



690 Chesterfield Pkwy W • Chesterfield MO 63017-0760
Phone: 636-537-4000 • Fax 636-537-4798 • www.chesterfield.mo.us

Planning Commission Staff Report

Project Type: Site Development Plan

Meeting Date: July 28, 2014

From: John Boyer, Senior Planner

Location: Northwest of the intersection of Clayton Road and Schoettler Road

Description: Schoettler Grove SDP: A Site Development Plan, Landscape Plan, Tree Preservation Plan, Tree Stand Delineation Plan, and Architectural Elevations for a 17.0 acre tract of land zoned “PUD” Planned Unit Development located northwest of the intersection of Clayton Road and Schoettler Road.

PROPOSAL SUMMARY

Stock and Associates Consulting Engineers, Inc. on behalf of Brinkman Holdings, LLC has submitted a Site Development Plan, Landscape Plan, Tree Preservation Plan, Tree Stand Delineation Plan and Architectural Elevations for a 17.0 acre single family detached residential development to be known as the Schoettler Grove. The request would permit the development of 31 single family detached residential homes of varying configurations and designs.

LAND USE AND ZONING HISTORY OF THE SUBJECT SITE

The subject property was zoned NU Non-Urban District by St. Louis County prior to the incorporation of the City of Chesterfield. Most recently in March of 2014 the City approved a petition for a zoning map amendment to R-2 Residence District (15,000 sqft lot min.) via Ordinance Number 2785 and from R-2 to PUD Planned Unit Development District via Ordinance Number 2786. The requested PUD permitted a total of 31 single family units on the 17.0 acre tract.

Land Use and Zoning of Surrounding Properties

North: The land uses of the properties to the north are single family residential within the Westerly Place subdivision which is zoned R1A/PEU Residence District with a Planned Environmental Unit.

South: The properties to the south are single-family attached dwellings within the Gascony subdivision which is zoned R-3/PEU Residence District with a Planned Environmental Unit and a commercial shopping area within the City of Ballwin, zoned C-1 Commercial with a Neighborhood Commercial Overlay.

East: Properties east of the site have a land use of single family residential within the Amberleigh subdivision which is zoned R-3/PEU Residence District with a Planned Environmental Unit.

West: The property to the west is St. Louis Retirement development containing multi-family uses zoned R-1 Residence District with a Conditional Use Permit (CUP).

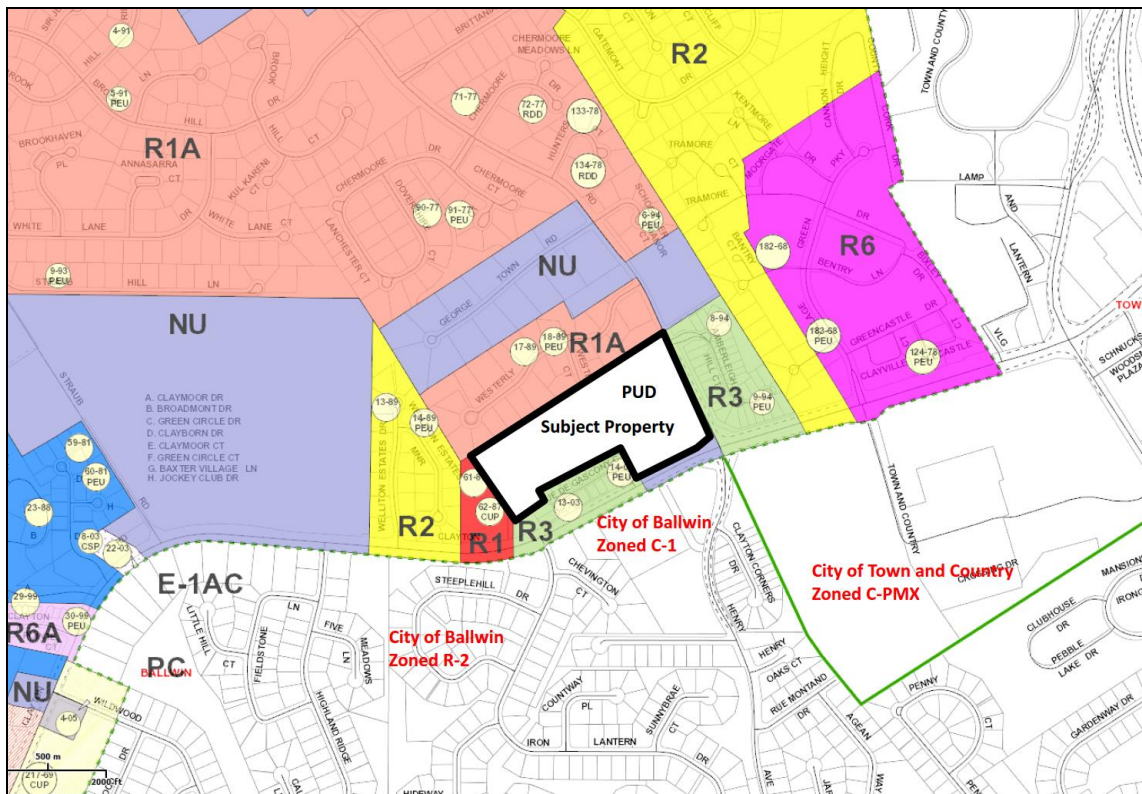


Figure 1: Area Zoning

STAFF ANALYSIS

Zoning

The subject site is currently zoned PUD Planned Unit Development District under the terms and conditions of City of Chesterfield Ordinance Number 2786. The submittal was reviewed and adheres to the requirements of Ordinance Number 2786 and all applicable City of Chesterfield requirements.

The PUD ordinance permits flexibility to standard residential zoning district requirements. Lot sizes, setbacks, building heights, etc. are permitted to be modified in order to create a better built environment and enhance the overall look and functionality of the development. Schoettler Grove was permitted to utilize a 7,260 square foot minimum lot size and to customize setbacks in order to increase buffering and common open space.

Traffic Access and Circulation

Access to this site is proposed via one public road, Schoettler Road, to the east and an emergency access point to the north which is planned to be private and gated. The northern emergency access point would stub off Westerly Drive, remain private as approved via Ordinance Number 2786, and be available for emergency vehicles only. No access is proposed or allowed off Clayton Road to the south.

As required via Ordinance Number 2786, a Traffic Analysis was completed which analyzed and recommended necessary road improvements for Schoettler Road. As recommended and identified on the provided Site Development Plan, a left turn lane into the development from Schoettler Road is proposed to meet the anticipated traffic demands of this development.

Additional right-of-way is identified to be dedicated to the City for the future roadway expansion of Schoettler Road. While the planned expansion of Schoettler Road is not designed or funded at this time, provided right-of-way dedication is compliant with the City of Chesterfield's Schoettler Road Corridor Improvement Study. This road dedication will be accomplished upon a future record plat if this Site Development Plan is approved.

Landscaping

The Applicant is proposing landscaping along the perimeter of the site within the provided landscape buffers, common open space as required associated with the site's governing ordinance. Buffers range in size from the minimum required 30 feet to 35 feet in the areas adjacent to the Westerly Place and Gascony subdivisions. Provided landscaping is compliant with City Code. Street trees are also proposed compliant with City Code.

Tree Preservation

City Code requires a minimum of 30% Tree Preservation of existing woodlands. Additionally, the City of Chesterfield's Unified Development Code (UDC) allows the Planning and Development Services Director to review and approve modifications of City Tree Preservation and Landscaping Requirements if special conditions exist which necessitates a modification. Review of the provided plan sheets indicates existing topography on this site provides unique challenges in developing to meet minimum City requirements as well as other agency requirements including access, street design standards, location and size of existing woodlands, and storm-water requirements. After careful review of the information provided, Staff found that special conditions do exist and an exception to the 30% preservation of existing woodlands was approved by the Planning and Development Services Division.

Mitigation of Existing Woodlands

Associated with any approval of special conditions for the preservation requirements of City Code, a Mitigation Plan is required for the review and approval by the Planning and Development Services Director. Per Code, the Mitigation Plan shall indicate how the Applicant plans to mitigate the loss of trees on the site and mitigation trees may not be used to meet the minimum requirements for the landscaping of this site. Since the site only allows for the preservation of 14% of the existing tree mass, a deficiency of 16% exists. Per the Applicant, 16% of woodlands for this site require a minimum of 70,608 square feet of tree canopy to be re-established.

Mitigation trees totaling 72,700 square feet of woodland canopy are shown around the perimeter of the site enhancing landscaping associated with the buffer; in essence creating a "green wall" for the surrounding properties. An additional letter from the Applicant's Landscape Architect indicates that the proposed mitigation plantings were selected and grouped in a way to grow together to create a new woodland. Furthermore, the Landscape Architect is comfortable with the proposed density and does not recommend any additional plantings as this density of plantings is on the high end of maximum tree/acre for an effective landscape screen. After careful review, Staff including the City's Arborist/Urban Forester has approved the Mitigation Plan as compliant with City Code.

Lighting

For residential developments, lighting plan review is minimal. The Applicants have selected an AmerenUE approved light fixture and have placed them in accordance with City of Chesterfield specifications. The proposed lighting of this development meets all City of Chesterfield requirements.

Architectural Elevations

Future homes for this site are being proposed by two builders; Prestige Custom Homes and Benton Homebuilders. The proposed single-family residential structures will be

constructed of brick, stone/masonry, vinyl with optional hardie board cement siding and architectural shingles. All structures incorporate front and a side entry garage option. Side entry is not a requirement of the site's governing ordinance; however, represents an option for future homeowners.

Elevations for residential structures are reviewed in conformance with the Architectural Review Design Standards of the City of Chesterfield and forwarded to the Planning Commission for approval. Review of the submitted elevations reveal conformance with all City Architectural standards.

Cemetery

As shown on the approved Preliminary Plan associated with the PUD zoning, a 1.17 acre Preservation Area has been designated to provide protection for the on-site cemetery on the western portion of the site. As noted on the picture in Figure 2, the cemetery is currently overgrown with various vegetation. Ordinance Number 2786 requires the applicant to remove brush and debris as well as provide a fence to the cemetery site.



Figure 2: Cemetery

In a narrative statement to the City of Chesterfield dated July 22, 2014, the Applicant has indicated that overgrowth and dead vegetation will be trimmed and removed in order to comply with this ordinance requirement. No tree removal in this area will be permitted due to this area also being identified as a Tree Preservation Area. A wooden split rail fence is planned to be utilized for this area to comply with the fencing requirement. A detail of the planned fence may be found on plan sheet SDP 1.2 of the Site Development Plan. Future maintenance of the cemetery, if this Site Development Plan is approved and upon completion of the development, would be turned over to the future Schoettler Grove Home Owners Association.

DEPARTMENT INPUT

Staff has reviewed the Site Development Plan, Landscape Plan, Tree Preservation Plan, Tree Stand Delineation Plan and Architectural Elevations and has found the application to be in conformance with the site specific ordinance and all other applicable City of Chesterfield requirements. Staff recommends approval of the proposal as presented.

MOTION

The following options are provided to the Planning Commission for consideration relative to this application:

- 1) "I move to approve (or deny) the Site Development Plan, Landscape Plan, Tree Preservation Plan, Tree Stand Delineation Plan and Architectural Elevations for Schoettler Grove."
- 2) "I move to approve the Site Development Plan, Landscape Plan, Tree Preservation Plan, Tree Stand Delineation Plan and Architectural Elevations for Schoettler Grove with the following conditions..." (Conditions may be added, eliminated, altered or modified)

Cc: Michael G. Herring, City Administrator
Rob Heggie, City Attorney
Michael O. Geisel, Director of Public Services
Aimee Nassif, Planning and Development Services Director

Attachments: Site Development Plan
Landscape Plan
Tree Preservation Plan
Tree Stand Delineation Plan
Architectural Elevations
July 14, 2014 Letter from Loomis Associates
July 22, 2014 Narrative Statement from Applicant – Cemetery

PROPERTY DESCRIPTION TOTAL TRACT

A tract of land being Adjusted Lot 1 of the "Boundary Adjustment Plot of Lots 1 and 4 of Westery Place" as recorded in Plat Book 354, Page 802 of the St. Louis County Records being a part of U.S. Survey 412 and part of Fractional Section 24 in Township 45 North, Range 4 East of the Fifth Principal Meridian in the City of Chesterfield, St. Louis County, Missouri and being more particularly described as follows:

SITE INFORMATION

SITE AREA: = 17.002 Acres ±
MOR PERMIT NO. = MORA04914
ZONING = "PUD" PLANNED UNIT DEVELOPMENT
CITY = CHESTERFIELD, MISSOURI
SITE ZIP CODE = 63017
SITE ADDRESS INFO: = 18995 NORTH OULT 40 ROAD
OWNER: = BRINKMANN HOLDINGS, LLC (UNDER CONTRACT)
FLOOD MAP PANEL = PG. 33 GRID 21-BB
WANNENBERG'S = CREVE COEUR CREEK, MISSOURI RIVER
UTILITY INFO: WATER SERVICE: MISSOURI AMERICAN WATER COMPANY
ELECTRIC SERVICE: AMEREN UE
FIRE DISTRICT: MONARCH FIRE PROTECTION

