

## Planning Commission Staff Report

<b>Project Type:</b>	Amended Site Development Plan
<b>Meeting Date:</b>	August 12, 2019
<b>From:</b>	Mike Knight, Planner
<b>Location:</b>	A 5.0 acre tract of land located south of Chesterfield Airport Road, east of Chesterfield Commons East Road and west of Baxter Road.
<b>Description:</b>	<b><u>Storage Masters Chesterfield Self Storage (ASDP)</u></b> : An Amended Site Development Plan, Landscape Plan, Lighting Plan, Architectural Elevations and Architect's Statement of Design for a 5.0 acre tract of land located south of Chesterfield Airport Road, east of Chesterfield Commons East Road and west of Baxter Road. (17T240188).

### **PROPOSAL SUMMARY**

This request is to allow for the demolition of the existing leasing/sales office and replacing it with a new slightly smaller leasing/sales office. The owner's objective is to begin one of a series of property upgrades to the subject site. The site is 5 acres, consisting of 10 buildings with sole access off of Chesterfield Airport Road.

The subject site is currently zoned M3 – Planned Industrial District and governed under the terms and conditions of City of Chesterfield Ordinance 956, approved in October of 1994.

Also included within this scope of work is a sidewalk along Chesterfield Airport Road, additional landscaping along the frontage, and additional parking.



Figure 1: Aerial Site Photo

## **HISTORY OF SUBJECT SITE**

The subject site was zoned “M-3” Planned Industrial District by St. Louis County prior to the City’s incorporation and subsequently amended by St. Louis County on 5 separate occasions.

The City of Chesterfield approved Ordinance 548 and amended the permitted uses by adding the renting of trucks and the outdoor storage of trucks, cars, boats, campers, and other recreational vehicles. This ordinance was amended by City of Chesterfield Ordinance 790 which increased the maximum number of rental trucks to be stored at this site from four to sixteen.

In 1994, the current governing ordinance (City of Chesterfield Ordinance 956) was approved by City Council which added rental center to the permitted uses.

The project was reviewed by the Architectural Review Board on Thursday June 13th, 2019. At that time, the Board made a motion and seconded the motion to forward the project to the Planning Commission as presented. The motion passed by a voice vote of 5-0.

## **STAFF ANALYSIS**

The Subject Site is located in an area of the City’s Comprehensive Land Use Plan known as the Chesterfield Valley with a land use designation of Mixed Commercial Use. The current comprehensive plan not only has a Plan Policies Element, but also a title focused solely on the policies dedicated to the Chesterfield Valley.

The Chesterfield Valley Policies Element discusses general landscape and street improvements. This includes that particular attention should be given to planting of street trees along the subject site and the inclusion of street lights along Chesterfield Airport Road. The landscape plan includes street trees and the required 30ft landscape buffer along Chesterfield Airport Road. The Lighting Plan that has been submitted does include a streetlight with an Ameren approved fixture to be mounted on an existing pole on the east end of the site near the entrance.

Of particular concern is the image presented by development along I-64, which specific **Chesterfield Valley Design Policies** are intended to address. Policies include facades of buildings along arterial roadways in which rear and side facades of buildings along I-64 should be equally uniform in materials and attractiveness as the primary façade. The subject site is positioned along Chesterfield Airport Road which is a major arterial roadway owned and operated by St. Louis County, and given its location, it can be seen when traveling along I-64 especially heading west. According to the Chesterfield Valley Design Policies, parking should be primarily located to the side or rear of any building façade facing I-64. Also, in order to promote pedestrian movement, each development is required to address pedestrian circulation within and between all developments.

The Comprehensive Plan also discusses specific Commercial Development and Transportation Policies; some of which are applicable to this request. **Transportation Policy 7.2.4** states that sidewalks should be required of all new developments and encouraged along existing roads in the City of Chesterfield. **Transportation Policy 7.2.6** states that internal vehicular and pedestrian connections between commercial developments should be encouraged. These transportation policies point towards safe internal pedestrian and vehicular connections within commercial

development along major arterial roadways. A sidewalk is being proposed within this scope of work along the frontage of Chesterfield Airport Road connecting to the proposed building. Commercial Development Policy 3.1 states “Commercial developments should positively affect the image of the City, provide employment opportunities, and offer retail and service options to residents”.

**A. Site Relationships**

Developments should emphasize site relationships to provide a seamless transition between phases of a project, which are compatible with neighboring developments, and which also provide a transition from the street to the building.

The scope of work is limited to a small portion of the site (Figure 2), along the frontage of Chesterfield Airport Road. The proposed structure is situated approximately in the same location as the existing structure with a slightly smaller footprint. The new appearance of the building enhances the compatibility with surrounding commercial developments within the Chesterfield Valley.

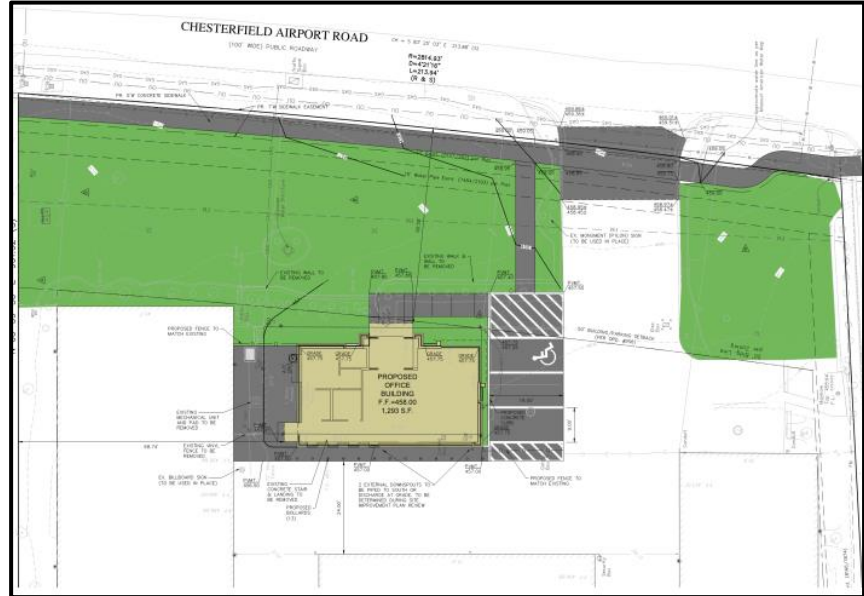


Figure 2: Color Site Plan

**B. Circulation and Access**

The applicant is largely leaving similar circulation patterns within the development. Vehicles will continue to have one access point, and will now have one additional parking space, a total of five, of which one is ADA accessible. An existing bus stop is positioned adjacent to the subject site to the north. A new concrete sidewalk will be built along the frontage and connect to the building creating a safe pedestrian circulation system and connection to the community at large. Pedestrian activity is also addressed by



Figure 3: Accessibility



providing lighted bollards and a building canopy emphasizing the access point. A gate that separates the leasing/office area from the storage units themselves is scheduled to remain (Figure 4).



Figure 4: Existing Fence

### C. Topography and Retaining Wall

The subject site is relatively flat in nature. There are two retaining walls within the subject site. The first is a wall mediating the grade differential to the property to the east and scheduled to remain (Figure 5). The second is currently in front of the building scheduled to be removed and not replaced as it is no longer needed in function or design.

#### General Requirements for Building Design:

All projects should address the following building requirements: Scale, Design, Materials, Colors, Landscape, Screening, and Lighting.



Figure 5: Existing Retaining Wall

#### A. Scale

The building remains roughly the same height after the adjustments submitted in this proposal. The maximum building height is 17'4" at the top of the stone veneer parapet. The majority of the building will reside at 16' in height at the top of the brick parapet. This height is slightly smaller than the adjacent buildings but consistent with commercial developments located in the Chesterfield Valley.

#### B. Design

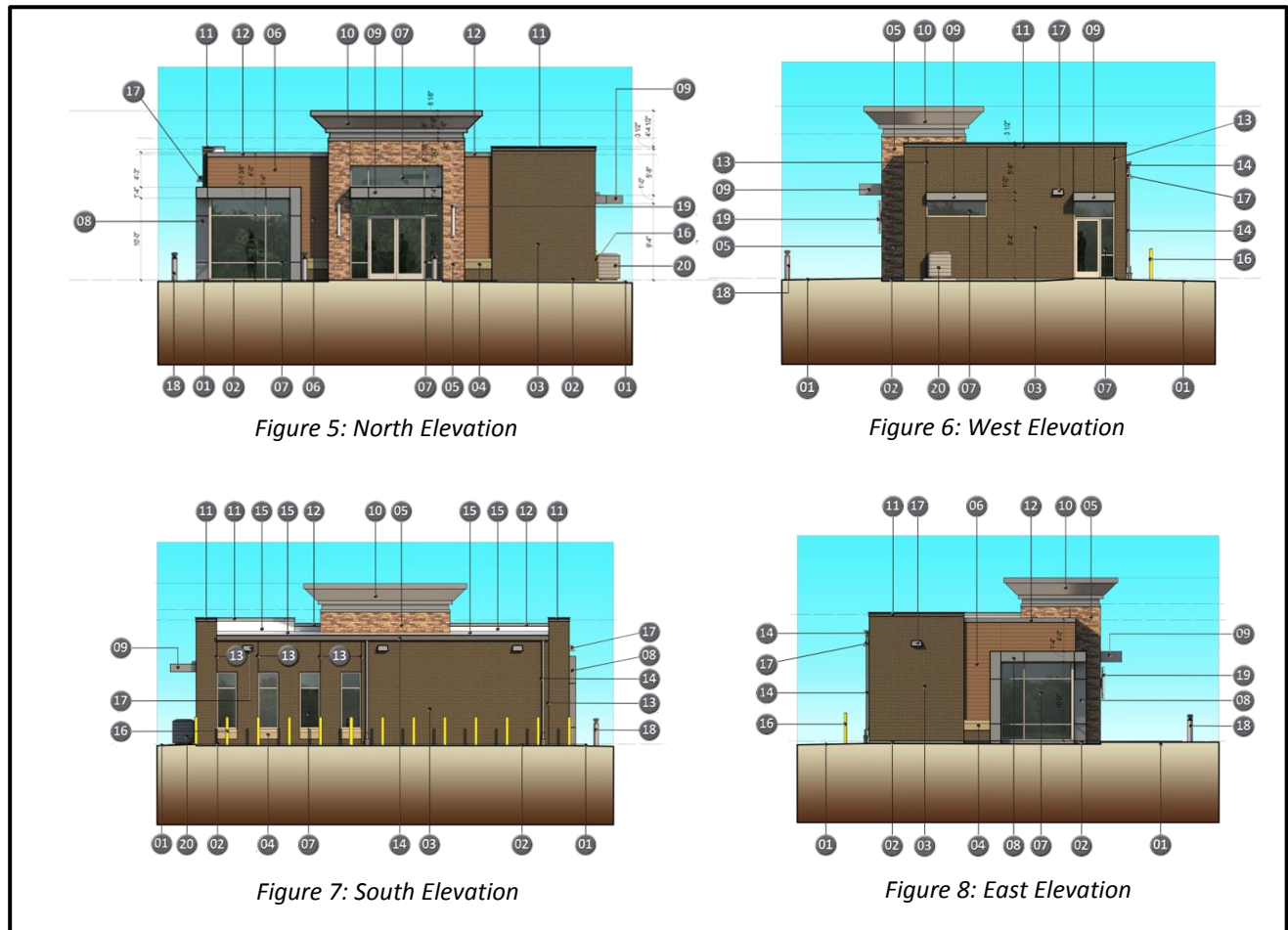
The intent of this project is to update the leasing/sales office to a more modern design with similar building materials of neighboring structures. The building will change dramatically in color and form,



but not in square footage. The building is constructed in a mix of materials mentioned in the next section. As mentioned in the project narrative, the applicant states this is intended to be one of a series of updates to the property.

**C. Materials and Colors**

The sides and rear of the building consist primarily of brick veneer in Acme Brick Company “Charcoal”. Other materials consist of manufactured masonry veneer, fiber cement siding in a “cedar wood” color, and a metal composite material. The front entry has a prefabricated metal canopy with a finish color to match the silver metallic rain screen. The following are all the elevations with material call outs.



Materials Legend							
1	Finished Grade	6	Fiber Cement Siding	11	Metal Coping	16	Concrete Filled Bollard
2	Concrete Foundation	7	Aluminum Storefront	12	Metal Coping	17	Wall Mounted Light
3	Brick Veneer	8	Metal Composite Material	13	Masonry Control Joint	18	Ground Light Bollard
4	Cast Stone	9	Prefab. Metal Canopy	14	Prefab. Metal Gutter	19	Decorative Exterior Fixture
5	Masonry Veneer	10	Metal Composite Material	15	TPO Roofing	20	Mechanical Unit

**D. Landscape Design and Screening**

The required Landscape Plan has been submitted. A 30ft landscape buffer is required along all major arterials. The applicant has fulfilled this requirement along Chesterfield Airport Road. Street trees are also required along the arterial roadway at 1 tree for every 50ft of frontage which are currently seen on the plan. Proposed plantings include Juniper, Spruce, Redbud, and Maple. A new mechanical unit is planned to the west of the building. The proposed landscaping is intended to provide the full screening for the mechanical unit. There are no proposed mechanical units on the top of the building.

**E. Lighting**

Lighting consists of utilitarian and decorative lighting fixtures seen on the submitted Lighting Plan and cut sheets. A combination of decorative wall sconces, wall pack mounted lighting and ground mounted lighting bollards are incorporated into the design. The primary intent of the lighting is to provide a safe illuminated pedestrian path as well as general site lighting for the building perimeter and front parking area.

Non-fully shielded flat lensed luminaires require Planning Commission approval. The decorative wall feature and the bollard would both classify under this category. Figure 9 below depicts all three fixtures and their approximate location within the site.



Figure 9: Lighting Plan

**E. Signage**

All signage is reviewed and approved separately from the site plan review process. The existing advertising sign as seen in (Figure 10) is permitted through the current governing City of Chesterfield Ordinance 956. All other signage will be reviewed through the sign application process or a comprehensive sign package submittal.

**Exterior Rendering**

The applicant has supplied the required three dimensional exterior rendering and can be seen (Figure 10) below. This is the view point of one entering the site from Chesterfield Airport Road by vehicle.



*Figure 10: Exterior Rendering*

**DEPARTMENT INPUT**

Staff has reviewed the Amended Site Development Plan, Landscape Plan, Lighting Plan, Architectural Elevations, and Architect's Statement of Design and has found the proposal to be in compliance with the site specific ordinance, Comprehensive Plan, and all City Code requirements. Staff recommends approval on the proposed development of Storage Masters (ASDP).

**MOTION**

The following options are provided to the Planning Commission for consideration relative to this application:



- 1) "I move to approve (or deny) the Amended Site Development Plan, Landscape Plan, Lighting Plan, Architectural Elevations and Architect's Statement of Design for Storage Masters Chesterfield Self Storage (ASDP)."
  
- 2) "I move to approve the Amended Site Development Plan, Landscape Plan, Lighting Plan, Architectural Elevations and Architect's Statement of Design for Storage Masters Chesterfield Self Storage (ASDP) with the following conditions..." (Conditions may be added, eliminated, altered or modified)

Attachments

1. Architect's Statement of Design
2. Amended Site Development Plan
3. Landscape Plan
4. Lighting Plan
5. Architectural Elevations
6. Architectural Rendering

# Architectural Narrative

## Introduction

The Storage Masters project is located in the valley at 16824 Chesterfield Airport Road adjacent to the Chesterfield Commons. The site is an existing public storage facility comprised of nine storage warehouses and a leasing/sales office. The property is currently zoned M-3 and is approximately ±5.00 acres.

The scope of work is limited to a small portion of site, along the north frontage of the property abutting Chesterfield Airport Road. The owner's objective is to begin one of a series of property upgrades and improvements in order to be more contextual with the newer developments. This project will include demolition of the existing leasing/sales office and replacing it with a new 1,296 s.f. structure, similar in architectural character of the adjacent retail development. Additionally, the existing hardscape will be slightly modified, eliminating the current ramped entry and incorporating a new concrete walkway, and one additional parking space adjacent to the proposed building. The existing landscaping will also be enhanced along the frontage of the site, improving the curb appeal and satisfying the current city landscape ordinance.

## Site Relationship

The proposed project is situated approximately in the same location as the razed structure. The scale and fenestration of the proposed structure is compatible with neighboring use groups and surrounding buildings. Pedestrian movement is minimal due to security concerns and type of business conducted on the premises. Furthermore, parking for business patrons is provided adjacent to the public access side of the building.

The building is oriented with the most articulate facades and public accessible portions of the building addressing Chesterfield Airport Road. As designed, this building does not impair or interfere with any surrounding properties or developments.

