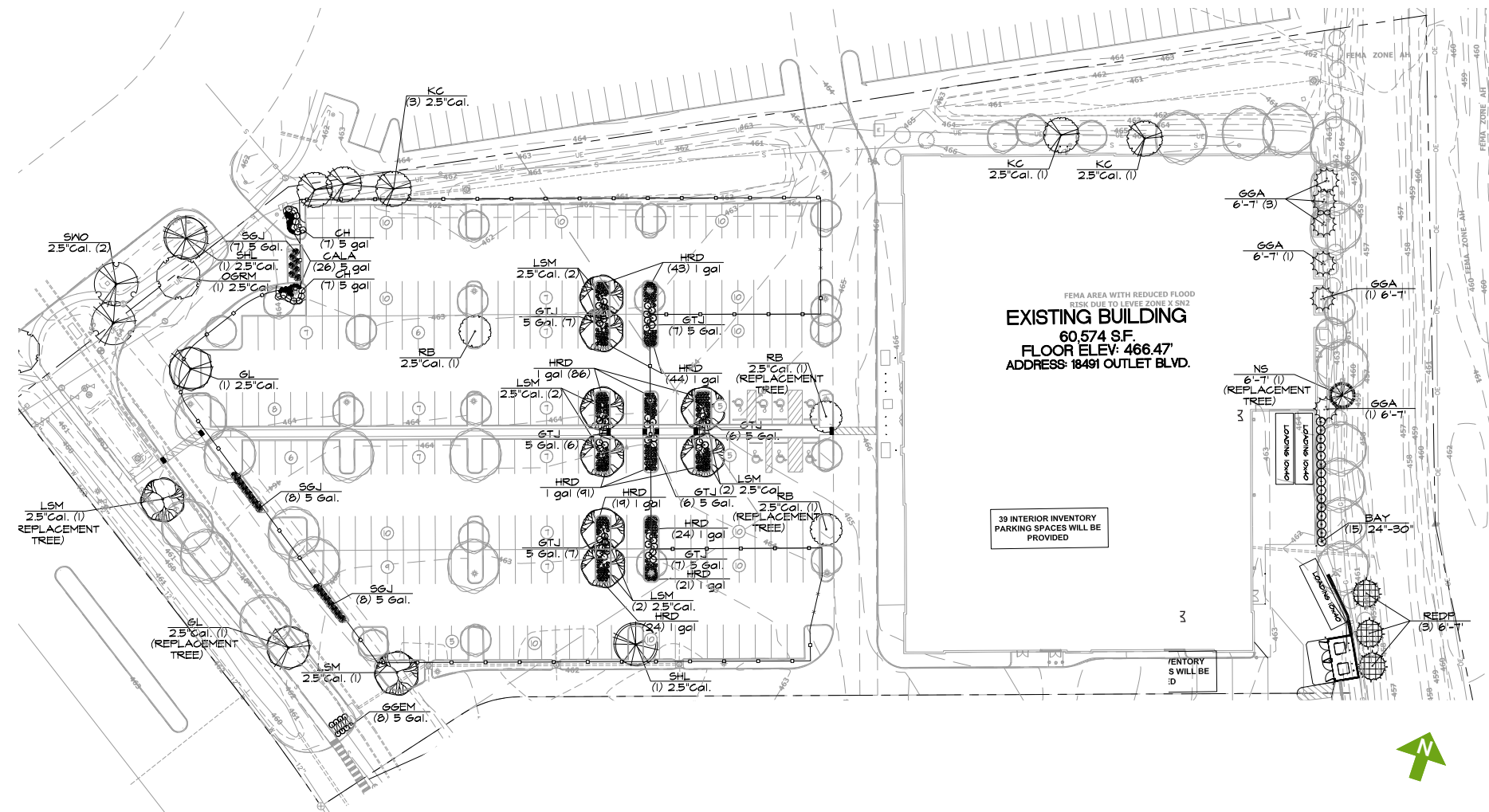
# Proposed Site - Site Plan

## Legend

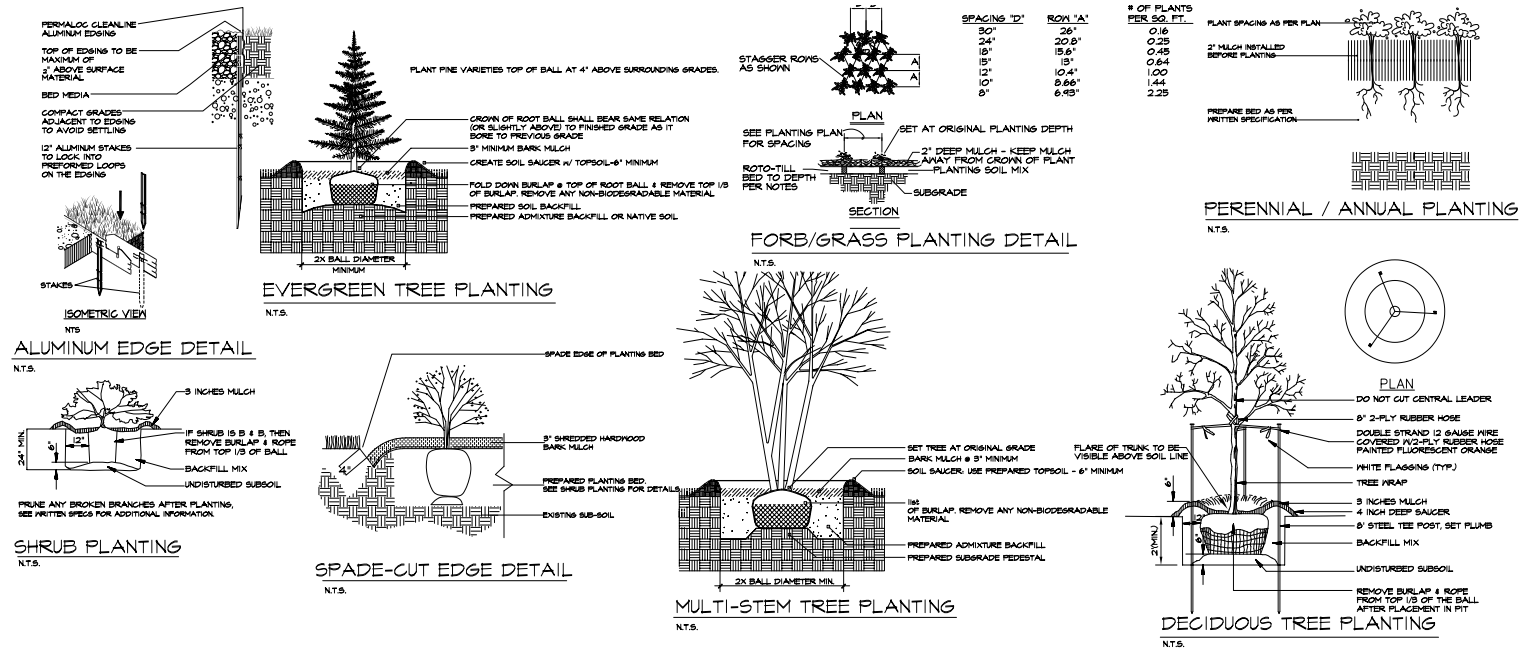
- Existing Cross Easement
- Existing Drainage Easement
- New Bollard Fence
- New Automatic Gate
- New screen wall
- 1 New inventory bollards
- 2 New security gate
- 3 Guest parking
- 4 Inventory and employee parking
- 5 Existing main building.
- 6 New trash enclosure with recycling
- 7 New screen wall
- 8 New Bike Rack
- 9 4'-0" pass thru area for pedestrian/bike path.



# Proposed Site - Landscape Plan



PLANT SCHEDULE					
TREES	QTY	COMMON / BOTANICAL NAME	SIZE	MATURE HEIGHT	GROWTH RATE
GL	1	Greenspire Littleleaf Linden / <i>Tilia cordata</i> 'Greenspire'	2.5' Cal.	40 - 65' ht.	Slow/Medium
LSM	10	Legacy Sugar Maple / <i>Acer saccharum</i> 'Legacy'	2.5' Cal.	40 - 65' ht.	Slow/Medium
SNO	2	Swamp White Oak / <i>Quercus bicolor</i>	2.5' Cal.	40 - 65' ht.	Slow/Medium
OGRM	2	'October Glory' Maple / <i>Acer rubrum</i> 'October Glory'	2.5' Cal.	40 - 65' ht.	Fast
SHL	2	'Skyline' Locust / <i>Gleditsia triacanthos</i> 'Skyline'	2.5' Cal.	25 - 65' ht.	Fast
EVERGREEN TREES	QTY	COMMON / BOTANICAL NAME	SIZE	MATURE HEIGHT	GROWTH RATE
GGA	6	Green Giant Arborvitae / <i>Thuja plicata</i> 'Green Giant'	6'-7'	40 - 65' ht.	Medium
NS	1	Norway Spruce / <i>Picea abies</i>	6'-7'	30-40' ht.	Fast
REDP	3	Red Pine / <i>Pinus resinosa</i>	6'-7'	40 - 45' ht.	Medium
FLOWERING TREES	QTY	COMMON / BOTANICAL NAME	SIZE	MATURE HEIGHT	GROWTH RATE
RB	3	Redbud / <i>Cercis canadensis</i>	2.5' Cal.	15 - 40' ht.	Fast
KC	5	Kwanzan Cherry / <i>Prunus serrulata</i> 'Kwanzan'	2.5' Cal.	15 - 40' ht.	Medium
SHRUBS	QTY	COMMON / BOTANICAL NAME	SIZE		
CH	14	China Boy/Girl Holly / <i>Ilex meserveae</i> 'China Boy/Girl' TM	5 gal		
GTJ	46	Gold Tip Juniper / <i>Juniperus chinensis</i> 'Gold Tip'	5 gal.		
GGEM	8	Green Gem Boxwood / <i>Buxus</i> x 'Green Gem'	5 gal.		
BAY	15	Northern Bayberry / <i>Myrica pensylvanica</i>	24"-30"		
ANNUALS/PERENNIALS	QTY	COMMON / BOTANICAL NAME	SIZE		
HRD	352	Happy Returns Daylily / <i>Hemerocallis</i> hybrid 'Happy Returns'	1 gal		
GRASSES	QTY	COMMON / BOTANICAL NAME	SIZE		
CALA	26	Foerster's Reed Grass / <i>Calamagrostis acutifolia</i> 'Karl Foerster'	5 gal		



## Proposed Site - Topography Rendering



Proposed Echo Park rendering - View looking SE from Premium St.

