

Memorandum

Planning & Development Services Division



To: Planning and Public Works Committee

From: Jessica Henry, Project Planner

Date: August 4, 2016

RE: **P.Z. 07-2015 Monsanto Chesterfield Campus (C8 to UC):** A request for a zoning map amendment from “C8” Planned Commercial District to “UC” Urban Core District for a 200.2 acre tract of land located on the north side of Chesterfield Pkwy West, approximately 2,000 feet east of City Center Drive (17S210094, 17S230025, 17S230014, 17S230036 & 17S240057).

Summary

The Monsanto Company has submitted a request for a zoning map amendment from “C8” Planned Commercial District to “UC” Urban Core District. The petitioner wishes to amend the zoning district to allow for an expansion in building area currently limited by the existing ordinance. A total of 4,800,000 square feet of structures are proposed with this request on the 200.2 acre site. The current ordinance limits the site to 2,660,000 square feet of development and a total of 2,107,145 square feet of structures exists onsite or is in the process of being constructed. Two land uses are proposed which will continue to permit current land use activities at the site. As required, a Preliminary Plan is included for your consideration.

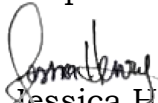
A Public Hearing was held on this item on August 10, 2015. At that time, two issues pertaining to setbacks and building height were raised by the Planning Commission. The petitioner addressed these comments by providing a building and parking setback ranging from 185 to 200 feet along West Drive. Additionally, the tallest building, at eight stories and 760 feet M.S.L, will be located on the western portion of the site. All future buildings in the central portion of the site will range from one to five stories in height which is consistent with the existing buildings in this area, and no new buildings are proposed on the eastern portion of the site which is adjacent to the residential West Drive. Staff has worked with the petitioner, MoDOT and St Louis County for several months to provide necessary language in the Attachment A related to roadway improvements.

A Planning Commission Vote Meeting was held on July 25th, 2016. At the meeting, the Planning Commission recommended approval with an update to remove a discrepancy on the preliminary plan. The vote was 7-0 with 2 abstentions.

Throughout the zoning process, Staff has had ongoing conversations regarding the possibility of a trail connection through the Monsanto campus. The petitioner has advised the City that due to safety concerns they are not amenable to any pedestrian access on their property. A letter with their position was received on July 27, 2016 and is included in this packet.

Attached to this report, please find a copy of the Attachment A, Preliminary Plan packet, Petitioner's Letter, and Staff's Planning Commission report.

Respectfully submitted,



Jessica Henry, AICP
Project Planner

cc: Aimee Nassif, Planning and Development Services Director

Attachments: Attachment A
Preliminary Plan Packet
Letter from Petitioner received July 27, 2016
Planning Commission Report

ATTACHMENT A

All provisions of the City of Chesterfield City Code shall apply to this development except as specifically modified herein.

I. SPECIFIC CRITERIA

A. PERMITTED USES

1. The uses allowed in this UC District shall be:
 - a. Office-general; and,
 - b. Research Laboratory and Facility
2. Telecommunication siting permits may be issued for wireless telecommunications facilities per the requirements of the City Code.

B. FLOOR AREA, HEIGHT, BUILDING AND PARKING STRUCTURE REQUIREMENTS

1. Floor Area
 - a. Total building floor area shall not exceed 4,800,000 square feet.
2. Height
 - a. The maximum height of any building, exclusive of exhaust stacks as required by State and Federal regulations, shall not exceed 760 feet Mean Sea Level (MSL) based on NGVD29 or 8 stories. The height of each building shall be as shown on the Preliminary Plan attached hereto as Attachment B.
3. Building Requirements
 - a. A minimum of 30% openspace is required for each lot within this development.
 - b. This development shall have a maximum F.A.R. of 0.55.

C. SETBACKS

1. Structure Setbacks

No building or structure, other than: a freestanding project identification sign, light standards, or flag poles will be located within the following setbacks:

- a. Thirty-five (35) feet from the boundary of this UC District, except as shown on the Preliminary Plan attached hereto as Attachment B.

2. Parking Setbacks

No parking stall, loading space, internal driveway, or roadway, except points of ingress or egress, will be located within the following setbacks:

- a. Thirty-five (35) feet from the boundary of this UC District, except as shown on the Preliminary Plan attached hereto as Attachment B.

D. PARKING AND LOADING REQUIREMENTS

1. Parking and loading spaces for this development will be as required in the City of Chesterfield Code.
2. Parking lots shall not be used as streets.
3. No construction related parking shall be permitted within right-of-way or on any existing roadways. All construction related parking shall be confined to the development.
4. Provide adequate temporary off-street parking for construction employees. Parking on non-surfaced areas shall be prohibited in order to eliminate the condition whereby mud from construction and employee vehicles is tracked onto the pavement causing hazardous roadway and driving conditions.

E. LANDSCAPE AND TREE REQUIREMENTS

The development shall adhere to the Landscape and Tree Preservation Requirements of the City of Chesterfield Code.

F. SIGN REQUIREMENTS

1. Signs shall be permitted in accordance with the regulations of the City of Chesterfield Code or a Sign Package may be submitted for the planned district. Sign Packages shall adhere to the City Code and are reviewed and approved by the City of Chesterfield Planning Commission.
2. Ornamental Entrance Monument construction, if proposed, shall be reviewed by the City of Chesterfield, and/or the Saint Louis County Department of Transportation for sight distance considerations and approved prior to installation or construction.

G. LIGHT REQUIREMENTS

Provide a lighting plan and cut sheet in accordance with the City of Chesterfield Code.

H. ARCHITECTURAL

1. The development shall adhere to the Architectural Review Standards of the City of Chesterfield Code.
2. Trash enclosures: All exterior trash areas will be enclosed with a minimum six (6) foot high sight-proof enclosure complemented by adequate landscaping. The location, material, and elevation of any trash enclosures will be as approved by the City of Chesterfield on the Site Development Plan.

I. ACCESS/ACCESS MANAGEMENT

1. Access to the development from Chesterfield Parkway West shall be from the existing entrance directly across from Forest Trace Drive along Chesterfield Parkway.

2. A second access point along Chesterfield Parkway shall be provided with the final design and location to be determined during review of Site Development Concept Plans, Site Development Section Plans, or any amendments thereto, as directed by the City of Chesterfield and the St. Louis County Department of Transportation. Auxiliary left and right turn lanes shall be provided as directed by the Saint Louis County Department of Transportation. This access shall provide required sight distance and be constructed to Saint Louis County and City of Chesterfield standards as directed by the City of Chesterfield and the Saint Louis County Department of Transportation.
3. The existing street stub along Chesterfield Parkway West approximately 650 feet west of the existing entrance shall be removed and right-of-way restored per Saint Louis County Department of Transportation standards.
4. Access to this development from Swingley Ridge Drive shall be from an entrance along Stemme Drive/City Center Drive with the final design and location to be determined during review of any plan subsequent to the establishment of this UC district and any amendments thereto. Only one curb cut shall be allowed for the joint Stemme Drive/City Hall entrance/Monsanto entrance configuration.
5. The existing construction entrance at Swingley Ridge Drive shall be removed prior to occupancy of any building on the portion of the campus west of the jurisdictional waterway, unless directed otherwise by the City of Chesterfield.
6. The existing access point off of West Drive shall be for service use only.
7. Adequate sight distance shall be provided, as directed by the City of Chesterfield and St. Louis County Department of Transportation, as applicable. If adequate sight distance cannot be provided at the access location(s), acquisition of right-of-way, reconstruction of pavement and other off-site improvements may be required to provide the required sight distance as required by the City of Chesterfield and the agency in control of the right-of-way off which the access is proposed.

J. PUBLIC/PRIVATE ROAD IMPROVEMENTS, INCLUDING PEDESTRIAN CIRCULATION

1. Any request to install a gate at the entrance to this development must be approved by the City of Chesterfield and the St. Louis County Department of Transportation. No gate installation will be permitted on public right-of-way.
2. If a gate is installed on a street in this development, the streets within the development, or that portion of the development that is gated, shall be private and remain private forever.
3. The developer's additional road improvement obligation shall be as determined by the approved traffic study and as directed by the City of Chesterfield, St. Louis County Department of Transportation, and Missouri Department of Transportation.
4. Prior to Special Use Permit issuance by the St. Louis County Department of Transportation, a special cash escrow or a special cash escrow supported by an Irrevocable Letter of Credit, must be established with the St. Louis County Department of Transportation to guarantee completion of the required roadway improvements.
5. The developer is advised that utility companies will require compensation for relocation of their facilities within public road right-of-way. Utility relocation cost shall not be considered as an allowable credit against the petitioner's traffic generation assessment contributions. The developer should also be aware of extensive delays in utility company relocation and adjustments. Such delays will not constitute a cause to allow occupancy prior to completion of road improvements.
6. The connection of Swingley Ridge Drive to North Outer 40 with access to I-64 westbound is required prior to occupancy of any development in excess of 2,660,000 square feet as approved by the Missouri Department of Transportation, the Federal Highways Administration, the City of Chesterfield, and the St. Louis County Department of Transportation as applicable.
7. The City reserves the right to hold occupancy permits until all road improvements and right of way dedication required by the phasing plan has been completed. Delays due to utility relocation and adjustments will not constitute a cause to allow occupancy prior to completion of road improvements.

8. Provide a sidewalk conforming to Saint Louis County ADA standards adjacent to Chesterfield Parkway West, as directed by the City of Chesterfield and Saint Louis County Department of Transportation.
9. Provide and/or improve sidewalk and curb ramps, in conformance with ADA standards, along Swingley Ridge Drive and Stemme Drive. The sidewalk shall provide for future connectivity to adjacent developments and/or roadway projects. The sidewalk may be located within right-of-way controlled by another agency, if permitted by that agency or on private property within a six (6) foot wide sidewalk, maintenance and utility easement dedicated to the City of Chesterfield.
10. Obtain approvals from the City of Chesterfield, Saint Louis County Department of Transportation, and the Missouri Department of Transportation and other entities as necessary for locations of proposed curb cuts and access points, areas of new dedication, and roadway improvements.
11. A 20 foot wide dedication strip for right-of-way along West Drive shall be dedicated to the City of Chesterfield, at no cost to the City, prior to approval of improvement plans. This dedication strip shall include all necessary temporary easements for construction. Be advised that required parking and structure setbacks for this development shall be from the existing western property line as shown on the Preliminary Plan attached hereto as Attachment B. This 20 foot wide right-of-way does not count against the total property acreage.
12. Improve the existing transit stop west of the main entrance off Chesterfield Parkway West with a covered shelter. The shelter is to be privately maintained, not located within public right-of-way and private advertisement is not permitted upon this shelter. The shelter shall be constructed with the first plan subsequent to the establishment of this UC District.

K. TRAFFIC STUDY

1. Provide a traffic study as directed by the City of Chesterfield and/or the Missouri Department of Transportation and/or St. Louis County Department of Transportation prior to approval of any plan subsequent to the establishment of this UC district. The scope of the study shall include internal and external circulation and may be limited to site specific impacts, such as the need for additional lanes, entrance configuration, geometrics, sight distance, traffic signal modifications or other improvements as required. The scope of the traffic study shall include but not be limited to Chesterfield Parkway West, North Outer 40 Road, Olive Road, Clarkson Road, Swingley Ridge Drive and any other impacted roadways.
2. If construction is phased, a plan for this phasing and associated traffic improvements shall be included in the traffic study.
3. If full build-out has not occurred within 10 years of the date of the traffic study, or if the City determines there to be a condition of development which would affect the findings of the traffic study, the developer will be required to update the traffic study prior to approval of any subsequent plans.
4. Provide a sight distance evaluation report, as required by the City of Chesterfield and/or Saint Louis County Department of Transportation, for the proposed entrances onto Chesterfield Parkway West and Swingley Ridge Road. If adequate sight distance cannot be provided at the access location, acquisition of right-of-way, reconstruction of pavement, including correction to the vertical alignment, and/or other off-site improvements shall be required, as directed by the City of Chesterfield and/or the Saint Louis County Department of Transportation.

L. POWER OF REVIEW

Either Councilmember of the Ward where a development is proposed or the Mayor may request that the plan for a development be reviewed and approved by the entire City Council. This request must be made no later than twenty-four (24) hours after Planning Commission review. The City Council will then take appropriate action relative to the proposal. The plan for a development, for purposes of this section, may include the site development plan, site development section plan, site development concept plan, landscape plan, lighting plans, architectural elevations, sign package or any amendment thereto.

M. STORM WATER

1. The site shall provide for the positive drainage of storm water and it shall be discharged at an adequate natural discharge point or connected to an adequate piped system.
2. Detention/retention and channel protection measures are to be provided in each watershed as required by the City of Chesterfield and the Metropolitan St. Louis Sewer District. The storm water management facilities shall be operational prior to paving of any driveways or parking areas in non-residential developments. The location and types of storm water management facilities shall be identified on all Site Development Plans.
3. Post construction storm water Best Management Practices (BMPs) are required to treat the extents of the project's disturbed area. BMPs shall be designed to provide runoff volume reduction such that the project post development runoff condition mimics its preconstruction runoff condition. Channel Protection and Detention are required. Facilities to satisfy these requirements are indicated on the drawing, and their adequacy will be evaluated during formal plan review when design calculations are submitted for MSD review.
4. Emergency overflow drainage ways to accommodate runoff from the 100 year storm event shall be provided for all storm sewers, as directed by the City of Chesterfield.
5. Offsite storm water shall be picked up and piped to an adequate natural discharge point. Such bypass systems must be adequately designed.
6. The lowest opening of all structures shall be set at least two (2) feet higher than the 100 year high water elevation in detention/retention facilities. All structures shall be set at least 30 feet horizontally from the limits of the 100 year high water.
7. Locations of site features such as lakes and detention ponds must be approved by the City of Chesterfield and the Metropolitan Saint Louis Sewer District.

N. SANITARY SEWER

1. Sanitary sewers shall be approved by the Metropolitan St. Louis Sewer District and the City of Chesterfield.

2. Capacity improvements to the Monsanto Pump Station are required prior to occupancy of the new buildings as required by the Metropolitan St. Louis Sewer District.

O. GEOTECHNICAL REPORT

Prior to Site Development Plan approval, provide a geotechnical report, prepared by a registered professional engineer licensed to practice in the State of Missouri, as directed by the Department of Public Services. The report shall verify the suitability of grading and proposed improvements with soil and geologic conditions and address the existence of any potential sinkhole, ponds, dams, septic fields, etc., and recommendations for treatment. A statement of compliance, signed and sealed by the geotechnical engineer preparing the report, shall be included on all Site Development Plans and Improvement Plans.

P. MISCELLANEOUS

1. All utilities will be installed underground.
2. An opportunity for recycling will be provided. All provisions of Chapter 25, Article VII, and Section 25-122 thru Section 25-126 of the City Code shall be required where applicable.
3. Road improvements and right-of-way dedication shall be completed prior to the issuance of an occupancy permit. If development phasing is anticipated, the developer shall complete road improvements, right-of-way dedication, and access requirements for each phase of development as directed by the City of Chesterfield and Saint Louis County Department of Transportation or the Missouri Department of Transportation. Delays due to utility relocation and adjustments will not constitute a cause to allow occupancy prior to completion of road improvements.
4. Prior to final release of construction deposits or record plat approval, the developer shall provide certification by a registered land surveyor that all monumentation depicted on the record plat has been installed and United States Public Land Survey Corners have not been disturbed during construction activities or that they have been reestablished and the appropriate documents filed with the Missouri Department of Natural Resources Land Survey Program, as necessary.

5. This development shall include the installation of public art. Said artwork shall be placed so as to be visible for public view and enjoyment. Location and art work to be approved by the City of Chesterfield prior to the issuance of municipal zoning approval for any new development in excess of 2,660,000 square feet.

Q. WETLANDS AND JURISDICTIONAL WATERWAYS

1. Prior to approval of any grading permit or improvement plans, or issuance of a building permit, required permits from the Army Corps of Engineers shall be obtained.