SCHOETTLER GROVE

A tract of land being Adjusted Lot 1 of the "Boundary Adjustment Plot of Lots 1 and 4 of Westery Place" as recorded in Plat Book 354, Page 802 of the St. Louis County Records being a part of U.S. Survey 412 and part of Fractional Section 24 in Township 45 North, Range 4 East of the Fifth Principal Meridian in the City of Chesterfield, St. Louis County, Missouri

SITE DEVELOPMENT PLAN CHESTERFIELD ORDINANCE NO. 2786 ZONED "PUD"

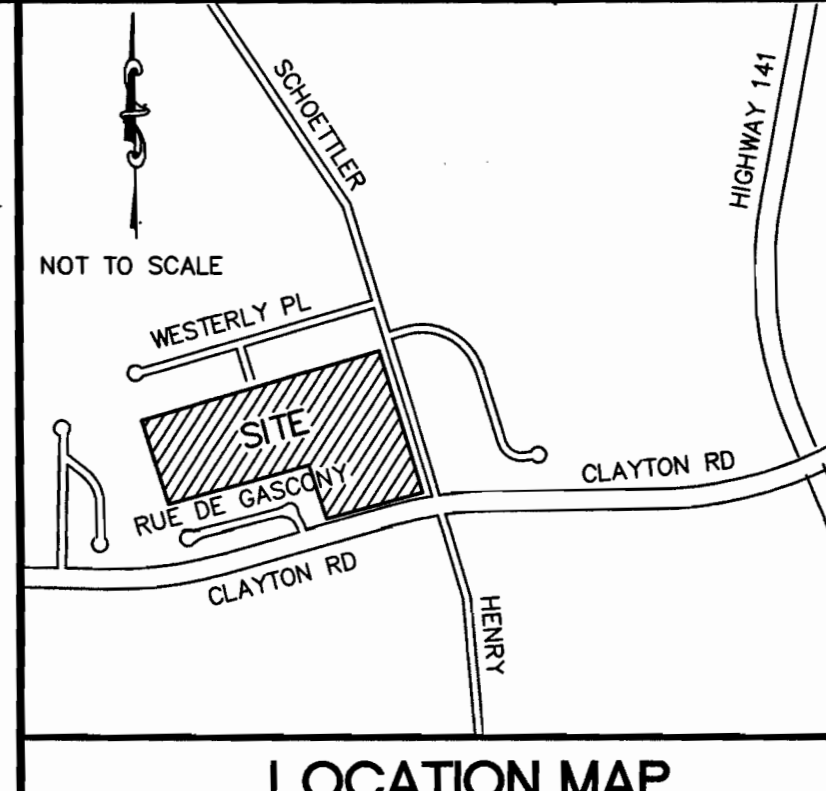
GRAPHIC SCALE (IN FEET) 1 inch = 50 ft.

STATEMENT OF COMPLIANCE WITH THE GEOTECHNICAL REPORT

Gateway Geotechnical, LLC and the undersigned engineer have not prepared the plan on this sheet. The seal of the undersigned professional engineer has been affixed at the request of Saint Louis County and is a professional opinion to indicate that the undersigned has reviewed the plan and that in her opinion the grading and improvements relative to slope construction as shown on the plan are compatible with the soil and geologic conditions at the site as described in the geotechnical report for the development titled "Geotechnical Report; WB Properties; Chesterfield, Missouri; Gateway No. 1300711" and dated March 7, 2013.

Geotechnical Note

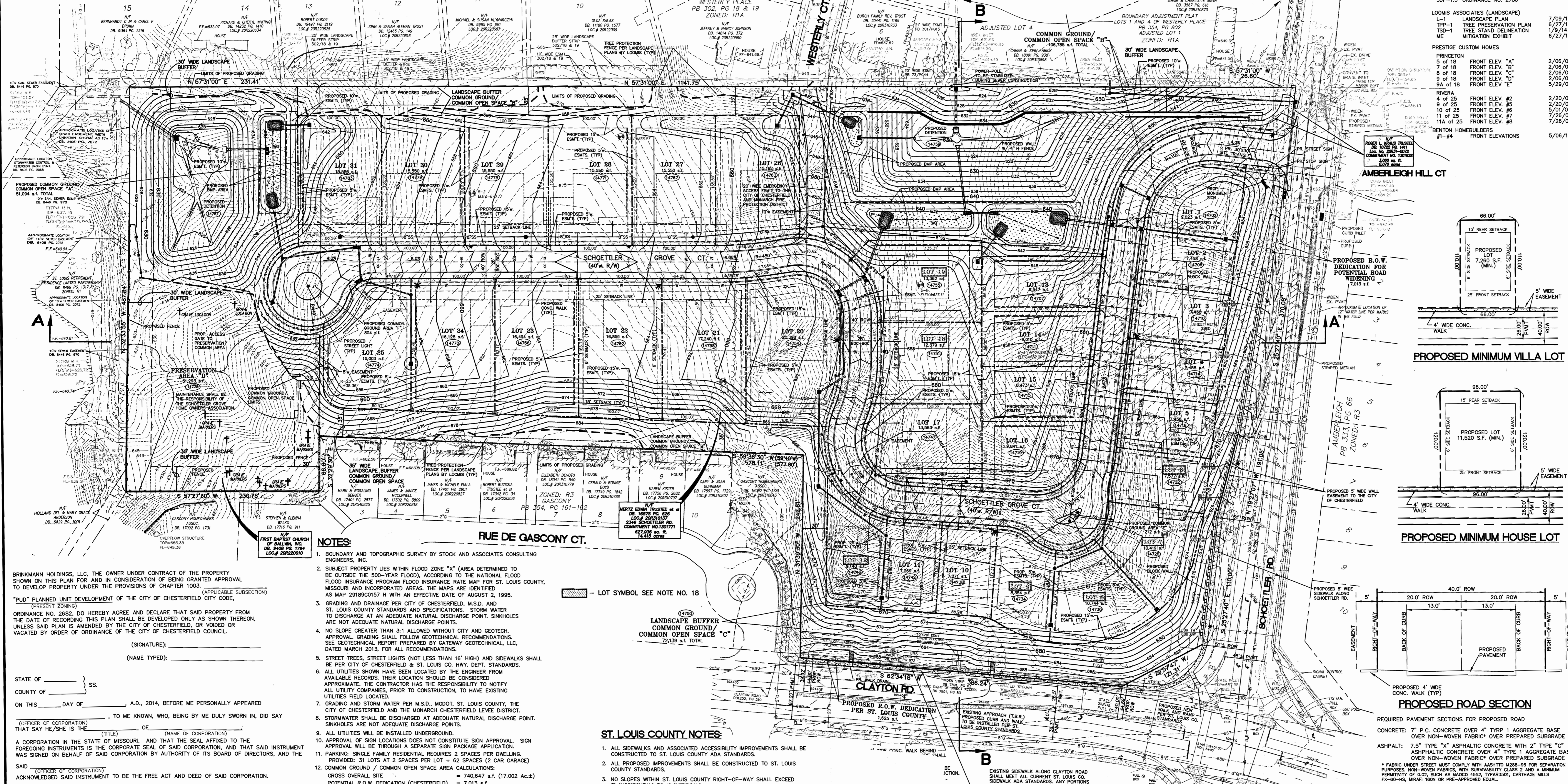
IT IS THE CONTRACTOR'S RESPONSIBILITY TO RENEW AND FOLLOW ALL RECOMMENDATIONS AS OUTLINED IN THE GEOTECHNICAL REPORT PREPARED BY GATEWAY GEOTECHNICAL, LLC DATED MARCH 2013 (GATEWAY NO. 1300711)



LOCATION MAP

SHEET INDEX

Table with columns for sheet number, title, and date. Includes sheets for Stock and Associates, Loomis Associates, and Pre-Engineered Custom Homes.



NOTES

- 1. BOUNDARY AND TOPOGRAPHIC SURVEY BY STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC.
2. SUBJECT PROPERTY LIES WITHIN FLOOD ZONE "X" (AREA DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD) ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP FOR ST. LOUIS COUNTY, MISSOURI AND INCORPORATED AREAS. THE MAPS ARE IDENTIFIED AS MAP 03010217 H WITH AN EFFECTIVE DATE OF AUGUST 2, 1995.
3. GRADING AND DRAINAGE PER CITY OF CHESTERFIELD, M.S.D. AND ST. LOUIS COUNTY STANDARDS AND SPECIFICATIONS. STORM WATER TO DISCHARGE AT AN ADEQUATE NATURAL DISCHARGE POINT. SINKHOLES ARE NOT ADEQUATE NATURAL DISCHARGE POINTS.

ST. LOUIS COUNTY NOTES

- 1. ALL SIDEWALKS AND ASSOCIATED ACCESSIBILITY IMPROVEMENTS SHALL BE CONSTRUCTED TO ST. LOUIS COUNTY ADA STANDARDS.
2. ALL PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED TO ST. LOUIS COUNTY STANDARDS.
3. NO SLOPES WITHIN ST. LOUIS COUNTY RIGHT-OF-WAY SHALL EXCEED 3" (HORIZONTAL) TO 1" (VERTICAL).

SURVEYOR'S CERTIFICATION

THIS IS TO CERTIFY THAT STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC. HAS PREPARED THIS SITE DEVELOPMENT PLAN FROM AN ACTUAL SURVEY. THE INFORMATION SHOWN IS A CORRECT REPRESENTATION OF ALL EXISTING AND PROPOSED LAND DIVISIONS.



ST. LOUIS COUNTY BENCHMARK

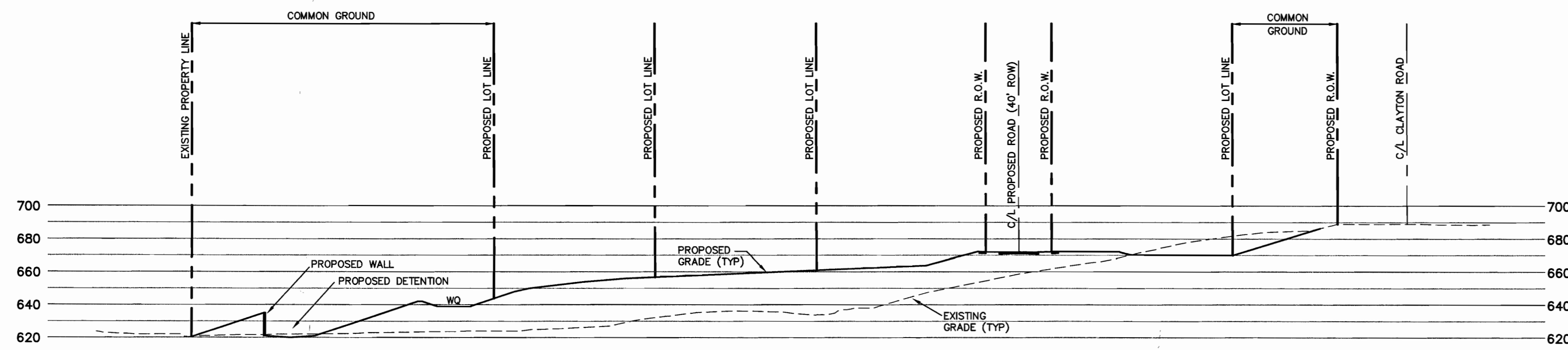
13-223 ALUMV=646.21 "STANDARD ALUMINUM DISK" STAMPED SL-64 1992 DISK IS AT NORTHWEST CORNER OF CLAYTON ROAD AND CABERNET DRIVE; 36' WEST OF THE CENTERLINE OF CABERNET DRIVE AND 19' NORTH OF THE NORTH EDGE OF CLAYTON ROAD.