## Circulation System and Access

- Bicycle circulation is not addressed.
- Public Vehicular circulation is situated to the front of the site on the public accessible side of the property
- Landscaped buffer is provided between building and parking in order to create a landscaped foreground for the building.
- Pedestrian orientation is addressed by providing

lighted bollards, concrete walkways and a building canopy emphasizing the entry access point.

- No on-site connections to public transportation provided on site.
- A new concrete walkway will connect the parking and building to the required public sidewalk located on the north side of the property creating a safe pedestrian circulation system and connection to the community at large.

## Topography

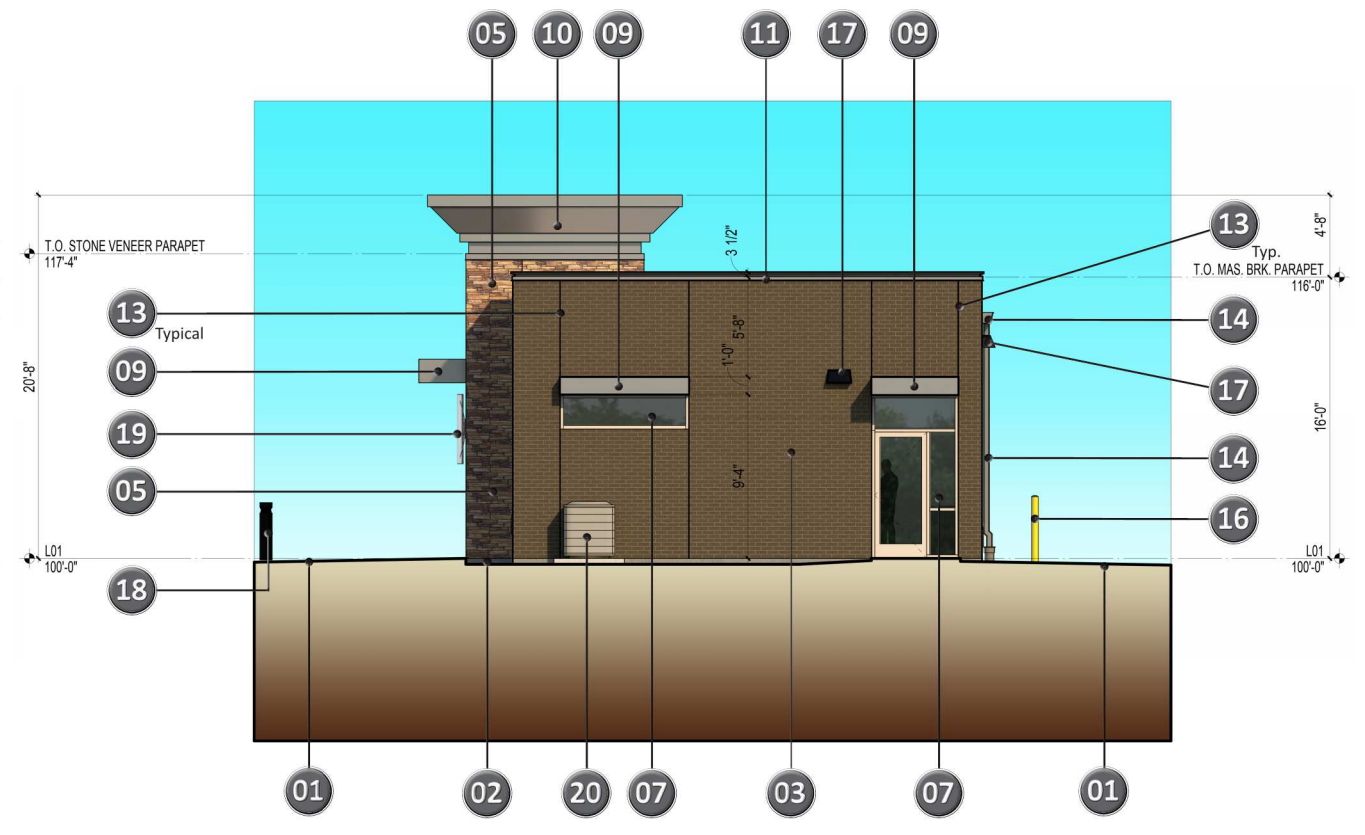
The site is flat nature with a retaining wall mediating the grade differential of the East adjacent property, and topography has not been utilized for screening or buffering purposes. However, we have implemented smaller scale landscaping to assist in some screening and buffering of the storage buildings and small residential size ground mounted mechanical unit.

## Material Keynote Legend:

- 01 Finished Grade.
- 02 Exposed Concrete Foundation Wall.
- 03 Brick Veneer: Acme Brick Company "Charcoal", running bond with SGS 22S Tan mortar.
- 04 Cast Stone Sill/Water Table: Continental Cast Stone 1102 with SGS 60H White mortar.
- 05 Manufactured Masonry Veneer: Eldorado Stone Mountain Ledge, Color: Russet.
- 06 Fiber Cement Siding: Nichiha "AWP3030" Vintage Wood, Color: Cedar.
- 07 Aluminum Storefront & Glazing: YKK YES 45 TU thermally broken storefront system w/ 1" insulated glazing Vitro Solarban 60 Clear + Clear. Storefront Color: YS1N Clear Anodized Plus.
- 08 Metal Composite Material (MCM): Alpolic 4MM BSX Silver Metallic rainscreen.
- 09 Prefabricated Metal Canopy and/or Sunshade Device: Finish Color to match Alpolic 4MM BSX Silver Metallic rainscreen.
- 10 Metal Composite Material (MCM) Fascia: Alpolic 4MM BSX Silver Metallic.
- 11 Pre-Fabricated Metal Coping: Metal Era Creative Design Reveal Coping. Color: Silver Metallic.
- 12 Pre-Fabricated Metal Coping and/or Edge: Metal Era Perma-Tite Coping and/or Edge. Color: Silver Metallic.
- 13 3/8" W. Masonry Control Joint.
- 14 Pre-Fabricated Metal Gutter and/or Downspout: Color to match Metal Era: Silver Metallic finish.
- 15 TPO Roofing: 60 mil White Fully adhered TPO roofing.
- 16 6" Dia. Concrete Filled Steel Pipe Bollard : Paint Traffic Yellow.
- 17 Wall Mounted Light Fixture: Wall Mounted Outdoor Light Fixture. -Reference Site Lighting Product Data Sheet E1.2, Type "A" Fixture.
- 18 Ground Mounted Light Bollard: Reference Site Lighting Product Data Sheet E1.2, Type "B" Fixture.
- 19 Decorative Exterior Fixture: Decorative outdoor Entry Sconce Light fixture. Reference Site Lighting Product Data Sheet E1.2, Type "C" Fixture.
- 20 Mechanical Unit: Exterior Ground Mounted Condensing Unit.



North Exterior Building Elevation



West Exterior Building Elevation







## General Requirements Addressing Building Design

- A. Scale:**
- Building Scale: Building height is consistent with adjacent and neighboring properties.
  - Human Scale: Achieved by the window fenestration and entry canopy.
  - Generic Scale: Based upon adjacent structures and neighboring properties.
- B. Design:**
- The scale of this project is appropriate and consistent with the adjacent building and surrounding area. The orientation and most articulate fenestration of the public portion of the building addresses the primary street frontage. Similar building materials of adjacent structures are incorporated and utilized to maintain a contextual balance with the neighboring architecture and fulfilling the Chesterfield Valley requirements.
- C. Colors:**
- Building colors are earth tone so as to remain neutral within its context.
- D. Landscape design and screening:**
- New landscaping will compliment the site.
  - Building landscape buffers are introduced in limited areas and meet Sec. 31-04-02 of the Tree Preservation & Landscape requirements.
  - Parking landscaping utilized per city requirements.
  - Landscape buffer used to screen ground mounted mechanical unit and some of the existing storage warehouse structures.

- E. Signage:**
- Wall mounted Signage will be located on the northwest exterior wall. All signage will be designed and approved under a separate review process.
- F. Lighting:**
- A combination of decorative wall sconces wall pack mounted lighting and ground mounted lighted bollards are incorporated in the design. These fixtures will be used to provide a safe luminated pedestrian path as well as general site lighting for the building perimeter and front parking area. -Refer to site lighting plans for additional information.

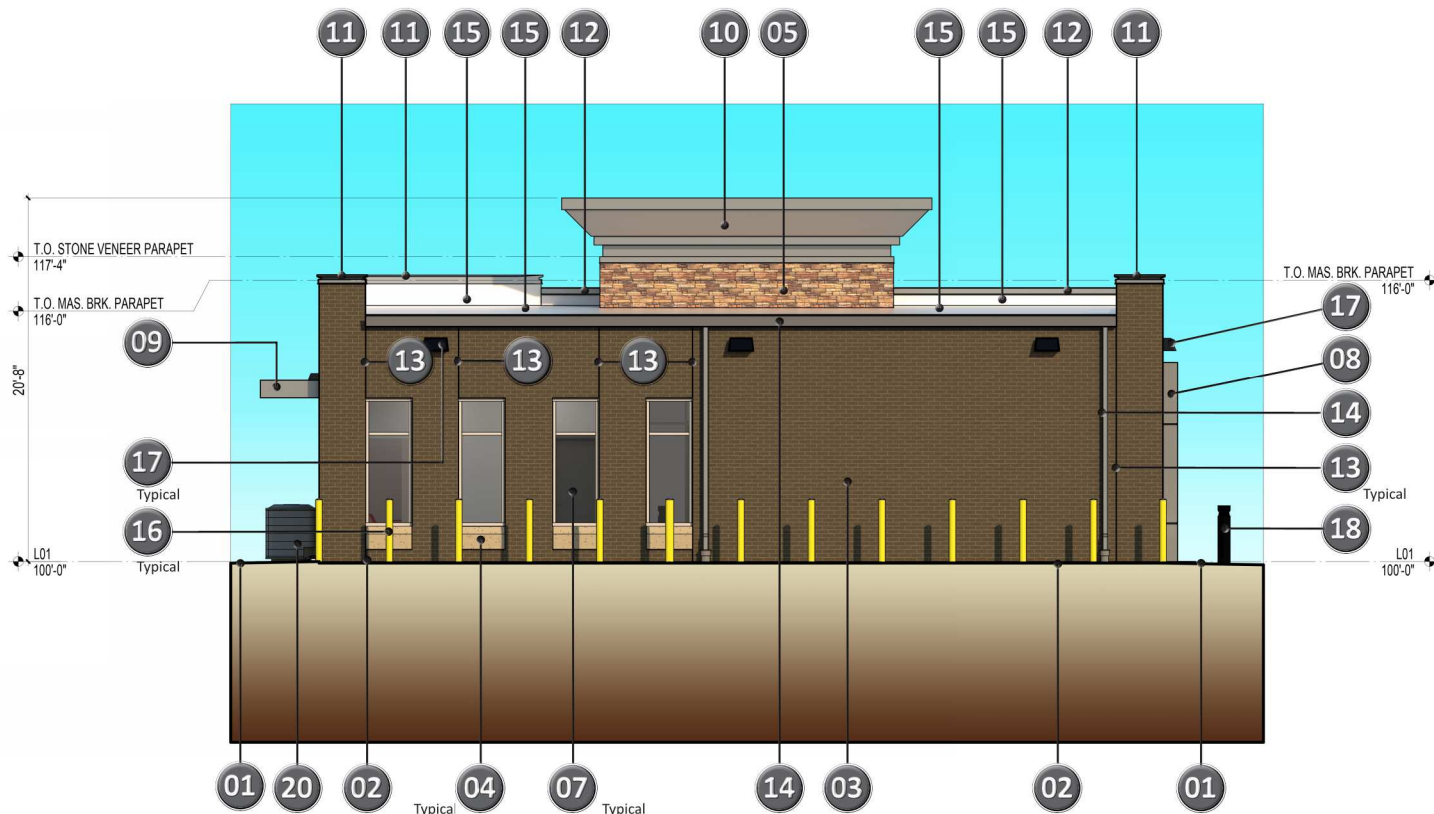
### Specific Requirements for the Chesterfield Valley:

- Facades:**
- All facades have been designed to an equal level of detail and quality of the nearest adjacent structures.
- Storage:**
- Storage warehouse structures are existing.
- Utilities:**
- All new utility services will be underground.
- Parking:**
- Property is adjacent or along I-64 corridor.

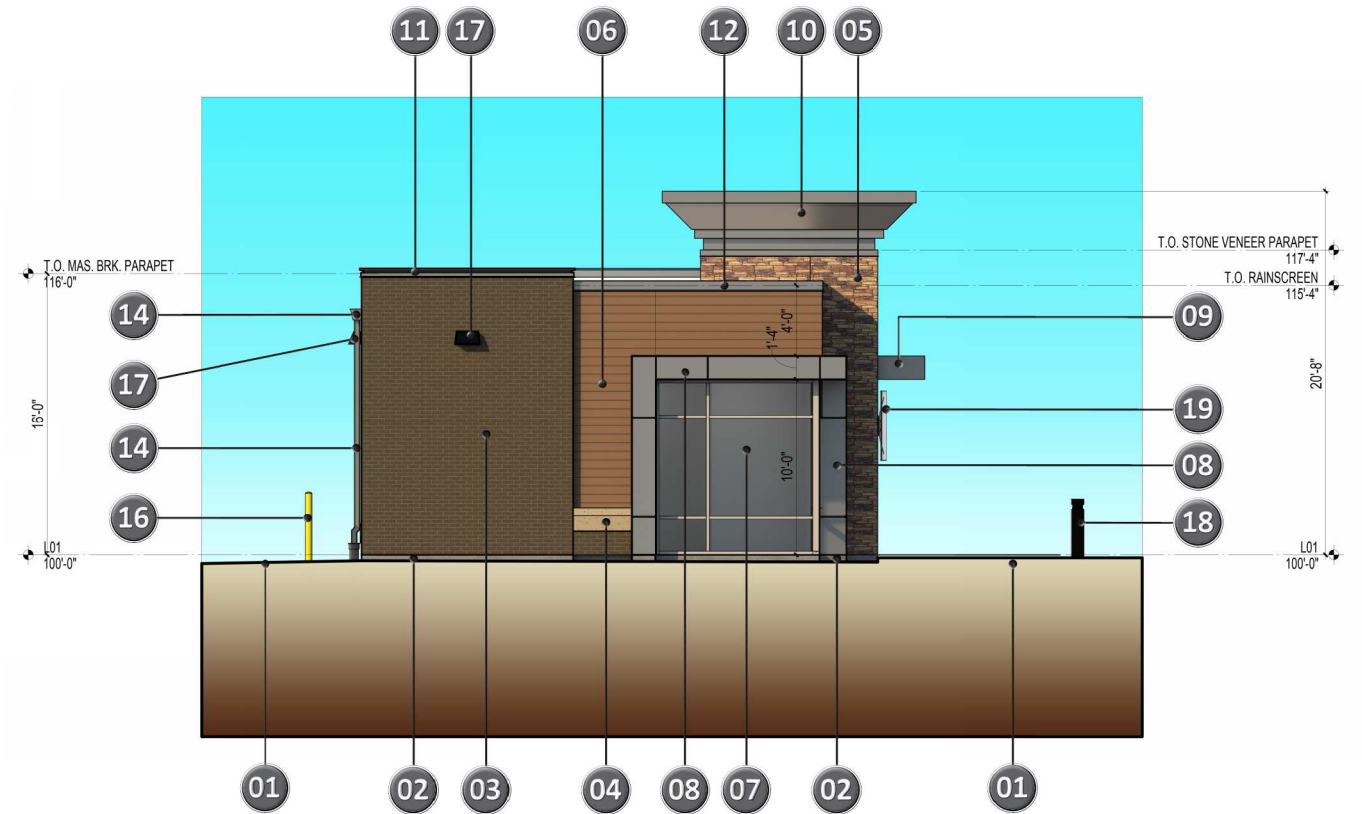
## Material Keynote Legend:

- 01 Finished Grade.
- 02 Exposed Concrete Foundation Wall.
- 03 Brick Veneer: Acme Brick Company "Charcoal", running bond with SGS 22S Tan mortar.
- 04 Cast Stone Sill/Water Table: Continental Cast Stone 1102 with SGS 60H White mortar.
- 05 Manufactured Masonry Veneer: Eldorado Stone Mountain Ledge, Color: Russet.
- 06 Fiber Cement Siding: Nichiha "AWP3030" Vintage Wood, Color: Cedar.
- 07 Aluminum Storefront & Glazing: YKK YES 45 TU thermally broken storefront system w/ 1" insulated glazing Vitro Solarban 60 Clear + Clear. Storefront Color: YS1N Clear Anodized Plus.
- 08 Metal Composite Material (MCM): Alpolic 4MM BSX Silver Metallic rainscreen.
- 09 Prefabricated Metal Canopy and/or Sunshade Device: Finish Color to match Alpolic 4MM BSX Silver Metallic rainscreen.
- 10 Metal Composite Material (MCM) Fascia: Alpolic 4MM BSX Silver Metallic.
- 11 Pre-Fabricated Metal Coping: Metal Era Creative Design Reveal Coping. Color: Silver Metallic.
- 12 Pre-Fabricated Metal Coping and/or Edge: Metal Era Perma-Tite Coping and/or Edge. Color: Silver Metallic.
- 13 3/8" W. Masonry Control Joint.
- 14 Pre-Fabricated Metal Gutter and/or Downspout: Color to match Metal Era: Silver Metallic finish.
- 15 TPO Roofing: 60 mil White Fully adhered TPO roofing.
- 16 6" Dia. Concrete Filled Steel Pipe Bollard : Paint Traffic Yellow.
- 17 Wall Mounted Light Fixture: Wall Mounted Outdoor Light Fixture. -Reference Site Lighting Product Data Sheet E1.2, Type "A" Fixture.
- 18 Ground Mounted Light Bollard: Reference Site Lighting Product Data Sheet E1.2, Type "B" Fixture.
- 19 Decorative Exterior Fixture: Decorative outdoor Entry Sconce Light fixture. Reference Site Lighting Product Data Sheet E1.2, Type "C" Fixture.
- 20 Mechanical Unit: Exterior Ground Mounted Condensing Unit.