II. TIME PERIOD FOR SUBMITTAL OF SITE DEVELOPMENT CONCEPT PLANS AND SITE DEVELOPMENT PLANS

- A.** The developer shall submit a concept plan within eighteen (18) months of City Council approval of the change of zoning.
- B.** In lieu of submitting a Site Development Concept Plan and Site Development Section Plans, the petitioner may submit a Site Development Plan for the entire development within eighteen (18) months of the date of approval of the change of zoning by the City.
- C.** Failure to comply with these submittal requirements will result in the expiration of the change of zoning and will require a new public hearing.
- D.** Said Plan shall be submitted in accordance with the combined requirements for Site Development Section and Concept Plans. The submission of Amended Site Development Plans by sections of this project to the Planning Commission shall be permitted if this option is utilized.
- E.** Where due cause is shown by the developer, the City Council may extend the period to submit a Site Development Concept Plan or Site Development Plan for eighteen (18) months.

III. COMMENCEMENT OF CONSTRUCTION

- A.** Substantial construction shall commence within two (2) years of approval of the Site Development Concept Plan or Site Development Plan, unless otherwise authorized by ordinance.
- B.** Where due cause is shown by the developer, the City Council may extend the period to commence construction for two (2) additional years.

IV. GENERAL CRITERIA

A. SITE DEVELOPMENT CONCEPT PLAN

1. Any Site Development Concept Plan shall show all information required on a preliminary plat as required in the City of Chesterfield Code.
2. Include a Conceptual Landscape Plan in accordance with the City of Chesterfield Code to indicate proposed landscaping along arterial and collector roadways.
3. Include a Lighting Plan in accordance with the City of Chesterfield Code to indicate proposed lighting along arterial collector roadways.
4. Provide comments/approvals from the appropriate Fire District, the St. Louis County Department of Highways and Traffic, Monarch Chesterfield Levee District, Spirit of St. Louis Airport and the Missouri Department of Transportation.
5. Compliance with the current Metropolitan Sewer District Site Guidance as adopted by the City of Chesterfield.

B. SITE DEVELOPMENT PLAN SUBMITTAL REQUIREMENTS

The Site Development Plan shall include, but not be limited to, the following:

1. Location map, north arrow, and plan scale. The scale shall be no greater than one (1) inch equals one hundred (100) feet.
2. Outboundary plat and legal description of property.
3. Density calculations.
4. Parking calculations. Including calculation for all off street parking spaces, required and proposed, and the number, size and location for handicap designed.
5. Provide openspace percentage for overall development including separate percentage for each lot on the plan.
6. Provide Floor Area Ratio (F.A.R.).
7. A note indicating all utilities will be installed underground.

8. A note indicating signage approval is separate process.
9. Depict the location of all buildings, size, including height and distance from adjacent property lines, and proposed use.
10. Specific structure and parking setbacks along all roadways and property lines.
11. Indicate location of all existing and proposed freestanding monument signs.
12. Zoning district lines, subdivision name, lot number, dimensions, and area, and zoning of adjacent parcels where different than site.
13. Floodplain boundaries.
14. Depict existing and proposed improvements within 150 feet of the site as directed. Improvements include, but are not limited to, roadways, driveways and walkways adjacent to and across the street from the site, significant natural features, such as wooded areas and rock formations, and other karst features that are to remain or be removed.
15. Depict all existing and proposed easements and rights-of-way within 150 feet of the site and all existing or proposed off-site easements and rights-of-way required for proposed improvements.
16. Indicate the location of the proposed storm sewers, detention basins, sanitary sewers and connection(s) to the existing systems.
17. Depict existing and proposed contours at intervals of not more than one (1) foot, and extending 150 feet beyond the limits of the site as directed.
18. Address trees and landscaping in accordance with the City of Chesterfield Code.
19. Comply with all preliminary plat requirements of the City of Chesterfield Subdivision Regulations per the City of Chesterfield Code.
20. Signed and sealed in conformance with the State of Missouri Department of Economic Development, Division of Professional Registration, Missouri Board for Architects, Professional Engineers and Land Surveyors requirements.

21. Provide comments/approvals from the appropriate Fire District, Monarch Levee District, Spirit of St. Louis Airport, Metropolitan St. Louis Sewer District (MSD) and the Missouri Department of Transportation.
22. Compliance with Sky Exposure Plane.
23. Compliance with the current Metropolitan Sewer District Site Guidance as adopted by the City of Chesterfield.

C. SITE DEVELOPMENT SECTION PLAN SUBMITTAL REQUIREMENTS

The Site Development Section Plan shall adhere to the above criteria and to the following:

1. Location map, north arrow, and plan scale. The scale shall be no greater than one (1) inch equals one hundred (100) feet.
2. Parking calculations. Including calculation for all off street parking spaces, required and proposed, and the number, size and location for handicap designed.
3. Provide openspace percentage for overall development including separate percentage for each lot on the plan.
4. Provide Floor Area Ratio (F.A.R.).
5. A note indicating all utilities will be installed underground.
6. A note indicating signage approval is separate process.
7. Depict the location of all buildings, size, including height and distance from adjacent property lines and proposed use.
8. Specific structure and parking setbacks along all roadways and property lines.
9. Indicate location of all existing and proposed freestanding monument signs.
10. Zoning district lines, subdivision name, lot number, lot dimensions, lot area, and zoning of adjacent parcels where different than site.
11. Floodplain boundaries.

12. Depict existing and proposed improvements within 150 feet of the site as directed. Improvements include, but are not limited to, roadways, driveways and walkways adjacent to and across the street from the site, significant natural features, such as wooded areas and rock formations, and other karst features that are to remain or be removed.
13. Depict all existing and proposed easements and rights-of-way within 150 feet of the site and all existing or proposed off-site easements and rights-of-way required for proposed improvements.
14. Indicate the location of the proposed storm sewers, detention basins, sanitary sewers and connection(s) to the existing systems.
15. Depict existing and proposed contours at intervals of not more than one (1) foot, and extending 150 feet beyond the limits of the site as directed.
16. Address trees and landscaping in accordance with the City of Chesterfield Code.
17. Comply with all preliminary plat requirements of the City of Chesterfield Subdivision Regulations per the City of Chesterfield Code.
18. Signed and sealed in conformance with the State of Missouri Department of Economic Development, Division of Professional Registration, Missouri Board for Architects, Professional Engineers and Land Surveyors requirements.
19. Provide comments/approvals from the appropriate Fire District, Monarch Levee District, Spirit of St. Louis Airport, St. Louis Department of Highways and Traffic, Metropolitan St. Louis Sewer District (MSD) and the Missouri Department of Transportation.
20. Compliance with Sky Exposure Plane.
21. Compliance with the current Metropolitan Sewer District Site Guidance as adopted by the City of Chesterfield.

V. TRUST FUND CONTRIBUTION

Traffic Generation Assessment Rates

The amount of all required contributions for roadway, storm water and primary water line improvements, if not submitted by January 1, 2017, shall be adjusted on that date and on the first day of January in each succeeding year thereafter in accordance with the construction cost index as determined by the Saint Louis County Department of Transportation.

A. ROADS

1. The developer shall be required to contribute a Traffic Generation Assessment (TGA) to the Chesterfield Valley Trust Fund (No. 554). This contribution shall not exceed an amount established by multiplying the required parking spaces by the following rate schedule:

<u>Type of Development</u>	<u>Required Contribution</u>
General Office	\$741.06/parking space
Research Center	\$741.06/parking space
Loading Space	\$3,638.14/parking space

If types of development proposed differ from those listed, rates shall be provided by the St. Louis County Department of Transportation.

If a portion of the improvements required herein are needed to provide for the safety of the traveling public, their completion as a part of this development is mandatory.

Allowable credits for required roadway improvements will be awarded as directed by the St. Louis County Department of Transportation and the City of Chesterfield. Sidewalk construction and utility relocation, among other items, are not considered allowable credits.

2. As this development is located within a trust fund area established by St. Louis County, any portion of the traffic generation assessment contribution which remains following completion of road improvements required by the development shall be retained in the appropriate trust fund.

3. Traffic Generation Assessment contributions shall be deposited with Saint Louis County Department of Transportation. The deposit shall be made prior to the issuance of a Special Use Permit (S.U.P.) by Saint Louis County Department of Transportation or prior to the issuance of building permits in the case where no Special Use Permit is required. If development phasing is anticipated, the developer shall provide the Traffic Generation Assessment contribution prior to the issuance of building permits for each phase of development. Funds shall be payable to Treasurer, Saint Louis County.

VI. RECORDING

Within sixty (60) days of approval of any development plan by the City of Chesterfield, the approved Plan will be recorded with the St. Louis County Recorder of Deeds. Failure to do so will result in the expiration of approval of said plan and require re-approval of a plan by the Planning Commission.

VII. ENFORCEMENT

- A.** The City of Chesterfield, Missouri will enforce the conditions of this ordinance in accordance with the Plan approved by the City of Chesterfield and the terms of this Attachment A.
- B.** Failure to comply with any or all the conditions of this ordinance will be adequate cause for revocation of approvals/permits by reviewing Departments and Commissions.
- C.** Non-compliance with the specific requirements and conditions set forth in this Ordinance and its attached conditions or other Ordinances of the City of Chesterfield shall constitute an ordinance violation, subject, but not limited to, the penalty provisions as set forth in the City of Chesterfield Code.
- D.** Waiver of Notice of Violation per the City of Chesterfield Code.
- E.** This document shall be read as a whole and any inconsistency to be integrated to carry out the overall intent of this Attachment A.

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MONSANTO COMPANY CHESTERFIELD VILLAGE CAMPUS

CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI

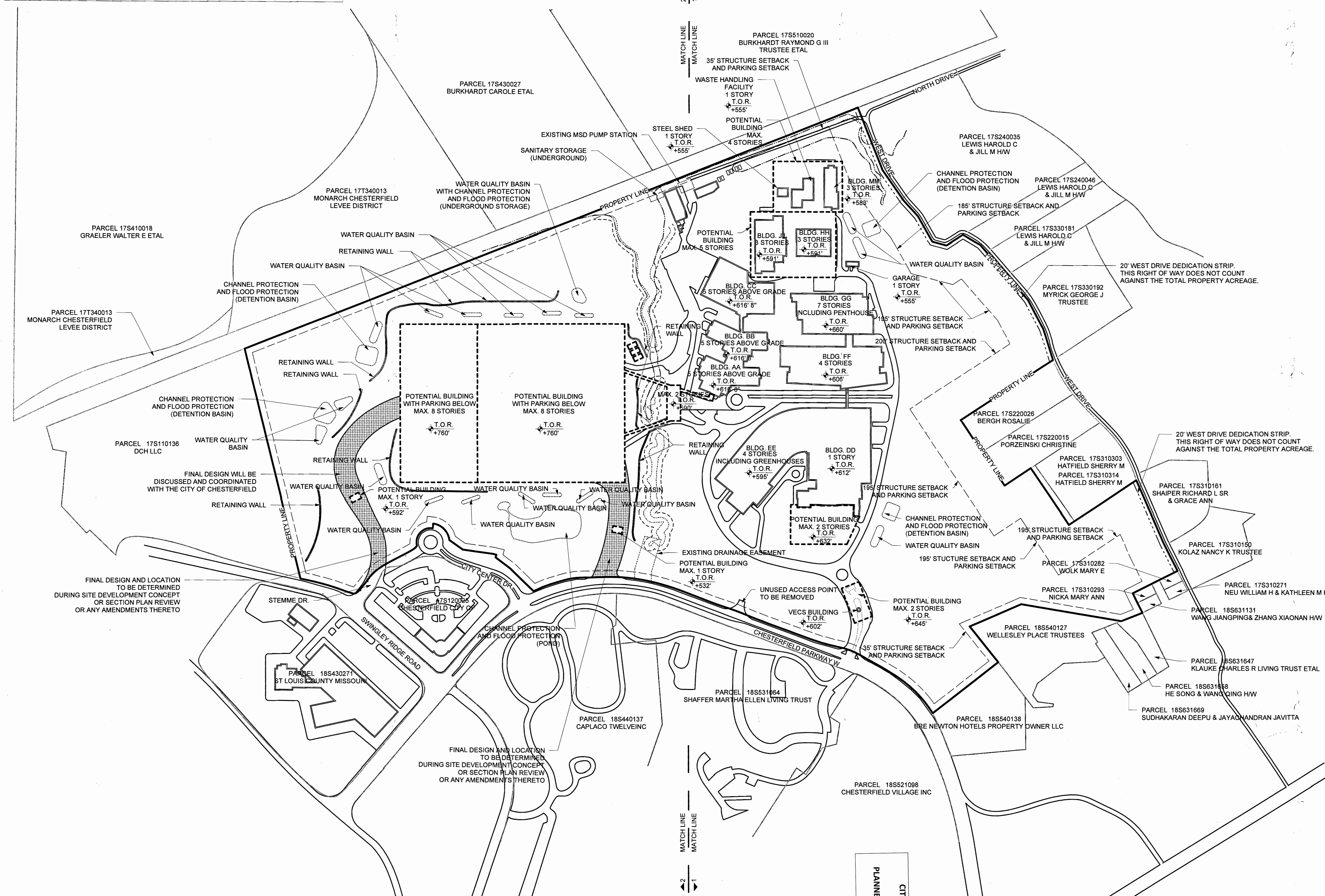
PRELIMINARY PLAN

SHEET NUMBER	SHEET NAME	SCALE
A0.3.000	COVER SHEET/ PRELIMINARY PLAN	1:200
A0.3.010	PRELIMINARY PLAN - 1 POTENTIAL USES & STRUCTURES EXISTING & POTENTIAL CONTOURS LOCATION OF TREE MASSES (6" DIA. AND MORE) POTENTIAL INGRESS & EGRESS TO SITE / SANITATION & DRAINAGE FACILITIES	1:100
A0.3.011	PRELIMINARY PLAN - 2 POTENTIAL USES & STRUCTURES EXISTING & POTENTIAL CONTOURS LOCATION OF TREE MASSES (6" DIA. AND MORE) POTENTIAL INGRESS & EGRESS TO SITE / SANITATION & DRAINAGE FACILITIES	1:100
A0.3.020	TREE STAND DELINEATION - DIAGRAM	N.T.S.
A0.3.021	TREE STAND DELINEATION - DIMENSIONS	N.T.S.
A0.3.030	SITE SECTIONS OF PRELIMINARY FORM	1:100
A0.3.031	SIGHT LINE SECTION	AS NOTED
ESR-1	EXISTING SITE RESOURCES MAP	1:100

PROPERTY	LAND USE	ZONING	EXISTING USE	ORDINANCE NO.
NORTH	FARM	FLOOD PLAIN NON-URBAN	FARM	-
SOUTH	COMMERCIAL RESIDENTIAL	PLANNED COMMERCIAL RESIDENCE DISTRICT (R6A)	PUBLIC BUILDING	-
EAST	RESIDENTIAL	NON-URBAN RESIDENCE DISTRICT (R2,R4)	RESIDENTIAL	-
WEST	COMMERCIAL	PLANNED COMMERCIAL	HOTEL	-

LEGEND	
[Symbol]	LABORATORIES
[Symbol]	GREENHOUSES
[Symbol]	OFFICES
[Symbol]	PARKING
[Symbol]	UTILITY / MAINTENANCE
[Symbol]	FUTURE ACCESS POINT
[Symbol]	EXISTING TREE
[Symbol]	EXISTING CONTOUR LINE
[Symbol]	POTENTIAL MODIFIED CONTOUR LINE
[Symbol]	NEW CONTOUR LINE
[Symbol]	PROPERTY LINE
[Symbol]	35' STRUCTURE SETBACK AND PARKING SETBACK EXCEPT WHERE SHOWN OTHERWISE
[Symbol]	20' WEST DRIVE DEDICATION STRIP
[Symbol]	ADJACENT PROPERTY BOUNDARY LINE
[Symbol]	100 YEAR FLOOD PLAIN
[Symbol]	STREAM BUFFER SETBACK
[Symbol]	STREAM BUFFER
[Symbol]	DRAINAGE EASEMENT
[Symbol]	POTENTIAL BUILDING
[Symbol]	EXISTING BUILDING
[Symbol]	ROAD EDGE
[Symbol]	WATER QUALITY BASIN AND DETENTION BASIN
[Symbol]	RETAINING WALLS
[Symbol]	MATCH LINE