RECEIVED

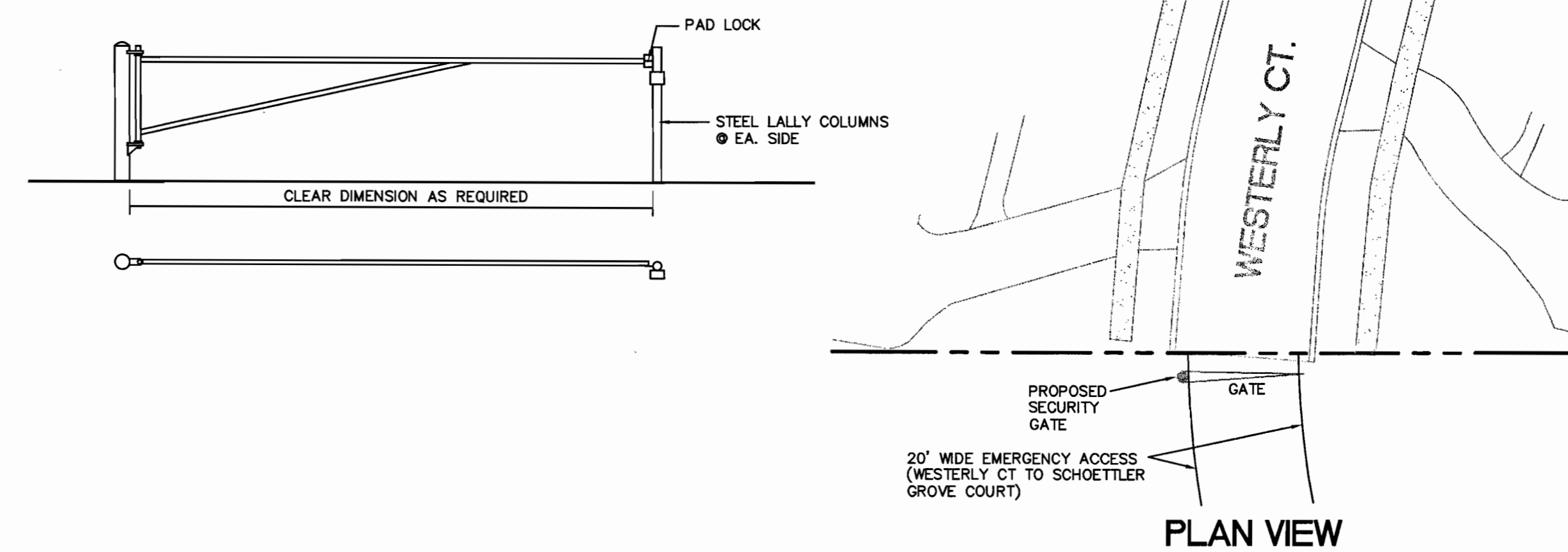
JUL 11 2014 City of Chesterfield

BRINKMANN HOLDINGS, LLC, THE OWNER UNDER CONTRACT OF THE PROPERTY SHOWN ON THIS PLAN FOR AND IN CONSIDERATION OF BEING GRANTED APPROVAL TO DEVELOP PROPERTY UNDER THE PROVISIONS OF CHAPTER 100.2 (APPLICABLE SUBSECTION) "PUD" PLANNED UNIT DEVELOPMENT OF THE CITY OF CHESTERFIELD CITY CODE...

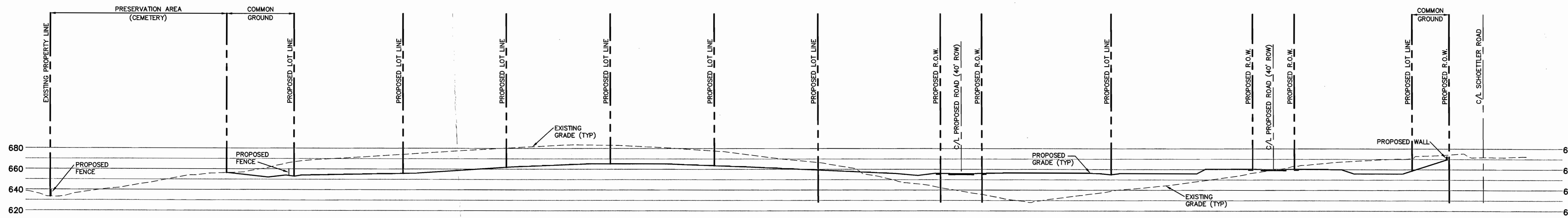
Vertical sidebar containing: STOCK & ASSOCIATES Consulting Engineers, Inc.; BRINKMANN HOLDINGS, LLC; STATE OF MISSOURI seal; REVISIONS table; and SITE DEVELOPMENT PLAN SDP-1.1.



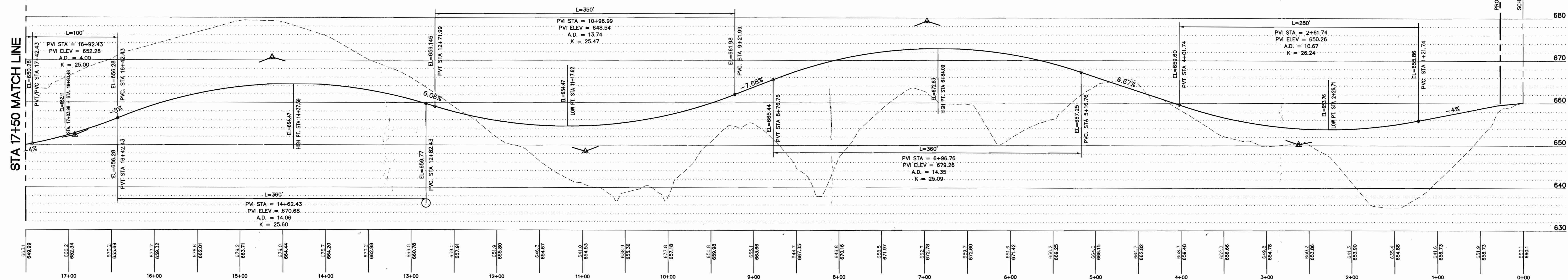
SECTION B-B
SCALE: 1"=50'



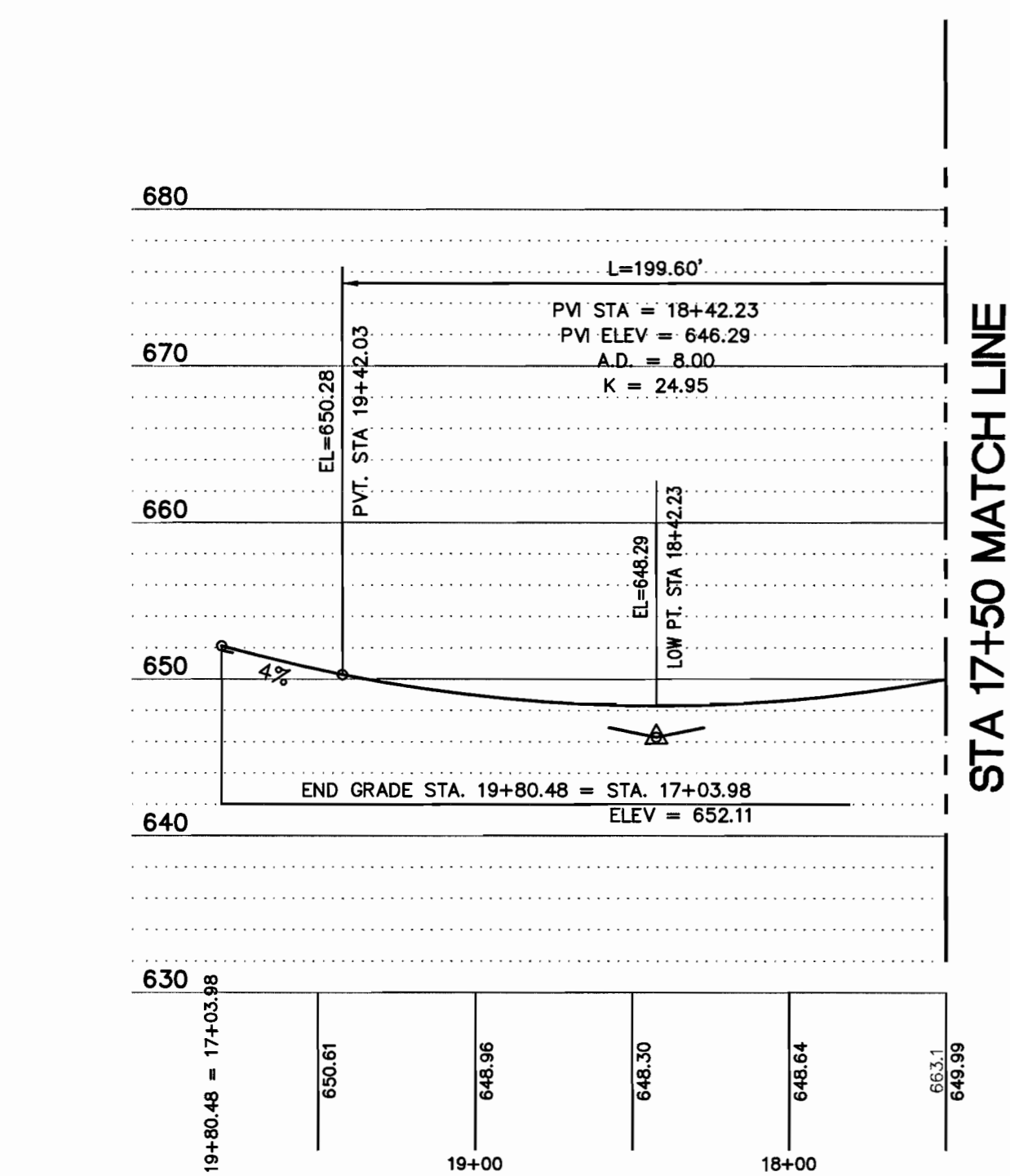
SECURITY GATE AT WESTERLY CT.



SECTION A-A
SCALE: 1"=50'



PROPOSED CENTER LINE PROFILE
SCALE: 1"=50' HORIZONTAL
1"=10' VERTICAL



STA 17+50 MATCH LINE

OUTDOOR LIGHTING
Post Top Installation Fiberglass Pole
14 Foot Mounting Height
15 75 05 01
Sheet 1 of 1

NOTES:

- Limestone sconerings to be welded and thoroughly tempered to provide acid protection around the pole.
- Generally only one tag per street light shall be installed. If more than one street light is installed on the same pole, one tag per street light is required, and each tag should be installed on the same quadrant of the pole. The tag should be installed visibly from the ground level but not reachable from public. See Div. Std. 15-90.01 01 for more details.
- In Missouri residential developments, the contractor will install 1-1/2 inch conduit to the pole top. Ameren will install the pole and the cable.
- For base underground streetlight cable at pad mount transformer or pedestal, see Div. Std. 62-00.01.

Sheet / Sub. No.	Description	15 75 05 01 Qty
A 38 01 528	Pole - FGL Black, wind hold	200
B	Rock Coated Limestone Sconering	2
C 12 51 148	Conduit Poly 1"	2
D 14 57 182	Cable - Double RW AL	17
E 18 57 104	Cable, SL, 810-2 Conductor-R	17
F 17 01 116	Connectors: 8x8x16 Set Screws #4-20x3/8"	2

DISTRIBUTION CONSTRUCTION STANDARDS
AMEREN
END USER REV NO: 6
REV DATE: 01/21/10
Page 15 - 31

Ameren Missouri
Dusk-To-Dawn
Outdoor Lighting

Area Lighting

Type of Luminaire	Lamp Wattage	Lumen Output	Monthly Rate*
Open	70 H.P.S.**	5,800	\$ 9.55
Open	100 H.P.S.	9,500	\$ 14.43
Enclosed	100 H.P.S.	9,500	\$ 11.79
Enclosed	250 H.P.S.	25,500	\$ 17.04
Enclosed	400 H.P.S.	50,000	\$ 30.38
Directional	250 H.P.S.	25,500	\$ 21.93
Directional	400 H.P.S.	50,000	\$ 34.21
Directional	400 M.H.***	34,000	\$ 21.63
Directional	1000 M.H.	100,000	\$ 68.38

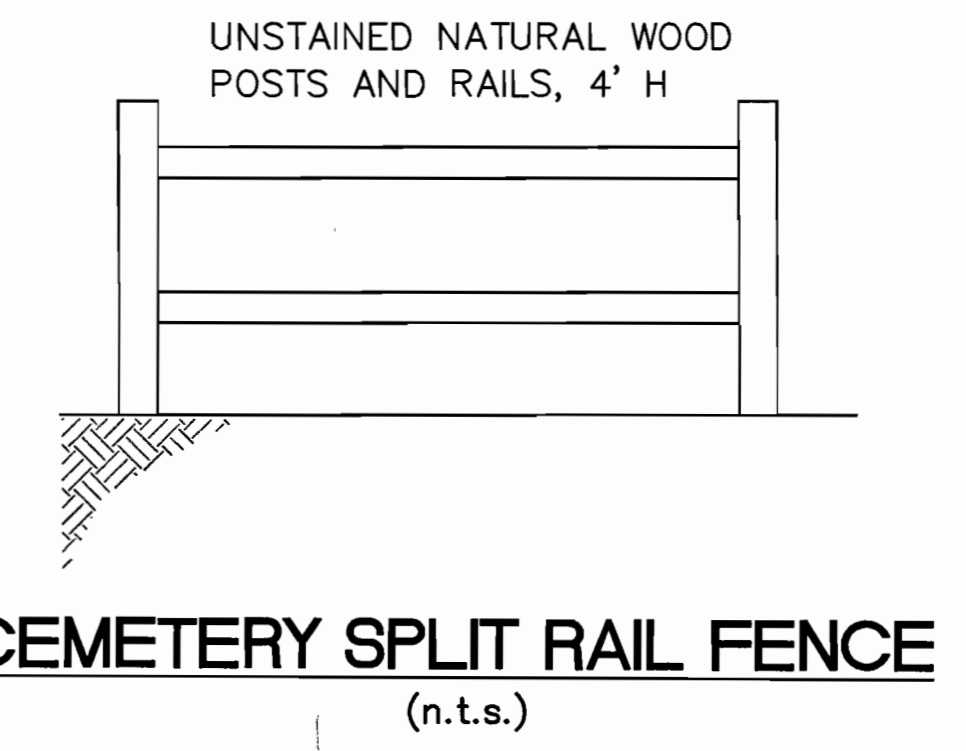
*Rate at applicable rates and municipal taxes
**High Pressure Sodium
***Metal Halide
Monthly rate includes luminaire, electricity and maintenance. If wire span or pole is required, installation charges will apply.