## Proposed Site - Screen Wall Rendering



Proposed Echo Park rendering - View looking NW from I-64 Access way



## Proposed Site - Building Renderings



Proposed Exterior Rendering - Entrance

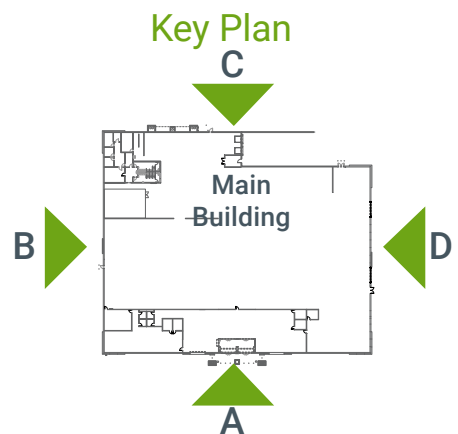
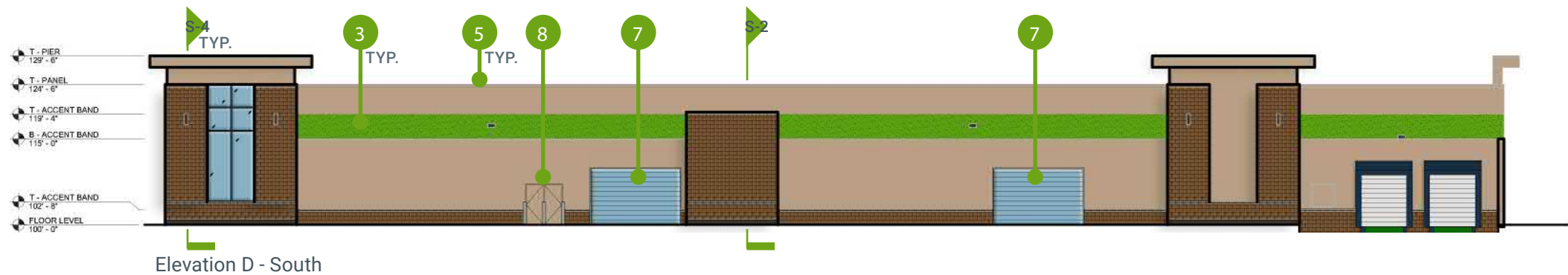
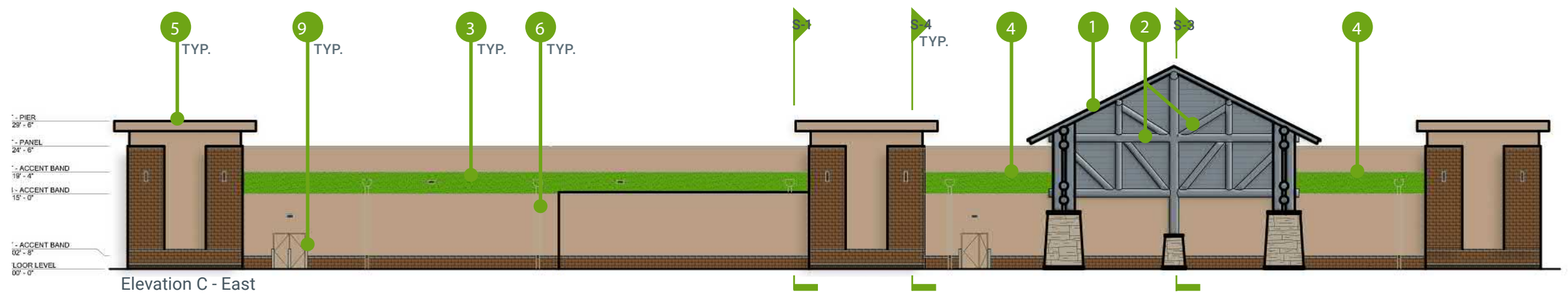
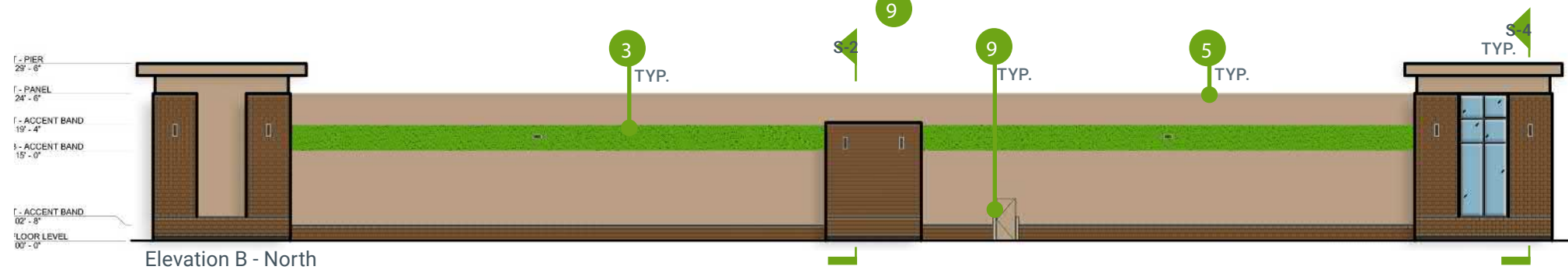
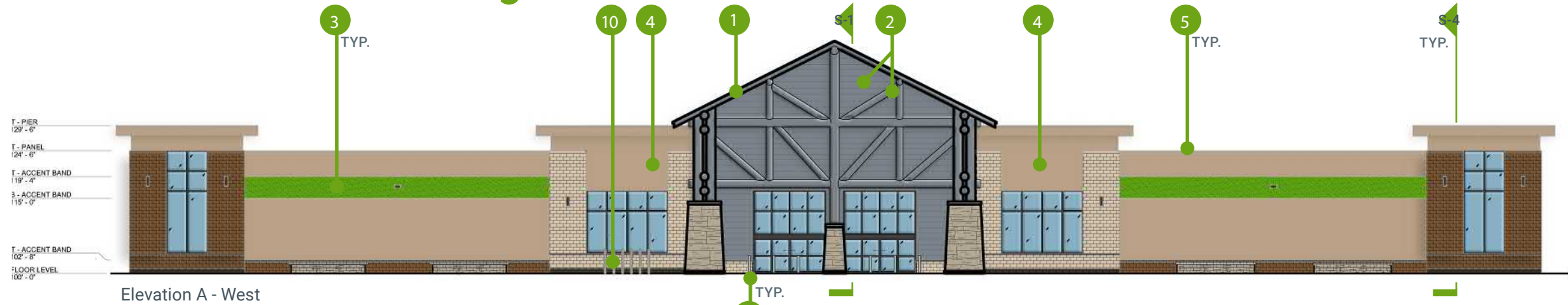


Proposed Exterior Rendering - Rear

# Proposed Site - Exterior Elevations - Main Building

## Legend

- 1** Remove blue standing seam roofs  
Replace with neutral gray standing seam panels.
- 2** Paint existing timber structure and timber entrance wall beyond.  
EX-02 - SW 7067 City Scope
- 3** Repaint blue stripes Echo Park Green.  
EX-09 - BM 427 Napa Vineyards
- 4** Remove blue standing seam awnings.
- 5** Paint blue coping caps.  
Match adjacent finish.
- 6** Paint blue scuppers & downspouts  
Match adjacent building color.
- 7** New overhead door.  
Full vision glass. 20'-0" W x 10'-0"H
- 8** New man door.  
Match adjacent finish.
- 9** Paint existing bollards  
Sherwin Williams 6150 Universal Khaki
- 10** New bike rack

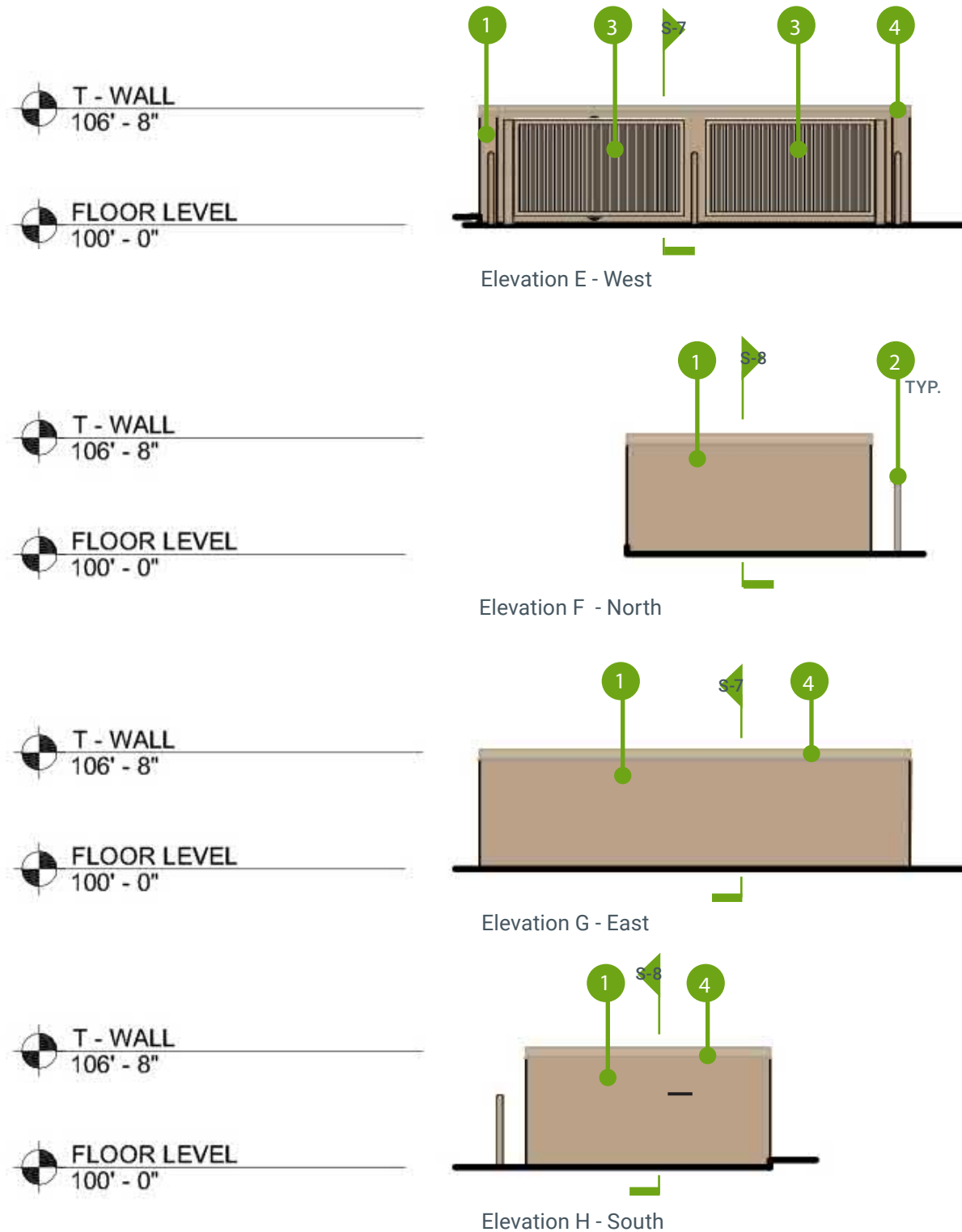
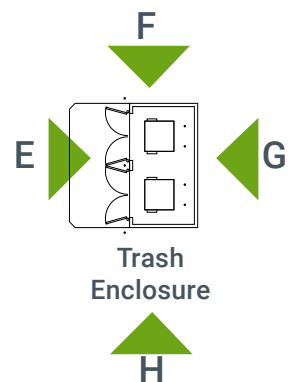


# Proposed Site - Exterior Elevation - Trash Enclosure

## Legend

- 1 Stucco**  
Match main building finishes
- 2 Bollards**  
Sherwin Williams - SW6150 Universal Khaki
- 3 Corrugated Steel Gate**  
Powder coated match Sherwin Williams 6150 Universal Khaki
- 4 Coping**  
Powder coated match Sherwin Williams 6150 Universal Khaki

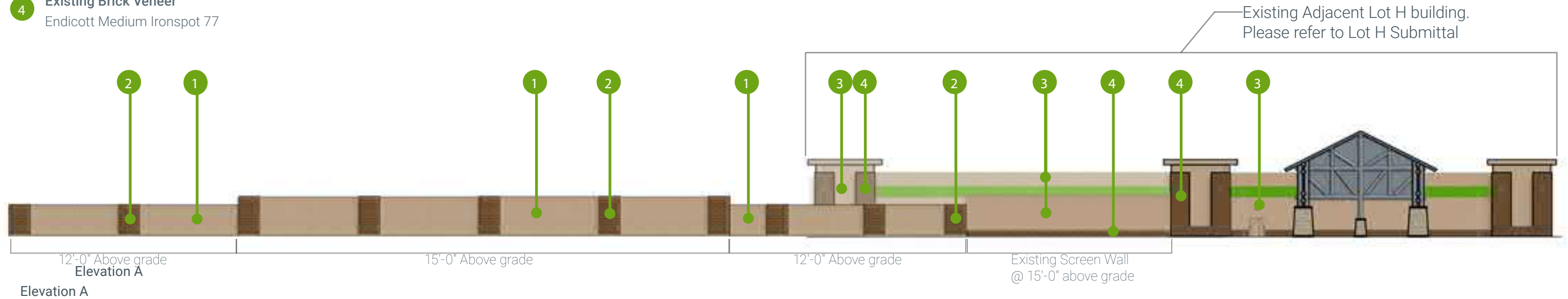
## Key Plans



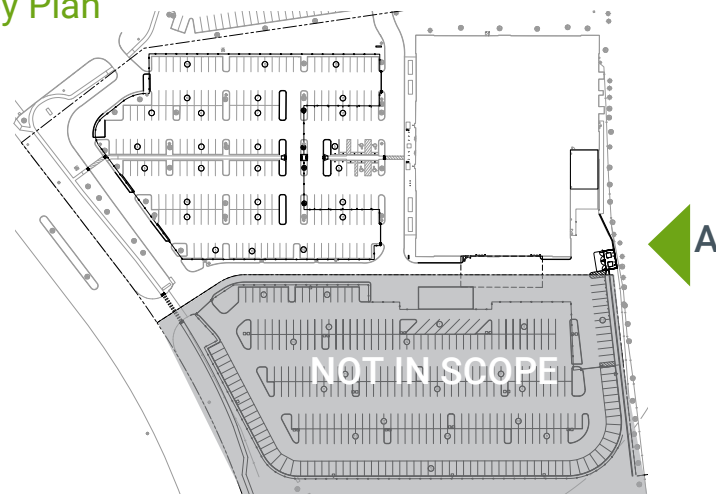
# Proposed Site - Flatten Elevation - Screen Wall

## Legend

- 1 **Stucco**  
Textured Coating - SW6150 Universal Khaki
- 2 **BRICK (EIFS)**  
Match Endicott Medium Ironspot 77
- 3 **Stucco on Existing Screen Wall**  
Textured Coating - SW6150 Universal Khaki
- 4 **Existing Brick Veneer**  
Endicott Medium Ironspot 77



## Key Plan



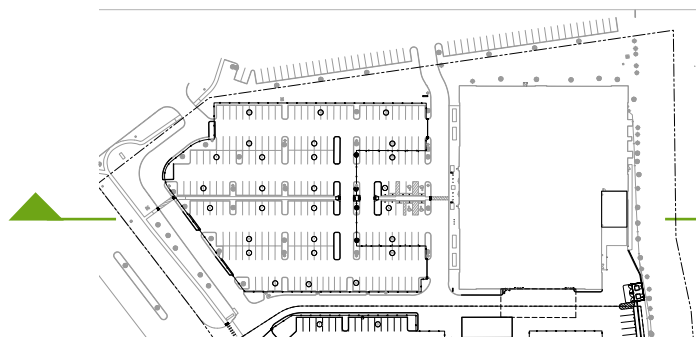
# Proposed Site - Sections

## Building sections

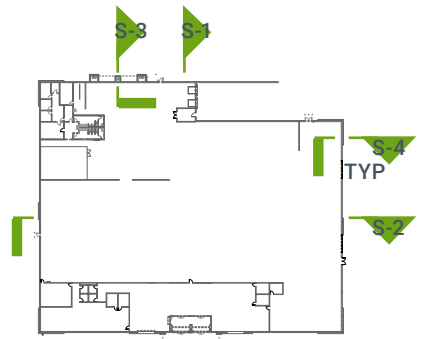
The existing main building will maintain its overall architectural articulation.