ALL CONTOURS AT M.S.L. INTERVAL: 5 FT
ELEVATION AT LEVEL 01 TOP OF FLOOR: 568' - BASED ON NGVD 29
T.O.R IS MAXIMUM EXCLUDING EXHAUST STACKS



FINAL DESIGN AND LOCATION TO BE DETERMINED DURING SITE DEVELOPMENT CONCEPT OR SECTION PLAN REVIEW OR ANY AMENDMENTS THERETO

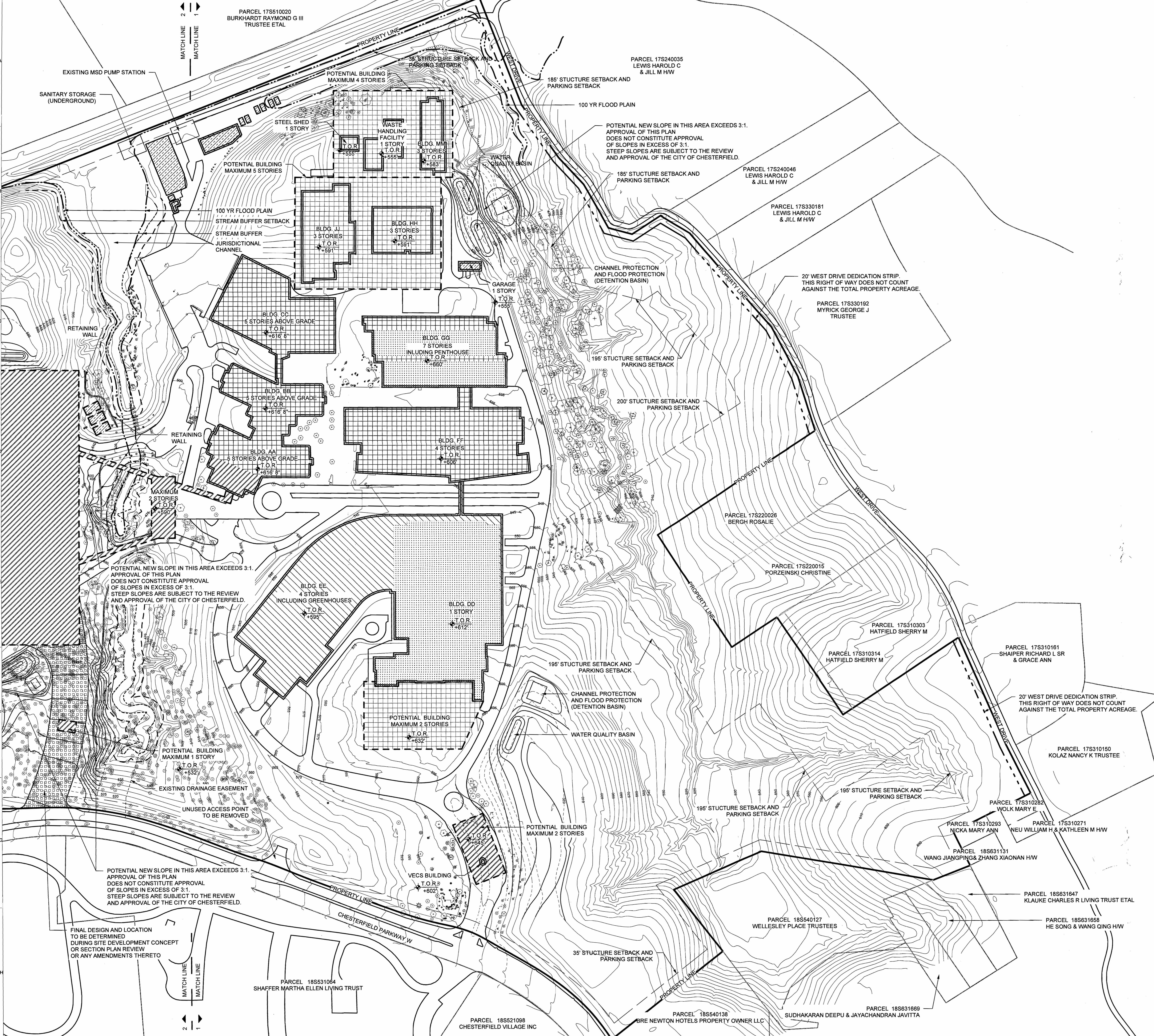
FINAL DESIGN AND LOCATION TO BE DETERMINED DURING SITE DEVELOPMENT CONCEPT OR SECTION PLAN REVIEW OR ANY AMENDMENTS THERETO

PLANNED DISTRICT ATTACHMENT
CITY OF CHESTERFIELD

PRELIMINARY PLAN
SCALE: 1:200
01

RECEIVED
JUL - 1 2016
City of Chesterfield
Department of Public Services

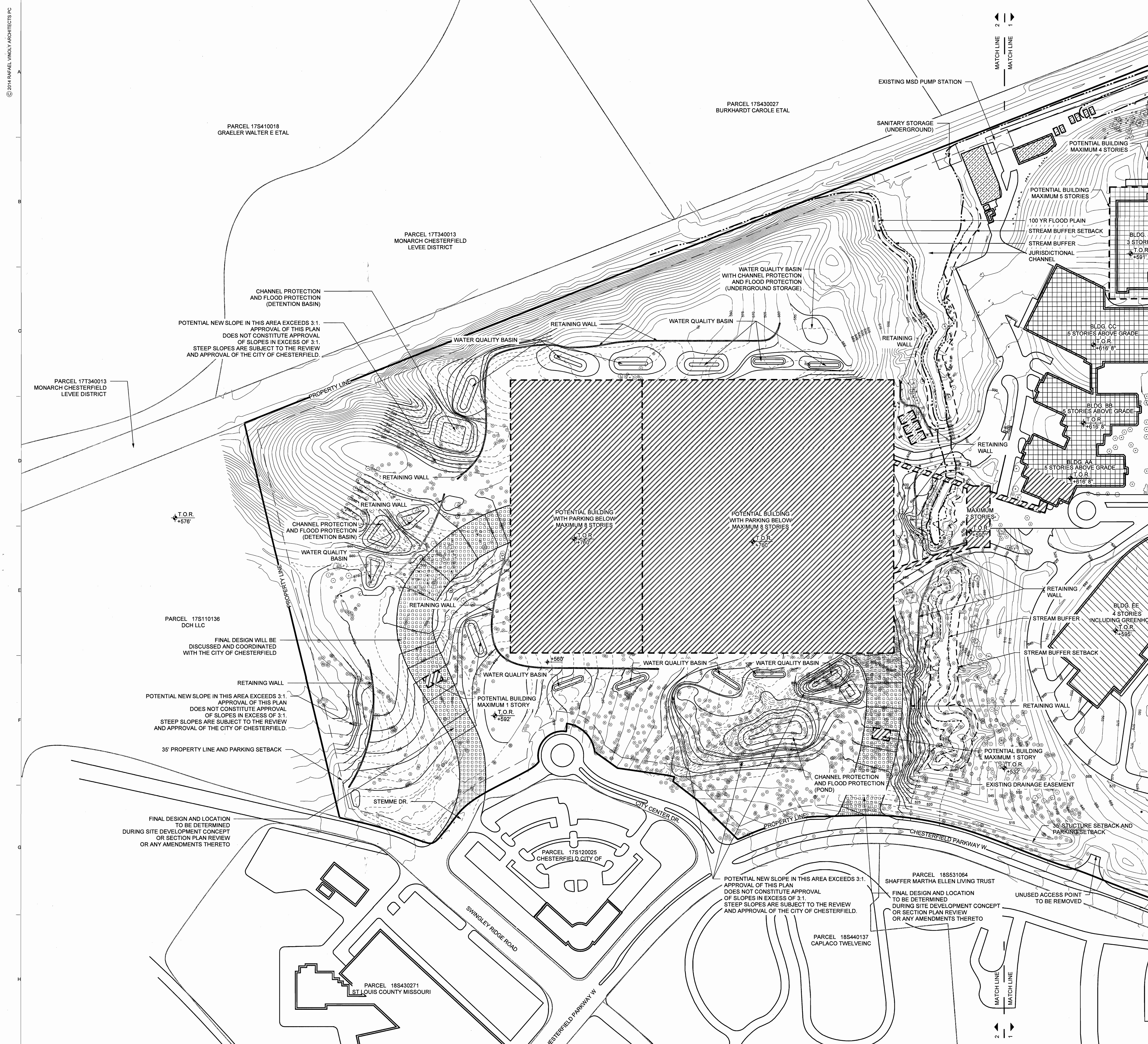
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LANDSCAPE ARCHITECT: DTLS 1624 TOWER GROVE AVENUE SAINT LOUIS, MISSOURI 63110 T 314.534.4000	OWNER: MONSANTO COMPANY 800 NORTH LINDBERGH BOULEVARD ST. LOUIS, MO 63167	SEAL [Professional Engineer Seal]	PROJECT NUMBER 680.100	SCALE 1:200	DRAWING NUMBER A0.3.000				



[Symbol]	LABORATORIES
[Symbol]	GREENHOUSES
[Symbol]	OFFICES
[Symbol]	PARKING
[Symbol]	UTILITY / MAINTENANCE
[Symbol]	FUTURE ACCESS POINT
[Symbol]	EXISTING TREE
[Symbol]	EXISTING CONTOUR LINE
[Symbol]	POTENTIAL MODIFIED CONTOUR LINE
[Symbol]	NEW CONTOUR LINE
[Symbol]	PROPERTY LINE
[Symbol]	35' STRUCTURE SETBACK AND PARKING SETBACK EXCEPT WHERE SHOWN OTHERWISE
[Symbol]	20' WEST DRIVE DEDICATION STRIP
[Symbol]	ADJACENT PROPERTY BOUNDARY LINE
[Symbol]	100 YEAR FLOOD PLAIN
[Symbol]	STREAM BUFFER SETBACK
[Symbol]	STREAM BUFFER
[Symbol]	DRAINAGE EASEMENT
[Symbol]	POTENTIAL BUILDING
[Symbol]	EXISTING BUILDING
[Symbol]	ROAD EDGE
[Symbol]	WATER QUALITY BASIN AND DETENTION BASIN
[Symbol]	RETAINING WALLS
[Symbol]	MATCH LINE

ALL CONTOURS AT MSL INTERVAL: 5 FT
ELEVATION AT LEVEL 01 TOP OF FLOOR: 568' - BASED ON NGVD 29
T.O.R IS MAXIMUM EXCLUDING EXHAUST STACKS

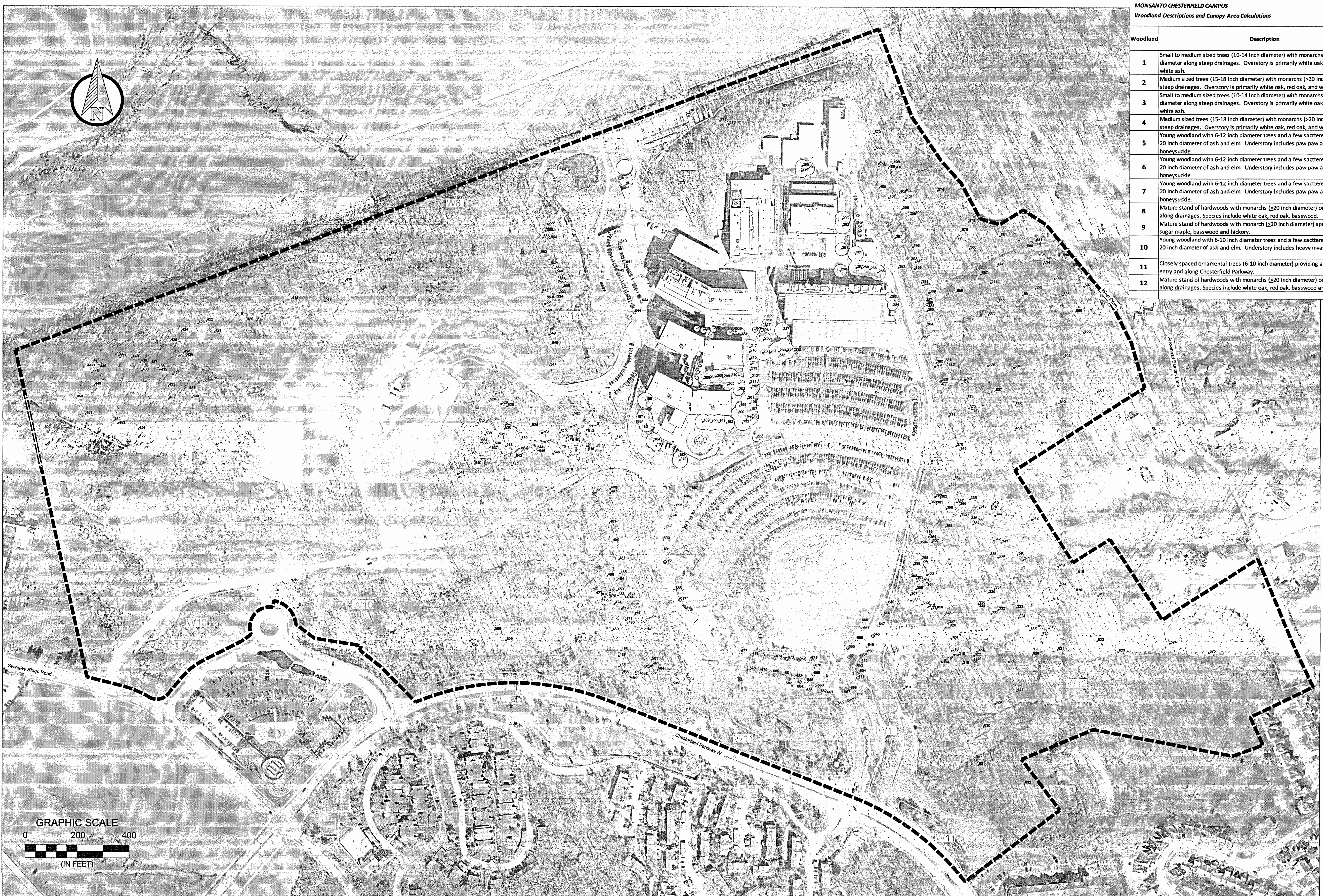
<p>TRAFFIC ENGINEER: CBT TRAFFIC 12400 OLIVE BOULEVARD, SUITE 430 ST. LOUIS, MO 63141 T 314.878.9644 F 314.878.5877</p>	<p>CIVIL ENGINEER: RAFAEL VINOLY ARCHITECTS PC 1552 SOUTH 7TH STREET ST. LOUIS, MO 63104 T 314.880.4427 F 314.883.5578</p>	<p>ARCHITECT: RAFAEL VINOLY ARCHITECTS PC 50 VANDAM STREET NEW YORK, NY 10013 T 212.924.5060 F 646.478.9596</p>	<p>OWNER: MONSANTO COMPANY 800 NORTH LINDENBUSH BOULEVARD ST. LOUIS, MO 63167</p>	<p>LANDSCAPE ARCHITECT: DTLS 1624 TOMER GROVE AVENUE SAINT LOUIS, MISSOURI 63110 T 314.534.4000</p>	<p>DISCLAIMER THE ARCHITECT SHALL HAVE NO RESPONSIBILITY FOR ANY LIABILITY, LOSS, COST, DAMAGE OR EXPENSE ARISING FROM OR RELATING TO ANY USE OF THIS DOCUMENT FOR ANY PURPOSE OTHER THAN THAT INTENDED HEREON BY THE ARCHITECT. THIS DOCUMENT IS TO BE CONSIDERED A CONSULTING REPORT WITH ALL RELATED DOCUMENTATION. ANY DISCREPANCIES IDENTIFIED IN THIS DOCUMENT MUST BE REPORTED IMMEDIATELY TO THE ARCHITECT BEFORE PROCEEDING. CONTRACTORS MUST VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH ANY WORK. ONLY FIGURED DIMENSIONS ARE TO BE USED FOR VERIFICATION.</p>	<p>PROJECT NAME AND LOCATION MONSANTO 700 CHESTERFIELD PARKWAY WEST CHESTERFIELD, MO 63017</p>	<p>KEY PLAN</p>	<table border="1"> <tr><th>REV</th><th>DATE</th><th>DESCRIPTION</th></tr> <tr><td>05-20-2016</td><td>REZONING SUBMISSION</td><td></td></tr> </table>	REV	DATE	DESCRIPTION	05-20-2016	REZONING SUBMISSION		<p>DRAWING ORIGINATOR RAFAEL VINOLY ARCHITECTS PC</p> <p>DOCUMENT STATUS CHANGE OF ZONING APPLICATION</p> <p>PROJECT NUMBER 680.100</p> <p>SCALE 1:100</p>	<p>DRAWING TITLE PRELIMINARY PLAN-1</p> <p>DRAWING NUMBER A0.3.010</p>
REV	DATE	DESCRIPTION														
05-20-2016	REZONING SUBMISSION															