Post Top Lantern

Lamp Wattage	Lumen Output	Monthly Rate*
100 H.P.S.	9,500	\$ 21.85

Overall height is approximately 16 feet on a tapered pole.
*As indicated on where applicable.
All post top luminaires require underground wiring (cost of which is not included in the above).
Monthly rate includes fiberglass pole, luminaire, lamp electricity and maintenance.

Rates effective January 2, 2013

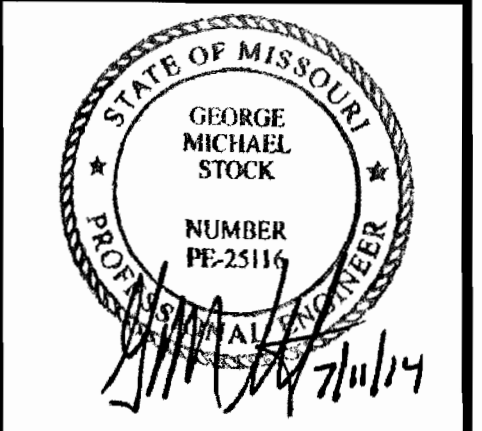


PROPOSED LIGHT STANDARD DETAIL
NOTE: PROPOSED LIGHT STANDARDS FOR SCHOETTLER GROVE SHALL BE AMEREN MISSOURI'S "EARLY AMERICAN" STYLE AND THE LIGHT SHOULD NOT BE LESS THAN 16' ABOVE GRADE.

PREPARED BY:
STOCK & ASSOCIATES
Consulting Engineers, Inc.
257 Chestnut Hill
Parkway St. Louis, MO 63105 PH:
(636) 530-9100 FAX: (636) 530-9130
Email: general@stockinc.com Web: www.stockinc.com

PREPARED FOR:
BRINKMANN HOLDINGS, LLC
c/o BRINKMANN CONSTRUCTORS
16650 CHESTERFIELD GROVE RD.
SUITE 100
CHESTERFIELD, MO 63005
ATTN: MR. DAN THIES

SITE DEVELOPMENT PLAN FOR:
SCHOETTLER GROVE
CLAYTON AND SCHOETTLER ROAD
CHESTERFIELD, MO.



GEORGE M. STOCK E-25116
CIVIL ENGINEER
CERTIFICATE OF AUTHORITY
NUMBER: 000986

REVISIONS:

NO.	DATE	REVISION
1	5/21/14	REVISED PER REVIEW
2	6/30/14	REVISED PER REVIEW
3	7/11/14	CITY COMMENTS

DRAWN BY: T.P.S. CHECKED BY: G.M.S.
DATE: 4/15/2014 200 NO.: 212-5071
W.S.P. # 30090-00 RATE W.P. # 20R3
S.L.C. # HT-2253 RATE S.A.P. # 16-225-04
DRAWN BY: MORAG4914

SHEET TITLE:
SITE SECTIONS AND C/L PROFILE
SHEET NO.:
SDP-1.2

AN ORDINANCE AMENDING THE ZONING ORDINANCE OF THE CITY OF CHESTERFIELD BY CHANGING THE BOUNDARIES OF AN "R-2" RESIDENCE DISTRICT (15,000 SQFT LOT MIN.) TO A "PUD" PLANNED UNIT DEVELOPMENT FOR A 17.0 ACRE TRACT OF LAND LOCATED NORTHWEST OF THE INTERSECTION OF CLAYTON RD. AND SCHOETTLE RD. (P.Z. 10-2013 SCHOETTLE GROVE (2349 SCHOETTLE RD.) 20R310137 & 20R220010).

WHEREAS, Brinkman Holdings, LLC, has requested a change in zoning to "PUD" Planned Unit Development for a 17.0 acre tract of land located northwest of the intersection of Clayton Rd. and Schoettler Rd.; and,

WHEREAS, a Public Hearing was held before the Planning Commission on August 12, 2013; and,

WHEREAS, the Planning Commission, having considered said request, recommended approval of the change of zoning; and,

WHEREAS, the Planning and Public Works Committee, having considered said request, recommended approval of the change of zoning with several amendments; and,

WHEREAS, on February 19, 2014 a motion for the approval for this change of zoning request failed at City Council;

WHEREAS, on March 3, 2014 a motion for reconsideration was approved at City Council.

WHEREAS, the City Council, having reconsidered said request, voted to approve the change of zoning request with an amendment pertaining to the maintenance of the cemetery.

NOW THEREFORE BE IT OBTAINED BY THE CITY COUNCIL OF THE CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1. City of Chesterfield Zoning Ordinance and the Official Zoning District Map, which are part thereof, are hereby amended by establishing a "PUD" Planned Unit Development for a 17.0 acre tract of land located at 2349 Schoettler Rd. and as described as follows:

A tract of land being part of Fractional Section 24 in Township 45 North, Range 4 East of the Fifth Principal Meridian in the City of Chesterfield, St. Louis County, Missouri and being more particularly described as follows:

BEGINNING at a point in the Southern line of U.S. Survey 412, said point being the Northwest corner of a tract of land described in a deed book 10722, page 1411 of the St. Louis County records; thence along the Northern line of said tract North 57 degrees 31 minutes 00 seconds East, a distance of 26.57 feet to the Western line of Schoettler Road; thence along the Western line of Schoettler Road the following: thence South 25 degrees 42 minutes 00 seconds East, a distance of 368.46 feet to a point; thence South 19 degrees 37 minutes 59 seconds East, a distance of 191.05 feet to a point; thence South 25 degrees 12 minutes 22 seconds East, a distance of 110.00 feet to a point; thence South 30 degrees 02 minutes 14 seconds West, a distance of 121.85 feet to a point on the Northern line of Clayton Road; thence along said Northern line South 61 degrees 05 minutes 27 seconds West, a distance of 386.11 feet to a point; thence leaving said North line along the Eastern and Northern line of Gascony, a subdivision filed for record on Plat Book 354, Pages 161 and 162 of the St. Louis County Records the following: North 31 degrees 36 minutes 00 seconds West, a distance of 250.90 feet to a point; thence South 59 degrees 40 minutes 00 seconds West, a distance of 577.80 feet to a point on the Eastern line of a tract of land described in a deed to the First Baptist Church of Ballwin as recorded in Deed Book 9408 Page 1794 of the St. Louis County Records; thence along the Eastern line of said tract South 32 degrees 29 minutes 30 seconds East, a distance of 66.60 feet to the Southeast corner thereof; thence along the Southern line of said tract South 57 degrees 27 minutes 30 seconds West, a distance of 230.78 feet to the Southwestern corner thereof; thence along the Western line of said tract North 32 degrees 33 minutes 55 seconds West, a distance of 487.84 feet to the Northwest corner thereof, said corner also being on the Southern line of Westerly Place, a subdivision filed for record in Plat Book 302, Pages 18 and 19 of said St. Louis County Records; thence along the Southern line of said Westerly Place and the Northern line of the aforesaid First Baptist Church tract North 57 degrees 31 minutes 00 seconds East, a distance of 231.41 feet to the Northeast corner of said First Baptist Church tract; thence continuing along the Southern line of Westerly Place North 57 degrees 31 minutes 00 seconds East, a distance of 1140.00 feet to the Point of Beginning and containing 17.0 acres more or less as per calculations by Stock & Associates Consulting Engineers, Inc. during the Month of July, 2013.

Section 2. The preliminary approval, pursuant to the City of Chesterfield Zoning Ordinance is granted, subject to all of the ordinances, rules and regulations and the specific conditions as recommended by the Planning Commission in its recommendation to the City Council, which are set out in the Attachment "A" and the preliminary plan indicated as "Attachment B" which is attached hereto as and made part of.

Section 3. The City Council, pursuant to the petition filed by Brinkman Holdings, LLC in P.Z. 10-2013, requesting the amendment embodied in this ordinance, and pursuant to the recommendation of the City of Chesterfield Planning Commission that said petition be granted and after a public hearing, held by the Planning Commission on the 12th day of August 2013, does hereby adopt this ordinance pursuant to the power granted to the City of Chesterfield under Chapter 89 of the Revised Statutes of the State of Missouri authorizing the City Council to exercise legislative power pertaining to planning and zoning.

Section 4. This ordinance and the requirements thereof are exempt from the warning and summons for violations as set out in Section 1003.410 of the Zoning Ordinance of the City of Chesterfield.

Section 5. This ordinance shall be in full force and effect from and after its passage and approval.

Passed and approved this 17th day of March, 2014

Bob Nation MAYOR

ATTEST: Vicki Haas CITY CLERK

FIRST READING HELD: February 3, 2014

All provisions of the City of Chesterfield City Code shall apply to this development except as specifically modified herein.

I. SPECIFIC CRITERIA

A. PERMITTED USES

- The uses allowed in this PUD District shall be: a. Dwellings, Single Family Detached.

B. DENSITY REQUIREMENTS

The total number of single family residential units shall not exceed thirty-one (31) units.

C. DEVELOPMENT STANDARDS

- Minimum lot size for this development shall be 7,260 sf. Unless specifically identified on the Preliminary Plan attached hereto and marked as Attachment B; structure setbacks shall be as follows. No building or structure, other than a freestanding project identification sign, light standards, or flag poles will be located within the following setbacks: a. Twenty (20) feet from the front yard b. Six (6) feet from the side yard c. Fifteen (15) foot from the rear yard d. Maximum height of all structures shall be fifty (50) feet.

D. PARKING AND LOADING REQUIREMENTS

- Parking and loading spaces for this development will be as required in the City of Chesterfield Code. No construction related parking shall be permitted within Schoettler Road or Clayton Road right-of-way.

E. LANDSCAPE AND TREE REQUIREMENTS

- The development shall adhere to the Landscape and Tree Preservation Requirements of the City of Chesterfield Code. A thirty (30) foot Landscape Buffer shall be required around the entire perimeter of the PUD except as identified on the Preliminary Plan attached hereto and marked as Attachment B. Landscape plantings associated with buffers along Schoettler Road shall be escrowed for future installation after completion of Schoettler Road improvements due to slope and construction license requirements. A minimum of 30% Common Open Space shall be required for this PUD.

F. SIGN REQUIREMENTS

- Signs shall be permitted in accordance with the regulations of the City of Chesterfield Code. Ornamental Entrance Monument construction, if proposed, shall be reviewed by the City of Chesterfield for sight distance considerations prior to installation or construction.

G. LIGHT REQUIREMENTS

Provide a lighting plan and cut sheet in accordance with the City of Chesterfield Code.

H. ARCHITECTURAL

The development shall adhere to the Architectural Review Standards of the City of Chesterfield Code.

I. ACCESS/ACCESS MANAGEMENT

- Access to this development shall be comprised of a connection to the existing stub on Westerly Court and no more than one (1) street approach onto Schoettler Road. No lot shall be allowed direct access to Schoettler Road or Clayton Road. Upon re-development of the parcel located at 2297 Schoettler Road, access shall be provided from the Schoettler Grove development in lieu of Schoettler Road, as directed by the City of Chesterfield.

J. PUBLIC/PRIVATE ROAD IMPROVEMENTS, INCLUDING PEDESTRIAN CIRCULATION

- The Developer of the property governed by this ordinance shall be responsible for providing full half-width improvements along the west side of Schoettler Road adjacent to the subject site, as determined by the Department of Public Services. Alternatively, in the event Schoettler Road improvements cannot be fully constructed at this time, or in the opinion of the City it is desirable to defer a portion of the improvements, the Developer will be required to deposit with the City of Chesterfield a special cash escrow for half width improvements to Schoettler Road as identified in the City-Wide Transportation Study and the City of Chesterfield's Schoettler Road Corridor Improvement Study. Said improvements shall include but not limited to pavement widening, bike lanes, sidewalks, streets lights, utility relocations, traffic signal modifications, and storm drainage facilities. Should roadway improvements be required in order to provide safe access to the development governed by this ordinance then the cost of those road improvements shall be deducted from the amount owed for the special cash escrow. The requirements in Section J of this Attachment are independent of other requirements and escrows herein.

- Dedicate all necessary right-of-way and provide temporary slope construction licenses as necessary to accommodate the Schoettler Road Corridor Improvements and those improvements identified in the City-Wide Transportation Study. In the event that temporary slope and construction licenses are required over areas designated for landscape, reforestation or other improvements, the Developer will be required to provide a separate special cash escrow for these improvements in lieu of constructing them prior to completion of the road improvements.

- A disclosure statement shall be prominently displayed in the sales trailer and included on all site development plans notifying potential buyers of the proposed improvements to Schoettler Road.

- Developer shall be responsible for conveying to future lot owners the existence of the temporary slope construction licenses and the planned improvements to Schoettler Road.