The new trash enclosure structure is designed to subtly relate to the design language of the existing main building on site. Stucco over masonry is to be used to give the structure texture and visual interest.

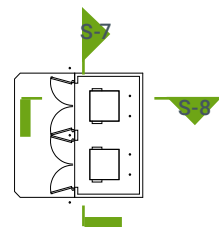
## Key Plans



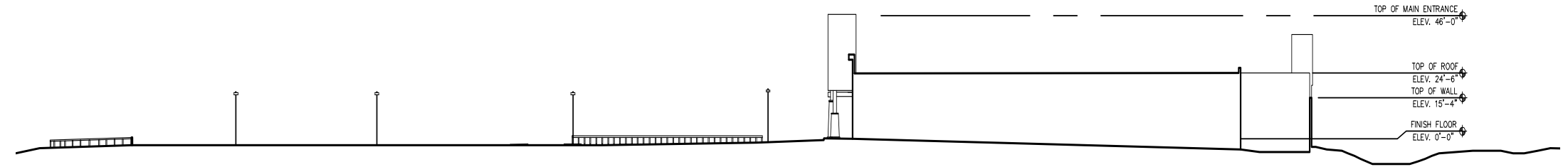
Site



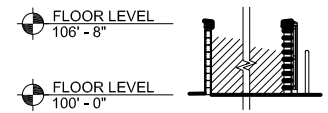
Main Building



Trash Enclosure



Site Sections

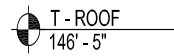


S-7: Building Section

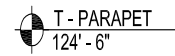
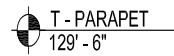


S-8: Building Section

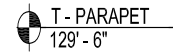
Trash Enclosure Sections



S-1: Building section thru entrance feature



S-2: Transverse building section



S-3: Wall section @ rear signage feature



S-4: Typical section @ brick parapets

Main Existing Building Sections

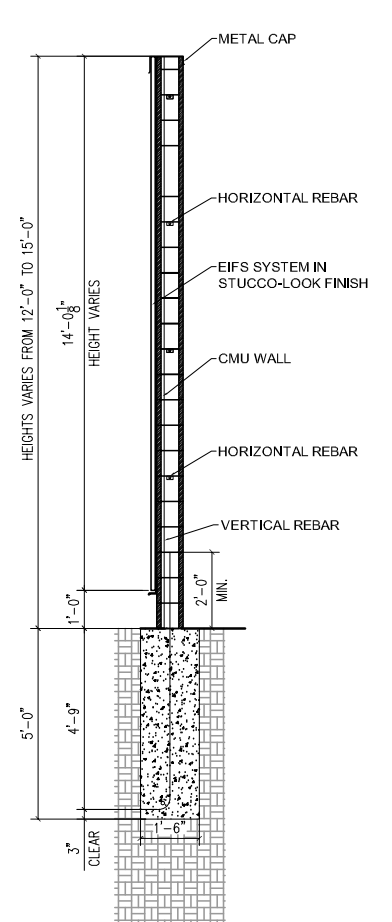
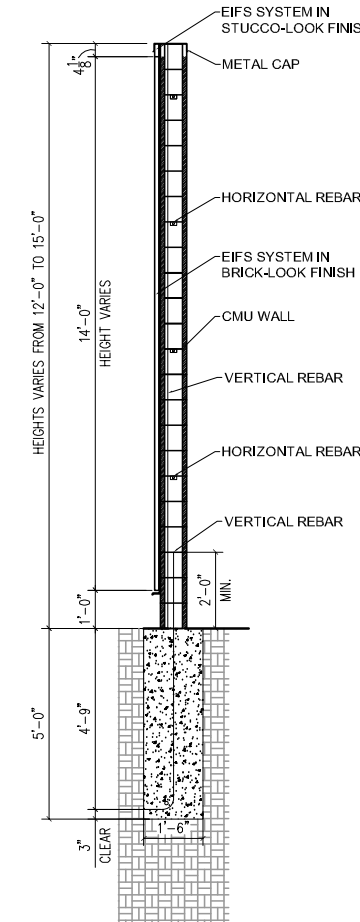
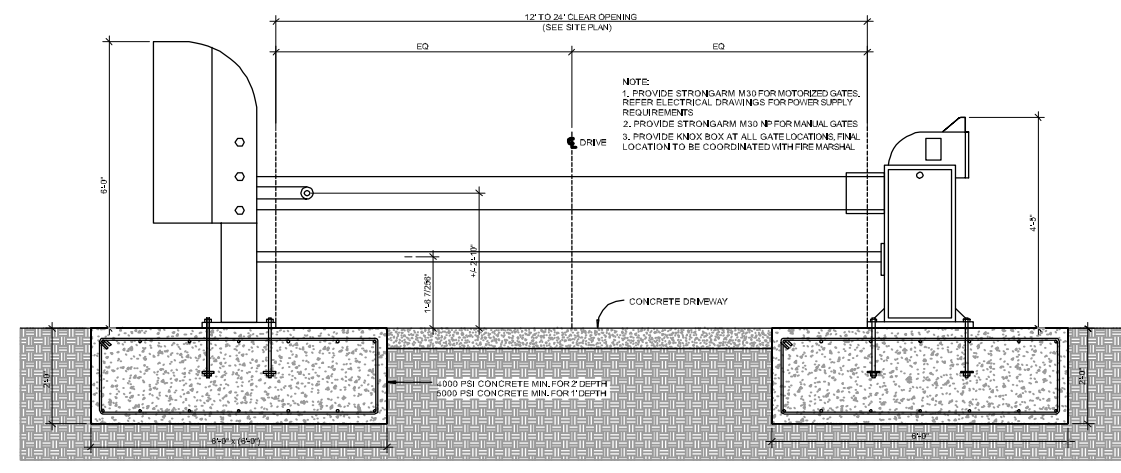
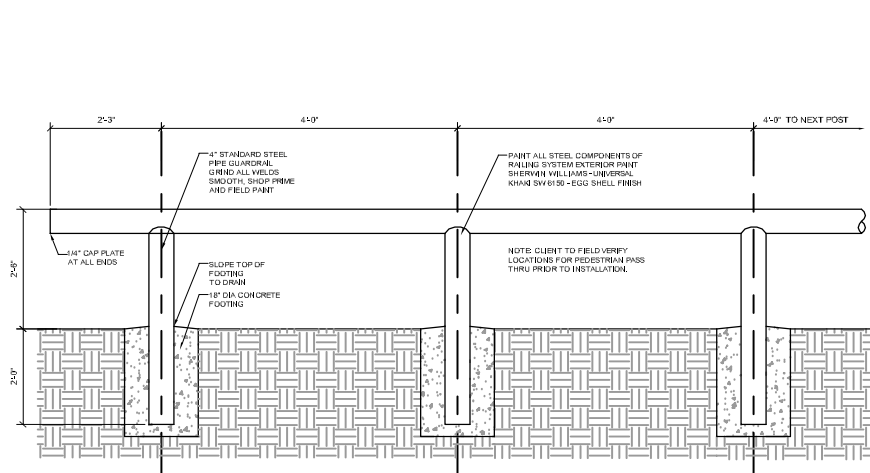
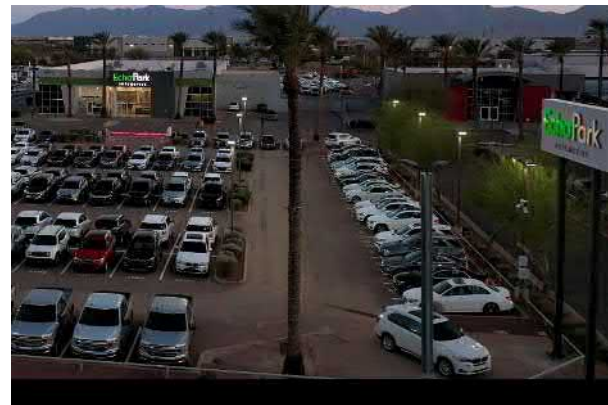
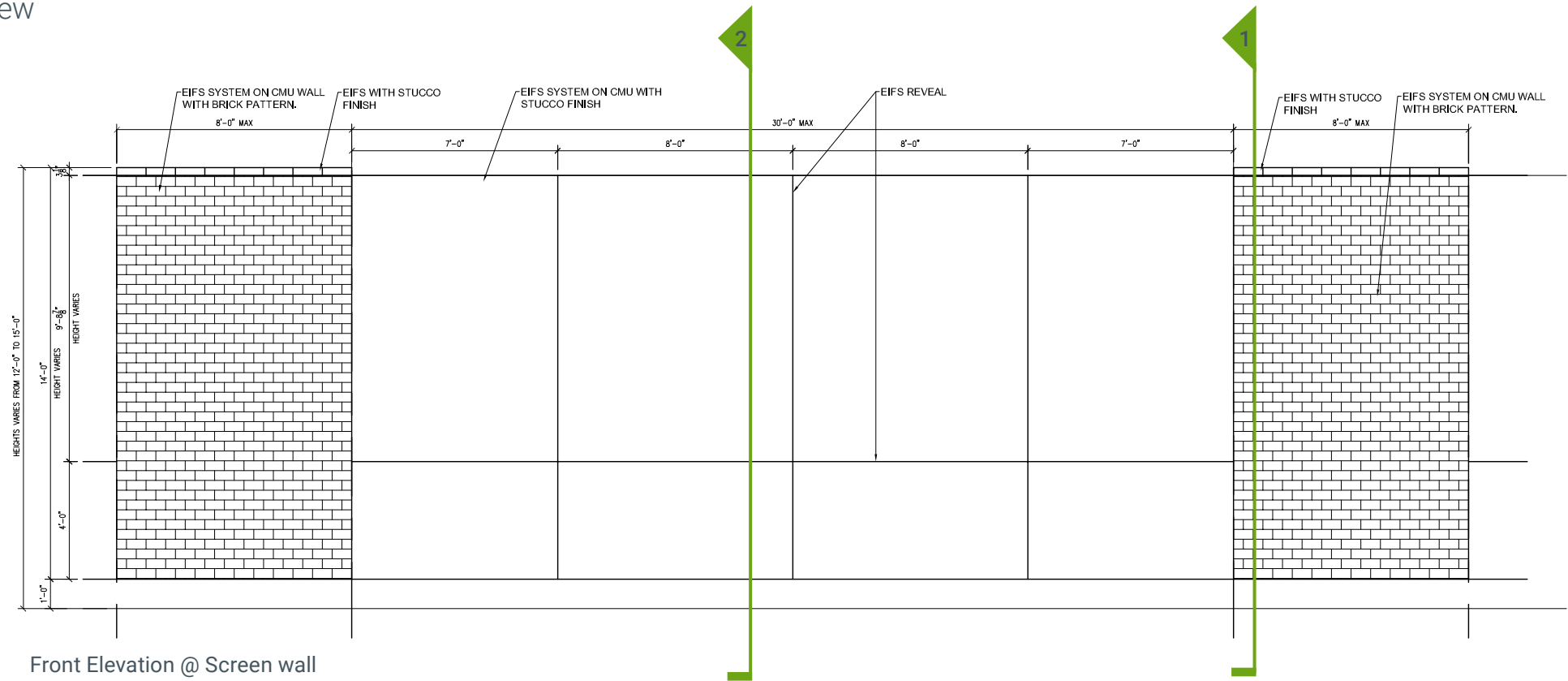
# Proposed Site - Details

## Fence Screening

Decorative fencing is to be used to not only obscure adjacent properties in order to manage sightlines and create an emotionally appealing guest experience and neighboring visitors. It is also creating a coherent theme of Prairie Style of Architecture in the development area.

## Security bollard fencing and gates

In order to secure parking zones, security bollards and gates are used where needed in order to allow for quick access of vehicles to waiting guests. Bollard fencing is used to create clear vehicle circulation, protect inventory and maintain sightlines. It is to blend into the existing development and not stand out. Refer to page 30 for reference photos.



Security Bollard Fencing Detail

Security Gate Detail

Section 1 @ Screen wall

Section 2 @ Screen wall

## Proposed Site - Lighting & Fixture

### Lighting

Lighting fixtures for the site have been selected to serve as a way to provide safety and security on site.

### Bike Racks

Bike racks will be added at the front of the existing main building per the architectural review design standards.

Parking Lot Lights



WLS Lighting Systems  
High Lumen Output  
FVL Series

Existing Wall Light Fixture



Kichler Lighting  
Cylinder 12" Downard Wall Light  
Color & Material Aluminum in Black  
SKU-9244BK

Parking Lot Light Poles



Techlight  
20'-0" Steel 4" Square 7 Guage  
Pole  
SSP Series

Bike Racks




Manufacturer: Forms + Surfaces  
Olympia  
Dimensions 7"W x 3"D x 35.6" H  
Details: Bike Rack  
Solid Cast aluminum construction  
Powdercoat Finish  
Surface Mount  
Location: Exterior

# Proposed Site - Lighting & Fixture


## Lighting Cutsheets

Existing lighting fixtures for the site to remain.