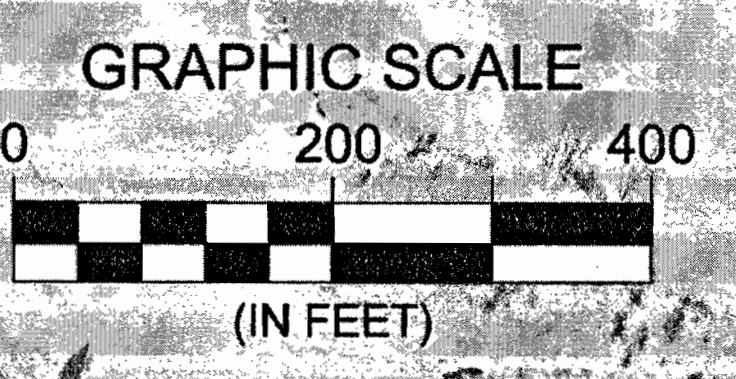
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[Symbol]	DRAINAGE EASEMENT
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[Symbol]	ROAD EDGE
[Symbol]	WATER QUALITY BASIN AND DETENTION BASIN
[Symbol]	RETAINING WALLS
[Symbol]	MATCH LINE

ALL CONTOURS AT MSL INTERVAL: 5 FT
ELEVATION AT LEVEL 01 TOP OF FLOOR: 568' - BASED ON NGVD 29
T.O.R IS MAXIMUM EXCLUDING EXHAUST STACKS

<p>TRAFFIC ENGINEER: CSB TRAFFIC 12000 OLIVE BOULEVARD, SUITE 430 ST. LOUIS, MO 63141 T 314.878.6544 F 314.878.5877</p>	<p>CIVIL ENGINEER: RAFAEL VINOLY ARCHITECTS PC 80 VANDAM STREET NEW YORK, NY 10013 T 212.324.5000 F 646.478.9596</p>	<p>ARCHITECT: RAFAEL VINOLY ARCHITECTS PC 80 VANDAM STREET NEW YORK, NY 10013 T 212.324.5000 F 646.478.9596</p>	<p>OWNER: MONSANTO COMPANY 800 NORTH LINDBERGH BOULEVARD ST. LOUIS, MO 63167</p>	<p>DISCLAIMER THE ARCHITECT SHALL HAVE NO RESPONSIBILITY FOR ANY LIMITS, LOADS, CODES, OR OTHER REGULATIONS FROM OTHER THAN THE INTENDED PURPOSE OF THIS PROJECT. THIS DOCUMENT IS FOR INFORMATION ONLY AND IS NOT TO BE CONSIDERED IN CONSTRUCTION WITH ALL RELATED DOCUMENTS. ANY DECISIONS MADE BY THE ARCHITECT SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT'S SUPERVISOR. THE ARCHITECT'S CONTRACTORS MUST VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH ANY WORK. ONLY FIGURES DIMENSIONS ARE TO BE USED FOR VERIFICATION.</p>	<p>PROJECT NAME AND LOCATION MONSANTO MONSANTO COMPANY CHESTERFIELD VILLAGE CAMPUS 700 CHESTERFIELD PARKWAY WEST CHESTERFIELD, MO 63017</p>	<p>KEY PLAN [Map showing site location]</p>	<table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>05-20-2016</td> <td>REZONING SUBMISSION</td> <td></td> </tr> </tbody> </table>	REV	DATE	DESCRIPTION	05-20-2016	REZONING SUBMISSION		<p>DRAWING ORIGINATOR RAFAEL VINOLY ARCHITECTS PC</p> <p>DOCUMENT STATUS CHANGE OF ZONING APPLICATION</p> <p>PROJECT NUMBER 680.100</p> <p>SCALE 1:100</p>	<p>DRAWING TITLE PRELIMINARY PLAN-2</p> <p>DRAWING NUMBER A0.3.011</p>
REV	DATE	DESCRIPTION													
05-20-2016	REZONING SUBMISSION														



Woodland	Description	Canopy Area (acres)
1	Small to medium sized trees (10-14 inch diameter) with monarchs (≥ 20 inch diameter along steep drainages. Overstory is primarily white oak, red oak, and white ash.	1.481
2	Medium sized trees (15-18 inch diameter) with monarchs (>20 inch diameter along steep drainages. Overstory is primarily white oak, red oak, and white ash.	0.807
3	Small to medium sized trees (10-14 inch diameter) with monarchs (>20 inch diameter along steep drainages. Overstory is primarily white oak, red oak, and white ash.	3.257
4	Medium sized trees (15-18 inch diameter) with monarchs (>20 inch diameter along steep drainages. Overstory is primarily white oak, red oak, and white ash.	0.784
5	Young woodland with 6-12 inch diameter trees and a few scattered larger trees (12-20 inch diameter of ash and elm. Understory includes paw paw and heavy invasive honeysuckle.	10.167
6	Young woodland with 6-12 inch diameter trees and a few scattered larger trees (12-20 inch diameter of ash and elm. Understory includes paw paw and heavy invasive honeysuckle.	2.929
7	Young woodland with 6-12 inch diameter trees and a few scattered larger trees (12-20 inch diameter of ash and elm. Understory includes paw paw and heavy invasive honeysuckle.	5.353
8	Mature stand of hardwoods with monarchs (≥ 20 inch diameter) on north slope and along drainages. Species include white oak, red oak, basswood.	13.050
9	Mature stand of hardwoods with monarch (≥ 20 inch diameter) species of red oak, sugar maple, basswood and hickory.	6.875
10	Young woodland with 6-10 inch diameter trees and a few scattered larger trees (12-20 inch diameter of ash and elm. Understory includes heavy invasive honeysuckle.	12.688
11	Closely spaced ornamental trees (6-10 inch diameter) providing a buffer along main entry and along Chesterfield Parkway.	2.229
12	Mature stand of hardwoods with monarchs (≥ 20 inch diameter) on north slopes and along drainages. Species include white oak, red oak, basswood and hickory.	50.488
TOTAL		110.108



- - - - - = Approximate study area (200.251 acres)
 25 = Mapped tree and tree number
 25 = Monarch tree and tree number are trees in woodlands (W1-W12)
 25 = Mapped tree with canopy spread for trees in non-woodland areas
 W1-W12 = Woodlands (110.108 acres)
 W13-W100 = Non-woodlands (87.816 acres)

Woodland Canopy Area	110.108 acres
Non-Woodland Canopy Area	2.327 acres
Total Canopy On-Site	112.435 acres

Prepared by

DAVEY
RESOURCE GROUP
A Division of The Davey Tree Expert Company

Prepared for

Civil Design, Inc.

Tree Stand Delineation Map
700 Chesterfield Parkway
200 Acres, Chesterfield, Missouri

Tree Stand Delineation prepared by:
Jacob McMains, ISA Board Certified Arborist (MW-5328A)

Tree data used to produce this map were collected in March and June 2013 and April 11, 2014 and revised May 18, 2015

Tree Stand Delineation mapping prepared by: Ken Christensen, ISA Board Certified Arborist (A-0690)

Sheet 1
of 2

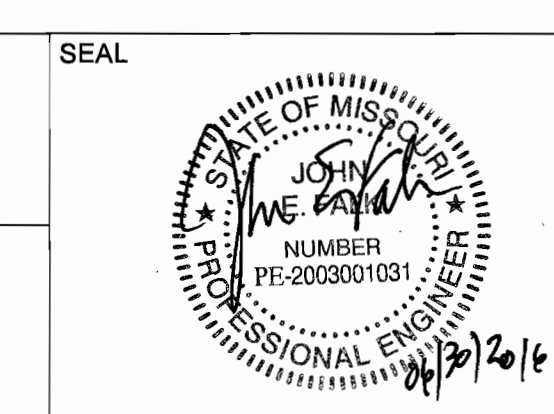
TRAFFIC ENGINEER:
CSB TRAFFIC
12400 OLIVE BOULEVARD, SUITE 430
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T 314.878.6544 F 314.878.5877

CIVIL ENGINEER:
CIVIL DESIGN, INC.
1652 SOUTH 7TH STREET
ST. LOUIS, MO 63104
T 314.880.4427 F 314.863.5578

ARCHITECT:
RAFAEL VINOLY ARCHITECTS PC
50 WANDAM STREET
NEW YORK, NY 10013
T 212.204.5000 F 646.478.9596

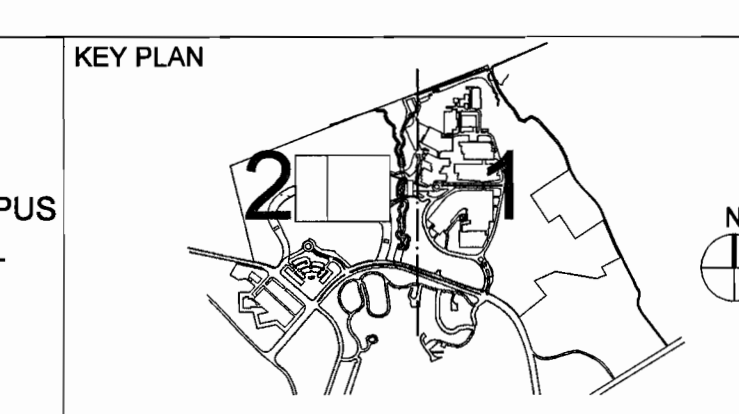
LANDSCAPE ARCHITECT:
DTLS
1624 TOWER GROVE AVENUE
SAINT LOUIS, MISSOURI 63110
T 314.534.4000

OWNER:
MONSANTO COMPANY
800 NORTH LINDBERGH BOULEVARD
ST. LOUIS, MO 63167



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PROJECT NAME AND LOCATION
MONSANTO
MONSANTO COMPANY
CHESTERFIELD VILLAGE CAMPUS
700 CHESTERFIELD PARKWAY WEST
CHESTERFIELD, MO 63017



REV	DATE	DESCRIPTION
05-20-2016		REZONING SUBMISSION

DRAWING ORIGINATOR
RAFAEL VINOLY ARCHITECTS PC

DOCUMENT STATUS
CHANGE OF ZONING APPLICATION

PROJECT NUMBER
680.100

SCALE
N.T.S.

DRAWING TITLE
TREE STAND DELINEATION DIAGRAM

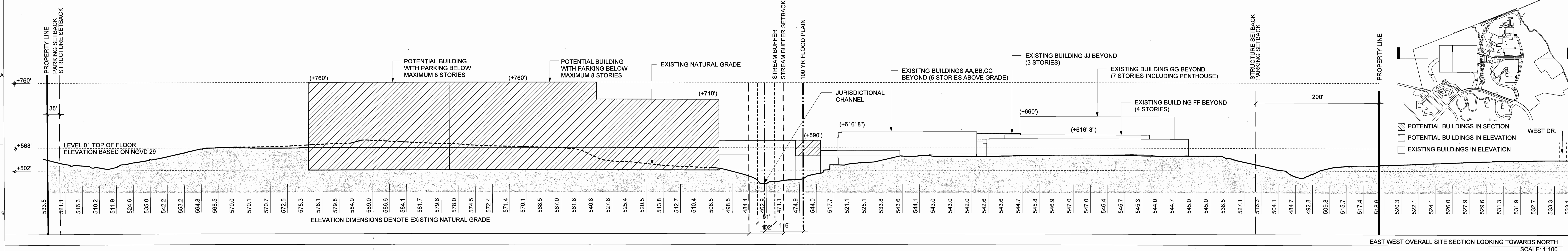
DRAWING NUMBER
A0.3.020

TREE DATA - 700 Chesterfield Parkway, Chesterfield, MO
 Data collected March 2013; June 2013; April 2014 (Skip Kincaid); and
 May 2015 by Jacob McMains
 Project Manager and Consulting Forester
 Davey Resource Group
 ISA Certified Arborist (MW-5328A)
 jacob.mcmains@davey.com