- A twenty (20) foot private easement shall be established from the existing terminus of Westerly Court, a stub street, to the proposed internal public drive within the Schoettler Grove development as identified on the Preliminary Plan attached hereto and marked as Attachment B. This private easement shall be a secondary emergency access only and shall include a gate. The gate shall be placed as directed by the City of Chesterfield. Said private easement shall never become a public street and shall have a sign posted at each end of the easement which states:

THIS IS A PRIVATE EASEMENT FOR EMERGENCY ACCESS ONLY. THE SCHOETTLETT GROVE (OWNERS OR HOMEOWNERS' ASSOCIATION) IS RESPONSIBLE FOR ALL REPAIRS AND MAINTENANCE.

Maintenance of this access point, including, but not limited to, snow removal, shall be the responsibility of the developer/subdivider.

- Provide street lights on Schoettler Road as directed by the Department of Public Services. Provide street lights on Schoettler Road as directed by the Department of Public Services. If the right-of-way is reduced as permitted under Section 1005.180 of the City of Chesterfield Municipal Code, the front yard setback shall be increased by five (5) feet. Traffic signal improvements shall be required as directed by the St. Louis County Department of Highways and Traffic. Provide a sidewalk conforming to St. Louis County ADA standards adjacent to Clayton Road as directed by the Missouri Department of Transportation and the St. Louis County Department of Highways and Traffic.

- As this development is not subject to traffic generation assessment, the roadway improvements required herein represent the developer's road improvement obligation. These improvements will not exceed an amount established by multiplying the ordinance-required parking spaces by the following applicable rates:

Table with 2 columns: Type of Development, Required Contribution. Single Family: \$1,025.36/Parking Space

(Parking spaces as required by site specific ordinance or by Section 1003.165 of the St. Louis County Zoning Ordinance.)

If types of development differ from those listed, St. Louis County Department of Highways and Traffic will provide rates.

Allowable credits for required roadway improvements will be awarded as directed by the St. Louis County Department of Highways and Traffic and/or the City of Chesterfield. Sidewalk construction and utility relocation, among other items, are not considered allowable credits.

The applicable rates limiting required road improvements shall be adjusted on January 1, 2014 and on the first day of January in each succeeding year thereafter in accord with the construction cost index as determined by the Saint Louis County Department of Highways and Traffic.

- Prior to Special Use Permit issuance by the St. Louis County Department of Highways and Traffic, a special cash escrow or a special escrow supported by an Irrevocable Letter of Credit, must be established with the St. Louis County Department of Highways and Traffic to guarantee completion of the required roadway improvements. Provide adequate temporary off-street parking for construction employees. Parking on non-surfaced areas shall be prohibited in order to eliminate the condition whereby mud from construction and employee vehicles is tracked onto the pavement causing hazardous roadway and driving conditions. Road improvements for Schoettler Rd. as depicted on Attachment B of the Preliminary Plan shall be constructed as directed by the City of Chesterfield.

K. TRAFFIC STUDY

Provide a traffic analysis as directed by the City of Chesterfield. The analysis shall be required prior to approval of the Site Development Plan. The scope of the analysis shall include internal and external circulation and may be limited to site specific impacts, such as the need for additional lanes, entrance configuration, geometrics, sight distance, and other improvements required. The analysis shall focus on the area immediately adjacent to the proposed entrance on Schoettler Road. The purpose of the analysis shall be to analyze existing conditions in conjunction with the proposed entrance. Should the analysis indicate improvements are needed to safely accommodate the proposed conditions, the developer will then be required to construct roadway improvements as needed to comply with the traffic analysis. The requirements in Section K of this Attachment are independent of other requirements and escrows herein.

L. POWER OF REVIEW

Either Councilmember of the Ward where a development is proposed or the Mayor may request that the plan for a development be reviewed and approved by the entire City Council. This request must be made no later than twenty-four (24) hours after Planning Commission review. The City Council will then take appropriate action relative to the proposal. The plan for a development, for purposes of this section, may include the site development plan, site development section plan, site development concept plan, landscape plan, lighting plans, architectural elevations, sign package or any amendment thereto.

M. STORM WATER

- The site shall provide for the positive drainage of storm water and it shall be discharged at an adequate natural discharge point or connected to an adequate piped system. Detention/retention and channel protection measures are to be provided in each watershed as required by the City of Chesterfield. The storm water management facilities shall be operated and maintained by the City Council or parking areas in non-residential development or issuance of building permits exceeding sixty percent (60%) of approved dwelling units in each plot, watershed or phase of residential developments. The location and types of storm water management facilities shall be identified on the Site Development Plan(s). Emergency overflow drainage ways to accommodate runoff from the 100-year storm event shall be provided for all storm sewers, as directed by the City of Chesterfield.

- The lowest opening of all structures shall be set at least two (2) feet higher than the 100-year high water elevation in adjacent detention/retention facilities. All structures shall be set at least 30 feet horizontally from the limits of the 100-year high water elevation.

N. SANITARY SEWER

Provide public sewer service for this site in accordance with the Metropolitan St. Louis Sewer.

O. GEOTECHNICAL REPORT

Prior to Site Development Plan approval, provide a geotechnical report, prepared by a registered professional engineer licensed to practice in the State of Missouri, as directed by the Department of Public Services. The report shall verify the suitability of grading and proposed improvements with soil and geologic conditions and address the existence of any potential sinkhole, ponds, dams, septic fields, etc., and recommendations for treatment. A statement of compliance, signed and sealed by the geotechnical engineer preparing the report, shall be included on all Site Development Plans and Improvement Plans.

P. MISCELLANEOUS

- All utilities will be installed underground. The development of this parcel will coordinate the installation of all utilities in conjunction with the construction of any roadway on site. Road improvements and right-of-way dedication shall be completed prior to the issuance of an occupancy permit. If development phasing is anticipated, the developer shall complete road improvements, right-of-way dedication, and access requirements for each phase of development as directed by the St. Louis County Department of Highways and Traffic and/or the City of Chesterfield. As previously noted, the delays due to utility relocation and adjustments will not constitute a cause to allow occupancy prior to completion of road improvements. The on-site cemetery, as depicted on the attached Preliminary Plan, marked as Attachment B, shall be cleaned from brush and debris, and fenced by the Developer. Fencing and other improvements shall be as approved by the City of Chesterfield. The cemetery shall be permanently maintained and preserved by the Schoettler Grove Home Owners Association. a. The cemetery shall be maintained in perpetuity by the Schoettler Grove Home Owners Association. b. A note stating that maintenance shall be the responsibility of the Schoettler Grove Home Owners Association shall be included on all site development plans and plats. c. Any sales contract for subdivided lots, or new home construction, shall include a disclosure statement advising the purchaser that the Home Owner's Association is responsible for the maintenance of the Cemetery. d. Prior to approval of the record plat, the Developer of the property shall deposit \$50,000 into a bank account established by the Home Owner's Association. Said fund shall be used solely for the maintenance of the cemetery on the property after the developer required improvements above are completed. After the funds are depleted, the Home Owner's Association shall remain obligated to maintain the cemetery in accordance with City Code. e. Concurrent with the Developer's request for the City to consider acceptance of the public streets for maintenance, the Developer shall provide to the City, verification of the account balance for the segregated account referenced in Section P. Miscellaneous 3. d. above. An account balance of not less than \$50,000 shall be verified prior to any consideration for street acceptance. Proper verification of the appropriate account balance concurrent with the request for street acceptance will be satisfactory evidence of the developer's compliance with Section P. Miscellaneous 3. d. above.

II. TIME PERIOD FOR SUBMITTAL OF SITE DEVELOPMENT CONCEPT PLANS AND SITE DEVELOPMENT PLANS

- The developer shall submit a concept plan within eighteen (18) months of City Council approval of the change of zoning. In lieu of submitting a Site Development Concept Plan and Site Development Section Plans, the petitioner may submit a Site Development Plan for the entire development within eighteen (18) months of the date of approval of the change of zoning by the City. Failure to comply with these submittal requirements will result in the expiration of the change of zoning and will require a new public hearing. Said Plan shall be submitted in accordance with the combined requirements for Site Development Section and Concept Plans. The submission of Amended Site Development Plans by sections of this project to the Planning Commission shall be permitted if this option is utilized. Where due cause is shown by the developer, this time interval for plan submittal may be extended through appeal to and approval by the Planning Commission.

III. COMMENCEMENT OF CONSTRUCTION

- Substantial construction shall commence within two (2) years of approval of the Site Development Concept Plan or Site Development Plan, unless otherwise authorized by ordinance. Where due cause is shown by the developer, the City Council may extend the period to commence construction for not more than two (2) additional year.

IV. GENERAL CRITERIA

A. SITE DEVELOPMENT PLAN SUBMITTAL REQUIREMENTS

The Site Development Plan shall include, but not be limited to, the following:

- Location map, north arrow, and plan scale. The scale shall be no greater than one (1) inch equals one hundred (100) feet. Outboundary plat and legal description of property. Density calculations. Parking calculations. Including calculation for all off street parking spaces, required and proposed, and the number, size and location for handicap designed. Provide open space percentage for overall development including separate percentage for each lot on the plan. Provide Floor Area Ratio (F.A.R.). A note indicating all utilities will be installed underground. A note indicating signage approval is separate process. Depict the location of all buildings, size, including height and distance from adjacent property lines, and proposed use. Specific structure and parking setbacks along all roadways and property lines. Indicate location of all existing and proposed freestanding monument signs. Zoning district lines, subdivision name, lot number, dimensions, and area, and zoning of adjacent parcels where different than site. Floodplain boundaries. Depict existing and proposed improvements within 150 feet of the site as directed. Improvements include, but are not limited to, roadways, driveways and walkways adjacent to and across the street from the site, significant natural features, such as wooded areas and rock formations, and other karst features that are to remain or be removed. Depict all existing and proposed easements and rights-of-way within 150 feet of the site and all existing or proposed off-site easements and rights-of-way required for proposed improvements. Indicate the location of the proposed storm sewers, detention basins, sanitary sewers and connection(s) to existing systems. Depict existing and proposed contours at intervals of not more than one (1) foot, and extending 150 feet beyond the limits of the site as directed. Address trees and landscaping in accordance with the City of Chesterfield Code. Comply with all preliminary plat requirements of the City of Chesterfield Subdivision Regulations per the City of Chesterfield Code. Signed and sealed in conformance with the State of Missouri Department of Economic Development, Division of Professional Registration, Missouri Board for Architects, Professional Engineers and Land Surveyors requirements. Provide comments/approvals from the appropriate Fire District, Monarch Levee District, Spirit of St. Louis Airport, Metropolitan St. Louis Sewer District (MSD) and St. Louis County Department of Highways and Traffic. Compliance with Sky Exposure Plane. Compliance with the current Metropolitan Sewer District Site Guidance as adopted by the City of Chesterfield.

V. RECORDING

Within sixty (60) days of approval of any development plan by the City of Chesterfield, the approved Plan will be recorded with the St. Louis County Recorder of Deeds. Failure to do so will result in the expiration of approval of said plan and require re-approval of a plan by the Planning Commission.

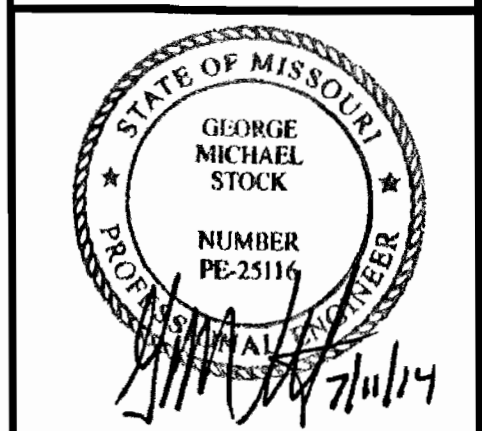
VI. ENFORCEMENT

- The City of Chesterfield, Missouri will enforce the conditions of this ordinance in accordance with the Plan approved by the City of Chesterfield and the terms of this Attachment A. Failure to comply with any or all the conditions of this ordinance will be adequate cause for revocation of approvals/permits by reviewing Departments and Commissions. Non-compliance with the specific requirements and conditions set forth in this Ordinance and its attached conditions or other Ordinances of the City of Chesterfield shall constitute an ordinance violation, subject, but not limited to, the penalty provisions as set forth in the City of Chesterfield Code. Waiver of Notice of Violation per the City of Chesterfield Code. This document shall be read as a whole and any inconsistency to be integrated to carry out the overall intent of this Attachment A.

PREPARED BY: Stock & Associates Consulting Engineers, Inc. 227 Chesterfield Boulevard, Suite 1000, Chesterfield, MO 63005 PH: (636) 530-9100 FAX: (636) 530-9130 Email: general@stockinc.com Web: www.stockinc.com

PREPARED FOR: BRINKMANN HOLDINGS, LLC c/o BRINKMANN CONSTRUCTORS 16650 CHESTERFIELD GROVE RD. SUITE 100 CHESTERFIELD, MO 63005 ATTN: MR. DAN THIES

SITE DEVELOPMENT PLAN FOR: SCHOETTLETT GROVE CLAYTON AND SCHOETTLETT ROAD CHESTERFIELD, MO.