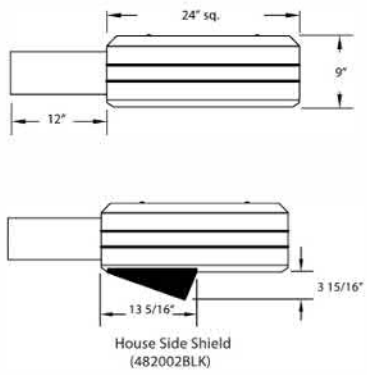


Type:

## FVL SERIES LED AREA



DIMENSIONS



House Side Shield (482002BLK)

**SPECIFICATIONS**

**HOUSING** - Square, die-formed aluminum. Fully enclosed weather-tight housing contains factory prewired drivers and field connections.

**TOP-ACCESS COVER** - Gasketed, tethered top-access cover provides ease of installation and allows for easy driver access. Four captive stainless-steel fasteners secure the topaccess cover to the housing.

**OPTICAL UNIT** - Clear tempered optical grade flat glass lens sealed to aluminum housing creates an IP67 rated, sealed optical unit (includes pressure stabilizing breather). Optical unit can be easily field rotated in 90o increments. Directional arrow on optics allows alignment without the unit being energized.

**LEDS** - Select high-brightness LEDs in Cool White (5000K) or Neutral White (4000K) color temperature, 70 CRI.

**EXPECTED LIFE** - Minimum 60,000 hours to 100,000 hours depending upon the ambient temperature of the installation location.

**DISTRIBUTION/PERFORMANCE** - Types 3, 5, FT and FTA available - field rotatable reflectors.

**MOUNTING** - 2-1/2" x 5-3/8" x 12" extruded aluminum arm mounting bracket shipped standard. Use with 5" traditional drilling pattern. Round Pole Plate (RPP2) required for mounting to 3"- 5" round poles. (See Accessory Ordering Information chart.)

**OPERATING TEMPERATURE** - -40°C to +50°C (-40°F to +122°F).

**FINISH** - Fixtures are finished with WLS DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling.








**WARRANTY** - WLS LED fixtures carry a limited 5-year warranty.

**SHIPPING WEIGHT (IN CARTON)** - Fixture - 44.5 lbs (20 kg) Arm - 5 lbs. (2kg) arm

**LISTING** - UL listed to U.S. and Canadian safety standards. Suitable for wet locations. For a list of the specific products in this series that are DLC listed, please consult the LED Lighting section of our website or the Design Lights website at [www.designlights.org](http://www.designlights.org).

LIGHT OUTPUT - FVL						
		Lumens (Nominal)				Watts (Nominal)
		Type 3	Type 5	Type FT	Type FTA	
Cool White	LW	1480	13840	15020	16560	140
	SS	20180	18040	20700	23030	187
	HO	26750	25460	29070	31810	300
Neutral White	LW	11450	11290	12220	13470	136
	SS	16390	15170	17230	18750	188
	HO	22240	20550	23510	25410	288

LED Chips are frequently updated therefore values may increase.

Made in the U.S.A. of the U.S. and imported parts. Meets Buy American requirements for ARRA.

**WLS LIGHTING SYSTEMS** 1919 Windsor Place, Fort Worth, TX 76110, 800.622.8711, [www.wslighting.com](http://www.wslighting.com)

Project Name: \_\_\_\_\_  
 Date: \_\_\_\_\_  
 Location: \_\_\_\_\_  
 Notes: \_\_\_\_\_

01 REV. 01/19  
Specifications subject to change without notice.

## FVL SERIES LED AREA

**ORDERING INFORMATION** SELECT APPROPRIATE CHOICE FROM EACH COLUMN TO FORMULATE ORDER CODE.  
Refer to example below.

SERIES	DISTRIBUTION	LIGHT SOURCE	DRIVE CURRENT	COLOR TEMPERATURE	LINE VOLTAGE	LUMINAIRE FINISH	OPTIONS	ACCESSORIES
FVL <sup>1</sup>	FT - Forward Throw FTA - Forward Throw Automotive 3 - Type III 5 - Type V	LED	LW - Low Watt SS - Super Saver HO - High Output	CW - Cool White (5000K) NW - Neutral White (4000K)	UE - Universal Voltage (120-277) <b>347-480</b>	BLK - Black BRZ - Bronze GPT - Graphite MSV - Metallic Silver PLP - Platinum Plus SVG - Satin Verde Green WHT - White  Optional Color Decals 45 - Light Gold 20 - Charcoal Metallic 55 - Black 94 - Blue Metallic 59 - Dark Green 51 - Dark Red 21 - Tomato Red 50 - White 700 - Aztec Silver Metallic	8BK 8" Bracket (S and D180 only) PC Button-Type Photocell TB Terminal Block SF <sup>2</sup> Single Fusing DF <sup>2</sup> Double Fusing NO No Options	<b>Sensor</b> IMS - Integral Motion Sensor <sup>3</sup> PCI120 - 120V Button-Type Photocell PCI208 - 208V Button-Type Photocell PCI240 - 240V Button-Type Photocell PCI277 - 277V Button-Type Photocell PCI347 - 347V Button-Type Photocell  <b>Options</b> 8BK - 8" Bracket (S and D180 only) TB - Terminal Block NA - No Accessories

**ORDER:**

WLS-FVL	LED						
---------	-----	--	--	--	--	--	--

Example: WLS-FVL-5--LED-SS-CW-UE-BRZ-NO-NA

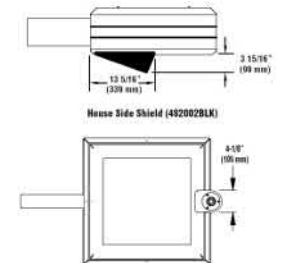
**FOOTNOTES:**

- 1 Use with 5" traditional drilling pattern.
- 2 Fusing must be located in the hand hole of pole.
- 3 Not compatible with wireless controls system, DIM or BLS option.

**LUMINAIRE EPA CHART<sup>2</sup> - FVL**

	8" Bracket	12" Bracket
Single	2.3	2.4
D180	4.7	4.8
D90	12" Bracket Required	4.7
T90		7.2
TN120		7.3
Q90		8.8

Note: House Side Shield adds to fixture EPA - Consult Factory.



Project Name: \_\_\_\_\_  
 Date: \_\_\_\_\_  
 Location: \_\_\_\_\_  
 Notes: \_\_\_\_\_

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# Proposed Site - Lighting & Fixture

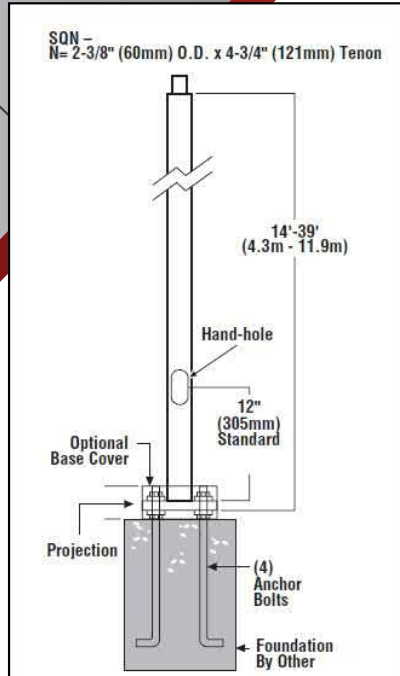
## Lighting Cutsheets

Existing lighting fixtures for the site to remain.



# SNTS SERIES

Type:



### SPECIFICATIONS

#### POLE SHAFT

Pole shaft is electro-welded ASTM-A500 Grade C steel tubing with a minimum yield strength of 50,000 psi. On Tenon Mount steel poles, tenon is 2-3/8" O.D. high-strength pipe. Tenon is 4-3/4" in length. Straight poles are 4", 5", and 6" square.

#### HAND-HOLE

Standard hand-hole location is 12" above pole base. Poles 22' and above have a 3" x 6" reinforced hand-hole. Shorter poles have a 2" x 4" non-reinforced hand-hole. BASE - Pole base is ASTM-A36 hot-rolled steel plate with a minimum yield strength of 36,000 psi. Two-piece square base cover is optional.

#### ANCHOR BOLTS

Poles are furnished with anchor bolts featuring zinc-plated double nuts and washers. Galvanized anchor bolts are optional. Anchor bolts conform to ASTM F 1554-07a Grade 55 with a minimum yield strength of 55,000 psi.

#### GROUND LUG

Ground lug is standard.

#### DUPLIX RECEPTACLE

Weatherproof duplex receptacle is optional.

#### GROUND FAULT CIRCUIT INTERRUPTER

Self-testing ground fault circuit interrupter is optional.

#### FINISHES

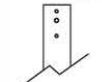
Each pole is finished with DuraGrip®, WLS's baked-on polyester-powder finishing process which electrostatically applies and fuses a polyester powder to the pole. Provides an extremely smooth and uniform finish to withstand extreme weather changes without cracking or peeling, and features a five-year limited warranty. Optional DuraGrip® Plus features the added protection of a 3.0 to 5.0 mil thickness of polyester powder finish plus an inner coating, as well as a seven-year limited warranty.

#### DETERMINING THE LUMINAIRE/POLE COMBINATION FOR YOUR APPLICATION:

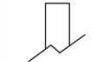
- Select luminaire from luminaire ordering information
- Select bracket configuration if required
- Determine EPA value from luminaire/bracket EPA chart
- Select pole height
- Select MPH to match wind speed in the application area (See windspeed maps).
- Confirm pole EPA equal to or exceeding value from note above
- Consult factory for special wind load requirements and banner brackets

SHIPPING WEIGHTS - SNTS Series	
4"(102mm) sq. 11 Ga. is approximately	7.50 lbs./ft.
4"(102mm) sq. 07 Ga. is approximately	10.00 lbs./ft.
5"(127mm) sq. 11 Ga. is approximately	9.00 lbs./ft.
5"(127mm) sq. 07 Ga. is approximately	12.50 lbs./ft.
6"(152mm) sq. 07 Ga. is approximately	15.40 lbs./ft.
Anchor Bolts (3/4" x 30")(19mm x 762mm)	15 lbs. (7kg)/set
Anchor Bolts (1" x 36")(25mm x 914mm)	30 lbs. (14kg)/set

SQB3, SQB5 - Bolt-On Mount 2-Bolt Pattern



SQI - No Mounting Holes



SF - Single Flood Pole Preparation



Made in the U.S.A. of the U.S. and imported parts. Meets Buy American requirements for ARRA.

**WLS LIGHTING SYSTEMS**  
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Location: \_\_\_\_\_  
Notes: \_\_\_\_\_

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Specifications subject to change without notice.

# SNTS SERIES

## ORDERING INFORMATION SELECT APPROPRIATE CHOICE FROM EACH COLUMN TO FORMULATE ORDER CODE.

Refer to example below.

SERIES	POLE SERIES	MATERIAL	HEIGHT <sup>2</sup>	MOUNTING CONFIGURATION	POLE FINISH	OPTIONS
SNTS	<b>Bolt-on Arm Mount</b> See pole selection guide for patterns and fixture matches. 4SQB3 3" Reduced drilling pattern 5SQB3 3" Reduced drilling pattern 4SQB5 5" Traditional drilling pattern 5SQB5 5" Traditional drilling pattern 6SQB5 5" Traditional drilling pattern 4SQBO 5SQBO 6SQBO	S11G 11 Ga. Steel S07G 07 Ga. Steel	14 14' 16 16' 18 18' 20 20' 22 22' 24 24' 26 26' 28 28' 30 30' 35 35' 39 39'	S Single/Parallel D180° Double D90° Double DN90° Double T90° Triple TN120° Triple Q90° Quad QN90° Quad	BRZ Bronze BLK Black PLP Platinum Plus WHT White SVG Satin Verde Green GPT Graphite MSV Metallic Silver	GA Galvanized Anchor Bolts SF <sup>3</sup> Single Flood DF <sup>3</sup> Double Flood DGP DuraGrip® Plus LAB Less Anchor Bolts OSXX <sup>4</sup> Pole preparation for PMOS Occupancy Sensor
	<b>Tenon Mount</b> See selection guide for tenon and fixture/bracket matches. 4SQN 5SQN 6SQN					
<b>No Mounting Holes</b> Use with: • BKA 4ISF & BKA 5ISF • BKA X4ISF & BKA X5ISF						
<b>Internal Slip-fitter<sup>1</sup></b> 4SQI 5SQI						
<b>ORDER:</b>						
WLS-SNTS						

Example: WLS-SNTS-4SQB3-S11G-20-T90-BRZ-GA

### FOOTNOTES:

- 1 See Area Lighting Brackets 3" Reduced Drill Pattern and Area Lighting Brackets - Bolt-on 5" Traditional Drill Pattern spec sheets for Internal Slip-fitter brackets.
- 2 Pole heights will have +/- 1/2" tolerance.
- 3 See Flood Lighting Brackets section for choice of FBO brackets.
- 4 Order PMOS separately. Change "XX" to indicate height and side of pole location for pole preparation. EX: 0518A indicates preparation is to be 18ft. up from pole base on side A. Optimal distance from ground to sensor is 20ft.
- 5 OSXX option required. Not for use with Metal Halide fixtures.