## Existing Building Imagery



South Exterior Building Elevation



East Exterior Building Elevation





# AMENDED SITE DEVELOPMENT PLAN

## for STORAGE MASTERS

SILVER MAPLE FARMS  
CITY OF CHESTERFIELD  
ST. LOUIS COUNTY, MISSOURI

### GENERAL NOTES

- ALL UTILITIES SHOWN HAVE BEEN LOCATED FROM AVAILABLE RECORDS. THEIR LOCATION SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR HAS THE RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES PRIOR TO CONSTRUCTION, TO HAVE EXISTING UTILITIES FIELD LOCATED. THE CONTRACTOR SHALL BE ON RECORD WITH THE MISSOURI ONE CALL SYSTEM.
- ALL ELEVATIONS ARE BASED ON M.S.D. BENCHMARK
- BOUNDARY AND TOPOGRAPHIC SURVEY BY MARLER SURVEYING CO.
- ALL MATERIALS AND METHODS OF CONSTRUCTION TO MEET THE CURRENT STANDARDS AND SPECIFICATIONS OF THE DIRECTOR OF PUBLIC WORKS FOR THE CITY OF CHESTERFIELD.
- ALL GRADED AREAS SHALL BE PROTECTED FROM EROSION BY EROSION CONTROL DEVICES AND/OR SEEDING AND MULCHING AS REQUIRED BY THE CITY OF CHESTERFIELD.
- PRIOR TO BEGINNING ANY WORK ON THE SITE, THE CONTRACTOR SHALL CONTACT THE ENGINEER FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING OF WORK.
- GRADING CONTRACTOR SHALL INSTALL SILTATION CONTROL PRIOR TO STARTING THE GRADING. ADDITIONAL SILTATION CONTROL DEVICES SHALL BE INSTALLED AS DIRECTED BY THE CITY OF CHESTERFIELD.
- ALL FILLS AND BACKFILLS SHALL BE MADE OF SELECTED EARTH MATERIALS, FREE FROM BROKEN MASONRY, ROCK, FROZEN EARTH, RUBBER, ORGANIC MATERIAL, AND DEBRIS.
- GRADING CONTRACTOR SHALL KEEP EXISTING ROADWAYS CLEAN OF MUD AND DEBRIS AT ALL TIMES.
- PROPOSED CONTOURS SHOWN ARE FINISHED ELEVATIONS ON PAVED AREAS.
- GRADING & STORM WATER PER M.S.D. STANDARD SPECIFICATIONS AND THE CITY OF CHESTERFIELD STANDARDS.
- DRIVE ENTRANCES ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF CHESTERFIELD.
- SEEDING, SOODING, MULCHING AND PLANTINGS FOR ALL DISTURBED AREAS SHALL BE SPECIFIED ON THE LANDSCAPE PLAN.
- SIDEWALKS ALONG THE ACCESSIBLE ROUTE SHALL NOT HAVE A SLOPE EXCEEDING 1% (20:1). SLOPES GREATER THAN 1%:20 MUST BE DESIGNED AS A RAMP.
- SIDEWALKS, CURB RAMPS, RAMPS AND ACCESSIBLE PARKING SPACES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT APPROVED "AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES" (ADAAG) ALONG WITH THE REQUIRED GRADES, CONSTRUCTION MATERIALS, SPECIFICATIONS AND SIGNAGE. ANY CONFLICT OCCURS BETWEEN THE ADAAG GUIDELINES AND THE INFORMATION ON THE PLANS, THE ADAAG GUIDELINES SHALL TAKE PRECEDENCE AND THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER PRIOR TO ANY CONSTRUCTION OF SUCH CONFLICT.
- BY GRAPHIC PLOTTING ONLY, THIS PROPERTY DOES LIE WITHIN SPECIAL FLOOD ZONE AREAS ACCORDING TO THE FLOOD INSURANCE RATE MAP NUMBER 29189C0165K AND COMMUNITY NUMBER 290896 (CITY OF CHESTERFIELD) WHICH BEARS AN EFFECTIVE DATE OF FEBRUARY 4, 2016. THE PROPERTY LIES WITHIN SHADDED ZONE X (AREAS OF 0.2% ANNUAL CHANCE FLOOD); AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM THE ANNUAL CHANCE FLOOD AND ZONE AH FLOOD DEPTHS OF 1 TO 3 FEET (USUALLY AREAS OF PONDING); BASE FLOOD ELEVATIONS DETERMINED.
- NO ON-SITE ILLUMINATION SOURCE SHALL BE SO SITUATED THAT LIGHT IS CAST DIRECTLY ON ADJACENT PROPERTIES OR PUBLIC ROADWAYS. ILLUMINATION LEVELS SHALL COMPLY WITH THE PROVISIONS OF SECTION 31.04.03 OF THE UNIFIED DEVELOPMENT CODE.
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE APPROVAL OF SIGNAGE. SIGN APPROVAL IS A SEPARATE PROCESS.
- ALL PROPOSED UTILITIES SHALL BE PLACED UNDERGROUND
- ROOF TOP EQUIPMENT SHALL BE SCREENED
- THIS DEVELOPMENT SHALL CONFORM TO MSD REQUIREMENTS FOR WATER QUALITY, IF APPLICABLE.
- NO CONSTRUCTION RELATED PARKING SHALL BE PERMITTED WITHIN THE RIGHT-OF-WAY OF CHESTERFIELD AIRPORT ROAD.
- ALL PROVISIONS OF THE CITY CODE SHALL APPLY.
- STRUCTURE SETBACKS (PER ORDINANCE NO. 956)
  - NO BUILDING OR STRUCTURE, OTHER THAN A FREESTANDING PROJECT IDENTIFICATION SIGN, LIGHT STANDARDS, FLAG POLES WILL BE LOCATED WITHIN THE FOLLOWING SETBACKS:
    - FIFTY (50) FT. FROM THE R.O.W. OF CHESTERFIELD AIRPORT ROAD.
    - THIRTY (30) FT. FROM THE SOUTH PROPERTY LINE OF THIS DEVELOPMENT (OLIVE STREET ROAD).
    - TEN (10) FEET FROM THE EAST PROPERTY LINE OF THE DEVELOPMENT, EXCEPT THE ADJACENT SIGN WHICH SHALL BE A MINIMUM OF FIFTY (50) FEET FROM THE ADJACENT "NON-URBAN ZONING" PROPERTY.
    - TEN (10) FEET FROM THE WEST PROPERTY LINE OF THIS DEVELOPMENT.
- PARKING SETBACKS (PER ORDINANCE NO. 956)
  - NO PARKING STALL, LOADING SPACE, INTERNAL DRIVEWAY OR ROADWAY EXCEPT POINTS OF INGRESS AND EGRESS WILL BE LOCATED WITHIN THE FOLLOWING SETBACKS:
    - FIFTY (50) FT. FROM THE R.O.W. OF CHESTERFIELD AIRPORT ROAD.
    - THIRTY (30) FT. FROM THE SOUTH PROPERTY LINE OF THIS DEVELOPMENT (OLIVE STREET ROAD).
    - TEN (10) FEET FROM THE EAST PROPERTY LINE OF THIS DEVELOPMENT.
    - TEN (10) FEET FROM THE WEST PROPERTY LINE OF THIS DEVELOPMENT.
- PARKING CALCULATIONS
 

REQUIRED PARKING:		
MINIMUM REQUIRED	= 3.3 SPACES PER 1,000 G.F.A. OF OFFICE SPACE	
	3.3/1,000 X 1,296	= (4.3) 5 SPACES (MINIMUM)
PROVIDED	= 5 SPACES (INCLUDING 1 ADA SPACE) PROVIDED AT OFFICE	
ADDITIONAL 27 SPACES PROVIDED IN SELF STORAGE AREA		
- AREA CALCULATIONS
 

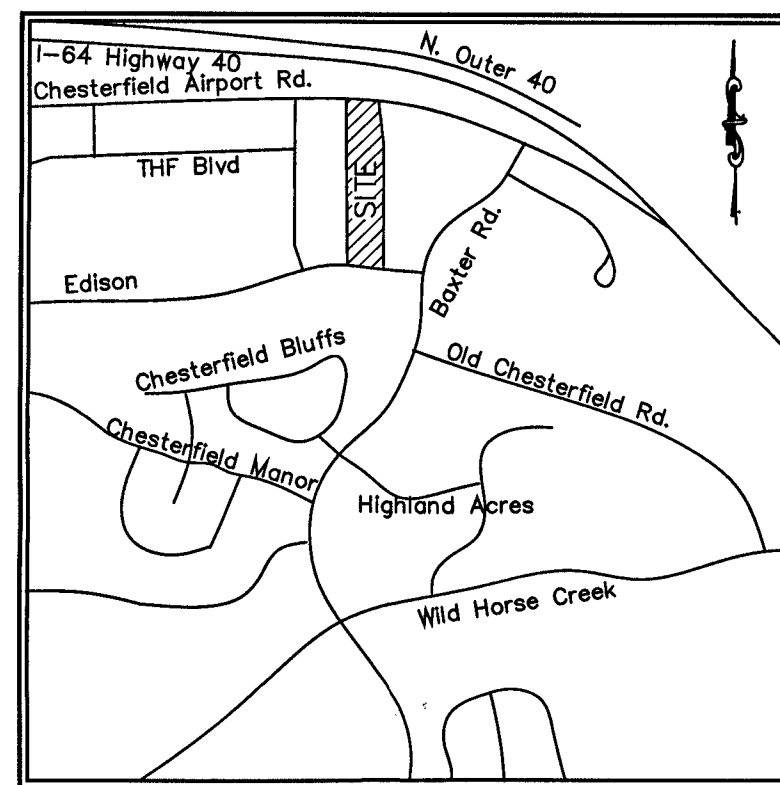
TOTAL SITE AREA	= 215,044 S.F.
TOTAL SITE COVERAGE	
BUILDINGS	= 112,892 S.F. 52.4%
PAVEMENT	= 66,122 S.F. 30.7%
OPEN SPACE	= 36,230 S.F. 16.8%
FLOOR AREA RATIO (F.A.R.) CALCULATION	
F.A.R.	= 112,892 S.F. / 215,044 S.F. (SITE) = 0.52
- FLOOR AREA HEIGHT AND BUILDING REQUIREMENTS (PER ORDINANCE NO. 956)
  - ONE-STORY BUILDINGS NOT TO EXCEED 112,800 S.F. FOR MINI-WAREHOUSES AND 1,500 S.F. FOR THE CARETAKER'S RESIDENCE/OFFICE BUILDING AND REAR AREA STORAGE BUILDING AND REAR OFFICE.
  - MINI-WAREHOUSES = 11,396 S.F.
  - OFFICE = 1,296 S.F.
- A LANDSCAPE INSTALLATION AGREEMENT AND SURETY WILL BE REQUIRED PER THE UNIFIED DEVELOPMENT CODE.

### SHEET INDEX

COI	TITLE SHEET
C01	SITE PLAN
L-1	LANDSCAPE PLAN
E1.0	ELECTRIC SITE PLAN - LIGHTING
E1.1	ELECTRIC SITE PLAN - LIGHTING CONT.
E1.2	SITE LIGHTING FIXTURE OUT SHEETS

### UTILITIES/AGENCIES

ELECTRIC COMPANY = AMEREN - ELLIOTTSVILLE DISTRICT 280 OLD STATE ROAD ELLIOTTSVILLE, MO 63021 PH. (314) 862-8414 CONTACT: MR. WAKE TRACY	WATER COMPANY = MISSOURI AMERICAN WATER COMPANY 1050 RESEARCH BLVD. ST. LOUIS, MO 63132 PH. (314) 988-2247 CONTACT: MONTE GRIFFIN
PHONE COMPANY = AT&T 12881 MANCHESTER ROAD DES PERES, MO 63131 PH. (314) 248-1278 CONTACT: ENGINEERING	CABLE TELEVISION = CHARTER COMMUNICATIONS 101 NORTHWEST PLAZA DRIVE ST. ANGE, MO 63074 PH. (314) 866-1878 ATTN: ENGINEERING
GAS COMPANY = SPIRE 705 MARKET STREET ST. LOUIS, MO 63011 PH. (314) 572-8623 CONTACT: ENGINEERING	FIRE DISTRICT = MONARCH FIRE PROTECTION DISTRICT 15728 OLIVE BLVD. CHESTERFIELD, MO 63017 PH. (314) 814-2000 ATTN: FIRE MARSHAL ROGER N. HERN



LOCATION MAP  
N.T.S.

### PROPERTY DATA

OWNER = STORAGE MASTERS CHESTERFIELD II LLC	ADDRESS = 18224 CHESTERFIELD AIRPORT ROAD
LOCATOR NO. = 171240188	ACREAGE = 4.94± AC
ZONING = M-3 (PLANNED INDUSTRIAL) ORDINANCE #956	FIRE DISTRICT = MONARCH FIRE PROTECTION DISTRICT
SCHOOL DISTRICT = ROCKWOOD	WATER SHED = MISSOURI RIVER
FEMA MAP = 29189C0165 K	ELECTRIC COMPANY = AMEREN UE
GAS COMPANY = SPIRE	PHONE COMPANY = SOUTHWESTERN BELL TELEPHONE
WATER COMPANY = MISSOURI AMERICAN WATER COMPANY	

### GEOTECHNICAL NOTE

GEOTECHNICAL REPORT AND STATEMENT OF COMPLIANCE ARE NOT REQUIRED AS THE PROPOSED BUILDING IS WITHIN THE SAME FOOTPRINT AS THE EXISTING BUILDING.

### ST. LOUIS COUNTY NOTE

- All proposed improvements shall be constructed to St. Louis County Standards.
- No slopes within St. Louis County right-of-way shall exceed 3 (horizontal) to 1 (vertical).
- Storm water shall be discharged at an adequate natural discharge point. Sinkholes are not adequate discharge points.
- All proposed access to St. Louis County roads shall meet minimum St. Louis County sight distance requirements.
- All grading and drainage shall be in conformance with St. Louis County and MSD Standards.
- All hydrants, power poles or other potential obstructions within the St. Louis County road right-of-way shall have a minimum two (2) foot setback from face of curb or edge of pavement, as directed by the St. Louis County Department of Highways and Traffic.
- Any entity that performs work on St. Louis County maintained property shall provide the County with a Certificate of Insurance evidencing general liability coverage (bodily injury and property damage) in the amounts specified on the limits of liability set by the State for public entities. Such certificate shall include "St. Louis County" as an additional insured and shall be provided prior to the issuance of any permit. Certificate shall provide for a 30 day policy cancellation notice to St. Louis County. Upon request, the County will provide the specific amounts for both per person and per occurrence limits.
- Prior to "Special Use Permit" issuance by the St. Louis County Department of Highways and Traffic, a special earth cover or a special encroachment supported by an Irrevocable Letter of Credit, may be required to be established with the St. Louis County Department of Highways and Traffic to guarantee completion of the required roadway improvements.
- Continuous pedestrian access shall be provided during the construction process. Prior to the start of construction, adequate pedestrian access around the site shall be provided and verified. No existing sidewalk shall be removed without providing adequate pedestrian facilities and routes during construction activities.
- All sidewalk to be maintained by City of Chesterfield.
- Project design shall be coordinated with County Project AR-1740.