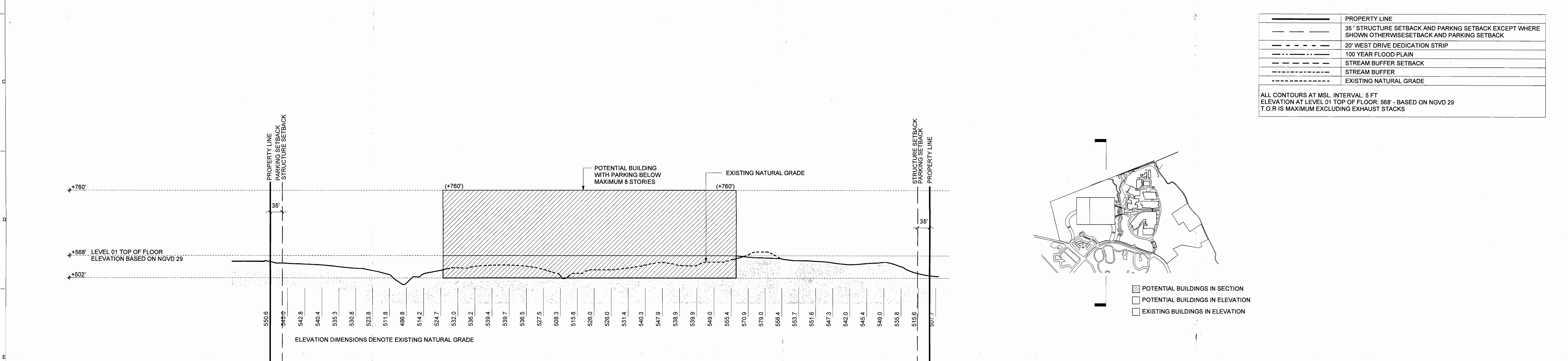
Jacob McMains

Tree Number	Common Name	DBH (in)	Height (ft)	Condition	Species	Flowering	Deciduous	Evergreen	Native	Protected
181	Pine, Austrian	12	20	Fair	No	0	0	0	0	Yes
182	Maple, Red	9	Fair	No	20	314	No	0	0	Yes
183	Honeylocust	9	Fair	No	20	314	No	0	0	Yes
184	Ash, white	17	Good	No	30	707	No	0	0	Yes
185	Ash, white	25	Good	No	30	707	No	0	0	Yes
186	Redbud	10	Fair	No	30	314	No	0	0	Yes
187	Oak, Pin	12	Fair	No	30	707	No	0	0	Yes
188	Honeylocust	14	Good	No	30	707	No	0	0	Yes
189	Honeylocust	12	Good	No	30	707	No	0	0	Yes
190	Honeylocust	12	Good	No	30	707	No	0	0	Yes
191	Honeylocust	12	Good	No	30	707	No	0	0	Yes
192	Honeylocust	12	Good	No	30	707	No	0	0	Yes
193	Honeylocust	12	Good	No	30	707	No	0	0	Yes
194	Redbud	10	Fair	No	20	314	No	0	0	Yes
195	Redbud	11	Fair	No	20	314	No	0	0	Yes
196	Honeylocust	10	Good	No	25	491	No	0	0	Yes
198	Honeylocust	10	Good	No	25	491	No	0	0	Yes
199	Plum, Purpleleaf	8	Good	No	16	201	No	0	0	Yes
200	Oak, Pin	11	Fair	No	25	491	No	0	0	Yes
201	Honeylocust	8	Fair	No	25	491	No	0	0	Yes
202	Honeylocust	12	Good	No	30	707	No	0	0	Yes
203	Honeylocust	9	Fair	No	20	314	No	0	0	Yes
204	Ash, white	18	Good	No	30	707	No	0	0	Yes
205	Ulm, Linnæa	12	Fair	No	20	314	No	0	0	Yes
206	Maple, Sugar	8	Fair	No	20	314	No	0	0	Yes
207	Honeylocust	14	Fair	No	30	707	No	0	0	Yes
208	Birch, River	11	Fair	No	30	707	No	0	0	Yes
209	Ash, white	8	Fair	No	30	707	No	0	0	Yes
210	Ulm, Linnæa	12	Fair	No	20	314	No	0	0	Yes
211	Honeylocust	10	Good	No	20	314	No	0	0	Yes
212	Honeylocust	10	Good	No	20	314	No	0	0	Yes
213	Honeylocust	10	Good	No	20	314	No	0	0	Yes
214	Honeylocust	9	Good	No	30	707	No	0	0	Yes
215	Honeylocust	10	Good	No	30	707	No	0	0	Yes
216	Honeylocust	10	Good	No	30	707	No	0	0	Yes
217	Honeylocust	9	Good	No	30	707	No	0	0	Yes
218	Elm, hybrid	4	Good	No	12	113	No	0	0	Yes
219	Elm, hybrid	4	Good	No	12	113	No	0	0	Yes
220	Elm, hybrid	4	Good	No	12	113	No	0	0	Yes
221	Elm, hybrid	4	Good	No	12	113	No	0	0	Yes
222	Elm, hybrid	4	Good	No	12	113	No	0	0	Yes
223	Elm, hybrid	4	Good	No	12	113	No	0	0	Yes
224	Birch, River	3	Good	No	10	79	No	0	0	Yes
225	Elm, hybrid	2	Good	No	10	79	No	0	0	Yes
226	Elm, hybrid	2	Good	No	10	79	No	0	0	Yes
227	Elm, hybrid	2	Good	No	10	79	No	0	0	Yes
228	Elm, hybrid	2	Good	No	10	79	No	0	0	Yes
229	Elm, hybrid	2	Good	No	10	79	No	0	0	Yes
230	Ash, Green	16	Good	No	30	707	No	0	0	Yes
231	Maple, Red	10	Fair	No	20	314	No	0	0	Yes
232	Maple, Red	14	Fair	No	30	707	No	0	0	Yes
233	Pear, Callery	18	Fair	No	40	1207	No	0	0	Yes
234	Oak, Red	14	Fair	No	30	707	No	0	0	Yes
235	Drummond Flowering	1	Fair	No	10	79	No	0	0	Yes
236	Ash, Green	10	Fair	No	30	707	No	0	0	Yes
237	Ash, Green	18	Fair	No	30	707	No	0	0	Yes
238	Plum, Purpleleaf	6	Fair	No	20	314	No	0	0	Yes
239	Ash, white	6	Fair	No	15	172	No	0	0	Yes
240	Pear, Callery	6	Fair	No	12	113	No	0	0	Yes
241	Pear, Callery	2	Fair	No	8	50	No	0	0	Yes
242	Honeylocust	6	Fair	No	14	154	No	0	0	Yes
243	Elm, hybrid	6	Good	No	15	172	No	0	0	Yes
244	Goldenrain	10	Fair	No	20	314	No	0	0	Yes
245	Goldenrain	10	Fair	No	20	314	No	0	0	Yes
246	Honeylocust	14	Fair	No	30	707	No	0	0	Yes
247	Crataegus	12	Good	No	30	707	No	0	0	Yes
248	Oak, Pin	11	Good	No	30	707	No	0	0	Yes
249	Oak, Pin	14	Good	No	30	707	No	0	0	Yes
250	Honeylocust	12	Good	No	25	491	No	0	0	Yes
251	Honeylocust	12	Good	No	25	491	No	0	0	Yes
252	Honeylocust	14	Good	No	30	707	No	0	0	Yes
253	Ash, white	12	Good	No	25	491	No	0	0	Yes
254	Oak, White	30	Good	No	25	491	No	0	0	Yes
255	Maple, Red	10	Good	No	25	491	No	0	0	Yes
256	Oak, Red	30	Fair	Yes	0	0	Yes	0	0	Yes
257	Ash, Green	22	Fair	Yes	0	0	Yes	0	0	Yes
258	Hickory, Bitternut	28	Fair	Yes	0	0	Yes	0	0	Yes
259	Oak, White	20	Fair	Yes	0	0	Yes	0	0	Yes
260	Oak, White	36	Good	Yes	0	0	Yes	0	0	Yes
261	Ash, Green	28	Good	Yes	0	0	Yes	0	0	Yes
262	Oak, White	32	Good	Yes	0	0	Yes	0	0	Yes
263	Oak, White	40	Good	Yes	0	0	Yes	0	0	Yes
264	Oak, White	22	Fair	Yes	0	0	Yes	0	0	Yes
265	Oak, White	21	Good	Yes	0	0	Yes	0	0	Yes
266	Oak, White	22	Fair	Yes	0	0	Yes	0	0	Yes
267	Oak, White	22	Fair	Yes	0	0	Yes	0	0	Yes
268	Maple, Sugar	26	Good	Yes	0	0	Yes	0	0	Yes
269	Oak, White	21	Fair	Yes	0	0	Yes	0	0	Yes
270	Oak, White	24	Fair	Yes	0	0	Yes	0	0	Yes

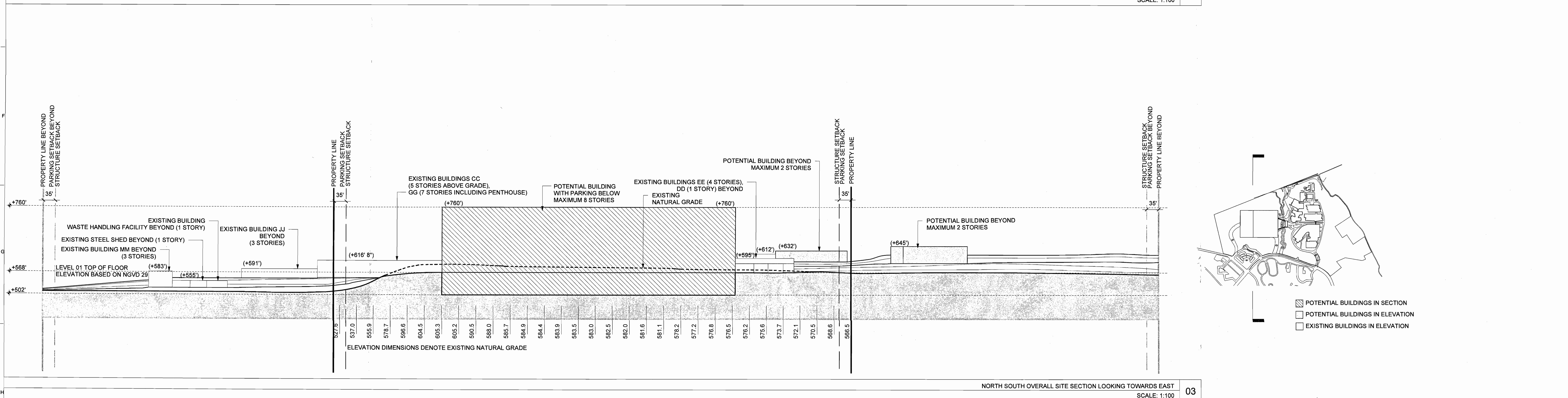
Tree Number	Common Name	DBH (in)	Height (ft)	Condition	Species	Flowering	Deciduous	Evergreen	Native	Protected
311	Cottonwood	22	Fair	Yes	0	0	Yes	0	0	Yes
314	Ash, Green	28	Poor	No	0	0	Yes	0	0	Yes
315	Oak, White	26	Poor	No	0	0	Yes	0	0	Yes
316	Maple, Sugar	22	Fair	Yes	0	0	Yes	0	0	Yes
317	Ash, Green	22	Fair	Yes	0	0	Yes	0	0	Yes
318	Maple, Sugar	33	Fair	Yes	0	0	Yes	0	0	Yes
319	Maple, Sugar	26	Fair	Yes	0	0	Yes	0	0	Yes
320	Oak, White	26	Fair	Yes	0	0	Yes	0	0	Yes
321	Maple, Sugar	28	Good	Yes	0	0	Yes	0	0	Yes
322	Maple, Sugar	28	Good	Yes	0	0	Yes	0	0	Yes
323	Oak, White	36	Poor	No	0	0	Yes	0	0	Yes
324	Oak, Red	34	Fair	Yes	0	0	Yes	0	0	Yes
325	Oak, Red	32	Fair	Yes	0	0	Yes	0	0	Yes
326	Maple, Sugar	24	Fair	Yes	0	0	Yes	0	0	Yes
327	Maple, Sugar	26	Poor	No	0	0	Yes	0	0	Yes
328	Ash, Green	34	Fair	Yes	0	0	Yes	0	0	Yes
329	Maple, Sugar	22	Poor	No	0	0	Yes	0	0	Yes
330	Maple, Sugar	22	Poor	No	0	0	Yes	0	0	Yes
331	Maple, Sugar	24	Good	Yes	0	0	Yes	0	0	Yes
332	Maple, Sugar	24	Good	Yes	0	0	Yes	0	0	Yes
333	Maple, Sugar	26	Good	Yes	0	0	Yes	0	0	Yes
334	Maple, Sugar	22	Good	Yes	0	0	Yes	0	0	Yes
335	Maple, Sugar	24	Good	Yes	0	0	Yes	0	0	Yes
336	Oak, White	24	Fair	Yes	0	0	Yes	0	0	Yes
337	Ash, Green	30	Poor	No	0	0	Yes	0	0	Yes
338	Maple, Sugar	24	Good	Yes	0	0	Yes	0	0	Yes
339	Maple, Sugar	23	Good	Yes	0	0	Yes	0	0	Yes
340	Ash, Green	28	Fair	Yes	0	0	Yes	0	0	Yes
341	Oak, White	24	Fair	Yes	0	0	Yes	0	0	Yes
342	Ash, Green	27	Fair	Yes	0	0	Yes	0	0	Yes
343	Maple, Sugar	24	Fair	Yes	0	0	Yes	0	0	Yes
344	Maple, Sugar	26	Fair	Yes	0	0	Yes	0	0	Yes
345	Ash, Green	24	Fair	Yes	0	0	Yes	0	0	Yes
346	Sycamore	30	Fair	Yes	0	0	Yes	0	0	Yes
347	Sycamore	34	Fair	Yes	0	0	Yes	0	0	Yes
348	Cottonwood	24	Poor	No	0	0	Yes	0	0	Yes
349	Maple, Sugar	26	Good	Yes	0	0	Yes	0	0	Yes
350	Maple, Sugar	26	Good	Yes	0	0	Yes	0	0	Yes
351	Maple, Sugar	24	Good	Yes	0	0	Yes	0	0	Yes
352	Maple, Sugar	28	Good	Yes	0	0	Yes	0	0	Yes
353	Maple, Sugar	26	Good	Yes	0	0	Yes	0	0	Yes
354	Maple, Sugar	26	Good	Yes	0	0	Yes	0	0	Yes
355	Maple, Sugar	26	Good	Yes	0	0	Yes	0	0	Yes
356	Maple, Sugar	26	Good	Yes	0	0	Yes	0	0	Yes
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368	Maple, Sugar	26	Good	Yes	0	0	Yes	0	0	Yes
369	Maple, Sugar	26	Good	Yes	0	0	Yes	0	0	Yes
370	Maple, Sugar	26	Good	Yes	0	0	Yes	0	0	Yes
371	Hickory, Bitternut	22	Good	Yes	0	0	Yes	0	0	Yes
372	Oak, Red	28	Fair	Yes	0	0	Yes	0	0	Yes
373	Oak, Red	38	Fair	Yes	0	0	Yes	0	0	Yes
374	Oak, Red	32	Fair	Yes	0	0	Yes	0	0	Yes
375	Hickory, Bitternut	26	Good	Yes	0	0	Yes	0	0	Yes
376	Oak, Red	28	Good	Yes	0	0	Yes	0	0	Yes
377	Ash, Green	25	Fair	Yes	0	0	Yes	0	0	Yes
378	Maple, Sugar	24	Poor	No						



EAST WEST OVERALL SITE SECTION LOOKING TOWARDS NORTH
SCALE: 1:100 01



NORTH SOUTH OVERALL SITE SECTION LOOKING TOWARDS WEST
SCALE: 1:100 02



NORTH SOUTH OVERALL SITE SECTION LOOKING TOWARDS EAST
SCALE: 1:100 03

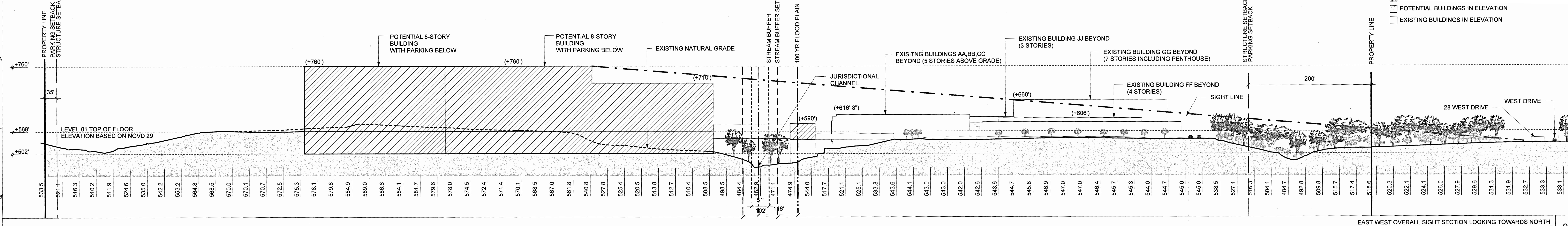
PROPERTY LINE	
---	35' STRUCTURE SETBACK AND PARKING SETBACK EXCEPT WHERE SHOWN OTHERWISE SETBACK AND PARKING SETBACK
---	20' WEST DRIVE DEDICATION STRIP
---	100 YEAR FLOOD PLAIN
---	STREAM BUFFER SETBACK
---	STREAM BUFFER
---	EXISTING NATURAL GRADE

ALL CONTOURS AT MSL, INTERVAL: 5 FT
ELEVATION AT LEVEL 01 TOP OF FLOOR: 568' - BASED ON NGVD 29
T.O.R IS MAXIMUM EXCLUDING EXHAUST STACKS