ACCESSORY ORDERING INFORMATION (Accessories are field installed)	
Description	Order Number
4BC - 4" Square Base Cover	122559CLR
5BC - 5" Square Base Cover	122561CLR
6BC - 6" Square Base Cover	122563CLR
ER2 - Weatherproof Duplex Receptacle	122566CLR
GFI - Ground Fault Circuit Interrupter	122567CLR
MHP - Mounting Hole Plugs (3 plugs)-for use with 5" traditional drill pattern	132336
MHD - Mounting Hole Weatherproof Decal-for use with 3" reduced drill pattern	340120
Vibration Damper - 4" Square Pole (bolt-on mount only)	172539
Vibration Damper - 5" Square Pole (bolt-on mount only)	172538
Vibration Damper - 6" Square Pole (bolt-on mount only)	178361
PMOS120 - 120V Occupancy Sensor	518030CLR5
PMOS208/240 - 208, 240V Occupancy Sensor	534239CLR5
PMOS277 - 277V Occupancy Sensor	518029CLR5
PMOS480 - 480V Occupancy Sensor	534240CLR5

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Date: \_\_\_\_\_  
Location: \_\_\_\_\_  
Notes: \_\_\_\_\_

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Specifications subject to change without notice.

# Proposed Site - Lighting & Fixture

## Lighting Cutsheets

Existing lighting fixtures on exterior of building to remain.

**Cylinder 12" Wall Light Black** 9244BK

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**SPECIFICATIONS**

**Certifications/Qualifications**  
[www.kichler.com/warranty](http://www.kichler.com/warranty)

**Dimensions**

Base Backplate	5.00 X 4.75
Extension	7.00"
Weight	1.65 LBS
Height from center of Wall opening (Spec Sheet)	6.00"
Height	12.00"
Width	4.75"

**Light Source**

Lamp Included	Not Included
Lamp Type	BR30
Light Source	Incandescent
Max or Nominal Watt	65W
# of Bulbs/LED Modules	2
Socket Type	Medium
Socket Wire	105"

**Mounting/Installation**

Interior/Exterior	Exterior
Location Rating	Damp
Mounting Style	Wall Mount
Mounting Weight	1.65 LBS

**FIXTURE ATTRIBUTES**

**Housing**


Primary Material	ALUMINUM
------------------	----------

**Product/Ordering Information**

SKU	9244BK
Finish	Black
Style	Contemporary
UPC	783927536790

**Finish Options**

- Architectural Bronze
- Black
- Brushed Aluminum
- White



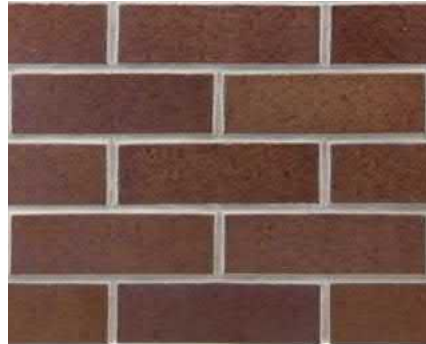
\*Existing light fixture on building shines downward only

## Proposed Site - Materials

### Material & Finish Selections

Materials & finishes for this site have been selected to modernize the existing main building and new structures on site. The goal is to tastefully align the proposed site with EchoPark standard for an inviting and engaging environment while blending in with the overall theme of Prairie Style of Architecture.

Masonry Brick Veneer



Description: Brick Veneer  
 Manufacturer: Endicott  
 Color: Medium Ironspot 77  
 Location: Existing building watertable

Stucco



Description: Stucco Textured Paint  
 Manufacturer: Sherwin Williams  
 Color: Universal Khaki SW6150  
 Location: Existing Building Exterior

EX - 02 Paint



Description: Paint  
 Manufacturer: Sherwin Williams  
 Product: Per GC dependent on substrate  
 Color: SW 7067 Cityscape  
 Finish: Eggshell  
 Contact: Roger Hall  
 roger.hall@sherwin.com  
 Location: Building log wall and wood truss

Steel Bollard Rail Paint



Description: Exterior Paint on steel bollards  
 Manufacturer: Sherwin Williams  
 Color: Universal Khaki - SW6150  
 Finish: Eggshell  
 Contact: Sherwin Williams  
 (800) 474-3794  
 Location: Bollard rails

EX-09



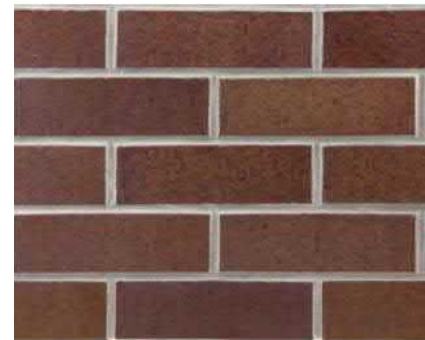
Description: Paint  
 Manufacturer: Benjamin Moore  
 Product: Per GC dependent on substrate  
 Color: BM 427 Napa Vineyards  
 Finish: Eggshell  
 Contact: Dorothy Hazinski  
 dorothy.hazinski@benjaminmoore.com  
 Location: Exterior building wall replacing blue accent paint

Full Vision Overhead Door



Description: Rytec - Spiral FV High Performance Door  
 Manufacturer: Rytec  
 Color: anodized aluminum and clear polycarbonate  
 Location: Existing building new openings

Brick (EIFS)



Description: EIFS Brick texture Finish  
 Manufacturer: TBD  
 Color: match Endicott Medium Ironspot 77  
 Location: Screen wall piers

Textured Coating (Stucco)



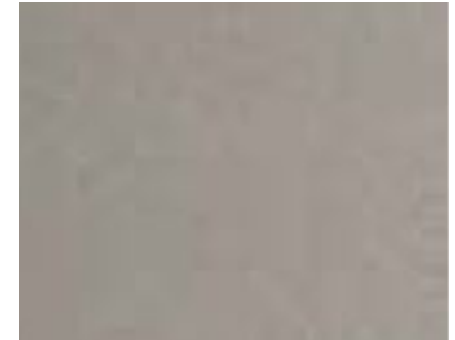
Description: Stucco Textured Coating  
 Manufacturer: Sherwin Williams  
 Color: Universal Khaki - SW6150  
 Location: Screen wall and trash enclosure

Standing Seam Metal Roof



Description: Standing seam metal roof  
 Manufacturer: ATAS or similar  
 Color: Silver Smith Mica  
 Location: Sloped Roof

Aluminum Finish



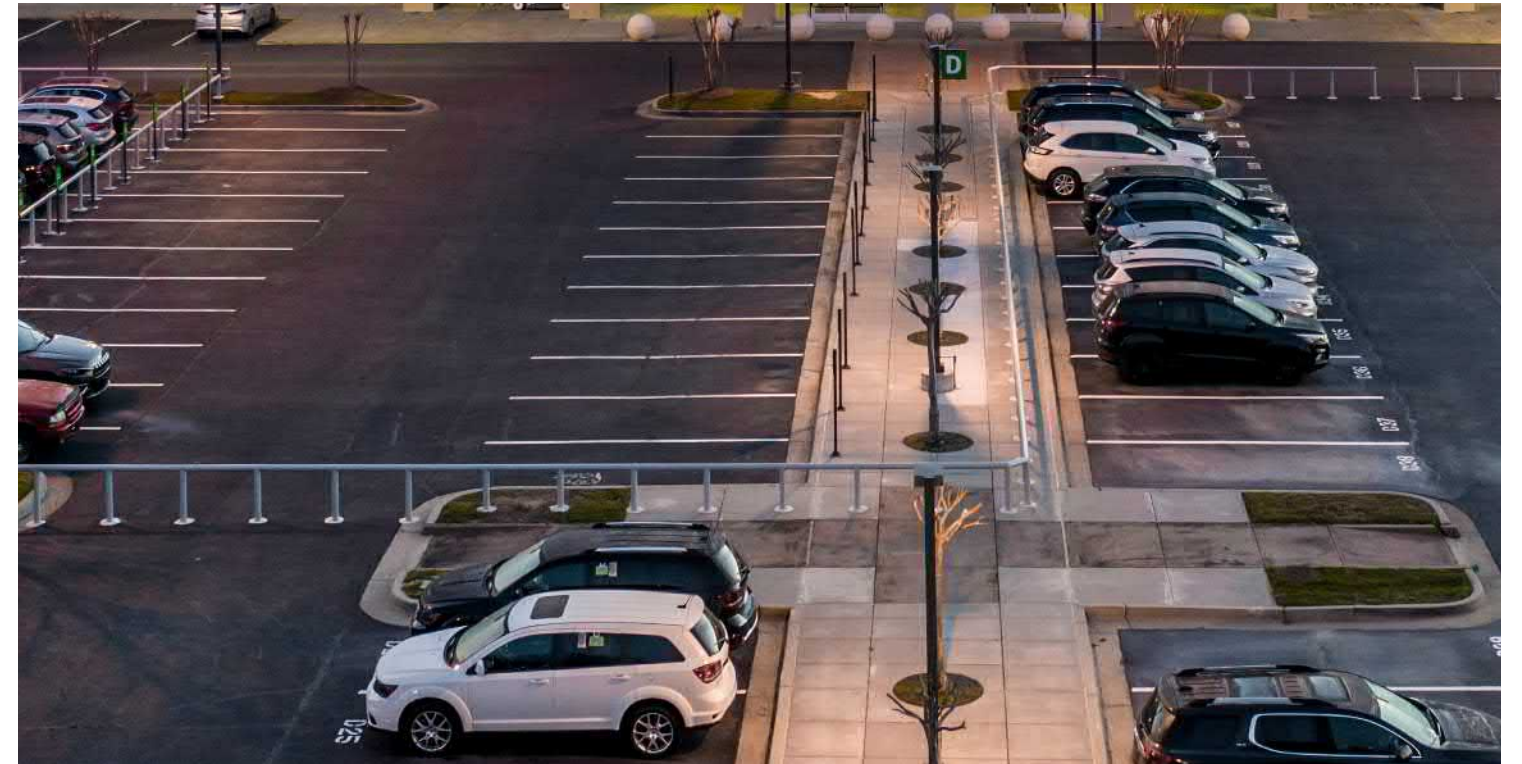
Description: Aluminum Texture  
 Location: Bike Rack Frame

## Appendix - Reference Photos

### Bollards and Security Gates at Other Echo Parks



Full Vision Overhead door



Bollard Rail Implemented at Echo Park Store



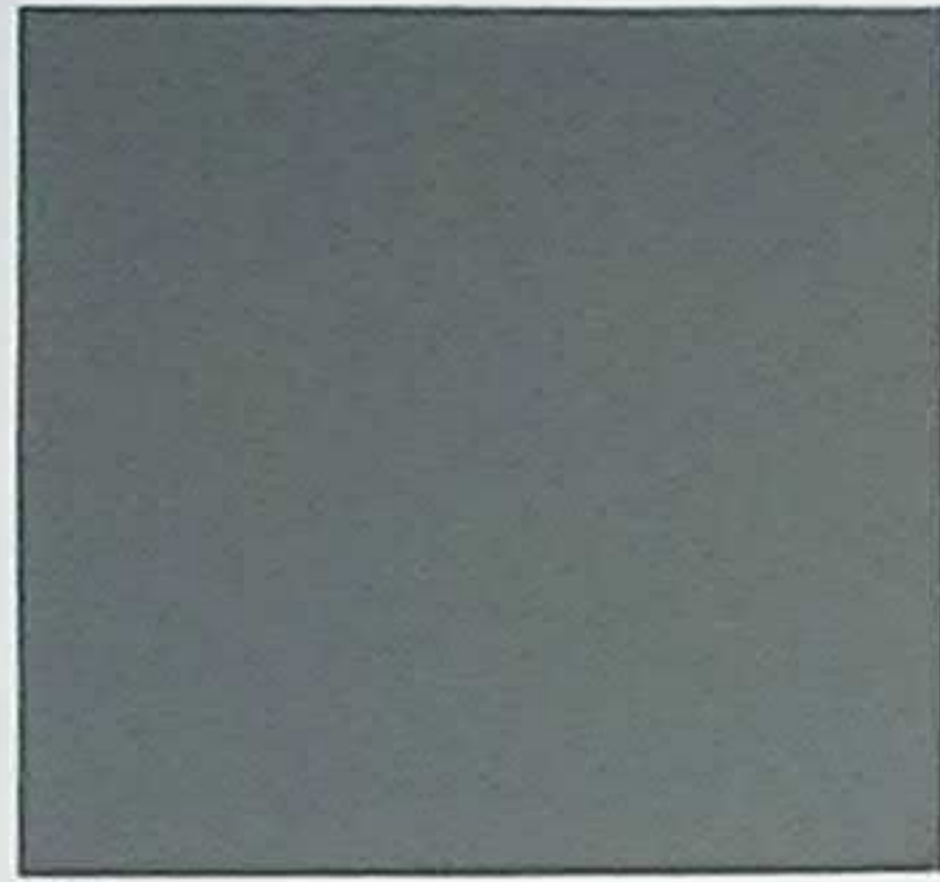
Non-Illuminated Security Gate at Echo Park Store