### PROJECT BENCHMARK

St. Louis County Benchmark 12-024 Elev. 461.97' (NAVD 88) (Elev. 462.12' NGVD 29) - "Standard Table" stamped TT 1 E 1930 set in a concrete post; 3' West of Chesterfield Airport Road and 150' South of Old Olive Street Road, 20' South of tracks.

### LEGAL DESCRIPTION

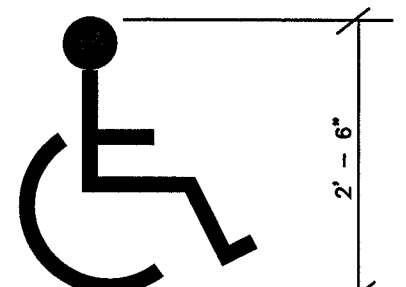
Lot 3 of Silver Maple Farms, a Subdivision in the County of St. Louis, Missouri, according to the plat thereof recorded in Plat Book 274 Page 96 of the St. Louis County Records.

### SITE BENCHMARK

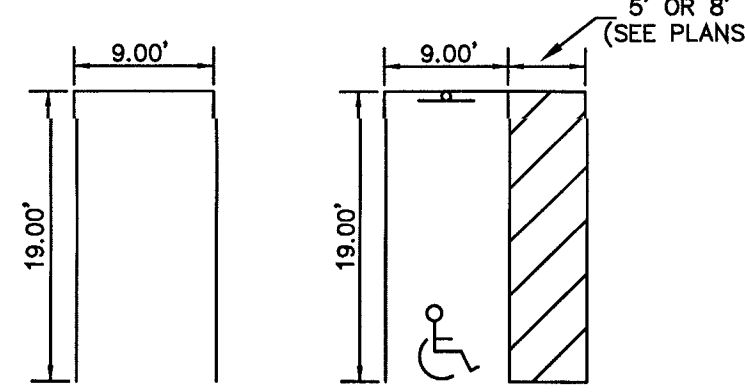
Elev. 456.47' - 10' in open on fire hydrant as shown on this survey.

### FLOOD ZONE NOTES

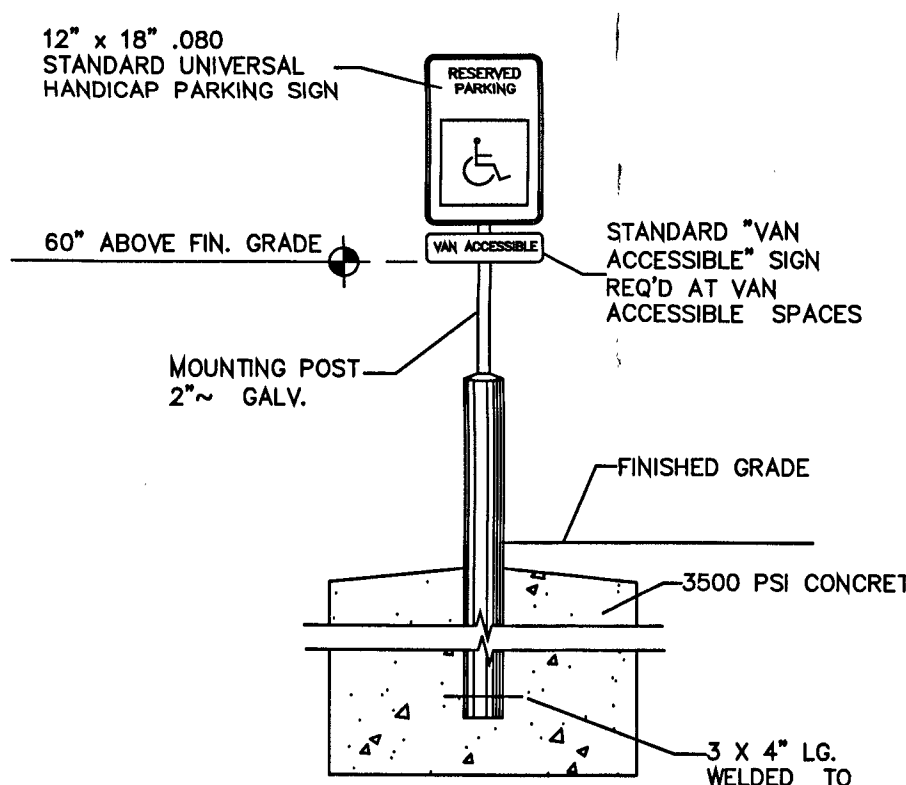
By graphic plotting only, this property does not lie within special flood zone areas according to the flood insurance rate map number 29189C0165K and community number 290896 (City of Chesterfield) which bears an effective date of 02/04/2016. The property lies within Flood Zone AH (Flood Depths of 1 to 3 feet (usually areas of ponding)). Base Flood Elevations determined (Elev. 454) and shaded zone X (0.2% Annual Chance Flood Hazard, and Areas with reduced flood risk due to Levees).



### ACCESSIBLE SIGN



TYPICAL PARKING STALLS



ACCESSIBLE PARKING SIGN

NOTE: CIVIL ENGINEERING DESIGN CONSULTANTS, INC. AND THE UNDERSIGNED ENGINEER HAVE NO RESPONSIBILITY FOR SERVICES PROVIDED BY OTHERS TO IMPLEMENT THE IMPROVEMENTS SHOWN ON THIS PLAN AND ALL OTHER DRAWINGS WHERE THE UNDERSIGNED ENGINEER'S SEAL APPEARS. THE CONSTRUCTION MEANS, METHODS AND MATERIALS ARE THE SOLE RESPONSIBILITY OF THE OWNER AND CONTRACTOR. CIVIL ENGINEERING DESIGN CONSULTANTS, INC. HAS NO RESPONSIBILITY TO VERIFY FINAL IMPROVEMENTS AS SHOWN ON THIS PLAN UNLESS SPECIFICALLY ENGAGED AND AUTHORIZED TO DO SO BY THE OWNER OR CONTRACTOR.

UTILITY NOTE: UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS, RECORDS AND INFORMATION, AND, THEREFORE DO NOT NECESSARILY REFLECT THE ACTUAL EXISTING, NON-EXISTING, SIZE, TYPE, NUMBER, OR LOCATION OF THESE FACILITIES, STRUCTURES AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS. THE UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319 RSMo.

NOTE TO CONTRACTOR: CONTRACTOR/SUBCONTRACTOR SHALL INVESTIGATE, ASCERTAIN AND CONFORM TO ANY AND ALL PERMIT REQUIREMENTS OF THE (ANY) VARIOUS AFFECTED UTILITY COMPANIES AND/OR REGULATORY AGENCIES WITH REGARDS TO MAKING CONNECTIONS TO, OR CROSSINGS OF THEIR FACILITIES, WORKING WITHIN THEIR RIGHT-OF-WAY OR EASEMENTS, INSPECTIONS AND ASSOCIATED MONETARY CHARGES; AND/OR SPECIAL BACKFILL REQUIREMENTS, SUCH INVESTIGATION TO INCLUDE BUT NOT LIMITED TO THE MAKING OF NECESSARY APPLICATIONS AND PAYMENTS OF ALL REQUIRED FEES.

THE LOCATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS OR PROFILES ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR/SUBCONTRACTOR TO VERIFY THE FIELD LOCATIONS, ANTICIPATED CLEARANCES AND THE EXISTENCE OF ANY FACILITIES NOT SHOWN HEREON, AS PART OF THE INVESTIGATIONS IN THE PARAGRAPH ABOVE.

### LEGEND

EXISTING CONTOURS	---
PROPOSED CONTOURS	---
EXISTING STORM SEWER	---
PROPOSED STORM SEWER	---
EXISTING SANITARY SEWER	---
PROPOSED SANITARY SEWER	---
RIGHT-OF-WAY	---
EASEMENT	---
CENTERLINE	---
EXISTING TREE	---
EXISTING SPOT ELEVATION	---
PROPOSED SPOT ELEVATION	---
SWALE	---
TO BE REMOVED	---
TO BE REMOVED & RELOCATED	---
TO BE USED IN PLACE	---
ADJUST TO GRADE	---
BACK OF CURB	---
FACE OF CURB	---
WATER MAIN	---
GAS MAIN	---
UNDERGROUND TELEPHONE	---
OVERHEAD WIRE	---
UNDERGROUND ELECTRIC	---
SILTATION CONTROL	---
FIRE HYDRANT	---
POWER POLE	---
WATER VALVE	---
LIGHT STANDARD	---

### SYMBOLS

WV	WATER VALVE
WMH	WATER MANHOLE
TMH	TELEPHONE MANHOLE
BSL	BRUSH & SHRUB LINE
S	SIGN
Y	ELECTRIC YARD LIGHT
MBS	MAIL BOX
EBB	ELECTRIC BOX
PP	POWER POLE
PP-P	POWER POLE & GUY
COO	CLEAN OUT
GV	GAS VALVE
GM	GAS METER
GD	GAS DRIP

### ABBREVIATIONS

N	NORTH
S	SOUTH
E	EAST
W	WEST
CONC	CONCRETE
ASPH	ASPHALT
PL	PLAT BOOK
DB	DEED BOOK
PA	PAGE
AC	SQUARE FEET
AG	AGRES
FL	FLOOR FINISH
ELEV	ELEVATION
FT	FINISH FLOOR
PVC	POLYVINYL CHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
STM	STORM
SAN	SANITARY
(S)	SAVE
(R)	REMOVE

(NAME OF OWNER(S)) THE OWNER(S) OF THE PROPERTY SHOWN ON THIS PLAN FOR AND IN

CONSIDERATION OF BEING GRANTED APPROVAL OF SAID PLAN TO DEVELOP PROPERTY UNDER THE PROVISIONS OF SECTION 03 (APPLICABLE SUBSECTION) (PRESENT ZONING) OF CITY OF CHESTERFIELD UNIFIED DEVELOPMENT

CODE, DO HEREBY AGREE AND DECLARE THAT SAID PROPERTY FROM THE DATE OF RECORDING THIS PLAN SHALL BE DEVELOPED ONLY AS SHOWN THEREON, UNLESS SAID PLAN IS AMENDED BY THE CITY OF CHESTERFIELD, OR VOIDED OR VACATED BY ORDER OF ORDINANCE OF THE CITY OF CHESTERFIELD COUNCIL.

(SIGNATURE): \_\_\_\_\_

(NAME TYPED): \_\_\_\_\_

STATE OF \_\_\_\_\_ ) SS.

COUNTY OF \_\_\_\_\_ )

ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_\_\_ BEFORE ME PERSONALLY APPEARED \_\_\_\_\_

(MEMBER) \_\_\_\_\_ TO ME KNOWN, WHO, BEING BY ME SWORN IN, DID SAY

THAT HE/SHE IS THE \_\_\_\_\_ OF \_\_\_\_\_ A

(TITLE) (NAME OF LLC) AND THAT THE SEAL AFFIXED TO THE FOREGOING

INSTRUMENTS IS THE CORPORATE SEAL OF SAID LLC, AND THAT SAID INSTRUMENT WAS SIGNED ON BEHALF OF SAID LLC BY AUTHORITY OF ITS BOARD OF DIRECTORS, AND THE SAID \_\_\_\_\_ (MEMBER)

ACKNOWLEDGED SAID INSTRUMENT TO BE THE FREE ACT AND DEED OF SAID CORPORATION,

TO BE THE PERSON(S) DESCRIBED IN, AND WHO EXECUTED THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED THAT HE, SHE OR THEY EXECUTED THE SAME AS HIS, HER, OR THEIR FREE ACT AND DEED.

IN TESTIMONY WHEREOF, I HAVE HERETO SET MY HAND AND AFFIXED MY NOTARIAL SEAL AT MY OFFICE IN \_\_\_\_\_ THE DAY AND YEAR LAST ABOVE WRITTEN.

(COUNTY AND STATE)

MY TERM EXPIRES \_\_\_\_\_

(NOTARY PUBLIC)

THIS AMENDED SITE DEVELOPMENT PLAN WAS APPROVED BY THE CITY OF CHESTERFIELD PLANNING COMMISSION AND DULY VERIFIED ON \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_ BY THE CHAIRPERSON OF SAID COMMISSION,

AUTHORIZING THE RECORDING OF THIS SITE DEVELOPMENT PLAN PURSUANT TO CHESTERFIELD ORDINANCE NUMBER 200, AS ATTESTED TO BY THE DIRECTOR OF PLANNING AND DEVELOPMENT SERVICES AND THE CITY CLERK.

JUSTIN WYSE, AICP  
DIRECTOR OF PLANNING AND DEVELOPMENT SERVICES  
CITY OF CHESTERFIELD, MISSOURI

VOKIE HASS, CITY CLERK  
CITY OF CHESTERFIELD, MISSOURI

### SURVEYOR'S CERTIFICATION

This is to certify that this Plat is a correct representation of all existing and proposed land divisions.

Marler Surveying Company, Inc.  
MISSOURI CORP. NO. LS. 347-D

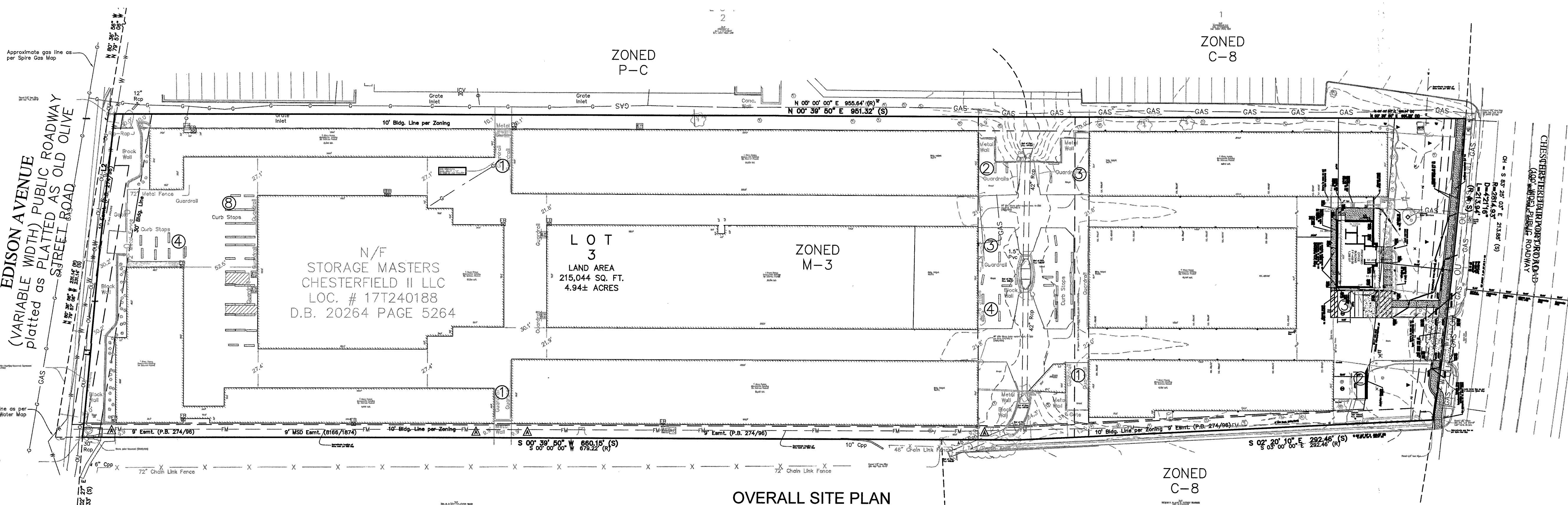
Morty L. Marler, R.L.S.

### PREPARED FOR:

ARCHIMAGES, INC.  
143 WEST CLINTON PLACE  
ST. LOUIS, MISSOURI 63122  
(314) 965-7445

### PREPARED BY:

**CEDC**  
CIVIL ENGINEERING  
DESIGN CONSULTANTS  
10820 Sunset Office Drive  
Suite 200  
St. Louis, Missouri 63127  
314.729.1400  
Fax: 314.729.1404  
www.cedc.net



OVERALL SITE PLAN  
SCALE: 1"=40'

SCALE: 1 inch = 40 ft.

### APPROXIMATE LIMITS OF FLOOD ZONE AH (ELEV. 456)

NOTE: The underground utilities have been plotted from available sources and their locations must be considered approximate only. The verification of the actual locations of all underground utilities, either shown or not shown on this drawing, shall be the responsibility of the contractor and shall be located prior to grading or construction of improvements.



MISSOURI ONE CALL TICKET NUMBER 1903061021  
The utilities contacted by Missouri One Call were Ameren Missouri Electric, AT&T Distribution, Charter Communications, Externet Systems, Missouri American Water Company, MCO, CenturyLink Fiber, Spire Mo East and St. Louis Metropolitan Sewer District.