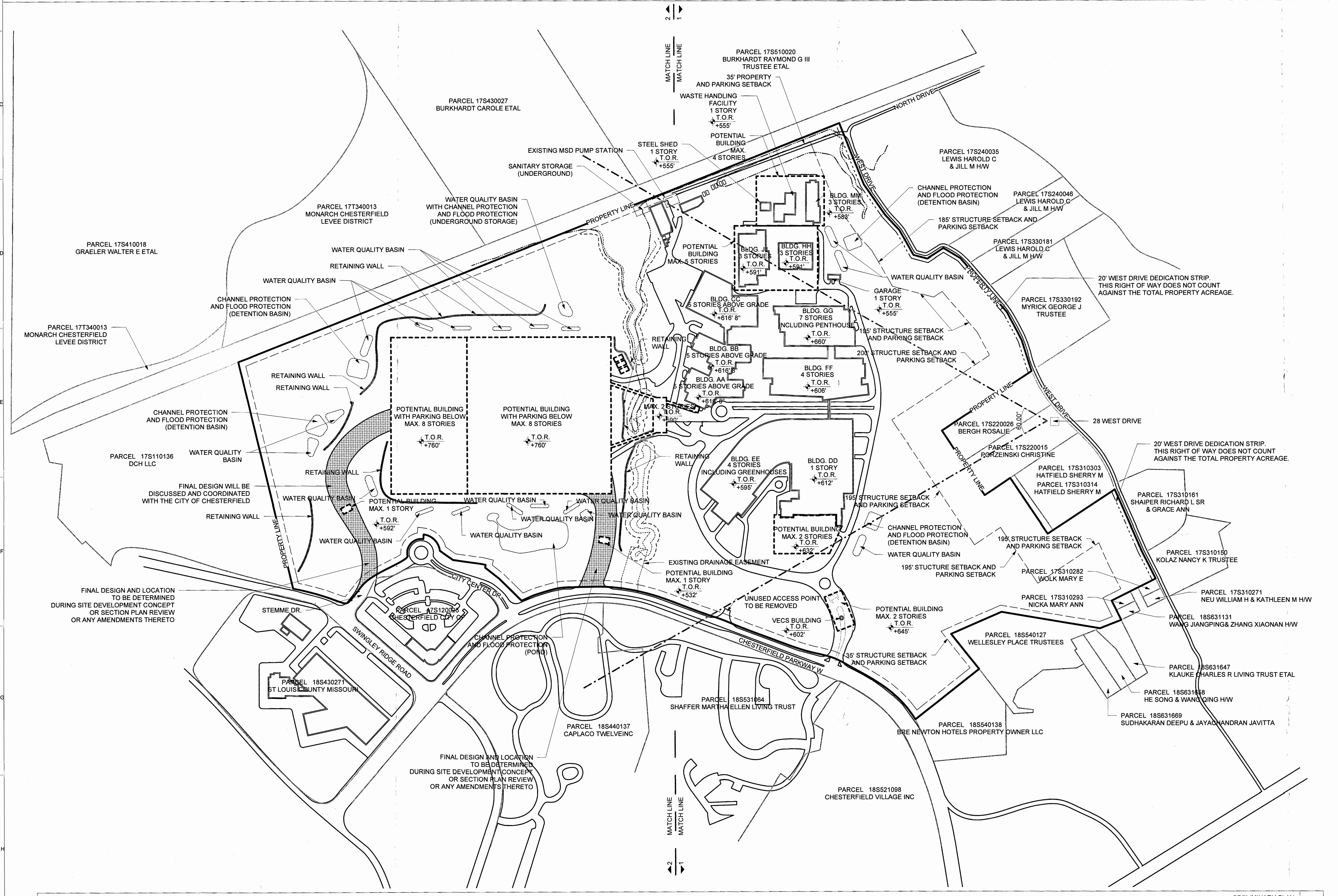
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---	20' WEST DRIVE DEDICATION STRIP
---	100 YEAR FLOOD PLAIN
---	STREAM BUFFER SETBACK
---	STREAM BUFFER
---	EXISTING NATURAL GRADE

ALL CONTOURS AT MSL, INTERVAL: 5 FT
ELEVATION AT LEVEL 01 TOP OF FLOOR: 568' - BASED ON NGVD 29
T.O.R IS MAXIMUM EXCLUDING EXHAUST STACKS

<p>TRAFFIC ENGINEER: CBB TRAFFIC 12400 OLIVE BOULEVARD, SUITE 430 ST. LOUIS, MO 63141 T 314.878.6644 F 314.878.5877</p>	<p>CIVIL ENGINEER: CIVIL DESIGN, INC. 1522 SOUTH 7TH STREET ST. LOUIS, MO 63104 T 314.885.4427 F 314.863.5578</p> <p>LANDSCAPE ARCHITECT: DTLS 1624 TOWER GROVE AVENUE SAINT LOUIS, MISSOURI 63110 T 314.534.4000</p>	<p>ARCHITECT: RAFAEL VINOLY ARCHITECTS PC 50 VANDAM STREET NEW YORK, NY 10013 T 212.804.5900 F 646.478.9596</p> <p>OWNER: MONSANTO COMPANY 800 NORTH LINDBERGH BOULEVARD ST. LOUIS, MO 63167</p>	<p>SEAL</p>	<p>DISCLAIMER THE ARCHITECT SHALL HAVE NO RESPONSIBILITY FOR ANY LIABILITY, LOSS, COST, DAMAGE OR EXPENSE ARISING FROM OR RELATING TO ANY USE OF THIS DOCUMENT FOR ANY PURPOSE OTHER THAN ITS INTENDED PURPOSE ON THIS PROJECT. THIS DOCUMENT IS PROTECTED BY COPYRIGHT. THIS DOCUMENT IS TO BE CONSIDERED IN CONNECTION WITH ALL RELATED DOCUMENTATION AND DISCREPANCIES IDENTIFIED IN THIS DOCUMENT MUST BE REPORTED IMMEDIATELY TO THE ARCHITECT BEFORE PROCEEDING. CONTRACTORS MUST VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH ANY WORK. ONLY FIELD DIMENSIONS ARE TO BE USED FOR REFERENCE.</p>	<p>PROJECT NAME AND LOCATION MONSANTO MONSANTO COMPANY CHESTERFIELD VILLAGE CAMPUS 700 CHESTERFIELD PARKWAY WEST CHESTERFIELD, MO 63017</p>	<p>KEY PLAN</p>	<table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>01</td> <td>06-20-2016</td> <td>REZONING SUBMISSION</td> </tr> </tbody> </table>	REV	DATE	DESCRIPTION	01	06-20-2016	REZONING SUBMISSION	<p>DRAWING ORIGINATOR RAFAEL VINOLY ARCHITECTS PC</p> <p>DOCUMENT STATUS CHANGE OF ZONING APPLICATION</p> <p>PROJECT NUMBER 680.100</p> <p>SCALE 1:100</p>	<p>DRAWING TITLE SITE SECTIONS OF PRELIMINARY FORM</p> <p>DRAWING NUMBER A0.3.030</p>
REV	DATE	DESCRIPTION													
01	06-20-2016	REZONING SUBMISSION													

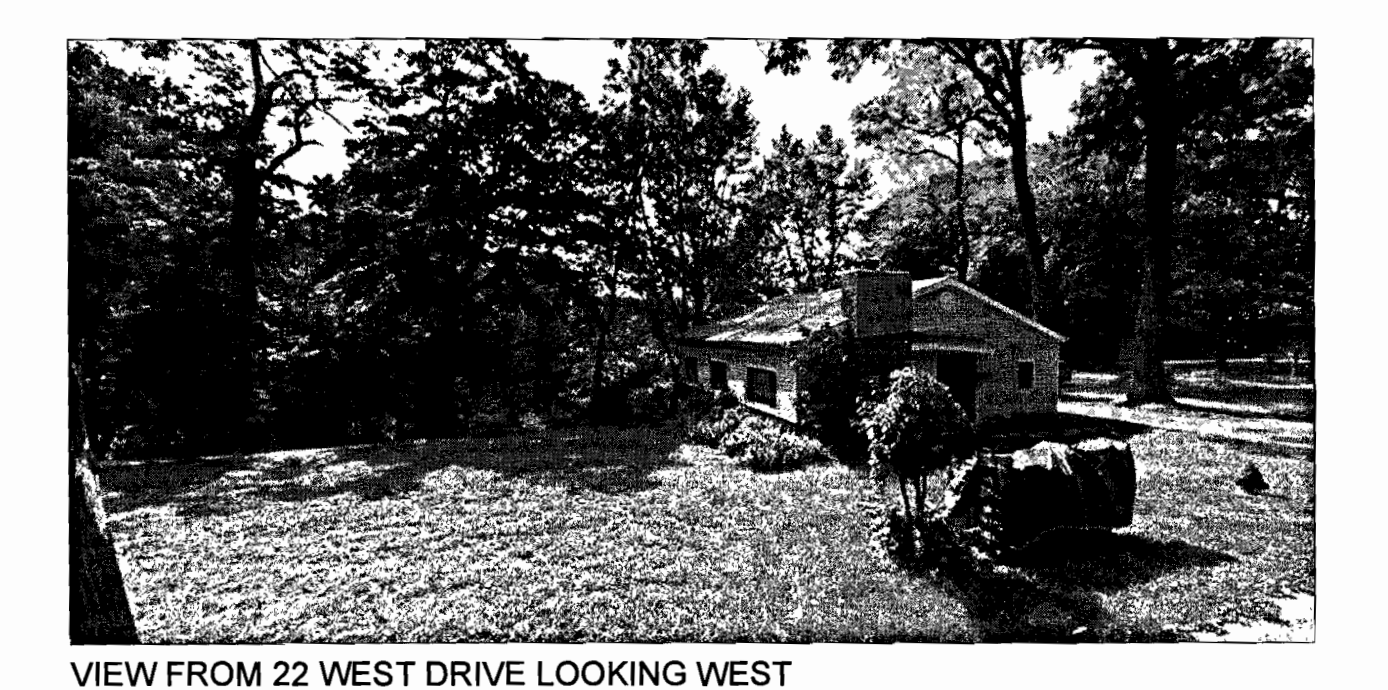


EAST WEST OVERALL SIGHT SECTION LOOKING TOWARDS NORTH
SCALE: 1:100



PROPERTY LINE	
---	35' STRUCTURE SETBACK AND PARKING SETBACK EXCEPT WHERE SHOWN OTHERWISE SETBACK AND PARKING SETBACK
---	20' WEST DRIVE DEDICATION STRIP
---	100 YEAR FLOOD PLAIN
---	STREAM BUFFER SETBACK
---	STREAM BUFFER
---	EXISTING NATURAL GRADE

ALL CONTOURS AT MSL INTERVAL: 5 FT
ELEVATION AT LEVEL 01 TOP OF FLOOR: 568' - BASED ON NGVD 29
T.O.R IS MAXIMUM EXCLUDING EXHAUST STACKS



VIEW FROM 22 WEST DRIVE LOOKING WEST



VIEW FROM 28 WEST DRIVE LOOKING WEST

PRELIMINARY PLAN
SCALE: 1:200

TRAFFIC ENGINEER:
CBB TRAFFIC
12400 OLIVE BOULEVARD, SUITE 430
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T 314.878.8544 F 314.878.5877

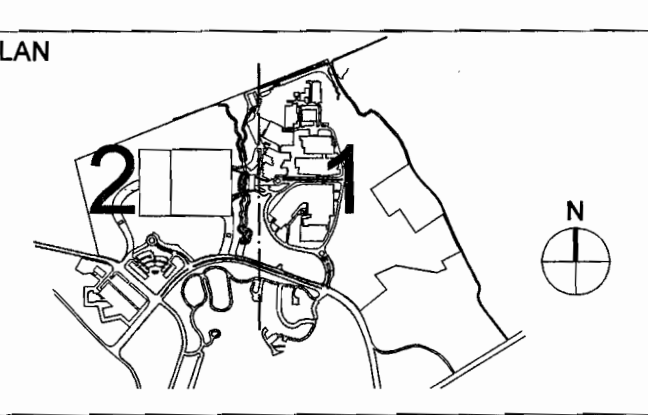
CIVIL ENGINEER:
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1652 SOUTH 7TH STREET
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ARCHITECT:
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PROJECT NAME AND LOCATION
MONSANTO COMPANY
CHESTERFIELD VILLAGE CAMPUS
700 CHESTERFIELD PARKWAY WEST
CHESTERFIELD, MO 63017

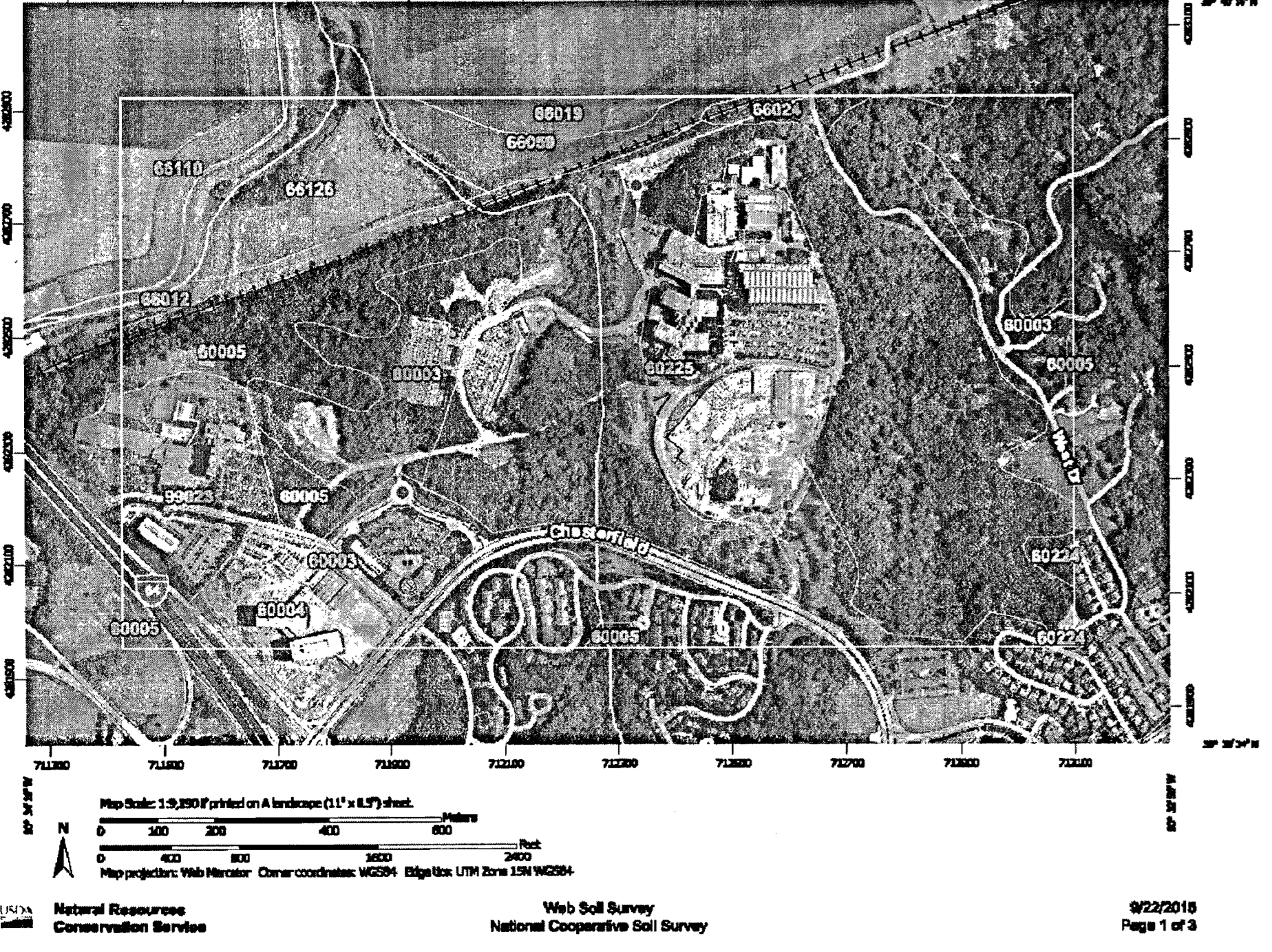


REV	DATE	DESCRIPTION
05-20-2018	05-20-2018	REZONING SUBMISSION

DRAWING ORIGINATOR RAFAEL VINOLY ARCHITECTS PC	DRAWING TITLE SIGHT LINE SECTION
DOCUMENT STATUS CHANGE OF ZONING APPLICATION	DRAWING NUMBER A0.3.031
PROJECT NUMBER 680.100	SCALE AS NOTED