GEORGE M. STOCK E-25116 CIVIL ENGINEER CERTIFICATE OF AUTHORITY NUMBER: 000996

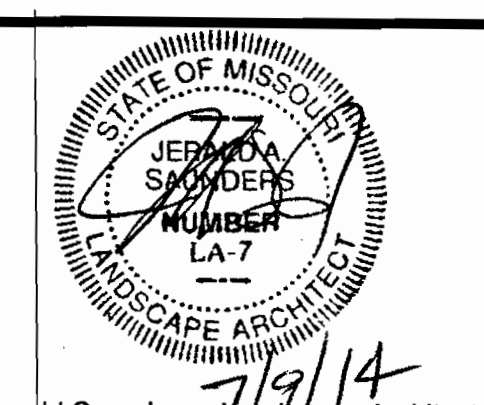
STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC. AND THE UNDERSIGNED ENGINEER HAVE NO RESPONSIBILITY FOR REPRESENTATIONS SHOWN ON THIS PLAN AND ALL OTHER DRAWINGS MADE BY THE UNDERSIGNED ENGINEER OR ANY OTHER ENGINEER OR ARCHITECT. THE UNDERSIGNED ENGINEER HAS NO RESPONSIBILITY TO VERIFY THAT APPROVED PLANS OR DRAWINGS WILL BE CONFORMANT WITH ALL APPLICABLE CODES AND REGULATIONS TO BE ENFORCED BY THE BOARD OF CONTRACTORS.

REVISIONS table with columns for revision number, date, and description.

Project information table including DRAWN BY, DATE, JOB NO., etc.

SHEET TITLE: ORDINANCE NO. 2786

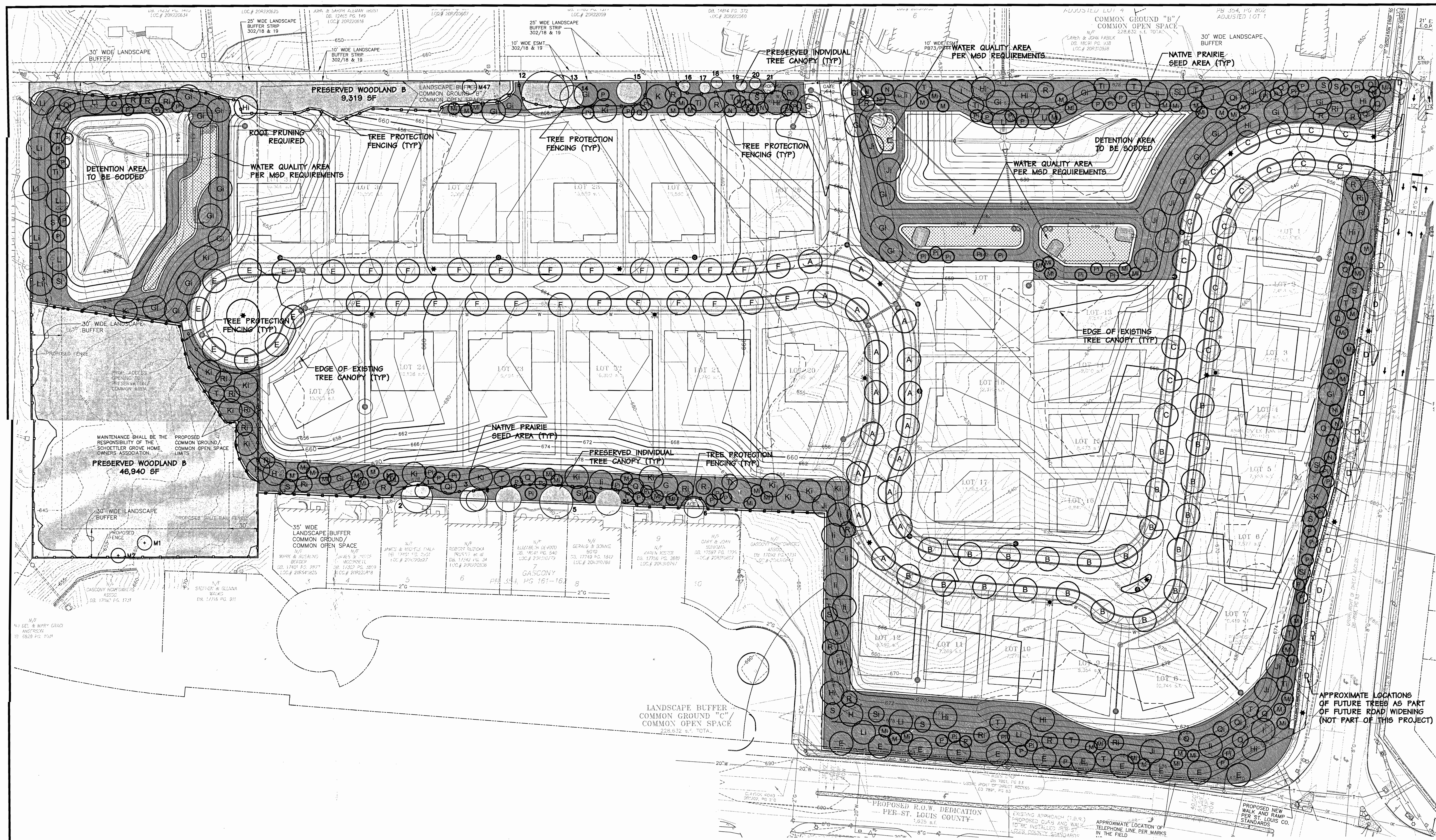
SHEET NO.: SDP-1.3



Jerald Saunders - Landscape Architect
MO License # LA-007
Consultants:

Schoettler Grove Chesterfield, MO

Stock & Associates



Landscape Plan
SCALE 1" = 40'-0"

OPEN SPACE
30% minimum required.
228,448 s.f. provided (31.2% of net site area)

STREET TREES
1 Tree every 40' required
3,672 l.f. of street frontage / 40 = 92 street trees required

CALCULATIONS:
Total Site Area: 740,614 sf, or 17.0 acres
Existing Tree Canopy Coverage: 440,281 sf, or 10.1 acres
Tree Canopy proposed for removal: 378,805 sf, or 8.70 acres (86.0%)
Tree Canopy proposed for preservation: 61,476 sf, or 1.41 acres (14.0%)

440,281sf x .30 = 132,084sf. of tree canopy preservation required

132,084sf.
- 61,476sf. proposed tree canopy preservation area
70,608sf. new tree canopy required

PROPOSED MITIGATION/BUFFERYARD PLANTINGS, PROVIDE:

125 large trees @ 400sf/tree = 50,000sf
67 medium trees @ 300sf/tree = 20,100sf
13 small trees @ 200sf/tree = 2,600sf
72,700sf

MITIGATION PLANTING SCHEDULE						
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE	GROWTH RATE/RIPE CLASS
MITIGATION TREES - DECIDUOUS/CANOPY						
GI	26	Quercus bicolor	Swamp White Oak	2.5" cal	Deciduous	Med/Large
HI	13	Quercus rubra	Red Oak	2.5" cal	Deciduous	Med-Fast/Large
JI	10	Acer saccharum	Sugar Maple	2.5" cal	Deciduous	Slow-Med/Large
LI	12	Taxodium distichum	Baldcypress	2.5" cal	Deciduous	Med/Large
LI	15	Platanus occidentalis	American Sycamore	2.5" cal	Deciduous	Fast/Large
LI	13	Celtis occidentalis	Hackberry	2.5" cal	Deciduous	Med-Fast/Large
MITIGATION TREES - EVERGREEN						
MI	42	Picea glauca	White Spruce	8' tall	Evergreen	Medium/Medium
NI	5	Platycladus orientalis	Arborvitae	8' tall	Evergreen	Slow/Medium
PI	36	Pinus strobus	Eastern White Pine	8' tall	Evergreen	Fast/Large
MITIGATION TREES - UNDERSTORY/FLOWERING						
QI	6	Cornus florida	Flowering Dogwood	2.5" cal	Dediduous	Fast/Medium
RI	13	Cercis canadensis	Eastern Redbud	2.5" cal	Dediduous	Slow-Med/Small
SI	6	Amelanchier arborea	Serviceberry	2.5" cal	Dediduous	Slow-Med/Medium
TI	6	Prunus serrulata	Flowering Cherry	2.5" cal	Dediduous	Medium/Medium

PLANTING SCHEDULE - FUTURE STREET TREES						
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE	GROWTH RATE/RIPE CLASS
D	12	Ulmus americana 'Homestead'	Homestead Elm	2.5" cal	Deciduous	Med-Fast/Large

PLANTING SCHEDULE						
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE	GROWTH RATE/RIPE CLASS
STREET TREES						
A	17	Ginkgo biloba (male)	Ginkgo	2.5" cal	Deciduous	Slow-Med/Large
B	22	Acer rubrum	Red Maple	2.5" cal	Deciduous	Fast/Large
C	20	Carpinus betulus	European Hornbeam	2.5" cal	Deciduous	Slow-Med/Medium
E	21	Tilia cordata	Littleleaf Linden	2.5" cal	Deciduous	Slow-Med/Large
F	22	Zelkova serrata	Japanese Zelkova	2.5" cal	Deciduous	Fast/Large
BUFFER TREES - DECIDUOUS/CANOPY						
G	2	Quercus bicolor	Swamp White Oak	2.5" cal	Deciduous	Med/Large
H	2	Quercus rubra	Red Oak	2.5" cal	Deciduous	Med-Fast/Large
I	3	Acer saccharum	Sugar Maple	2.5" cal	Deciduous	Slow-Med/Large
J	1	Taxodium distichum	Baldcypress	2.5" cal	Deciduous	Med/Large
K	2	Platanus occidentalis	Sycamore Tree	2.5" cal	Deciduous	Fast/Large
L	2	Celtis occidentalis	Hackberry	2.5" cal	Deciduous	Med-Fast/Large
BUFFER TREES - EVERGREEN						
M	25	Picea glauca	White Spruce	8' tall	Evergreen	Medium/Medium
N	6	Platycladus orientalis	Arborvitae	8' tall	Evergreen	Slow/Medium
P	30	Pinus strobus	Eastern White Pine	8' tall	Evergreen	Fast/Large
BUFFER TREES - UNDERSTORY/FLOWERING						
Q	12	Cornus florida	Flowering Dogwood	2.5" cal	Dediduous	Fast/Medium
R	16	Cercis canadensis	Eastern Redbud	2.5" cal	Dediduous	Slow-Med/Small
S	10	Amelanchier arborea	Serviceberry	2.5" cal	Dediduous	Slow-Med/Medium
T	16	Prunus serrulata	Flowering Cherry	2.5" cal	Dediduous	Medium/Medium
PERENNIALS/SEED MIXES						
	3.1 acres	Native seed mix				
	6,419 sf	Water quality areas				

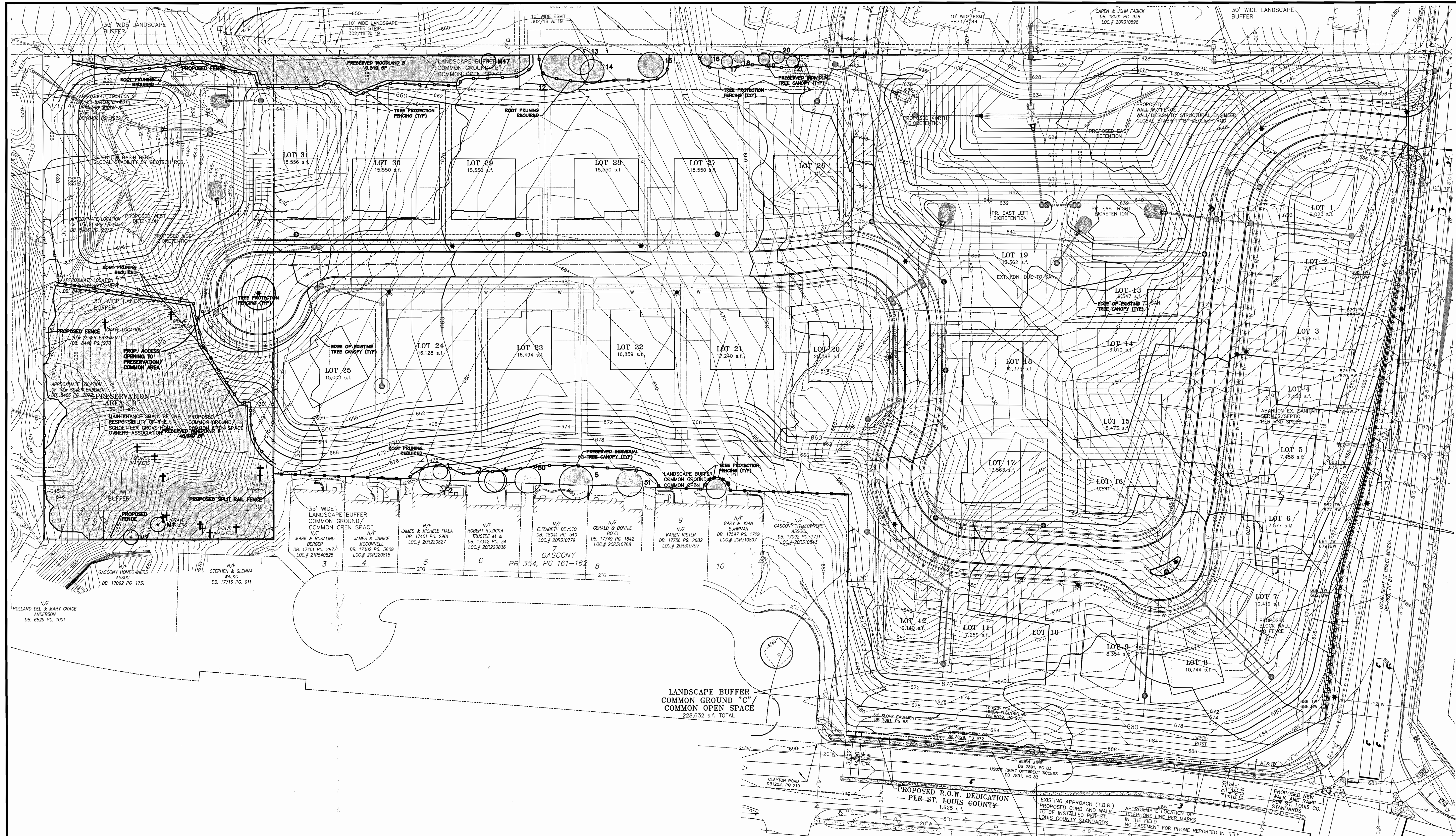
Revisions:		
Date	Description	No.
3/31/14	Base Revision	3
4/15/14	Base Revision	4
4/21/14	Calculations	5
5/21/14	City Comments	6
6/27/14	City Comments	7
7/09/14	City Comments	8