# Material Samples

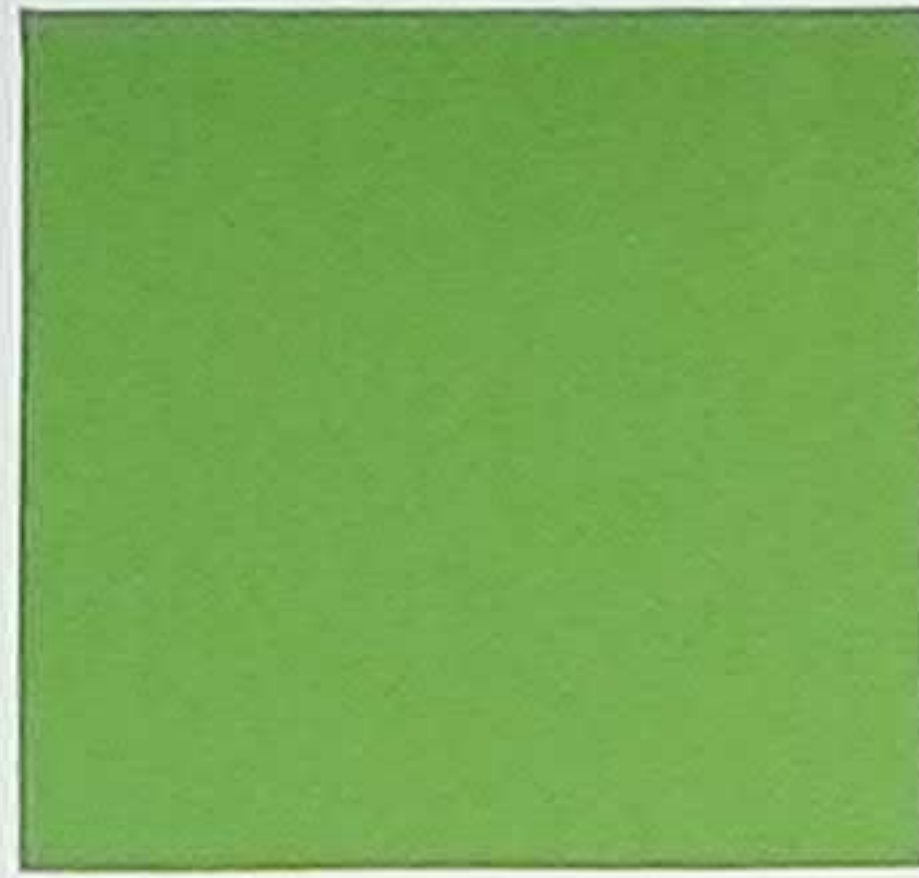
### Exterior Materials & Finishes



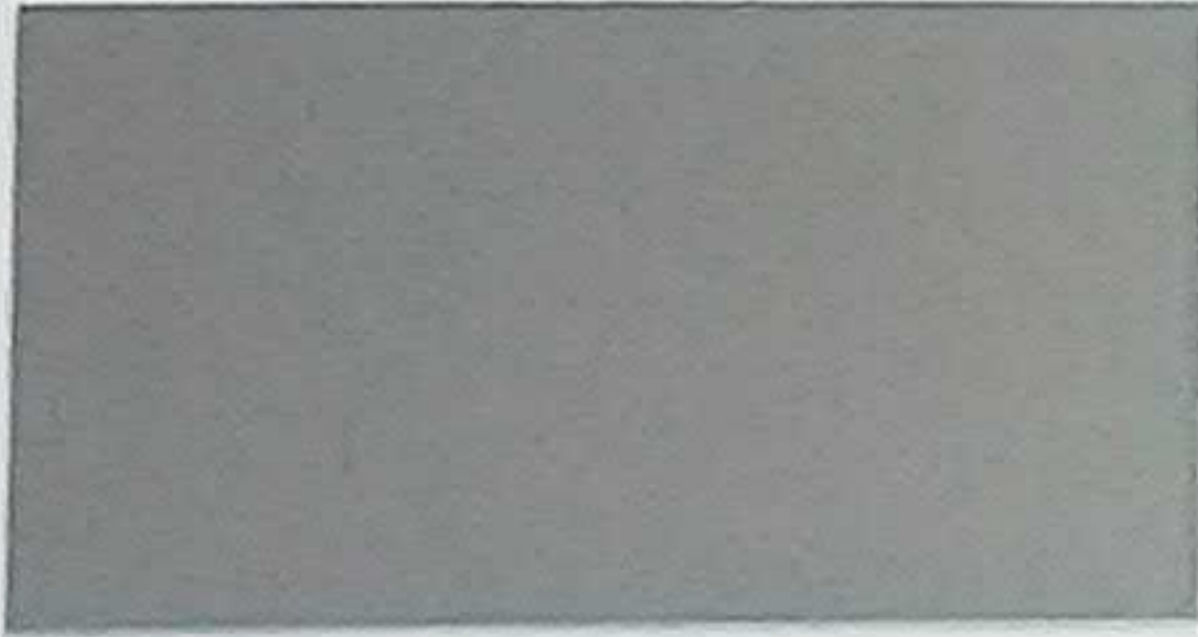
Stucco  
Medium Coarse Texture  
Sherwin Williams 6150 Universal Khaki



Paint  
Sherwin Williams 7067 Cityscape

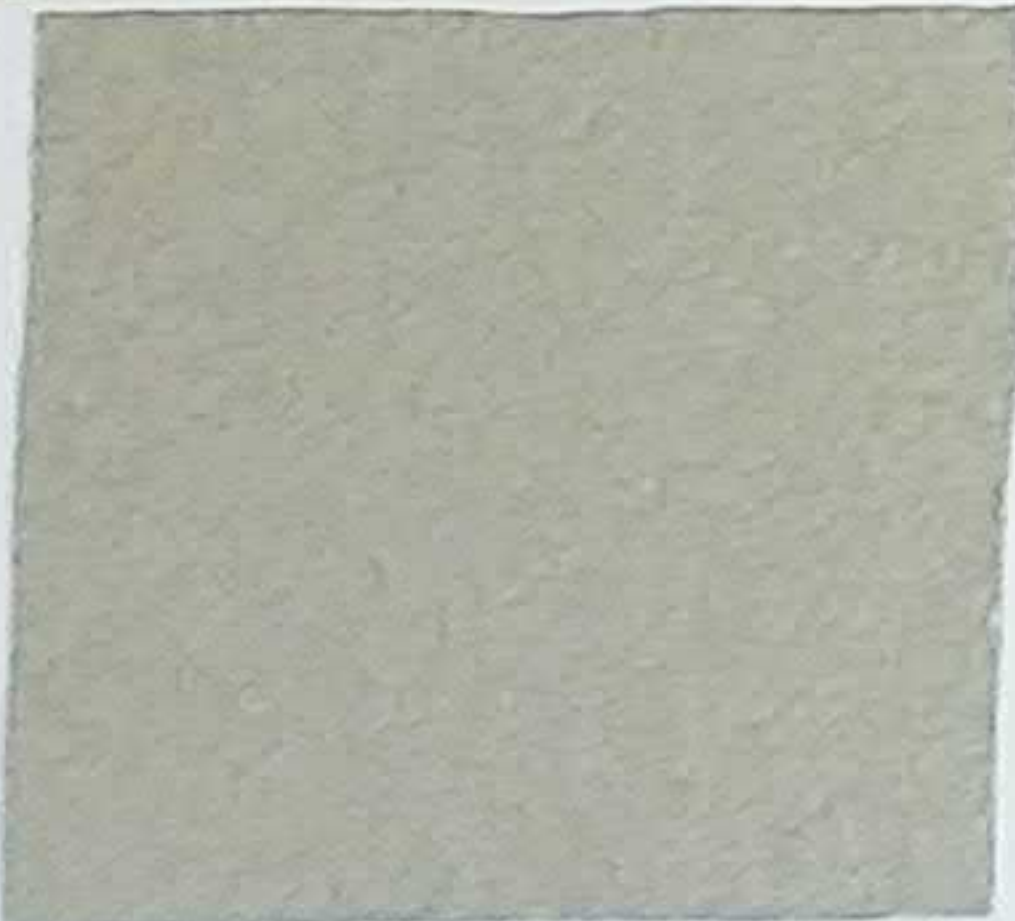


Paint  
Benjamin Moore 427 Napa Vineyards



Standing Seam Roof and Bike Rack Finish  
Kingspan  
SilverSmith Mica

### Exterior Materials & Finishes



Stucco  
Medium Coarse Texture  
Sherwin Williams 6150 Universal Khaki



Brick Veneer  
Endicott Medium Ironspot 77  
See included sample board



Brick (EIFS)  
Match to Endicott Medium Ironspot 77

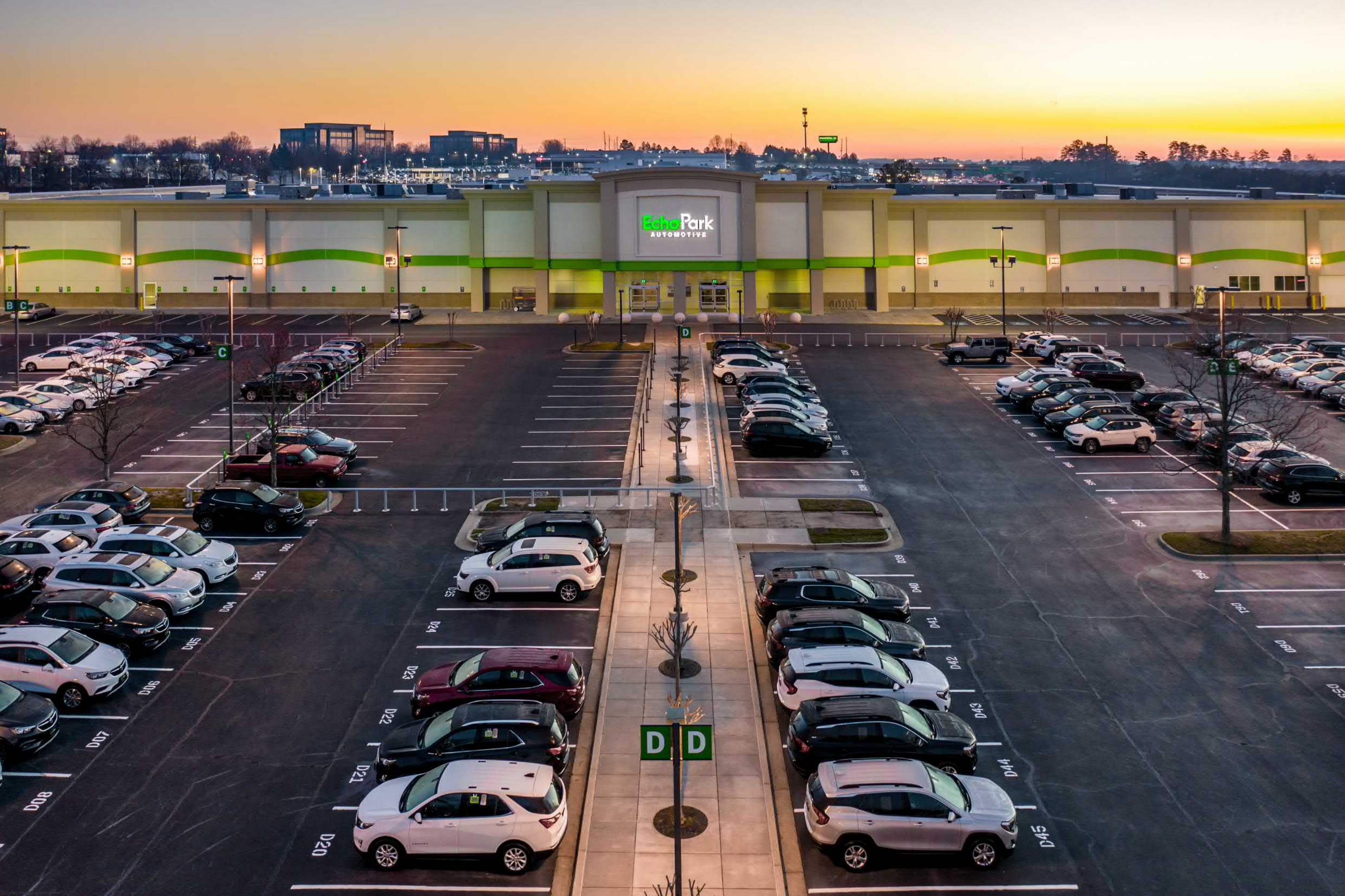


Garage Door  
Clear Polycarbonate

RECEIVED  
City of Chesterfield  
08/06/2021  
Department of Public Services

### MEDIUM IRONSPOT #77 SMOOTH THIN BRICK





EchoPark  
AUTOMOTIVE

D D

C

D

E

D08

D07

D06

D05

D04

D03

D02

D20

D21

D22

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D45

B C







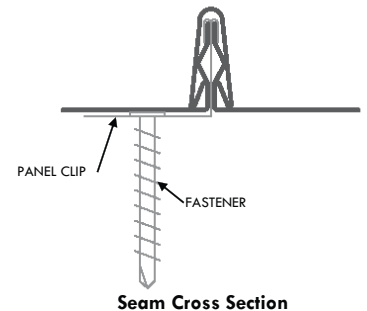
**SNAP-ON SEAM SS10** is a non-structural engineered snap-together panel system. The system is designed with two components: the panel and the seam cover. SNAP-ON-SEAM is a non-directional panel system allowing installers more control during installation over seam layout and symmetry of the panel area. SNAP-ON-SEAM is the easiest panel system for complex roof designs.

**Uses & Applications**

Product uses include roofs with slopes as low as 3:12, vertical fascia, equipment screens, mansards, and wall panels. This system may also be installed on tapered and curved roof areas.