BRANDON A. HARDY, P.E. E-28660  
PROFESSIONAL ENGINEER  
CEDC LICENSE NO.: 2003004674

10820 Sunset Office Drive  
Suite 200  
St. Louis, Missouri 63127  
314.729.1400  
Fax: 314.729.1404  
www.cedc.net

**CEDC**  
CIVIL ENGINEERING  
DESIGN CONSULTANTS

Amended Site Development Plan for  
**STORAGE MASTERS**  
18224 Chesterfield Airport Road  
Chesterfield, Missouri 63005

RECEIVED  
JUL 26 2019  
City of Chesterfield  
Department of Public Works

Proj. #	1905
No. Description	Date
To City	04/11/19
To City	05/20/19
To City	05/28/19
Per City/County	07/17/19

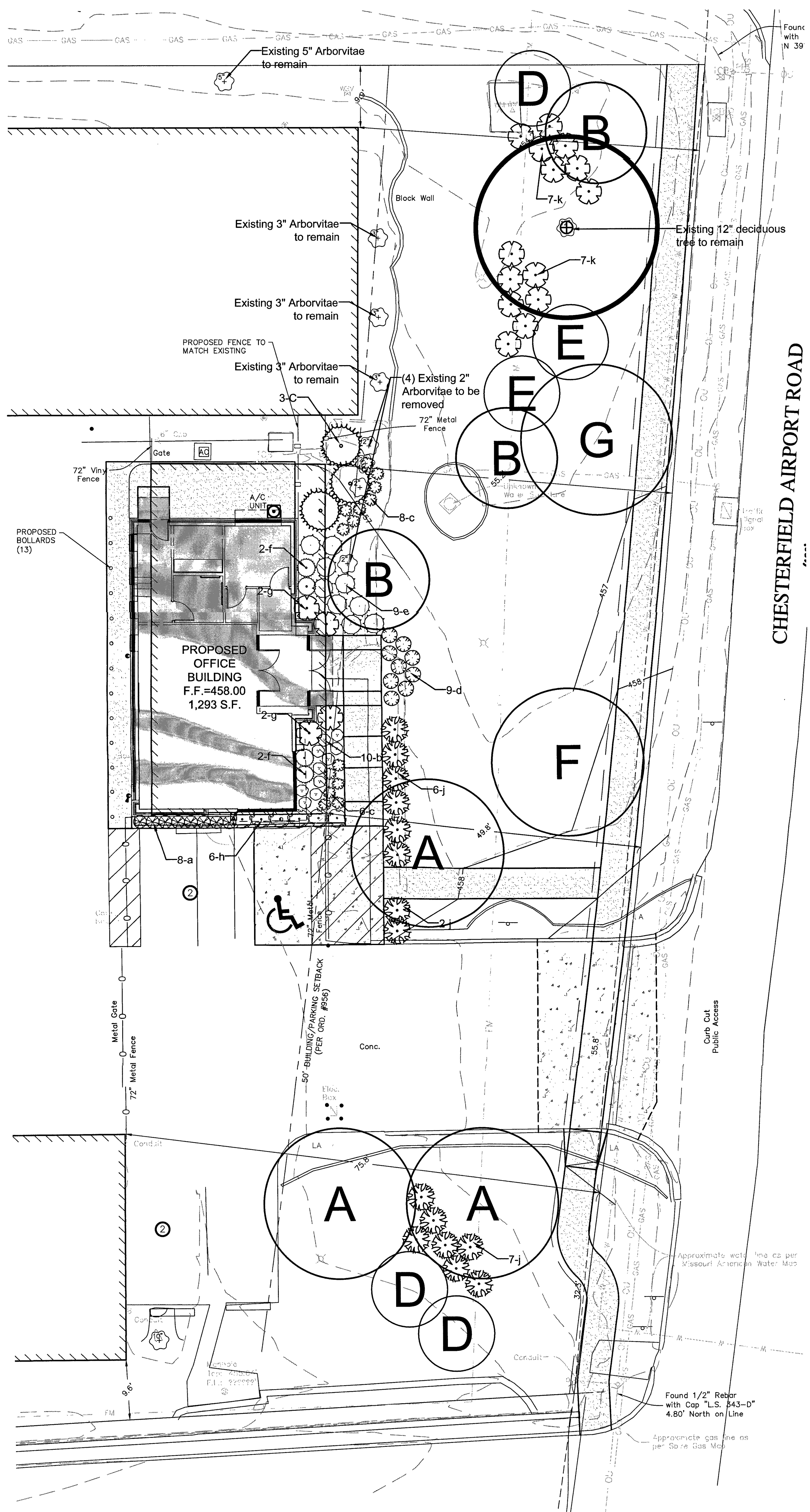
Title Sheet

C01

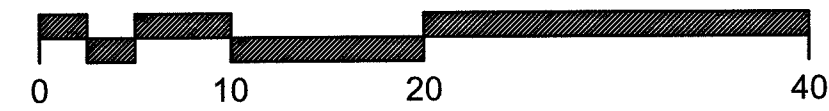




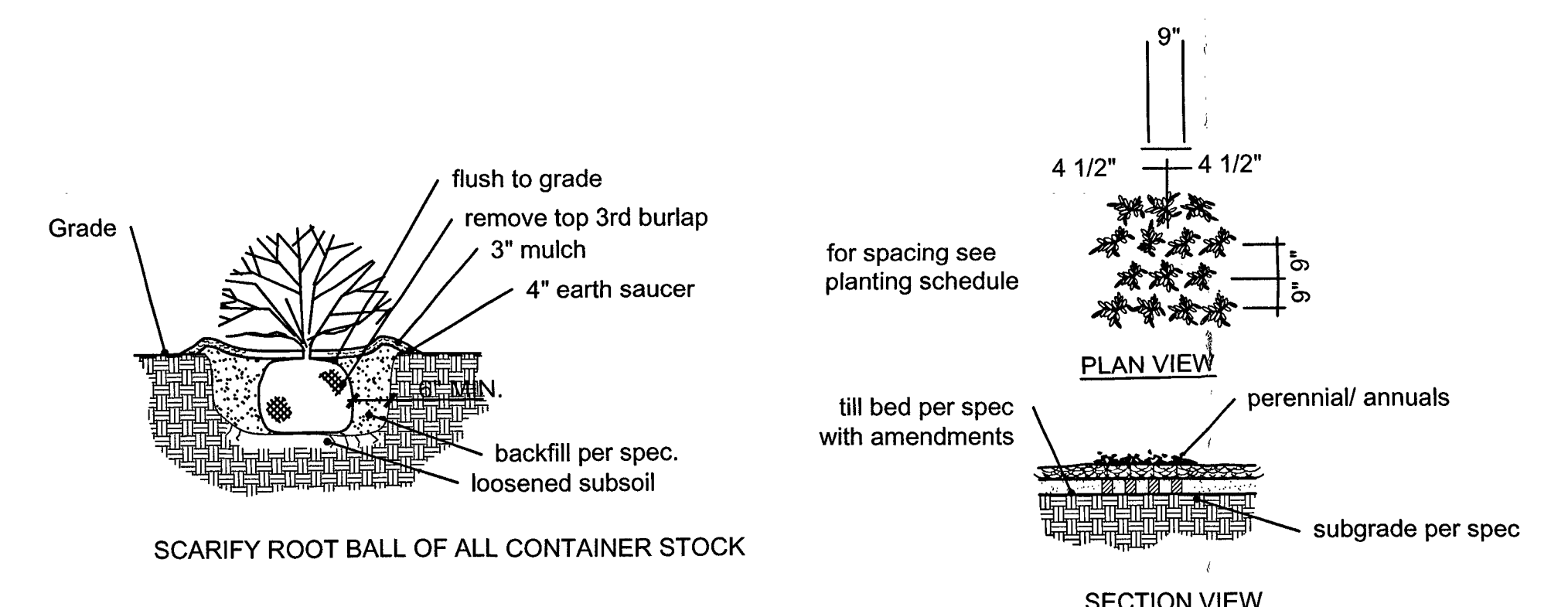




**Landscape Plan**  
SCALE 1"=10'

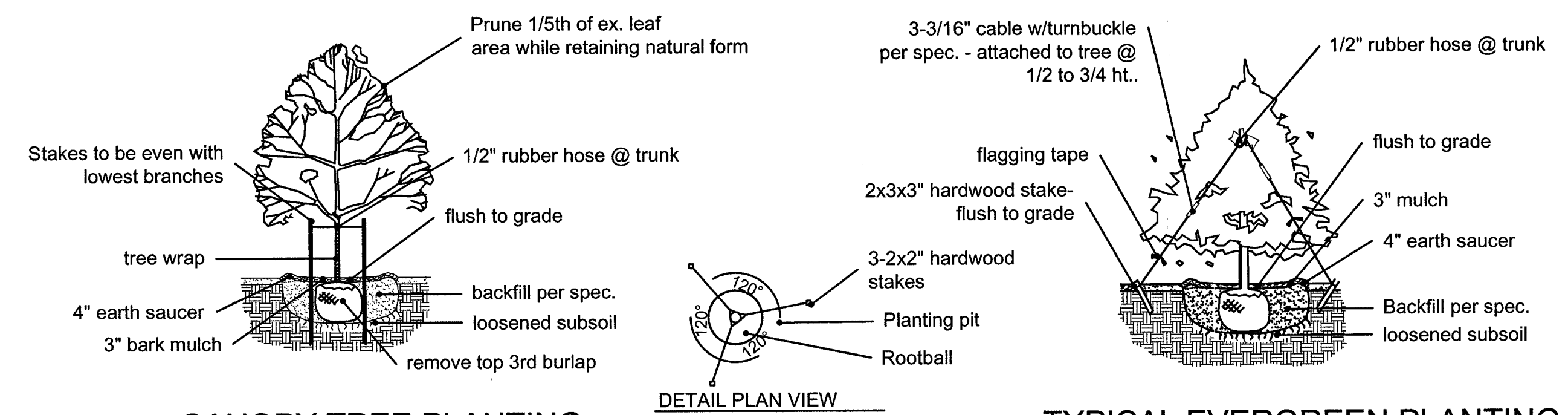


PLANTING SCHEDULE					
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
A	3	Acer miyabei 'Morton'	State Street Maple	3"	B&B
B	3	Cercis canadensis	Redbud	2.5"	B&B
C	3	Thuja 'Green Giant'	Green Giant Arborvitae	5-6'	B&B
D	3	Picea abies	Norway Spruce	6'	B&B
E	2	Picea pungens 'Glauca'	Blue Colorado Spruce	6'	B&B
F	1	Carpinus caroliniana	Norway Spruce	3"	B&B
G	1	Koeleruteria paniculata	Golden Rain Tree	3"	B&B
a	8	Buxus microphylla 'Green Pillow'	Green Pillow Boxwood	24"	
b	10	Spiraea 'Ogon'	Mellow Yellow Spirea	24"	
c	14	Juniperus horizontalis 'Blue Chip'	Blue Chip Juniper	24"	
d	9	Abelia x grandiflora 'Kaleidoscope'	Kaleidoscope Abelia	24"	
e	9	Syringa patula 'Miss Kim'	Miss Kim Lilac	24"	
f	4	Physocarpus opulifolius 'SMPOTW' Tiny Wine	Tiny Wine Ninebark	24"	
g	4	Viburnum opulus 'Nanum'	European Cranberrybush	2-3'	
h	6	Ilex mesog 'China Girl'	China Girl Holly	2-3'	
j	15	Juniperus phytzneriana 'Sea Green'	Sea Green Juniper	2-3'	
k	14	Viburnum dentatum	Arrowwood Viburnum	2-3'	



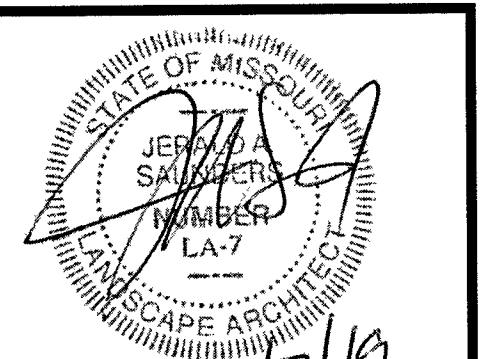
TYPICAL SHRUB PLANTING

TYPICAL PERENNIAL PLANTING



CANOPY TREE PLANTING

TYPICAL EVERGREEN PLANTING



Jerald Saunders - Landscape Architect  
MO License # LA-007  
Consultants:

Storage Masters  
Chesterfield, Missouri

Date	Description	No.
05-14-19	City Comments	1
05-29-19	City Comments	2
07-03-19	City Comments	3

Drawn: BR  
Checked: RS

**loomisAssociates**  
Landscape Architects/Planners  
777 South Olive Drive, Suite 105  
Chesterfield, MO 63005-1079  
Phone: 636.336.3565 Fax: 636.336.3579  
www.loomisassociates.com  
Missouri State Certificate of Authority #: LAC #000013