Drawn: LWH
Checked: JAS

loomisAssociates
landscape architects/planners
207 Spruce & Park Drive, Suite 105
St. Louis, MO 63105
P: 314.551.5555 F: 314.551.5577
E: info@loomisassoc.com W: www.loomisassoc.com

Loomis Associates Inc.
Missouri State Certificate of Authority #: LAC #000019

Sheet Title: Landscape Plan
Sheet No: L-1
Date: 12/6/13
Job #: 613.032



Schoettler Grove
 Chesterfield, MO
 Stock & Associates

Tree Preservation Plan
 SCALE 1" = 40'-0"

CALCULATIONS:
 Total Site Area: 740,614 sf, or 17.0 acres
 Existing Tree Canopy Coverage: 440,281 sf, or 10.1 acres
 Tree Canopy proposed for removal: 378,805 sf, or 8.70 acres (86.0%)
 Tree Canopy proposed for preservation: 61,476 sf, or 1.41 acres (14.0%)
 To meet 30% minimum for preserved tree canopy, mitigation will be required.

TREE PROTECTION NOTES:
 1) Clearing limit shall be staked by surveyor to facilitate fencing and/or trenching requirements.
 2) No clearing or grading shall begin in areas where tree protection and/or root treatments have not been completed.
 3) Contractor to post tree protection signage where necessary.
 4) Where noted on plan, contractor to trench and root prune prior to any grading activity.
 5) Tree protection measures to be maintained throughout construction sequence.

Tree Specialist:
 Douglas A. DeLong
 Certified Arborist MW-4826A

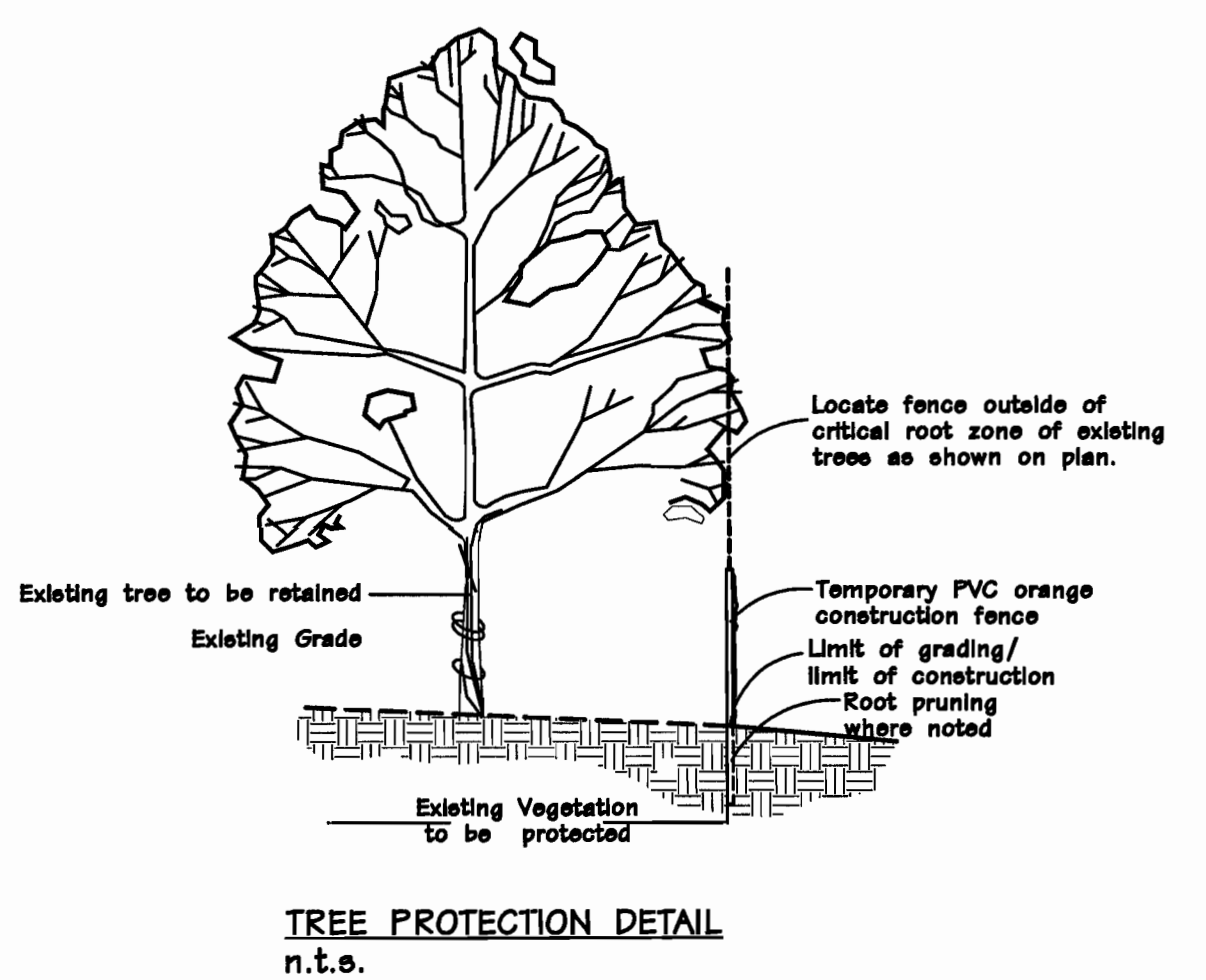
 Base Map Provided by: Stock and Associates

MONARCH TREES PRESERVED:

Tree ID	Scientific Name	Common Name	DBH	Condition Rating
M1	<i>Quercus alba</i>	White Oak	24"	4
M2	<i>Quercus alba</i>	White Oak	24"	4
M47	<i>Quercus rubra</i>	Northern Red Oak	41"	4

INDIVIDUAL TREES PRESERVED:

Tree ID	Scientific Name	Common Name	DBH	Condition Rating
1	<i>Morus rubra</i>	Red Mulberry	6"	4
2	<i>Fraxinus americana</i>	White Ash	16"	3
3	<i>Morus rubra</i>	Red Mulberry	13"	3
4	<i>Juglans nigra</i>	Black Walnut	12"	4
5	<i>Ulmus americana</i>	American Elm	17"	4
6	<i>Juglans nigra</i>	Black Walnut	11"	4
12	<i>Acer saccharum</i>	Silver Maple	24"	3
13	<i>Morus alba</i>	White Mulberry	14"	1
14	<i>Quercus rubra</i>	Northern Red Oak	12"	4
15	<i>Diospyros virginiana</i>	Persimmon	13"	2
16	<i>Pinus strobus</i>	White Pine	6"	4
17	<i>Picea abies</i>	Norway Spruce	6"	4
18	<i>Picea abies</i>	Norway Spruce	6"	4
19	<i>Pinus strobus</i>	White Pine	10"	4
20	<i>Pinus strobus</i>	White Pine	6"	4
21	<i>Pinus strobus</i>	White Pine	10"	4
50	<i>Celtis occidentalis</i>	Hackberry	8"	4
51	<i>Juglans nigra</i>	Black Walnut	8"	4



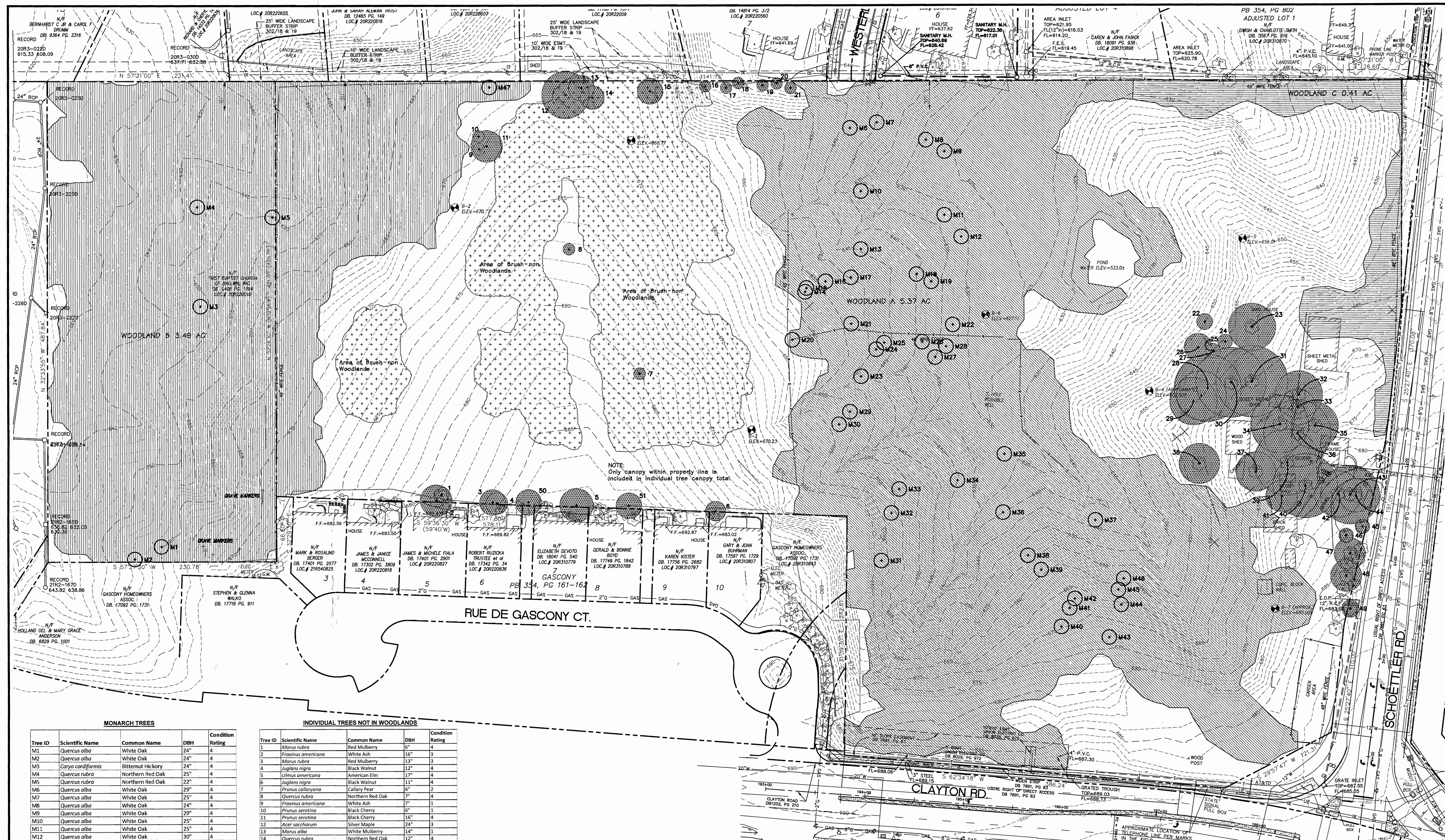
Revisions:

Date	Description	No.
9/8/13	City Comments	1
1/9/14	Individual Trees Added	2
3/31/14	Base Revision	3
4/15/14	Base Revision	4
4/21/14	Calculations	5
5/21/14	City Comments	6
6/27/14	City Comments	7

Drawn: **LWH**
 Checked: **JAG**

loomisAssociates
 landscape architects/planners
 707 South 40 West Drive, Suite 105
 Provo, UT 84601
 Phone: 801.225.1100
 Fax: 801.225.1101
 Email: info@loomisassociates.com
 Missouri State Certificate of Authority # LAC #000019

Sheet Title: **Tree Preservation Plan**
 Sheet No.: **TPP-1**
 Date: **9/6/13**
 Job #: **613.032**

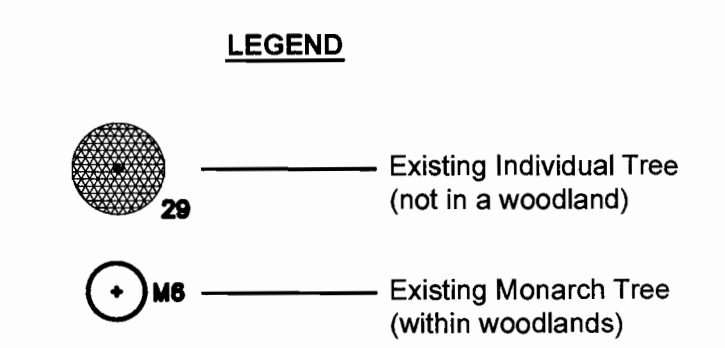


NOTE: Only canopy within property line is included in individual tree canopy total.