Map Unit Legend

Map Unit Symbol	Map Unit Name	Area in ACI	Percent of ACI	
60003	Merino silt loam, 8 to 14 percent slopes, eroded	41.4	10.3%	
60004	Merino silt loam, 14 to 20 percent slopes, eroded	16.0	2.0%	
60006	Merino silt loam, 20 to 45 percent slopes	108.3	44.8%	
60224	Urban land-harvester complex, hard, 2 to 8 percent slopes	1.8	0.4%	
60225	Urban land-harvester complex, hard, 9 to 20 percent slopes	66.2	21.4%	
60112	Slopes silt loam, 0 to 2 percent slopes, frequently flooded	2.1	0.2%	
60119	Limerick silt loam, 0 to 2 percent slopes, occasionally flooded	8.8	1.4%	
60204	Wichita silt loam, 0 to 2 percent slopes, frequently flooded	3.4	0.8%	
60205	Peace silt clay loam, 0 to 2 percent slopes, occasionally flooded	10.3	2.9%	
60110	Stard silt loam silt clay, 0 to 2 percent slopes, occasionally flooded	13.8	3.4%	
60120	Hoyne-Tricar-Diako complex, 0 to 2 percent slopes, frequently flooded	23.3	6.0%	
90023	Urban land, upland, 0 to 6 percent slopes	23.9	6.0%	
Totals for Areas of Interest			422.2	100.0%

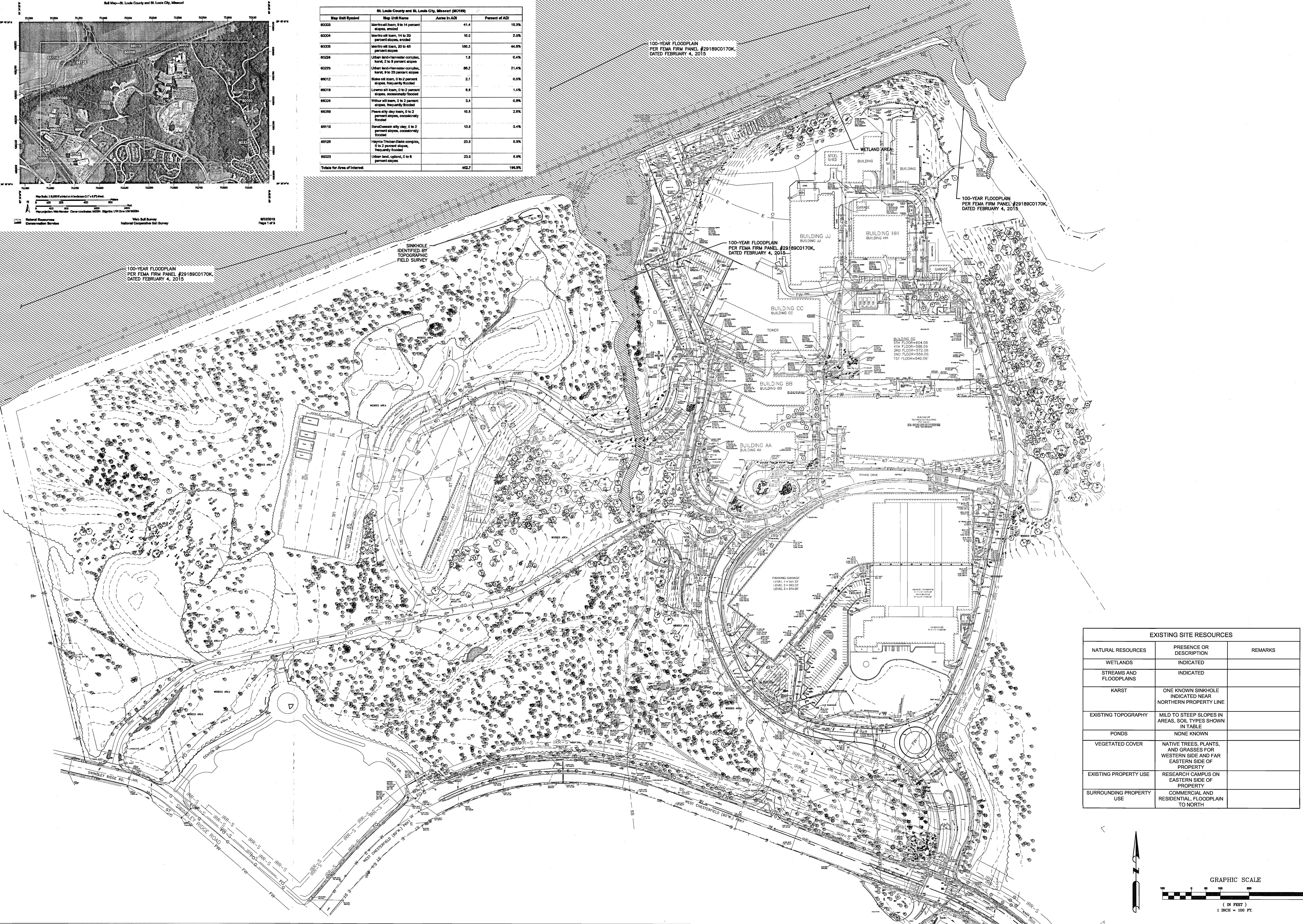


100-YEAR FLOODPLAIN PER FEMA FIRM PANEL #29189C0170K, DATED FEBRUARY 4, 2015

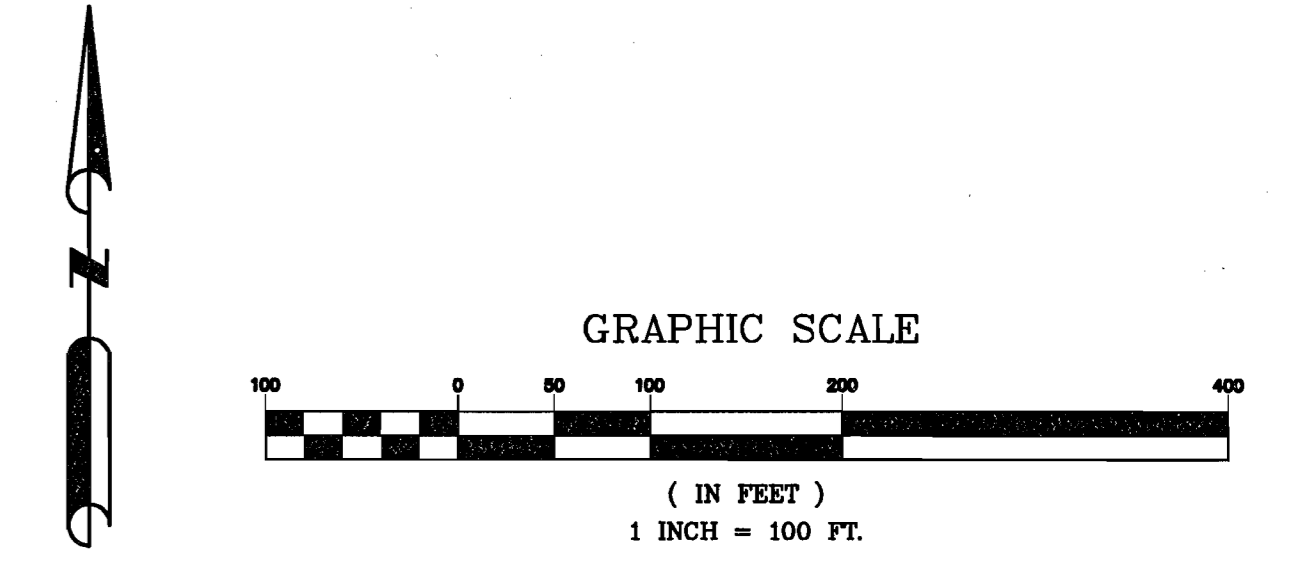
100-YEAR FLOODPLAIN PER FEMA FIRM PANEL #29189C0170K, DATED FEBRUARY 4, 2015

100-YEAR FLOODPLAIN PER FEMA FIRM PANEL #29189C0170K, DATED FEBRUARY 4, 2015

SINKHOLE IDENTIFIED BY TOPOGRAPHIC FIELD SURVEY



EXISTING SITE RESOURCES		
NATURAL RESOURCES	PRESENCE OR DESCRIPTION	REMARKS
WETLANDS	INDICATED	
STREAMS AND FLOODPLAINS	INDICATED	
KARST	ONE KNOWN SINKHOLE INDICATED NEAR NORTHERN PROPERTY LINE	
EXISTING TOPOGRAPHY	MILD TO STEEP SLOPES IN AREAS, SOIL TYPES SHOWN IN TABLE	
PONDS	NONE KNOWN	
VEGETATED COVER	NATIVE TREES, PLANTS, AND GRASSES FOR WESTERN SIDE AND FAR EASTERN SIDE OF PROPERTY	
EXISTING PROPERTY USE	RESEARCH CAMPUS ON EASTERN SIDE OF PROPERTY	
SURROUNDING PROPERTY USE	COMMERCIAL AND RESIDENTIAL, FLOODPLAIN TO NORTH	



<p>TRAFFIC ENGINEER: CBB TRAFFIC 12400 OLIVE BOULEVARD, SUITE 430 ST. LOUIS, MO 63141 T 314.878.9844 F 314.878.5877</p>	<p>CIVIL ENGINEER: RAFAEL VIÑOLY ARCHITECTS PC 1550 SOUTH 77th STREET ST. LOUIS, MO 63104 T 314.880.4427 F 314.863.5578</p> <p>LANDSCAPE ARCHITECT: DTLS 1624 TOWER GROVE AVENUE SAINT LOUIS, MISSOURI 63110 T 314.534.4000</p>	<p>ARCHITECT: RAFAEL VIÑOLY ARCHITECTS PC 50 VANDAM STREET NEW YORK, NY 10013 T 212.924.5060 F 646.478.9996</p> <p>OWNER: MONSANTO COMPANY 800 NORTH LINDBERGH BOULEVARD ST. LOUIS, MO 63167</p>	<p>SEAL</p>	<p>DISCLAIMER</p> <p>THE ARCHITECT SHALL HAVE NO RESPONSIBILITY FOR ANY LIABILITY, LOSS, COST, DAMAGE OR EXPENSE ARISING FROM OR RELATING TO ANY USE OF THIS DOCUMENT FOR ANY PURPOSE OTHER THAN THAT SPECIFICALLY INTENDED BY THE ARCHITECT. THIS DOCUMENT IS PROTECTED BY COPYRIGHT. THIS DOCUMENT IS TO BE CONSIDERED IN CONNECTION WITH ALL RELATED DOCUMENTATION. ANY DISCREPANCIES IDENTIFIED IN THIS DOCUMENT MUST BE REPORTED IMMEDIATELY TO THE ARCHITECT. BEFORE PROCEEDING, CONTRACTORS MUST VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH ANY WORK. ONLY FIELDED DIMENSIONS ARE TO BE USED FOR VERIFICATION.</p>	<p>PROJECT NAME AND LOCATION</p> <p>MONSANTO MONSANTO COMPANY CHESTERFIELD VILLAGE CAMPUS 700 CHESTERFIELD PARKWAY WEST CHESTERFIELD, MO 63017</p>	<p>KEY PLAN</p>	<table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>05-20-2016</td> <td>REZONING SUBMISSION</td> <td></td> </tr> </tbody> </table>	REV	DATE	DESCRIPTION	05-20-2016	REZONING SUBMISSION		<p>ARCHITECT</p> <p>RAFAEL VIÑOLY ARCHITECTS</p> <p>PROJECT PHASE</p> <p>CHANGE OF ZONING APPLICATION</p> <p>PROJECT NUMBER</p> <p>680.100</p> <p>DRAWING SCALE</p> <p>AS SHOWN</p> <p>DRAWING NUMBER</p> <p>ESR-1</p>	<p>DRAWING TITLE</p> <p>EXISTING SITE RESOURCES MAP</p>
REV	DATE	DESCRIPTION													
05-20-2016	REZONING SUBMISSION														



MONSANTO



CONTACT

Teresa Crossland
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MONSANTO COMPANY
800 NORTH LINDBERGH BLVD
ST. LOUIS, MISSOURI 63167

**MONSANTO COMPANY RESPONSE TO REQUEST FOR A PUBLIC PEDESTRIAN
PATHWAY THROUGH ITS CHESTERFIELD VILLAGE PROPERTY**

With the safety of employees and contractors top-of-mind, as well as the company's responsibility to protect physical and intellectual property, Monsanto has decided to maintain its current security posture at its Chesterfield Village site and therefore will not authorize a public pedestrian pathway through the property. This decision was reached following at-length discussions with Monsanto's security and facilities personnel and only after thoughtful consideration of the request by company leadership.

As an active corporate citizen, we embrace opportunities to support Chesterfield and the greater St. Louis area, and we remain committed to continuing our long-term efforts to be a strong employer and contributor in the region. This includes our ongoing expansion here in St. Louis as we build out our R&D center of excellence in Chesterfield.

-oOo-



VIII.A.

690 Chesterfield Pkwy W • Chesterfield MO 63017-0760
Phone: 636-537-4000 • Fax 636-537-4798 • www.chesterfield.mo.us

Planning Commission Vote Report

Subject: **Zoning Map Amendment**

Meeting Date: July 25, 2016

From: Jessica Henry, Project Planner

Location: North side of Chesterfield Parkway West, approximately 2,000 feet east of City Center Drive (17S210094, 17S230025, 17S230014, 17S230036 & 17S240057).

Petition: **P.Z. 07-2015 Monsanto Chesterfield Campus (C8 to UC)**

Summary

The Monsanto Company has submitted a request for a zoning map amendment from “C8” Planned Commercial District to “UC” Urban Core District. The applicant wishes to amend the zoning district to allow for an expansion in building area currently limited by the existing ordinance. A total of two (2) land uses are proposed which will continue to permit current land use activities at the site. Related with this request for a zoning map amendment, a Preliminary Plan is also attached for the Planning Commission’s consideration. Since the UC District is a planned district, the submittal of the preliminary plan is required.

A Public Hearing was held on this item on August 10, 2015. At that time, two issues were raised by the Planning Commission. The applicant has successfully addressed all issues and comments related to this request. The issues that were addressed are summarized in the Issues section of this report.

Zoning History

This site is located within the Northwest Quadrant of the Chesterfield Village, and is specifically known as parcel C304. The Northwest Quadrant of Olive/Clarkson and I-64 was included in the original presentation to the St. Louis County Planning Commission in 1971 to initiate the development of Chesterfield Village. In 1971, Sachs Properties submitted fifteen separate petitions to initiate the development of Chesterfield Village, one of the largest and most integrated proposals ever to be considered by the St. Louis County Planning Commission. This area was to be developed over a 20 to 30 year period and included 1,115 acres of what might ultimately be a 1,500+ acre planned community. Of the petitioned 1,115 acres stretching across the northwest and southwest quadrants of Highway 40 and MO 340, approximately 44% would

be used for residential purposes, 21% for commercial purposes, 27% left for open space, and 8% for right-of-way.

Although the majority of land affected by the 1971 Chesterfield Village proposal was in the southwest quadrant, five of the original fifteen petitions involved land in the northwest quadrant, where residential and commercial rezoning were requested for a total of 318 acres. In downscaling the original proposal, the County rejected commercial zoning in the northwest quadrant and limited residential rezoning to 270.7 acres of "R-3" zoned development in two P.E.U.'s. Of concern was how proposed development would integrate with existing development along Olive Boulevard.