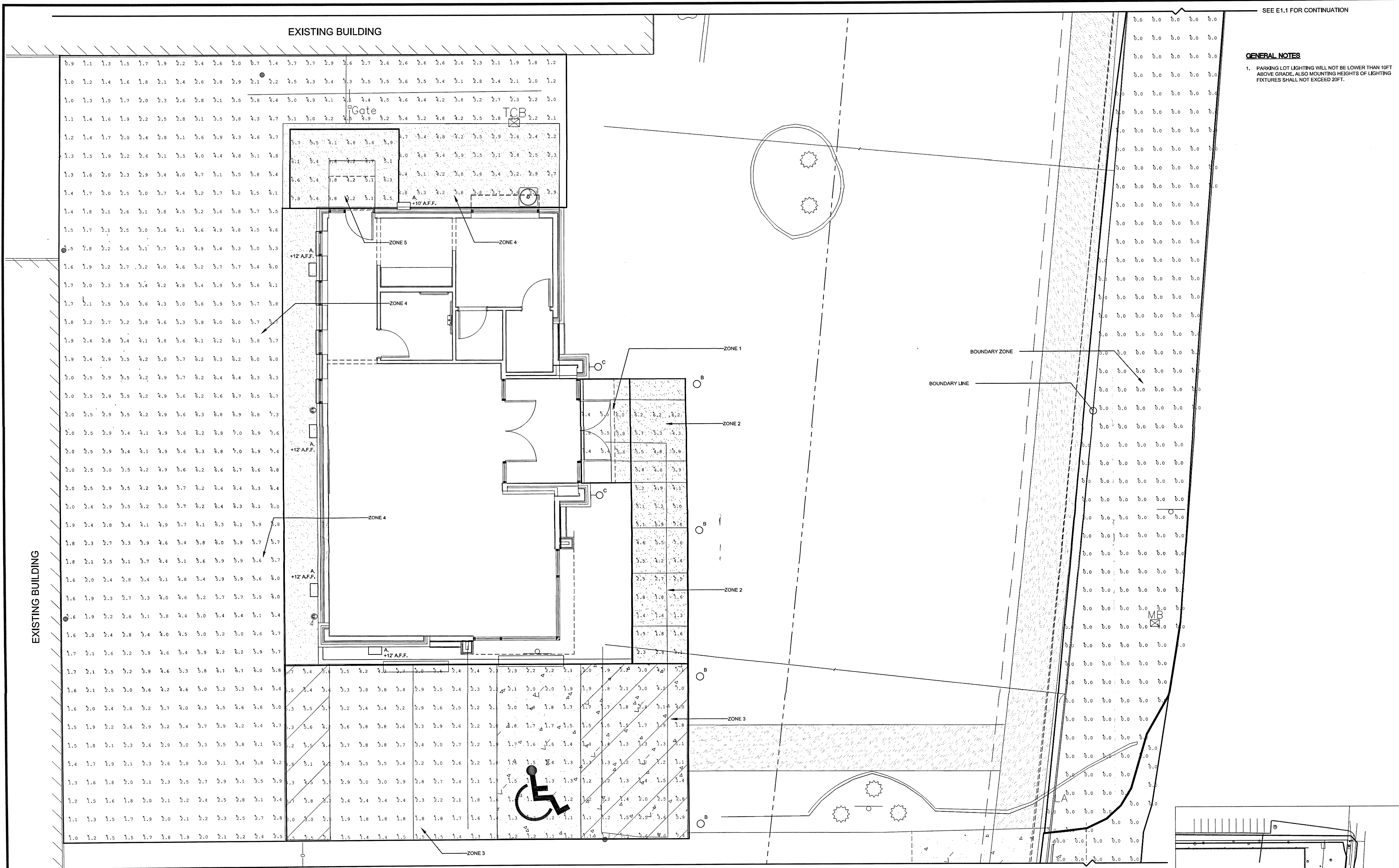
Sheet Title: Landscape Plan

Sheet No: L-1

Date: 4/11/19  
Job #: 584.031



SEE E1.1 FOR CONTINUATION



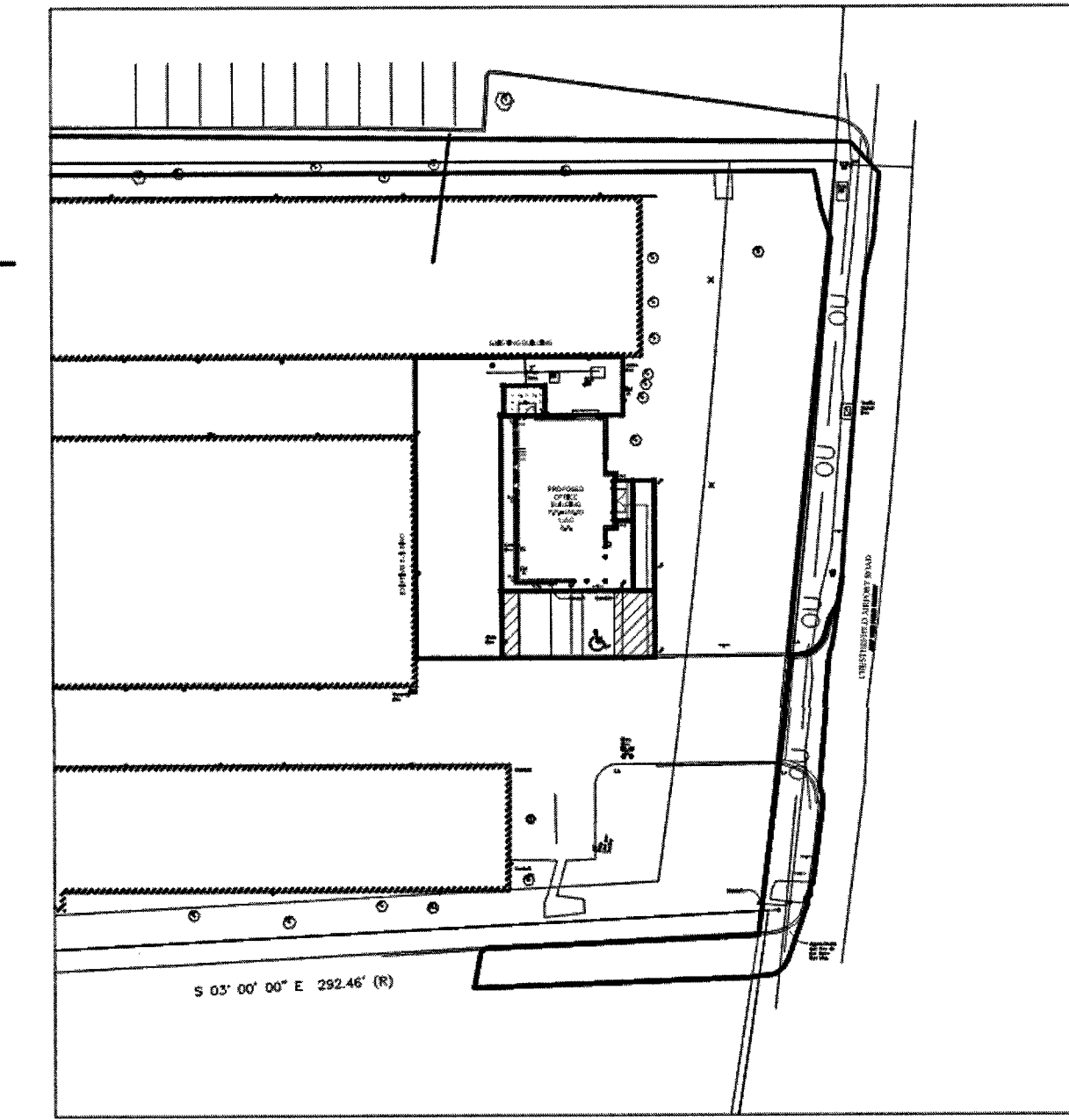
**GENERAL NOTES**  
 1. PARKING LOT LIGHTING WILL NOT BE LOWER THAN 10FT ABOVE GRADE. ALSO MOUNTING HEIGHTS OF LIGHTING FIXTURES SHALL NOT EXCEED 20FT.

SEE E1.1 FOR CONTINUATION

LIGHTING FIXTURE SCHEDULE						
FIXTURE MARK	MANUFACTURER	MODEL	VOLTAGE	LED	MOUNTING	DESCRIPTION
A	COOPER	IST-AF-600-LED-E1-T4V-BK-CWB	120 V	34W, 4000K LED, 4199L	WALL MOUNTED	LED WALL MOUNT FIXTURE, PROVIDE EMERGENCY BATTERY PACK FOR EGRESS, SEE SITE PLAN FOR MOUNTING HEIGHTS.
B	VISTA PRO	1470-S-42-1Q-40-A-AMV-510	120 V	7W, 4000K LED, 383L	BASE MOUNTED	LED 42" BOLLARD.
C	VISA LIGHTING	DSV5203-L46K-HMMVOLT-BSL	120 V	33W, 4000K LED, 3700L	WALL MOUNTED	LED WALL MOUNT FIXTURE, MOUNT BOTTOM OF FIXTURE AT 5'-6" ABOVE GRADE, PROVIDE EMERGENCY BATTERY PACK FOR EGRESS.

LIGHTING ZONE CALCULATIONS						
ZONE	ILLUMINANCE	AVERAGE	MAXIMUM	MINIMUM	AVG/MIN	MAX/MIN
BOUNDARY	FC	0.00	0.00	0.00	0.00	0.00
ZONE 1	FC	5.62	5.5	4.4	1.14	1.25
ZONE 2	FC	4.17	7.6	1.3	3.21	5.85
ZONE 3	FC	2.53	7.4	1.1	2.30	6.73
ZONE 4	FC	3.73	7.6	0.7	5.31	10.86
ZONE 5	FC	5.18	7.3	3.8	1.36	1.92

**1 ELECTRICAL SITE PLAN - LIGHTING**  
 SCALE: 1/4" = 1'-0"

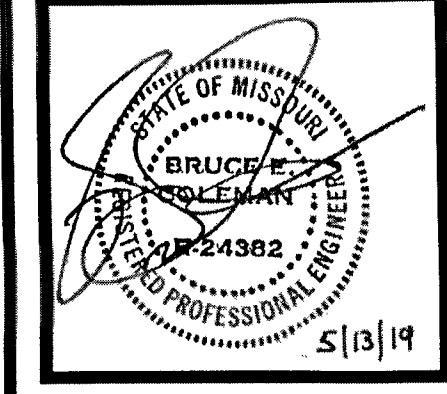


ISSUANCE	NO	DATE	DESCRIPTION

110 E WASHINGTON  
 SUITE 220  
 BELLEVILLE, IL 62220  
 FAX: 618.277.5227

**BRIC**  
 PARTNERSHIP, LLC  
 CONSULTING ENGINEERS

DATE	DRAWN	CHECKED	APPROVED	PROFESSIONAL DESIGN FIRM #
06/13/2016	JIB	BEC	BEC	#2002026890

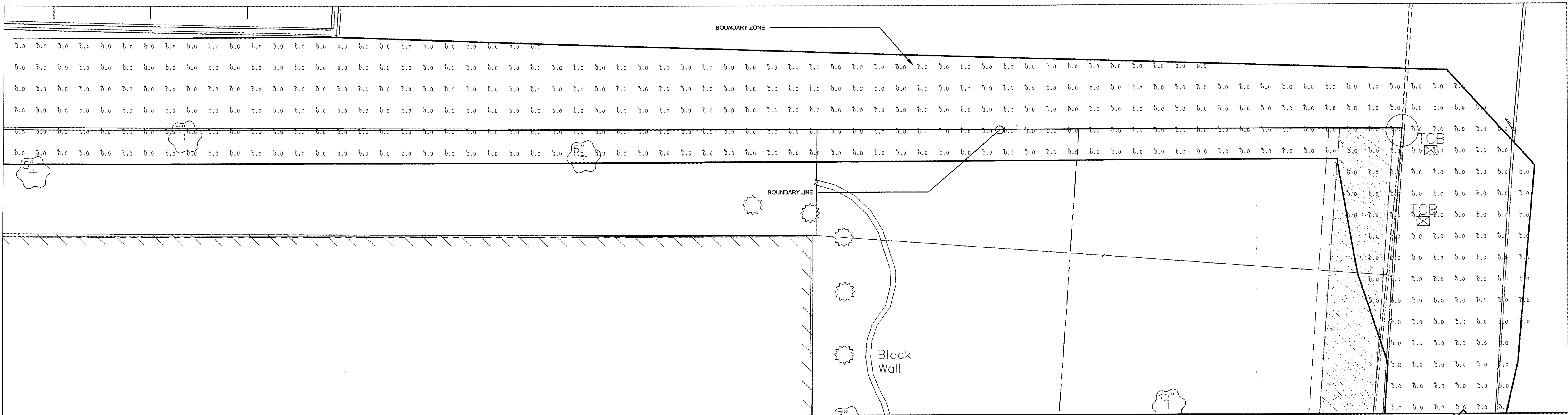


STORAGE MASTERS  
 16824 Chesterfield Airport Rd, Chesterfield, MO 63005

ELECTRICAL SITE PLAN - LIGHTING

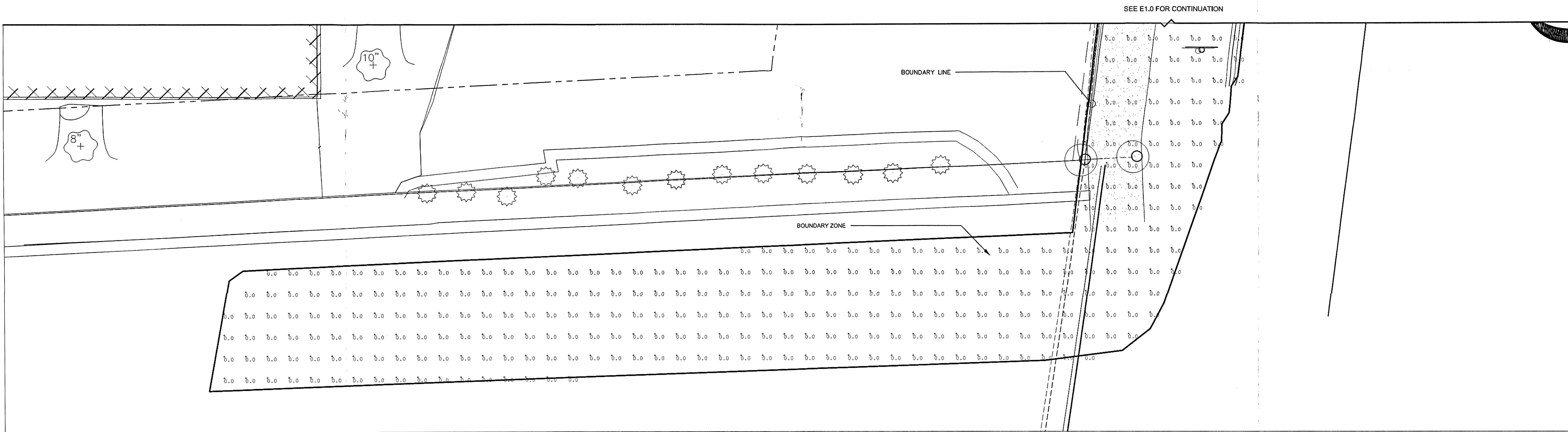
SHEET NO  
**E1.0**





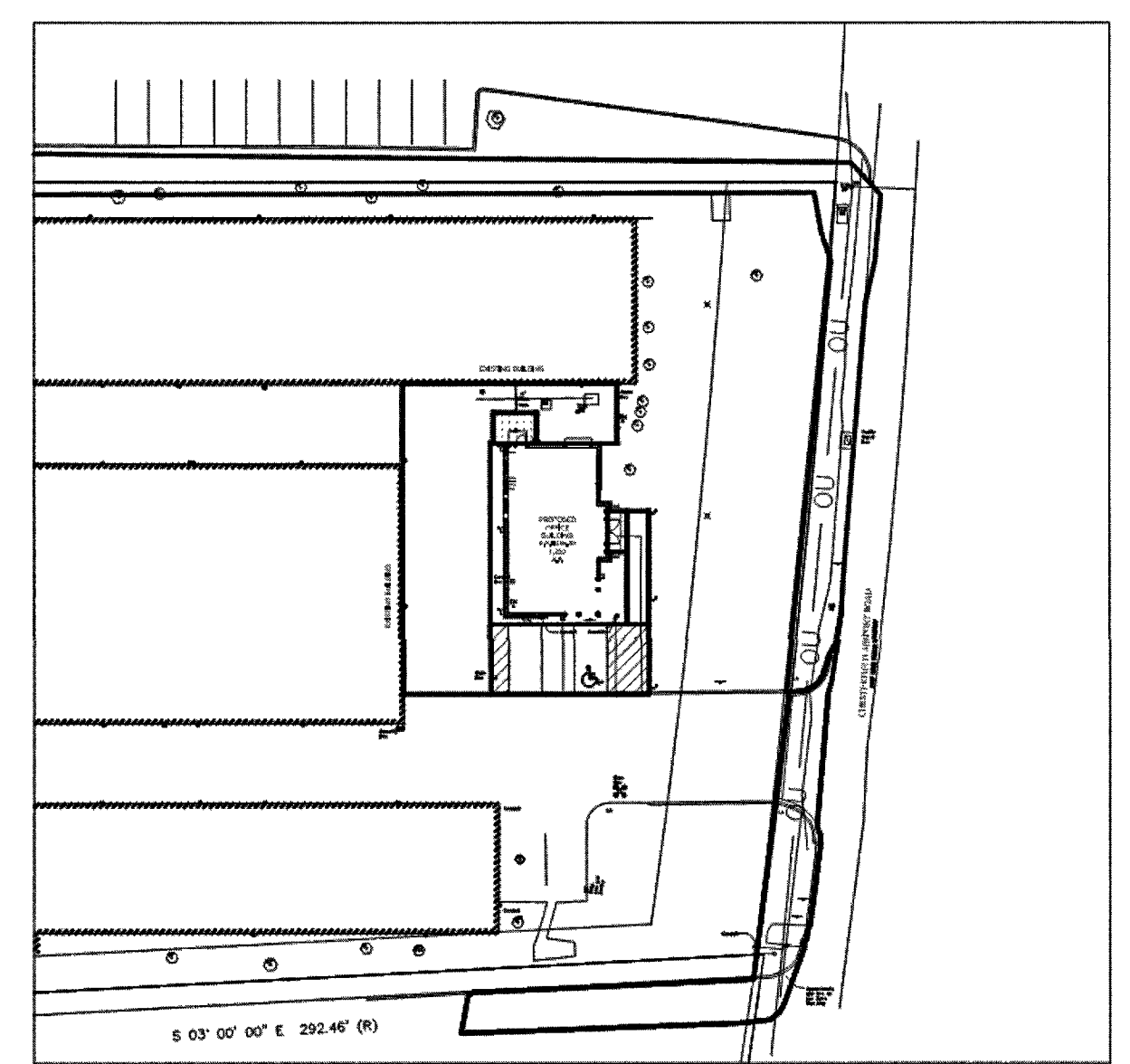
SEE E1.0 FOR CONTINUATION

1 ELECTRICAL SITE PLAN CONTINUED - LIGHTING  
SCALE: 1/4" = 1'-0"



SEE E1.0 FOR CONTINUATION

2 ELECTRICAL SITE PLAN CONTINUED - LIGHTING  
SCALE: 1/4" = 1'-0"



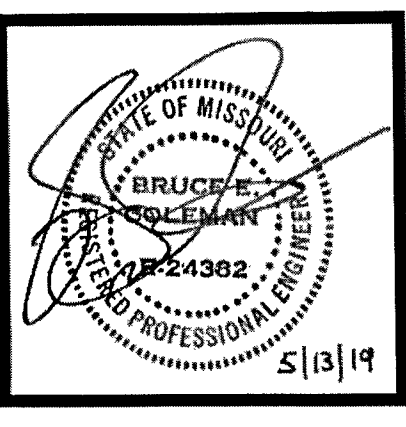
NO.	DATE	DESCRIPTION

ISSUANCE

1000 WASHINGTON  
SUITE 220  
BELLEVILLE, IL 62201  
PHONE: 618.277.2927  
FAX: 618.277.2927

**BRiC**  
PARTNERSHIP, LLC  
CONSULTING ENGINEERS

DATE	DRAWN	CHECKED	APPROVED	PROFESSIONAL DESIGN FIRM
05/13/2019	JUR	BEC	BEC	Professional Design Firm #2020226850



STORAGE MASTERS  
16824 Chesterfield Airport Rd, Chesterfield, MO 63005

ELECTRICAL SITE PLAN - LIGHTING CONT.