**Advantages**

- Optional Factory Applied Non-Curing Sealant - for superior watertightness
- Engineered Snap-Together Design - easy installation
- Continuous Interlocking Seam Cap - no seam disengagement
- Expansion Clips - allows for thermal expansion and contraction
- Continuous Roll Formed Lengths - eliminates need for panel lap joints (4' min. panel length)
- Total System Warranties available - for total confidence



**Performance Tested**

- UL-580 Wind Uplift
- ASTM E331 Water Penetration
- ASTM E283 Air Leakage



**Expansion Clip**

Please consult DMI for applicability of test reports for your project.

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**PROVEN. DEPENDABLE. SUSTAINABLE.**

METAL ENVELOPE SYSTEMS SINCE 1986

# SNAP-ON SEAM SS10



Project Name: \_\_\_\_\_  
 Architect: \_\_\_\_\_  
 Installing Contractor: \_\_\_\_\_  
 General Contractor: \_\_\_\_\_  
 Specification Section: \_\_\_\_\_

Stiffener Profile

\_\_\_\_\_  \_\_\_\_\_  
 \_\_\_\_\_  \_\_\_\_\_

## DynaClad® PVDF Color Chart

<b>PUTTY</b> SRI = 77	<b>SANDSTONE</b> SRI = 77	<b>DOVE GREY</b> SRI = 61	<b>PATINA COPPER</b> SRI = 58	<b>WHITE</b> SRI = 85	<b>COBALT BLUE</b> SRI = 20
<b>BEIGE</b> SRI = 53	<b>STONE</b> SRI = 49	<b>SLATE GREY</b> SRI = 47	<b>TERRA COTTA</b> SRI = 43	<b>METALLIC SILVER</b> SRI = 53	<b>BRITE RED*</b> SRI = 44
					<b>Premium Colors **</b>
<b>MUSKET GREY</b> SRI = 35	<b>SEAPORT</b> SRI = 35	<b>COLONIAL RED</b> SRI = 34	<b>SLATE BLUE</b> SRI = 34	<b>CHAMPAGNE</b> SRI = 51	
<b>BURGUNDY</b> SRI = 34	<b>HEMLOCK GREEN</b> SRI = 31	<b>LEAF GREEN</b> SRI = 31	<b>CHARCOAL GREY</b> SRI = 31	<b>METALLIC COPPER</b> SRI = 49	
<b>SPARTAN BRONZE</b> SRI = 30	<b>CLASSIC BRONZE</b> SRI = 29	<b>MATTE BLACK</b> SRI = 29	<b>EVERGREEN</b> SRI = 28	<b>AGED COPPER</b> SRI = 43	
<b>DARK BRONZE</b> SRI = 27	<b>ROYAL BLUE</b> SRI = 27	<b>HARTFORD GREEN</b> SRI = 26	<b>BROWN</b> SRI = 25	<b>WEATHERED ZINC</b> SRI = 37	

### Custom Colors Available

Colors shown are samples and may vary slightly from actual material.  
 Please consult DMI Color Chart for stacking color availability.

†Metallic colors are directionally sensitive and therefore entire roof areas should be ordered at once time to ensure uniformity.

\*Brite Red has a clear coat. \*\*Premium colors carry an upcharge.

### Panel Width

- 12" (11.625")
- 16"
- 18"

### Clip

- Expansion

### Substrate

- 24 ga. Galvalume®
- 22 ga. Galvalume®
- .032 Aluminum
- .040 Aluminum\*
- 16 oz. Copper
- 20 oz. Copper

### Embossed: \_\_\_\_\_

\*Seam Caps available in 24 ga. & .032 aluminum only  
 Consult DMI for minimum quantities, upcharges, set up fees and extended lead times

### Standard Finishes (N/A on Mill Finishes)

- DynaClad® PVDF: \_\_\_\_\_
- Acrylic Coated Galvalume (Acrylume®)
- Clear Anodized Aluminum

### Premium Finishes\*

- DynaClad® Metallic PVDF: \_\_\_\_\_
- DynaClad® Brite Red PVDF
- DynaClad® Cobalt Blue PVDF
- DynaClad® Standard Color PVDF w/ Clearcoat: \_\_\_\_\_
- DynaClad® Premium Color PVDF w/ Clearcoat: \_\_\_\_\_
- Custom Color: \_\_\_\_\_

\*Premium Colors subject to minimum quantities, extended lead times and upcharges.  
 Consult DMI for details.

### Warranty

#### Finish

- DynaClad® Paint Finish
- Galvalume® 20 Year - 6 Month (Substrate)
- Aluminum Sheet 2 Year (Substrate)

#### Watertight

- DynaClad® Metal Roofing System: \_\_\_\_\_
- DynaClad® Metal Roofing System NDL: \_\_\_\_\_

Since 1988 Dimensional Metals, Inc. (DMI) has specialized in the manufacturing of architectural metal roof and wall panel systems as well as fabricated architectural sheet metal for the construction industry. We are backed by decades of proven metal envelope design, dependable Technical Field Services, and an Engineering Department delivering sustainable solutions. You are sure to find the product that will best enhance your design.

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RIGHT TO PASS BY PERMISSON  
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OF THE PROPERTY



## DRYVIT CUSTOM BRICK™

*The Classic Look of Brick, from an Environmentally-Superior,  
Cost-Effective, Lightweight Alternative*



Custom  
**BRICK™**

 **Dryvit™**

# Custom BRICK™

Custom Brick™ is an exciting alternative from Dryvit®, the nation’s leading manufacturer of exterior insulation and finish systems. This dramatic finish provides a beautiful effect that will leave even the most experienced mason shaking his head in disbelief. The look of Custom Brick is simply amazing, and it has numerous advantages over other exterior cladding options.

Custom Brick is a textured finish applied using a template to create a stunning finish. It is available in a wide variety of patterns, colors, textures and shading techniques that can be used to make your building look exactly the way you want it to. No more settling for the design limitations of other exteriors — or their excessive price — in getting exactly the look you want.

FEATURE	BENEFIT
■ Realistic brick masonry aesthetic	Inexpensively emulates labor-intensive masonry
■ Lightweight	Reduces structural demands for exterior facade
■ 14 standard templates	Ready supply of most popular designs
■ Custom templates available	Ability to match most existing patterns and textures
■ Multiple thicknesses of templates	Ability to create and shape deeper grout lines
■ Vapor-permeable	Will not trap moisture vapor
■ 100% acrylic	Greater flexibility for crack resistance and longer life
■ Exterior or interior application	Adds natural texture and color to multiple surfaces
■ DPR & PMR chemistry	Resistant to dirt and the growth of mold and mildew



Brown Street Station Condos | Forest Park, IL

“We wanted an antique brick look that you just couldn’t get in this area without paying a fortune and waiting forever to get it. Custom Brick provided a perfect — and accessible — solution.”

John Ailport, *General Superintendent*, Silver Moon Properties



Marriott Residence Inn | Salt Lake City, UT

“Custom Brick saved the owner over \$200,000 by eliminating the heavier footings and framing needed for the clay brick. “We are extremely pleased with the appearance of the finish.”

Woodburn Associates, *Owner*

# A TEMPLATED BRICK APPEARANCE FOR ANY WALL.

## Value:

Low installed cost, and a 30-year lifecycle

## Lightweight:

Approximately 1/35<sup>th</sup> the weight of clay brick

## Design Freedom:

Ultimate flexibility with color, texture and shapes

A Dryvit® Outsulation® system with Custom Brick™ finish provides an environmentally superior, cost-effective alternative, all from a single source.

Now *that's* a better brick!

## INSTALLATION OVERVIEW:

1. Prepare surface
2. Apply grout coat
3. Adhere selected Custom Brick template
4. Mix, then apply selected Custom Brick Finish material evenly
5. Create custom shading and effects (*optional*)
6. Remove templates and touch-up, if needed
7. Allow to dry

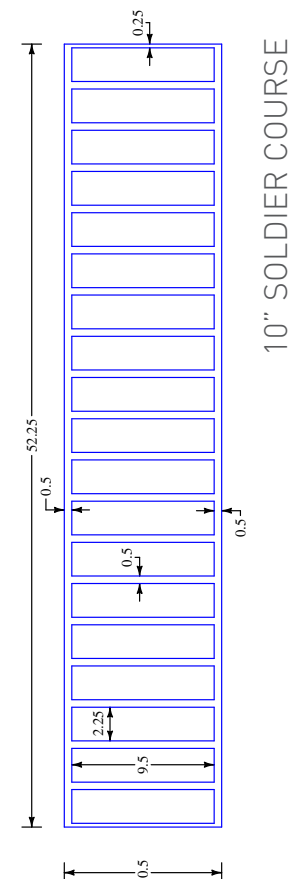
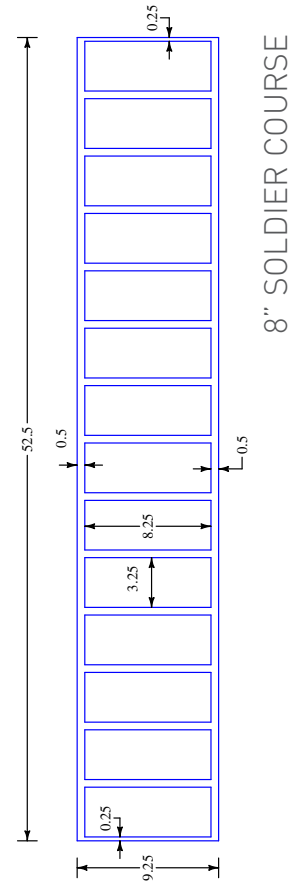


Isringhausen Imports | Springfield, IL

“The owner liked the renovated showroom so much he decided to re-clad his other brick building with Custom Brick because it looked better than the original brick.”

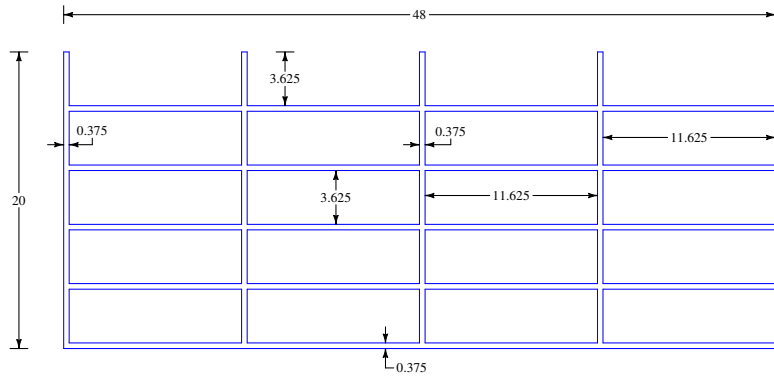


## TEMPLATES

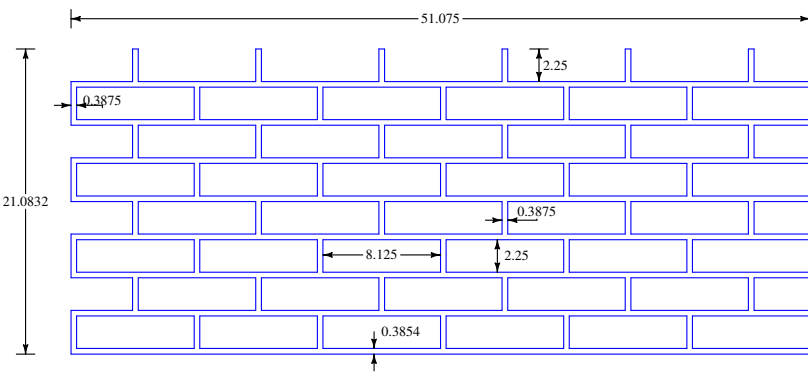




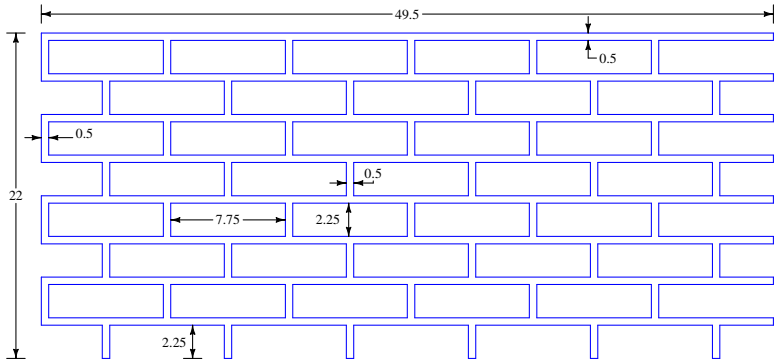
# TEMPLATES



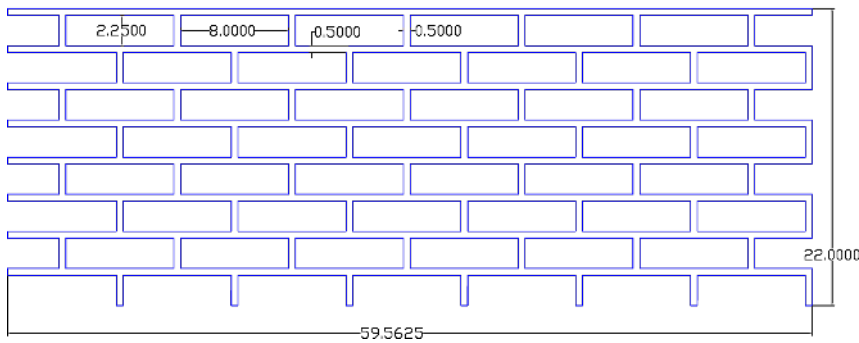
COLONIAL MALL



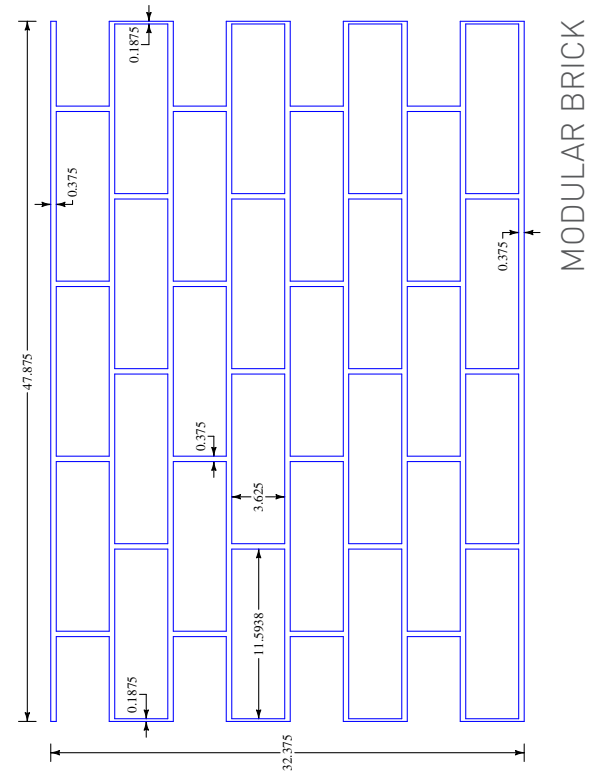
NY WALL BRICK 3/8"