In 1979 the Monsanto Company approached St. Louis County to rezone the subject site from "NU" Non-Urban and "R-3" Residence District within the Chesterfield Village to the "C-8" Planned Commercial District. This application was approved via St. Louis County Ordinance 9,002. This original ordinance was amended by St. Louis County numerous times (Ordinances 10,573, 10,688, and 10,986). In March 1989, Ordinance 258 was approved by the City of Chesterfield amending these previous County ordinances. Ordinance 258 was the final amendment reviewed by the City and may be found at the following link:

<http://www.chesterfield.mo.us/webcontent/ordinances/1989/ord258.pdf>

Multiple concept and section plans have been approved previously by the City of Chesterfield and St. Louis County for this site under Pfizer and Monsanto as these companies have grown. There are currently 2,107,145 square feet of structures approved at this location. Current ordinance authority limits total building square footage to 2,660,000 square feet.

Comprehensive Plan Analysis

The subject site is located within the Urban Core district. The Urban Core area is defined as the area known as the Chesterfield Village, centered at the intersection of I-64/US 40 and Clarkson Road/Olive Boulevard and primarily served by the Chesterfield Parkway. Land uses for the Urban Core include a mixture of high-density residential, retail and office uses containing the highest density development in the City of Chesterfield. All uses proposed associated with this request are compliant with the Urban Core land use designation.

Associated with the proposed uses within the Urban Core, a proposed development should be in general compliance with the Development Policies identified within the Comprehensive Plan. Below is a list of relevant policies within the Comprehensive Plan to the zoning request.

- **3.6.1 High-Density Development:** High density developments are encouraged within the Urban Core. As discussed earlier, the Urban Core is the center of the City. City centers typically offer many uses, especially high density developments. The proposed development, at 4.8 million square feet and structures no taller than eight (8) stories, is

the maximum floor area and height allowed at this location by Urban Core District standards and would be compliant.

- 3.6.5 Chesterfield Village:** This property is located within the Chesterfield Village portion of the City of Chesterfield. Per the policy, this area should be dedicated to significant portions of high density, mixed use residential and non-residential development. As stated in the previous policy, the proposed development would be at the maximum density allowed under the UC district standards.
- 4.1.1 Buffering of Neighborhoods:** The section identifies the importance of buffering existing residential areas from adjacent non-residential development. The implementation of buffering and large setbacks are documented on the Preliminary Plan around residential uses. Additional discussion on the setbacks and buffering is included in the Issues section of this report.
- 5.1 Research and Development Business Parks and Corporate Campuses:** This policy documents the importance of research and development business parks and corporate campuses in the Urban Core in a park-like setting. The proposed expansion highlights compliance with this policy as the current and proposed Monsanto campus includes many park-like features, such as open space and woodland for the use and enjoyment of Monsanto employees.

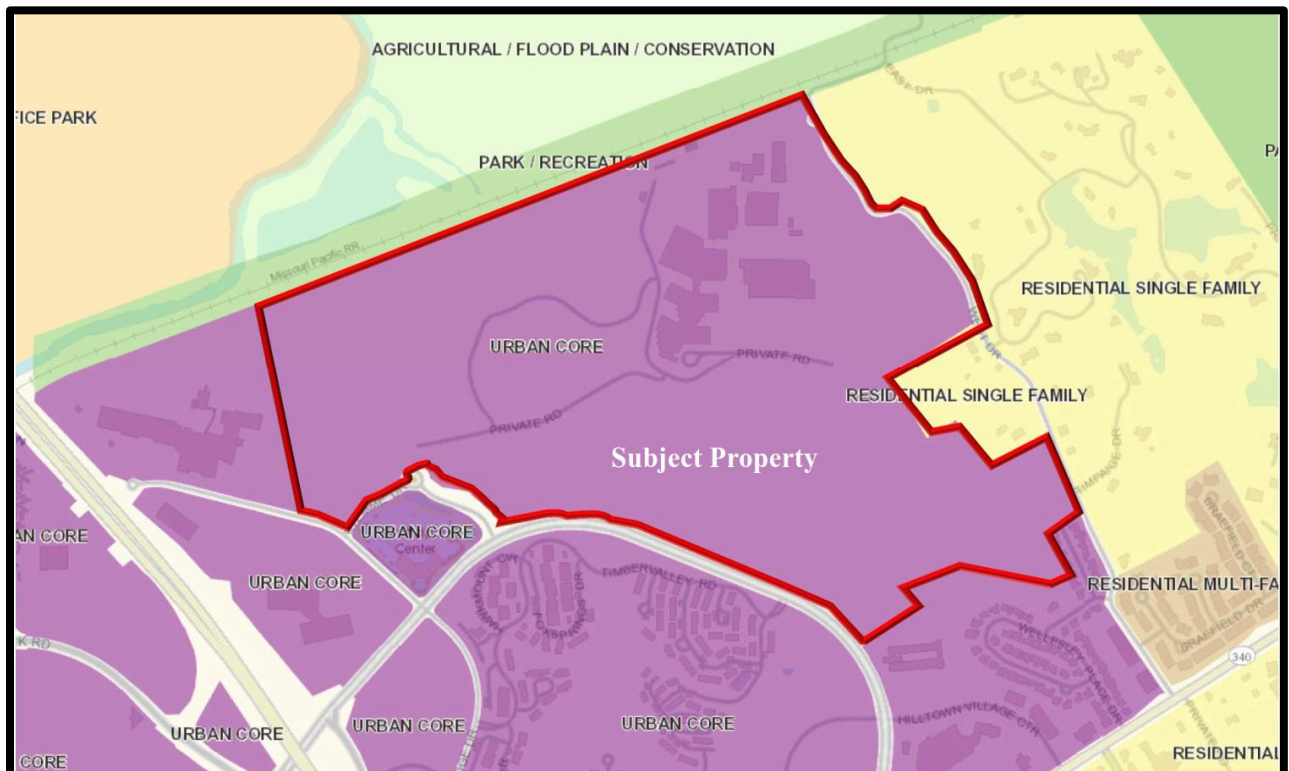


Figure 1—Future Land Use Plan

Surrounding Land Use and Zoning

The land use and zoning for the properties surrounding this parcel are shown in Figure 2 below and are as follows:

North: The property to the north is currently zoned “FPNU” Flood Plain Non-Urban District. This property is utilized for agricultural use.

South: The properties are currently zoned “R6A/PEU” Residence District with a Planned Environment Unit procedure. These lots are multi-family residences.

East: The properties are currently zoned “NU” Non-Urban District. These lots consist of single family residences.

West: The property is currently zoned “PC” Planned Commercial District. This lot is utilized as a Hotel.

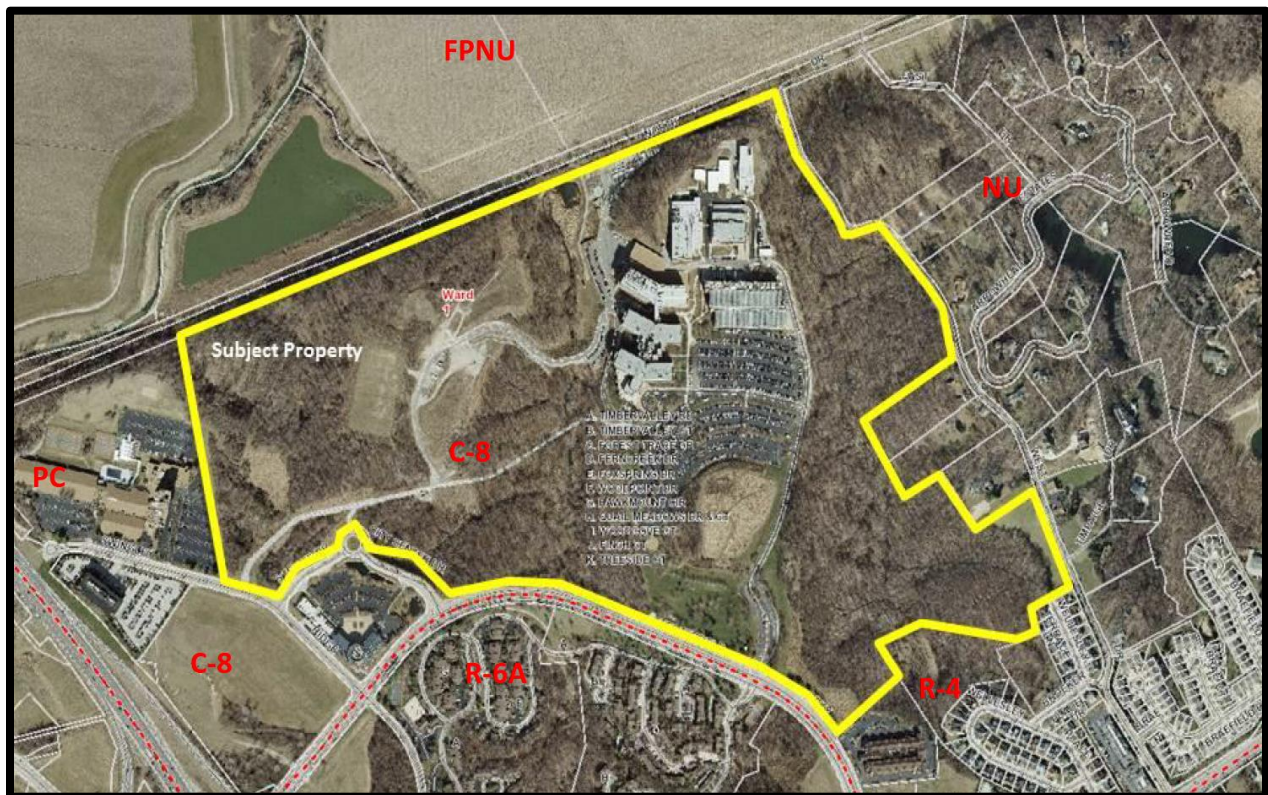


Figure 2: Aerial and Zoning Map

Issues

During the Public Hearing, a total of two (2) issues were identified associated with this request by Planning Commission, Staff and the public. Following is a brief summary of those issues.

1. Height of proposed structures relative to residences off West Drive. As indicated in the Comprehensive Plan Analysis above on page 4 of this report, the applicant is proposing to build multiple structures with the tallest being eight (8) stories in height and 750 Mean Sea Level (MSL) on the western side of the campus. While the eight stories limitation would be compliant with UC District minimum requirements, area residents voiced concern with tall structures near West Drive. The applicant has indicated via the proposed preliminary plans that no new structures are proposed near these residents off West Drive.

Further, the preliminary plan identifies structures on the eastern portion of the site as limited to between three (3) and five (5) stories in height. The tallest, eight (8) story building will be located west of the existing buildings and will not impact views from West Drive.

Additionally, a sight line study has been submitted for City evaluation and is included with the Preliminary Plan. The area between the proposed and existing buildings and the adjacent West Drive residences is heavily wooded and not only features a large ravine, it also contains a natural watercourse, which contributes to the Petitioner's intent to avoid future development in this area as shown on the Preliminary Plan. Based on this information, it is Staff's opinion that the significant distance, topography, existing forestation, and large setbacks (see below) will sufficiently mitigate the impacts to the adjacent residents on West Drive.

2. Clarification of proposed setbacks. During the Public Hearing, clarification was required as proposed setbacks were not consistent with the written narrative and the Preliminary Plan. The UC District requires a minimum structure setback of thirty-five (35) feet and parking setback of thirty (30) feet adjacent to district boundaries; however, Staff requested more restrictive setbacks in the West Drive area due to the proximity of the single family residences off of West Drive. Some of the neighboring residents also spoke in favor of greater setbacks. In response to discussions with Staff on the provision of appropriate setbacks in this area, the Petitioner is providing a building and parking setback along West Drive that ranges from 185 feet to 200 feet. Additionally, as noted above, the buildings proposed on the eastern portion of the site closest to West Drive range in height from three (3) to five (5) stories and none of these new buildings will be located or generally extend beyond the eastern limits of the existing campus buildings.

A thirty-five (35) foot structure and parking setback is proposed for the remainder of the site boundary.

Summary of Request

Proposed Uses

No uses are proposed which are not currently permitted for at this location. The petitioner is requesting to maintain existing uses; (1) Research Laboratory & Facility and (2) Office–General. These uses are compliant with the Urban Core District as these uses are permitted within any residential or commercial district.

Urban Core (UC) District Requirements

- Minimum lot for UC district is three (3) acres; subject site is 200.2 acres.
- A minimum of 30% percent open space is required associated with a UC request. This minimum is reflected in the Attachment “A”.
- A 30 foot landscape buffer is required.
- As previously discussed, a Preliminary Plan has been submitted to support the request.

Structures

A total of 4,800,000 square feet of structures are proposed with this request on the 200.2 acre site.

- This square footage is also 0.55 floor area ratio, and allowed on the 200.2 acre site per the UC District standards.
- Current ordinance limits the site to 2,660,000 square feet on the 200.2 acre site.
- A total of 2,107,145 square feet of structures exists onsite or is in the process of being constructed.

Access

The current ordinance permitted three (3) access points and the Petitioner is requesting to maintain that number, allocated as follows:

- Three (3) total access points are proposed:
 - 1) Continue to utilize main access point off Chesterfield Parkway West;
 - 2) New secondary access off Chesterfield Parkway West further west of main access, and;
 - 3) Access off Swingley Ridge Drive from an entrance along Stemme Drive/City Center Drive with the final design and location to be determined during a Site Development Plan. It is important to note that only one curb cut will be allowed for the joint Stemme Drive/City Hall entrance/Monsanto entrance configuration. Although the Preliminary Plan and Attachment “A” establish the general location of this access, the exact

configuration and geometrics will be determined during review of the Traffic Impact Study and Site Development Section Plan submittals. A note to this effect has been placed on the Preliminary Plan.

- There is access off West Drive to the Monsanto campus on the northeast corner of the property; however this access is currently limited to service access only and does not provide for access for Monsanto construction or employees. This restriction will remain in place.

Traffic Impacts and Required Improvements

As the Planning Commission is aware, it is the City's process to require the submittal of a full Traffic Impact Study during the Site Development Section Plan review phase of development. However, due to the scope and nature of this zoning petition, the City has been working with the Petitioner, St. Louis County, and MoDOT for the last eight months to vet through the appropriate ordinance language for this petition. This review and professional analysis includes several meetings between the City, St. Louis County Department of Transportation, MoDOT, the Petitioner, and the Petitioner's professional traffic consulting firm. Resulting from these comprehensive discussions between the three jurisdictional authorities, language as agreed upon by all three agencies is included in the Attachment "A" prepared by Staff for this request.

Based on this joint review, the following items regarding to traffic impacts and improvements have been determined:

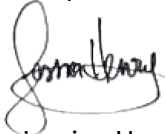
- As included on P. 7 of the Attachment "A", a phased (as necessary) Traffic Impact Study is required to be submitted in conjunction with the submittal of any plan subsequent to the establishment of this UC District.
- Additionally, the scope of the study shall include internal and external circulation and will detail specific improvements, such as the need for additional traffic lanes, entrance configuration and geometrics, and traffic signal modifications. This study will be fully reviewed and approved by all three jurisdictional authorities.
- Additionally, if full build-out has not occurred within 10 years of the date of the Traffic Impact Study, a new study will be required.
- As included on P. 6 of the Attachment "A", the Swingley Ridge/I-64 connection must be made prior to the occupancy of any development in excess of 2,660,000 square feet, which is the currently permitted maximum square footage.

The City, St. Louis County Department of Transportation, and MoDOT have determined that this language addresses the information necessary during this zoning phase to proceed with confidence in moving forward with this request and proposed density for the Monsanto campus build-out.

Request

Staff has reviewed the request for a zoning map amendment by the Monsanto Company for the Monsanto Chesterfield Campus and has found that the request is compliant with the City of Chesterfield Code and consistent with the Comprehensive Plan. Staff has prepared an Attachment A for this request for consideration by the Planning Commission and requests action on P.Z. 07-2015 Monsanto Chesterfield Campus (C8 to UC).

Respectfully submitted,



Jessica Henry, AICP
Project Planner

Attachments

1. Petitioner's Issues Response Letters
2. Attachment "A"
3. Preliminary Plan
4. Tree Stand Delineation

cc: Aimee Nassif, Planning and Development Services Director