SHEET NO  
**E1.1**



FIXTURE TYPE A

26 50 00 EXTERIOR LIGHTING  
ST. TRAPEZOID LEDEditon\_mcgraw\_impactelite\_spec\_28502

**McGraw-Edison**

DESCRIPTION: The Impact Elite family of wall luminaires is the ideal complement to the design. Incorporating modular LightSquares technology, the Impact Elite luminaire provides outstanding uniformity and energy conscious illumination. Combined with a rugged construction, the Impact Elite luminaire is the ideal facade and security luminaire for areas surrounding schools, office complexes, apartments and recreational facilities. ULULC listed for wet locations.

**26 50 00 EXTERIOR LIGHTING**  
ST. TRAPEZOID LEDEditon\_mcgraw\_impactelite\_spec\_28502

Model: A  
Type: A  
Project: \_\_\_\_\_  
Date: \_\_\_\_\_

**CONSTRUCTION FEATURES**  
Heavy wall, die-cast aluminum housing and removable hinged door frame for precise tolerance control and repeatability. Hinged door test for clean mating with housing surface and secured with two captive fasteners. Optional tamper-resistant Torx™ head fasteners offer vandal resistance access to the electrical chamber.

**Electrical**  
LED drivers mount to die-cast aluminum back housing for optimal heat sinking operation efficiency, and prolonged life. Standard drivers feature electronic universal voltage 120V/277V/500VAC; 347V/600V or 480V/600V operation, greater than 0.9 power factor, less than 20% harmonic distortion, and are suitable for operation in -40°C to 40°C ambient environments. All fixtures are shipped standard with 18W/100mA common - and differential - mode surge protection. LightSquares feature an IP68 enclosure rating and maintain greater than 80% lumen maintenance at 60,000 hours per IESNA TM-21. Emergency express options for 20°C ambient environments and occupancy sensor are available.

**Mounting**  
Cast and zinc plated rigid steel mounting attachment fits directly to 4" hole or wall with the Impact Elite "Hook-It-Lock" mechanism for quick installation. Secured with two captive corrosion resistant black oxide coated allen head set screws concealed but accessible from bottom of fixture.

**Finish**  
Cast components finished in a five stage epoxy TBC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Standard colors include black, bronze, silver, white, dark platinum and graphite metallic. RAL and custom color matches available. Contact the McGraw-Edison Architectural Color brochure for the complete selection.

**Warranty**  
Five year warranty.

**CERTIFICATION DATA**  
UL Listed  
IMPL (L90) Compliant  
IP68 LightSquares  
DesignLight Consortium® Qualified  
800000

**ENERGY DATA**  
Output LED Power  
4.3 Power Factor  
100% Total Harmonic Distortion  
120-277V/500V & 347V/600V/480V/600V  
80°C Ambient Temperature  
80°C Ambient Temperature Range

**SHIPPING DATA**  
Approximate Net Weight:  
18 lbs. (8.1 kg)

**Dimensions:**  
Cylinder: 12" (305mm) x 12" (305mm)  
Quarter Sphere: 12" (305mm) x 12" (305mm)  
Wedge: 12" (305mm) x 12" (305mm)  
Trapezoid: 12" (305mm) x 12" (305mm)

**HOOK-IT-LOCK MOUNTING**

**ISCCAS/IST/ISW IMPACT ELITE LED**  
WALL MOUNT LUMINAIRE

**ISCCAS/IST/ISW IMPACT ELITE LED**  
WALL MOUNT LUMINAIRE

**Provide BK Black Finish**

**EATN**  
February 26, 2018 1:26 PM

FIXTURE TYPE A

26 50 00 EXTERIOR LIGHTING  
ST. TRAPEZOID LEDEditon\_mcgraw\_impactelite\_spec\_28502

**ISCCAS/IST/ISW IMPACT ELITE LED**

POWER AND LUMENS

Light Square (LS)	Cylinder (800 and Quarter Sphere 850)				Trapezoid (875 and Wedge 875)			
	300	400	600	1000	300	400	600	1000
Power (Watt)	120-277V	30.3	28.5	32.4	42.9	35.1	36.2	33.3
Current (A)	120V	0.17	0.22	0.19	1.38	0.68	0.17	0.24
Power (Watt)	277V	0.88	0.85	1.10	8.57	3.71	0.26	0.36
Current (A)	277V or 480V	32.3	30.7	39.4	30.8	16.7	23.2	26.7
Current (A)	480V	0.37	0.38	0.11	0.18	0.21	0.37	0.39

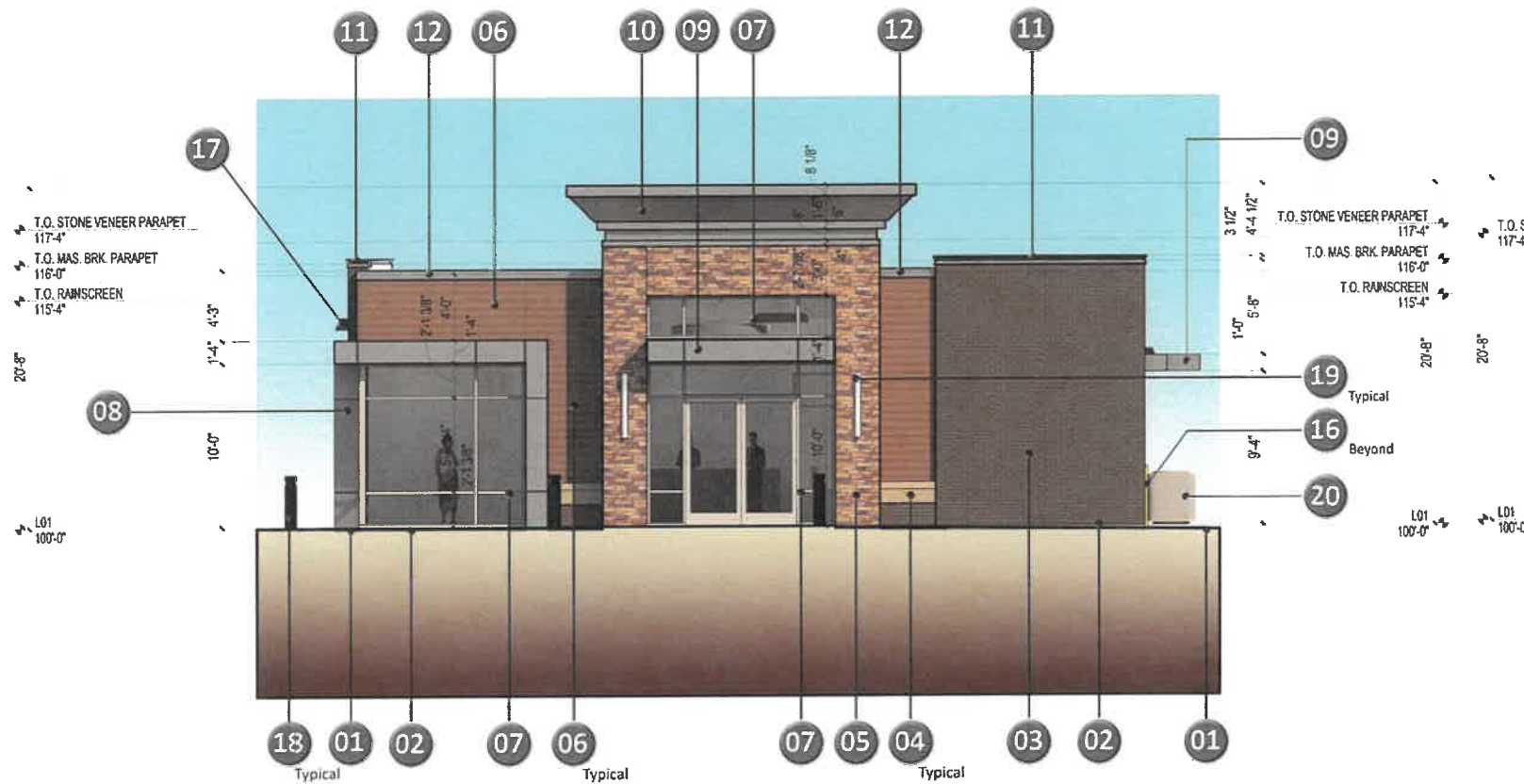
**Optics**

Optic	Lumens	3000	3001	3010	4000	4001	4010	6000	6001	6010	8000	8001	8010	10000
T2	Lumens	2,390	2,441	2,500	3,290	3,341	3,400	4,190	4,241	4,300	5,190	5,241	5,300	6,190
T3	Lumens	2,441	2,492	2,551	3,341	3,392	3,451	4,241	4,292	4,351	5,241	5,292	5,351	6,241
T4	Lumens	2,492	2,543	2,602	3,392	3,443	3,502	4,292	4,343	4,402	5,292	5,343	5,402	6,292
T5	Lumens	2,543	2,594	2,653	3,443	3,494	3,553	4,343	4,394	4,453	5,343	5,394	5,453	6,343
T6	Lumens	2,594	2,645	2,704	3,494	3,545	3,604	4,394	4,445	4,504	5,394	5,445	5,504	6,394
T7	Lumens	2,645	2,696	2,755	3,545	3,596	3,655	4,445	4,496	4,555	5,445	5,496	5,555	6,445
T8	Lumens	2,696	2,747	2,806	3,596	3,647	3,706	4,496	4,547	4,606	5,496	5,547	5,606	6,496
T9	Lumens	2,747	2,798	2,857	3,647	3,698	3,757	4,547	4,598	4,657	5,547	5,598	5,657	6,547
T10	Lumens	2,798	2,849	2,908	3,698	3,749	3,808	4,598	4,649	4,708	5,598	5,649	5,708	6,598
T11	Lumens	2,849	2,900	2,959	3,749	3,800	3,859	4,649	4,700	4,759	5,649	5,700	5,759	6,649
T12	Lumens	2,900	2,951	3,010	3,800	3,851	3,910	4,700	4,751	4,810	5,700	5,751	5,810	6,700
T13	Lumens	2,951	3,002	3,061	3,851	3,902	3,961	4,751	4,802	4,861	5,751	5,802	5,861	6,751
T14	Lumens	3,002	3,053	3,112	3,902	3,953	4,012	4,802	4,853	4,912	5,802	5,853	5,912	6,802
T15	Lumens	3,053	3,104	3,163	3,953	4,004	4,063	4,853	4,904	4,963	5,853	5,904	5,963	6,853
T16	Lumens	3,104	3,155	3,214	4,004	4,055	4,114	4,904	4,955	5,014	5,904	5,955	6,014	6,904
T17	Lumens	3,155	3,206	3,265	4,055	4,106	4,165	4,955	5,006	5,065	5,955	6,006	6,065	6,955
T18	Lumens	3,206	3,257	3,316	4,106	4,157	4,216	5,006	5,057	5,116	6,006	6,057	6,116	7,006
T19	Lumens	3,257	3,308	3,367	4,157	4,208	4,267	5,057	5,108	5,167	6,057	6,108	6,167	7,057
T20	Lumens	3,308	3,359	3,418	4,208	4,259	4,318	5,108	5,159	5,218	6,108	6,159	6,218	7,108
T21	Lumens	3,359	3,410	3,469	4,259	4,310	4,369	5,159	5,210	5,269	6,159	6,210	6,269	7,159
T22	Lumens	3,410	3,461	3,520	4,310	4,361	4,420	5,210	5,261	5,320	6,210	6,261	6,320	7,210
T23	Lumens	3,461	3,512	3,571	4,361	4,412	4,471	5,261	5,312	5,371	6,261	6,312	6,371	7,261
T24	Lumens	3,512	3,563	3,622	4,412	4,463	4,522	5,312	5,363	5,422	6,312	6,363	6,422	7,312
T25	Lumens	3,563	3,614	3,673	4,463	4,514	4,573	5,363	5,414	5,473	6,363	6,414	6,473	7,363
T26	Lumens	3,614	3,665	3,724	4,514	4,565	4,624	5,414	5,465	5,524	6,414	6,465	6,524	7,414
T27	Lumens	3,665	3,716	3,775	4,565	4,616	4,675	5,465	5,516	5,575	6,465	6,516	6,575	7,465
T28	Lumens	3,716	3,767	3,826	4,616	4,667	4,726	5,516	5,567	5,626	6,516	6,567	6,626	7,516
T29	Lumens	3,767	3,818	3,877	4,667	4,718	4,777	5,567	5,618	5,677	6,567	6,618	6,677	7,567
T30	Lumens	3,818	3,869	3,928	4,718	4,769	4,828	5,618	5,669	5,728	6,618	6,669	6,728	7,618
T31	Lumens	3,869	3,920	3,979	4,769	4,820	4,879	5,669	5,720	5,779	6,669	6,720	6,779	7,669
T32	Lumens	3,920	3,971	4,030	4,820	4,871	4,930	5,720	5,771	5,830	6,720	6,771	6,830	7,720
T33	Lumens	3,971	4,022	4,081	4,871	4,922	4,981	5,771	5,822	5,881	6,771	6,822	6,881	7,771
T34	Lumens	4,022	4,073	4,132	4,922	4,973	5,032	5,822	5,873	5,932	6,822	6,873	6,932	7,822
T35	Lumens	4,073	4,124	4,183	4,973	5,024	5,083	5,873	5,924	5,983	6,873	6,924	6,983	7,873
T36	Lumens	4,124	4,175	4,234	5,024	5,075	5,134	5,924	5,975	6,034	6,924	6,975	7,034	7,924
T37	Lumens	4,175	4,226	4,285	5,075	5,126	5,185	5,975	6,026	6,085	6,975	7,026	7,085	7,975
T38	Lumens	4,226	4,277	4,336	5,126	5,177	5,236	6,026	6,077	6,136	7,026	7,077	7,136	8,026
T39	Lumens	4,277	4,328	4,387	5,177	5,228	5,287	6,077	6,128	6,187	7,077	7,128	7,187	8,077
T40	Lumens	4,328	4,379	4,438	5,228	5,279	5,338	6,128	6,179	6,238	7,128	7,179	7,238	8,128
T41	Lumens	4,379	4,430	4,489	5,279	5,330	5,389	6,179	6,230	6,289	7,179	7,230	7,289	8,179
T42	Lumens	4,430	4,481	4,540	5,330	5,381	5,440	6,230	6,281	6,340	7,230	7,281	7,340	8,230
T43	Lumens	4,481	4,532	4,591	5,381	5,432	5,491	6,281	6,332	6,391	7,281	7,332	7,391	8,281
T44	Lumens	4,532	4,583	4,642	5,432	5,483	5,542	6,332	6,383	6,442	7,332	7,383	7,442	8,332
T45	Lumens	4,583	4,634	4,693	5,483	5,534	5,593	6,383	6,434	6,493	7,383	7,434	7,493	8,383
T46	Lumens	4,634	4,685	4,744	5,534	5,585	5,644	6,434	6,485	6,544	7,434	7,485	7,544	8,434
T47	Lumens	4,685	4,736	4,795	5,585	5,636	5,695	6,485	6,536	6,595	7,485	7,536	7,595	8,485
T48	Lumens	4,736	4,787	4,846	5,636	5,687	5,746	6,536	6,587	6,646	7,536	7,587	7,646	8,536
T49	Lumens	4,787	4,838	4,897	5,687	5,738	5,797	6,587	6,638	6,697	7,587	7,638	7,697	8,587
T50	Lumens	4,838	4,889	4,948	5,738	5,789	5,848	6,638	6,689	6,748	7,638	7,689	7,748	8,638
T51	Lumens	4,889	4,940	4,999	5,789	5,840	5,899	6,689	6,740	6,799	7,689	7,740	7,799	8,689
T52	Lumens	4,940	4,991	5,050	5,840	5,891	5,950	6,740	6,791	6,850	7,740	7,791	7,850	8,740
T53	Lumens	4,991	5,042	5,101	5,891	5,942	6,001	6,791	6,842	6,901	7,791	7,842	7,901	8,791
T54	Lumens	5,042	5,093	5,152	5,942	5,993	6,052	6,842	6,893	6,952	7,842	7,893	7,952	8,842
T55	Lumens	5,093	5,144	5,203	5,993	6,044	6,103	6,893	6,944	7,003	7,893	7,944	8,003	8,893
T56	Lumens	5,144	5,195	5,254	6,044	6,095	6,154	6,944	6,995	7,054	7,944	7,995	8,054	8,944
T57	Lumens	5,195	5,246	5,305	6,095	6,146	6,205	6,995	7,046	7,105	7,995	8,046	8,105	8,995
T58	Lumens	5,246	5,297	5,356	6,146	6,197	6,256	7,046	7,097	7,156	8,046	8,097	8,156	9,046
T59	Lumens	5,297	5,348	5,407	6,197	6,248	6,307	7,097	7,148	7,207	8,097	8,148	8,207	9,097
T60	Lumens	5,348	5,399	5,458	6,248	6,299	6,358	7,148	7,199	7,258	8,148	8,199	8,258	9,148
T61	Lumens	5,399	5,450	5,509	6,299	6,350	6,409	7,199	7,250	7,309	8,199	8,250	8,309	9,199
T62	Lumens	5,450	5,501	5,560	6,350	6,401	6,460	7,250	7,301	7,360	8,250	8,301	8,360	9,250
T63	Lumens	5,501	5,552	5,611	6,401	6,452	6,511	7,301	7,352					