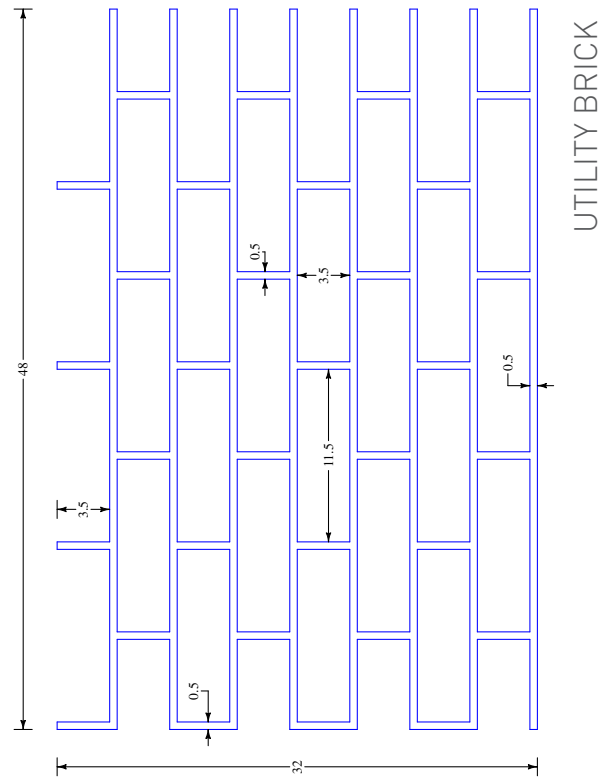
REGULAR FACE BRICK



BROOKLYN BRICK 1/2"

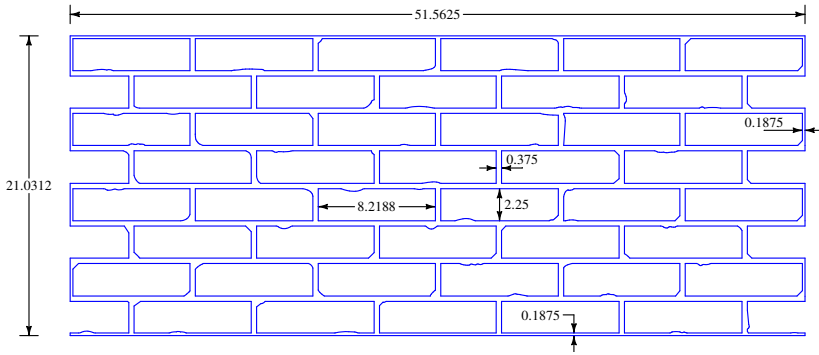


MODULAR BRICK

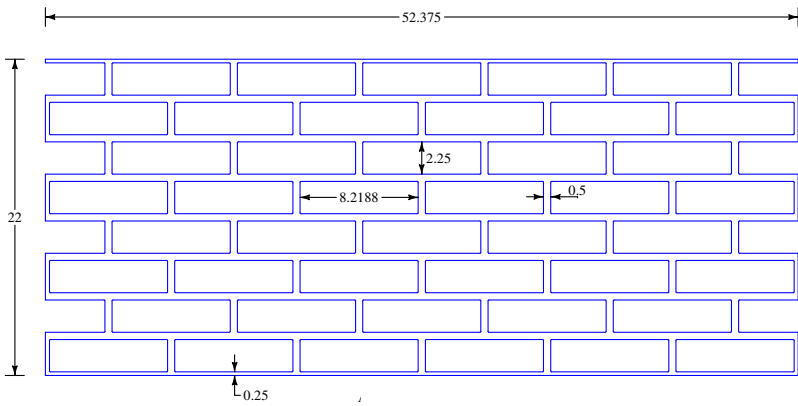


UTILITY BRICK

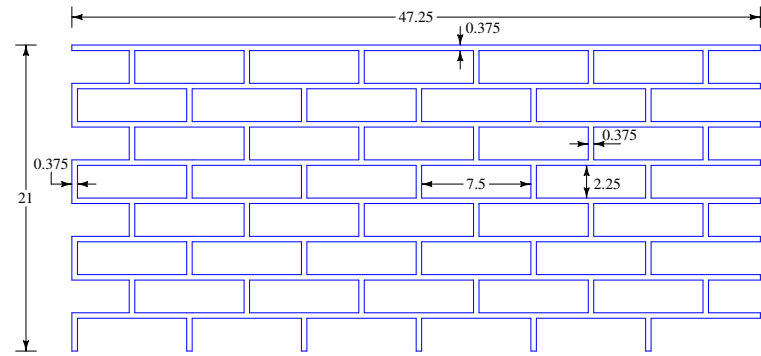
# TEMPLATES



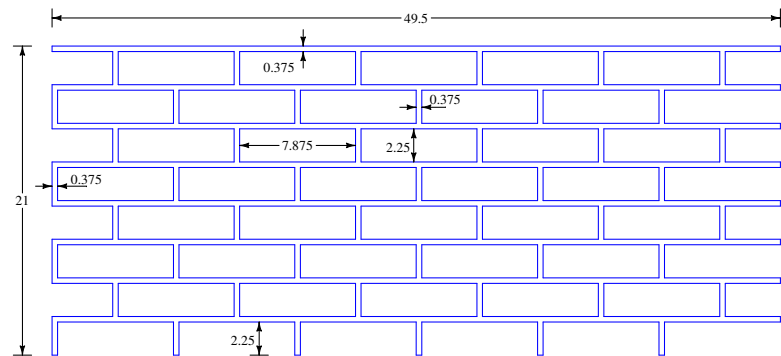
USED WALL BRICK



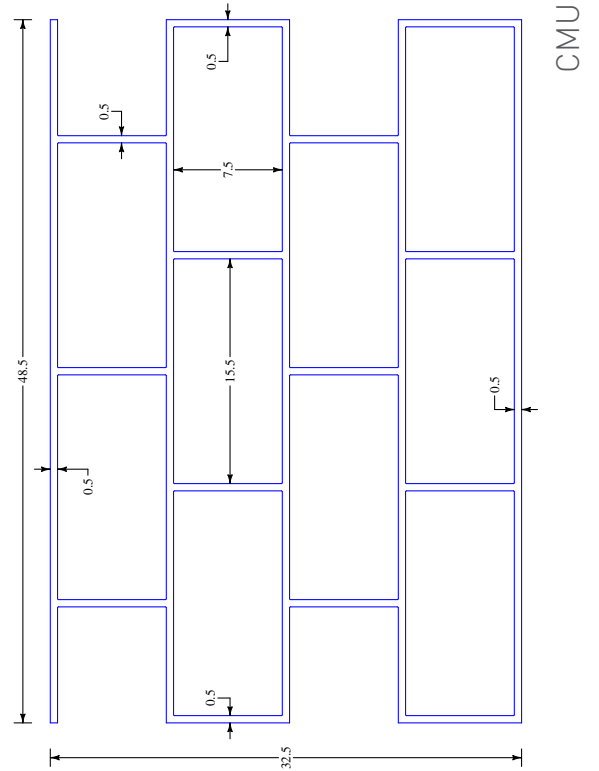
WALL BRICK



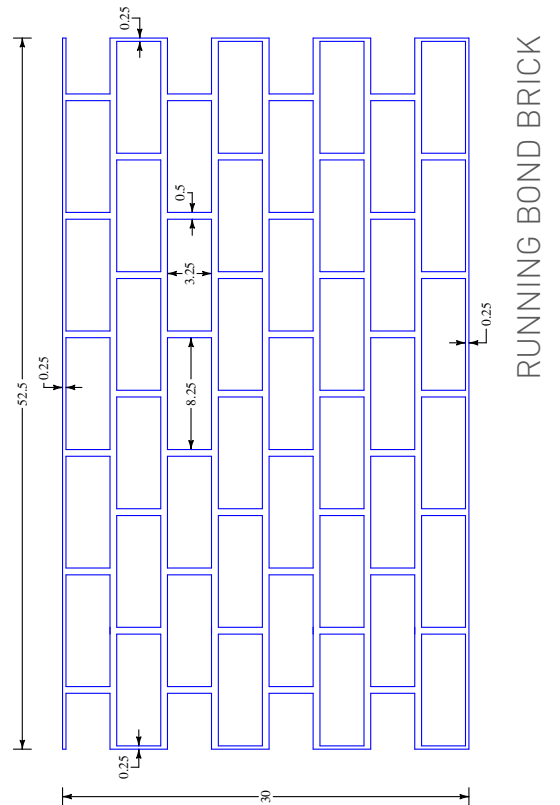
EASTERN BRICK



CALIFORNIA FACE BRICK



CMU



RUNNING BOND BRICK

# PATTERN DETAILS

Pattern Name	Total Size	Avail. Depths	Ft <sup>2</sup> / piece	Ft <sup>2</sup> / box	Pcs. /box
Colonial Mall	20" x 48"	24pt / 60pt	6.67	400	60
NY Wall Brick 3/8"	21.08" x 51.08"	24pt / 60pt	7.48	403	54
Utility Brick	32" x 48"	24pt / 60pt	10.67	405	38
Running Bond	29.5" x 52"	24pt / 60pt	10.94	404	37
8" Soldier Course	9.25" x 52"	24pt / 60pt	3.37	404	120
10" Soldier Course	10.375" x 52"	24pt / 60pt	3.81	400	105
Wall Brick	22" x 53"	24pt / 60pt	8.00	400	50
Used Wall Brick	21" x 52"	24pt / 60pt	7.52	406	54
Modular Brick	32.5" x 48"	24pt / 60pt	10.76	408	38
CMU	32.5" x 48.5"	24pt / 60pt	10.95	405	37
Eastern Brick	21.5" x 48.25"	24pt / 60pt	7.20	403	56
California Face Brick	21" x 49.5"	24pt / 60pt	7.22	404	56
Regular Face Brick	22" x 49.5"	24pt / 60pt	7.56	400	53
Brooklyn Brick 1/2"	22" x 59.5625"	24pt / 60pt	9.10	450	50



Second National Bank | Arcanum, OH

## VERSATILE DESIGN CAPABILITY FOR ANY PROJECT

Custom Brick is available in 14 standard brick designs with a wide array of standard colors. Custom colors are also available to tailor to your project's specifications, and custom patterns can be made. Custom template options are quoted separately and minimum order quantities apply, with slightly longer lead times. Contact your Dryvit Representative or distributor for a quote.

Examples of standard templates:



Used Wall Brick



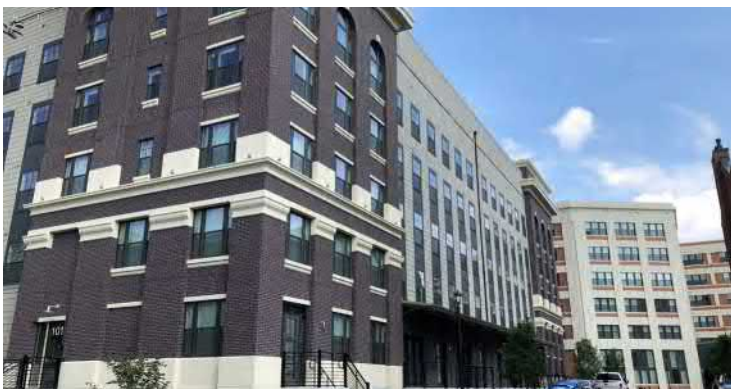
NY Wall Brick 3/8"



Utility Brick



Regular Face Brick



Germantown, LLC | Nashville, TN



Vanderbilt University | Nashville, TN

Dryvit Systems, Inc. | One Energy Way | West Warwick, RI, 02893 | 401.822.4100 | dryvit.com

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Construction Products Group

tremcocpg.com



RYTEC

## Appendix - Reference Photos

### Bollards and Security Gates at Other Echo Parks



Full Vision Overhead door



Bollard Rail Implemented at Echo Park Store



Non-Illuminated Security Gate at Echo Park Store

# THANK YOU