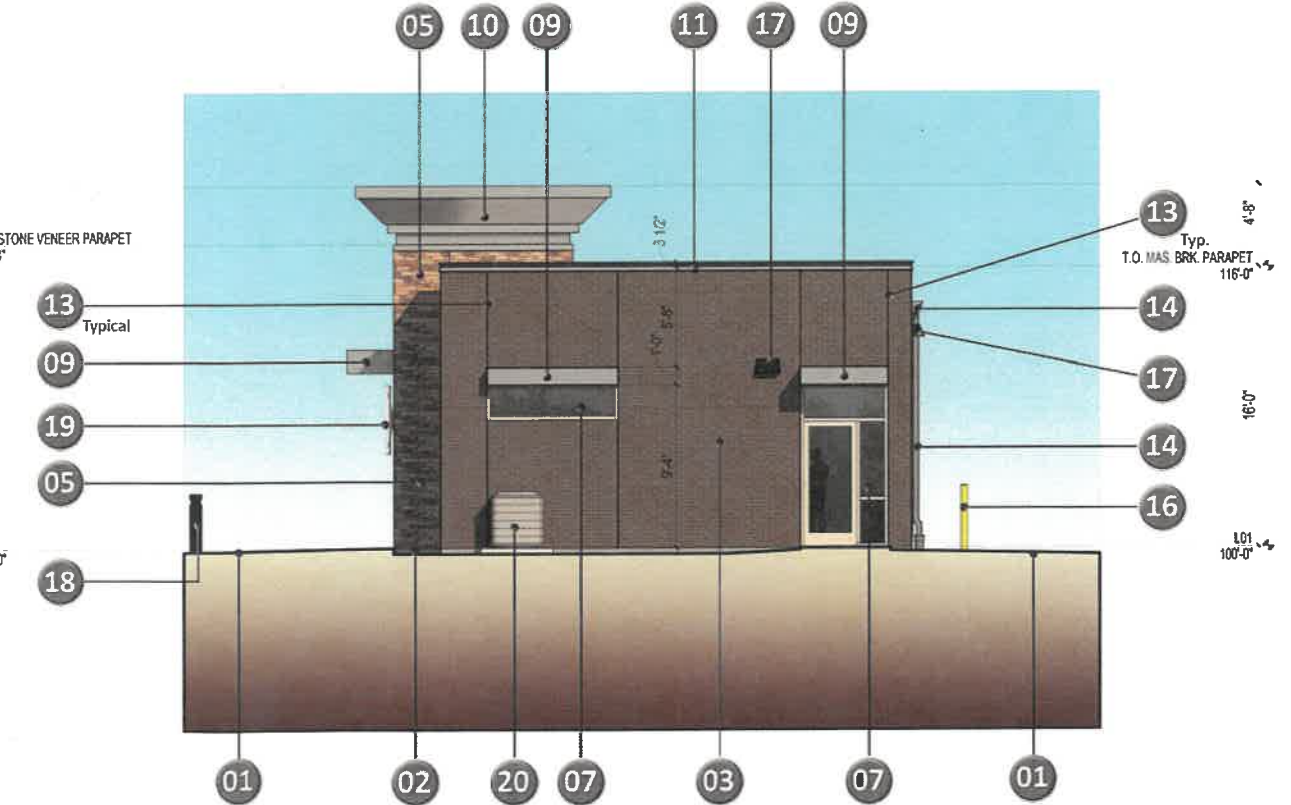


# Material Keynote Legend:

- 01 Finished Grade.
- 02 Exposed Concrete Foundation Wall.
- 03 Brick Veneer: Acme Brick Company "Charcoal", running bond with SGS 22S Tan mortar.
- 04 Cast Stone Sill/Water Table: Continental Cast Stone I102 with SGS 60H White mortar.
- 05 Manufactured Masonry Veneer: Eldorado Stone Mountain Ledge, Color: Russet.
- 06 Fiber Cement Siding: Nichiha "AWP3030" Vintage Wood, Color: Cedar.
- 07 Aluminum Storefront & Glazing: YKK YES 45 TU thermally broken storefront system w/ 1" insulated glazing Vitro Solarban 60 Clear + Clear. Storefront Color: YS1N Clear Anodized Plus.
- 08 Metal Composite Material (MCM): Alpolic 4MM BSX Silver Metallic rainscreen. Alternate Finish: EIFS w/ Acrylic coating Reflectit #255 Tin Man Finish (Similar to MCM).
- 09 Prefabricated Metal Canopy and/or Sunshade Device: Finish Color to match Alpolic 4MM BSX Silver Metallic rainscreen.
- 10 Metal Composite Material (MCM) Fascia: Alpolic 4MM BSX Silver Metallic. Alternate Finish: EIFS w/ Acrylic coating Reflectit #255 Tin Man Finish (Similar to MCM).
- 11 Pre-Fabricated Metal Coping: Metal Era Creative Design Reveal Coping. Color: Silver Metallic.
- 12 Pre-Fabricated Metal Coping and/or Edge: Metal Era Perma-Tite Coping and/or Edge. Color: Silver Metallic.
- 13 3/8" W. Masonry Control Joint.
- 14 Pre-Fabricated Metal Gutter and/or Downspout: Color to match Metal Era: Silver Metallic finish.
- 15 TPO Roofing: 60 mil White Fully adhered TPO roofing.
- 16 6" Dia. Concrete Filled Steel Pipe Bollard : Paint Traffic Yellow.
- 17 Wall Mounted Light Fixture: Wall Mounted Outdoor Light Fixture. -Reference Site Lighting Product Data Sheet E1.2, Type "A" Fixture.
- 18 Ground Mounted Light Bollard: Reference Site Lighting Product Data Sheet E1.2, Type "B" Fixture.
- 19 Decorative Exterior Fixture: Decorative outdoor Entry Sconce Light fixture. Reference Site Lighting Product Data Sheet E1.2, Type "C" Fixture.
- 20 Mechanical Unit: Exterior Ground Mounted Condensing Unit.



North Exterior Building Elevation

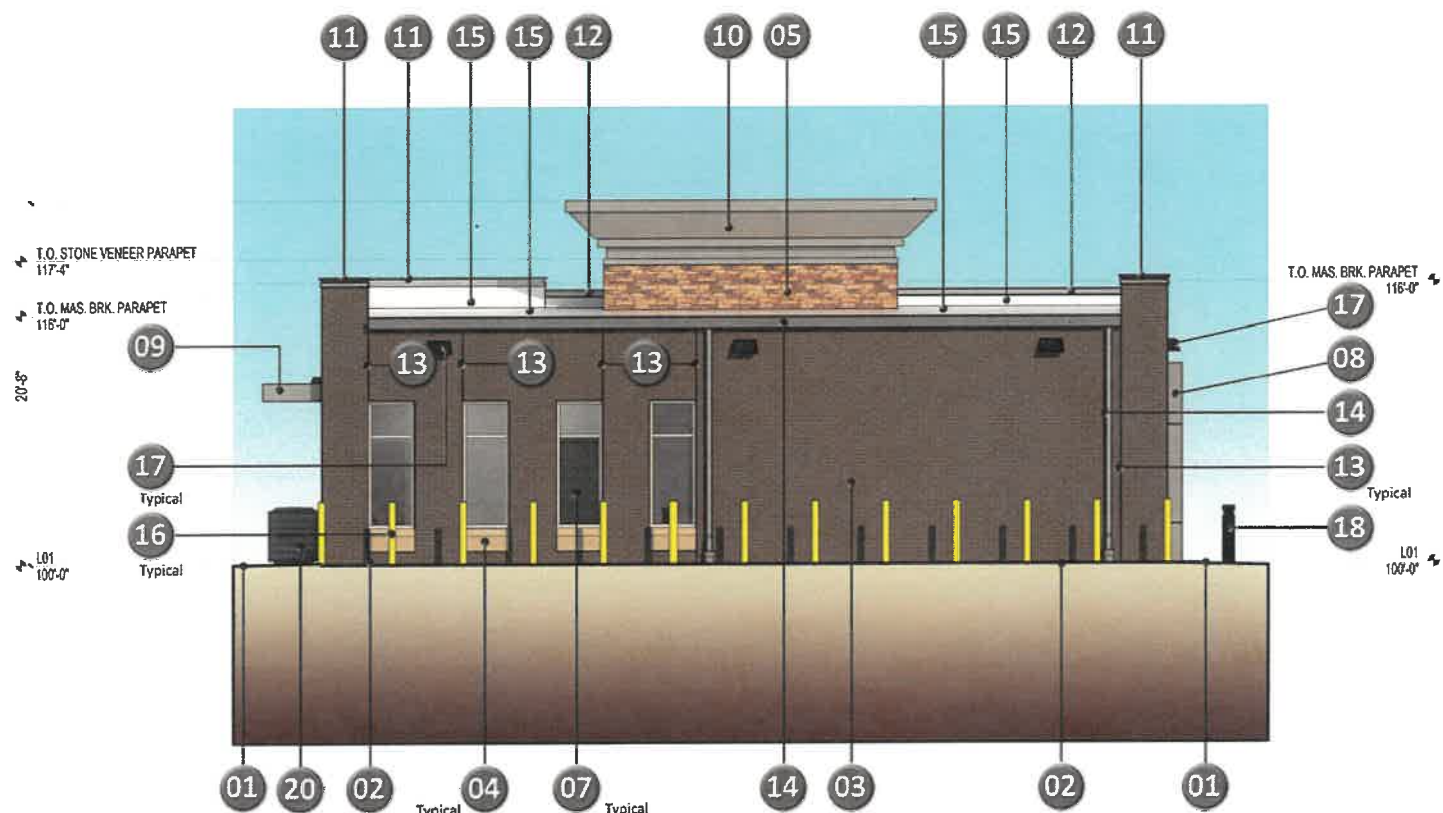


West Exterior Building Elevation

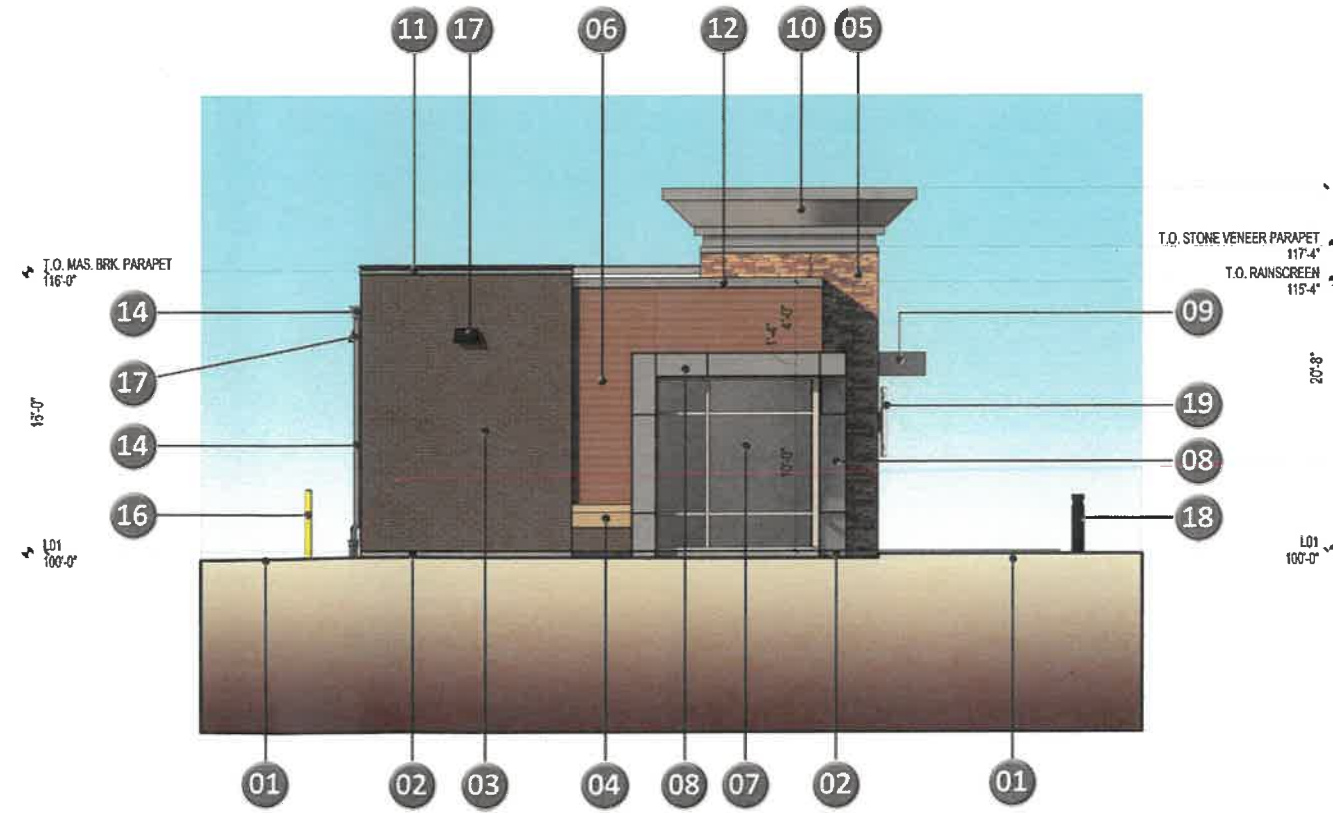


## Material Keynote Legend:

- 01 Finished Grade.
- 02 Exposed Concrete Foundation Wall.
- 03 Brick Veneer: Acme Brick Company "Charcoal", running bond with SGS 22S Tan mortar.
- 04 Cast Stone Sill/Water Table: Continental Cast Stone I102 with SGS 60H White mortar.
- 05 Manufactured Masonry Veneer: Eldorado Stone Mountain Ledge, Color: Russet.
- 06 Fiber Cement Siding: Nichiha "AWP3030" Vintage Wood, Color: Cedar.
- 07 Aluminum Storefront & Glazing: YKK YES 45 TU thermally broken storefront system w/ 1" insulated glazing Vitro Solarban 60 Clear + Clear. Storefront Color: YS1N Clear Anodized Plus.
- 08 Metal Composite Material (MCM): Alpolic 4MM BSX Silver Metallic rainscreen. Alternate Finish: EIFS w/ Acrylic coating Reflectit #255 Tin Man Finish (Similar to MCM).
- 09 Prefabricated Metal Canopy and/or Sunshade Device: Finish Color to match Alpolic 4MM BSX Silver Metallic rainscreen.
- 10 Metal Composite Material (MCM) Fascia: Alpolic 4MM BSX Silver Metallic. Alternate Finish: EIFS w/ Acrylic coating Reflectit #255 Tin Man Finish (Similar to MCM).
- 11 Pre-Fabricated Metal Coping: Metal Era Creative Design Reveal Coping. Color: Silver Metallic.
- 12 Pre-Fabricated Metal Coping and/or Edge: Metal Era Perma-Tite Coping and/or Edge. Color: Silver Metallic.
- 13 3/8" W. Masonry Control Joint.
- 14 Pre-Fabricated Metal Gutter and/or Downspout: Color to match Metal Era: Silver Metallic finish.
- 15 TPO Roofing: 60 mil White Fully adhered TPO roofing.
- 16 6" Dia. Concrete Filled Steel Pipe Bollard : Paint Traffic Yellow.
- 17 Wall Mounted Light Fixture: Wall Mounted Outdoor Light Fixture. -Reference Site Lighting Product Data Sheet E1.2, Type "A" Fixture.
- 18 Ground Mounted Light Bollard: Reference Site Lighting Product Data Sheet E1.2, Type "B" Fixture.
- 19 Decorative Exterior Fixture: Decorative outdoor Entry Sconce Light fixture. Reference Site Lighting Product Data Sheet E1.2, Type "C" Fixture.
- 20 Mechanical Unit: Exterior Ground Mounted Condensing Unit.



South Exterior Building Elevation



East Exterior Building Elevation







Exterior Building Rendering



Architectural Review Board Submission for:

**Storage Masters** Chesterfield, Missouri

13 MAY 2019

6400 W. Main St., Ste 10  
Belleville, IL 62223  
(618) 623-9252

14205 W. 95th Street  
Lenexa, KS 66215  
(913) 378-9533

143 W. Clinton Place  
St. Louis, MO 63122  
(314) 965-7445



**Archimages**

architecture | interiors