Tree ID	Scientific Name	Common Name	DBH	Condition Rating
M1	Quercus alba	White Oak	24"	4
M2	Quercus alba	White Oak	24"	4
M3	Carya cordiformis	Bitternut Hickory	24"	4
M4	Quercus rubra	Northern Red Oak	25"	4
M5	Quercus rubra	Northern Red Oak	22"	4
M6	Quercus alba	White Oak	29"	4
M7	Quercus alba	White Oak	25"	4
M8	Quercus alba	White Oak	24"	4
M9	Quercus alba	White Oak	29"	4
M10	Quercus alba	White Oak	25"	4
M11	Quercus alba	White Oak	25"	4
M12	Quercus alba	White Oak	30"	4
M13	Quercus alba	White Oak	27"	4
M14	Quercus alba	White Oak	26"	4
M15	Quercus alba	White Oak	34"	4
M16	Quercus alba	White Oak	22"	4
M17	Quercus alba	White Oak	25"	4
M18	Quercus alba	White Oak	28"	4
M19	Quercus alba	White Oak	28"	4
M20	Quercus alba	White Oak	32"	4
M21	Quercus alba	White Oak	26"	4
M22	Quercus alba	White Oak	27"	4
M23	Quercus alba	White Oak	24"	4
M24	Quercus alba	White Oak	23"	4
M25	Quercus alba	White Oak	24"	4
M26	Quercus alba	White Oak	24"	4
M27	Quercus alba	White Oak	23"	4
M28	Quercus alba	White Oak	24"	4
M29	Quercus alba	White Oak	24"	4
M30	Quercus alba	White Oak	31"	4
M31	Quercus alba	White Oak	30"	4
M32	Quercus alba	White Oak	32"	4
M33	Quercus alba	White Oak	24"	4
M34	Quercus alba	White Oak	23"	4
M35	Quercus alba	White Oak	21"	4
M36	Quercus alba	White Oak	24"	4
M37	Quercus alba	White Oak	25"	4
M38	Quercus alba	White Oak	25"	4
M39	Quercus alba	White Oak	22"	4
M40	Quercus alba	White Oak	40"	4
M41	Quercus alba	White Oak	24"	4
M42	Quercus alba	White Oak	24"	4
M43	Quercus alba	White Oak	21"	4
M44	Quercus alba	White Oak	23"	4
M45	Quercus alba	White Oak	21"	4
M46	Quercus alba	White Oak	21"	4
M47	Quercus rubra	Northern Red Oak	41"	4

Tree ID	Scientific Name	Common Name	DBH	Condition Rating
1	Morus rubra	Red Mulberry	6"	4
2	Fraxinus americana	White Ash	16"	3
3	Morus rubra	Red Mulberry	13"	4
4	Juglans nigra	Black Walnut	12"	4
5	Ulmus americana	American Elm	12"	4
6	Juglans nigra	Black Walnut	11"	4
7	Prunus caryocarpa	Callery Pear	6"	2
8	Quercus rubra	Northern Red Oak	7"	4
9	Fraxinus americana	White Ash	7"	1
10	Prunus serotina	Black Cherry	6"	1
11	Prunus serotina	Black Cherry	16"	4
12	Acer saccharum	Silver Maple	24"	3
13	Morus alba	White Mulberry	14"	4
14	Quercus rubra	Northern Red Oak	12"	4
15	Dioglossa virginiana	Persimmon	13"	2
16	Pinus strobus	White Pine	6"	4
17	Picea abies	Norway Spruce	6"	4
18	Picea abies	Norway Spruce	6"	4
19	Pinus strobus	White Pine	10"	4
20	Pinus strobus	White Pine	6"	4
21	Pinus strobus	White Pine	10"	4
22	Ulmus rubra	Red Elm	27"	2
23	Ulmus pumila	Siberian Elm	24"	2
24	Fraxinus americana	White Ash	6"	4
25	Morus alba	White Mulberry	8"	2
26	Morus alba	White Mulberry	13"	2
27	Morus alba	White Mulberry	8"	2
28	Acer saccharum	Silver Maple	34"	1
29	Acer saccharum	Silver Maple	25"	2
30	Acer saccharum	Silver Maple	34"	1
31	Acer saccharum	Silver Maple	34"	1
32	Ulmus pumila	Siberian Elm	25"	3
33	Acer saccharum	Silver Maple	15"	3
34	Acer saccharum	Silver Maple	27"	2
35	Acer saccharum	Silver Maple	23"	2
36	Ulmus pumila	Siberian Elm	31"	3
37	Juglans nigra	Black Walnut	20"	4
38	Ulmus pumila	Siberian Elm	20"	3
39	Acer saccharum	Silver Maple	29"	2
40	Acer saccharum	Silver Maple	28"	2
41	Fraxinus pennsylvanica	Green Ash	15"	1
42	Ulmus pumila	Siberian Elm	22"	1
43	Ulmus pumila	Siberian Elm	23"	1
44	Quercus rubra	Northern Red Oak	11"	4
45	Pinus sylvestris	Scotch Pine	7"	3
46	Fraxinus americana	White Ash	41"	3
47	Acer saccharum	Silver Maple	41"	3
48	Acer saccharum	Silver Maple	41"	3
49	Taxodium distichum	Bald Cypress	22"	5
50	Celtis occidentalis	Hackberry	8"	4
51	Juglans nigra	Black Walnut	8"	4

Tree Stand Delineation
 SCALE 1" = 40'-0"



Tree Stand Delineation Narrative
 July 26, 2013

The overall Lot of Schoettler Grove of Chesterfield, MO, comprises a total of 17.0 Ac and has a total of 9.48 Ac. of Woodlands. The attached detailed Tree Stand Delineation map was completed by field inspections. Trees along the northern boundary of all the woodlands have been trimmed due to the overhead electric line.

Woodland A: This woodland area covers the sloped areas of the central portion of the site on either side of the major drainage area. The primary overstory trees are mix of White Oak, Red Oak and Hickory. The average size of the overstory canopy is 10-20' dbh. The dominant species changes to Silver Maple, Elm, and Black Cherry at the low point on the north end of this site. Sugar Maple, Hackberry, and Horsechestnut predominate the understorey canopy with a dbh of 3-6". The ground plane has been taken over with bush honeysuckle. The overall density of the woodlands is 80 trees per acre.

Woodland B: The woodland area covers the sloped areas of the Western portion of the site. The average size of the overstory canopy is 10-20' dbh. The dominant overstory species are White Oak, Red Oak, and Hickory. Sugar Maple, Hackberry, and Hickory predominate the understorey canopy with a dbh of 3-6". The ground plane has been taken over with bush honeysuckle. There are some 6-12" dbh Walnut along the eastern edge of this woodland. The overall density of the woodlands is 80 trees per acre.

Woodland C: The woodland area is along the fence line along the eastern portion of the northern boundary and along the R.O.W. of Schoettler Road to the existing house. This woodland is comprised of Black Locust, Black Cherry, Juniper, and a few other pioneer species common to fence line growth.

There is no flood plain on this parcel per FEMA map # 29189C0257 H

WOODLAND A = 5.47 Ac. (238,328.7 sq. ft.)
 WOODLAND B = 3.49 Ac. (152,317.8 sq. ft.)
 WOODLAND C = 0.41 Ac. (18,143.1 sq. ft.)
 INDIVIDUAL TREES = 0.72 Ac. (31,492 sq. ft.)
 Total Existing Canopy 10.1 Ac. (440,281.6 sq. ft.)

Original field work and Tree Stand Delineation Plan prepared by Pizzo & Associates, LTD in March of 2013. Additional area prepared by Douglas A. DeLong Certified Arborist MW-4826A

Douglas A. DeLong

Base Map Provided by: Stock & Associates

Date	Description	No.
9/6/13	City Comments	1
1/9/14	Individual Trees Added	2

Drawn: LWH
 Checked: JAG

loomisAssociates
 landscapearchitects/planners
 202 South 40th Park Drive, Suite 105
 Chesterfield, MO 63017
 Phone: 636.863.0277
 Email: info@loomisassociates.com

Sheet Title: Tree Stand Delineation
 Sheet No: TSD-1

Date: 7/26/13
 Job #: 100.013



Jerald Saunders - Landscape Architect
MO License # LA-007
Consultants:

Schoettler Grove Chesterfield, MO

Stock & Associates

Landscape Plan - MITIGATION NOT SHOWN
SCALE 1" = 40'-0"

PLAN WITH MITIGATION TREES NOT SHOWN
STAFF REVIEW ONLY

Revisions:

Date	Description	No.
3/31/14	Base Revision	3
4/15/14	Base Revision	4
4/21/14	Calculations	5
5/21/14	City Comments	6
8/27/14	City Comments	7

Drawn: LWJ
Checked: JAS

loomisAssociates

landscape architects/planners
207 Suite 40 Park Drive, Suite 155
Chesterfield, Missouri 63075-1756
P: 636.861.1100
F: 636.861.1101
E: info@loomisassociates.com

Loomis Associates Inc.
Missouri State Certificate of Authority # LAC #000019

Sheet Title: Mitigation Exhibit
Sheet No: ME

Date: 12/6/13
Job #: 815.032

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE	GROWTH RATE/SIZE CLASS	MATURE HT/FEET
STREET TREES							
A	17	Ginkgo biloba (male)	Ginkgo	2.5" cal	Deciduous	Slow-Med/Large	45+
B	22	Acer rubrum	Red Maple	2.5" cal	Deciduous	Fast/Large	45+
C	20	Carpinus betulus	European Hornbeam	2.5" cal	Deciduous	Slow-Med/Medium	35-40
D	15	Ulmus americana 'Homestead'	Homestead Elm	2.5" cal	Deciduous	Med-Fast/Large	45+
E	21	Tilia cordata	Littleleaf Linden	2.5" cal	Deciduous	Slow-Med/Large	45+
F	22	Zelkova serrata	Japanese Zelkova	2.5" cal	Deciduous	Fast/Large	45+
BUFFER TREES - DECIDUOUS/CANOPY							
G	2	Quercus bicolor	Swamp White Oak	2.5" cal	Deciduous	Med/Large	45+
H	2	Quercus rubra	Red Oak	2.5" cal	Deciduous	Med-Fast/Large	45+
I	3	Acer saccharum	Sugar Maple	2.5" cal	Deciduous	Slow-Med/Large	45+
J	1	Taxodium distichum	Baldcypress	2.5" cal	Deciduous	Med/Large	45+
K	2	Platanus occidentalis	Sycamore Tree	2.5" cal	Deciduous	Fast/Large	45+
L	2	Celtis occidentalis	Hackberry	2.5" cal	Deciduous	Med-Fast/Large	45+
BUFFER TREES - EVERGREEN							
M	25	Picea glauca	White Spruce	Ø tall	Evergreen	Medium/Medium	40-60
N	6	Platycladus orientalis	Arborvitae	Ø tall	Evergreen	Slow/Medium	18-25
P	30	Pinus strobus	Eastern White Pine	Ø tall	Evergreen	Fast/Large	45+
BUFFER TREES - UNDERSTORY/FLOWERING							
Q	12	Cornus florida	Flowering Dogwood	2.5" cal	Deciduous	Fast/Medium	15-30
R	16	Cercis canadensis	Eastern Redbud	2.5" cal	Deciduous	Slow-Med/Small	20-30
S	10	Amelanchier arborea	Serviceberry	2.5" cal	Deciduous	Slow-Med/Medium	15-25
T	16	Prunus serrulata	Flowering Cherry	2.5" cal	Deciduous	Medium/Medium	15-25
PERENNIALS/SEED MIXES							
3.1 acres		Native seed mix					
6,419 sf		Water quality areas					

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CUSTOM HOMES

PRINCETON

LEGEND SERIES

Prestige
CUSTOM HOMES



Elevation A

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APR 17 2014
Department of Public Services



Elevation B



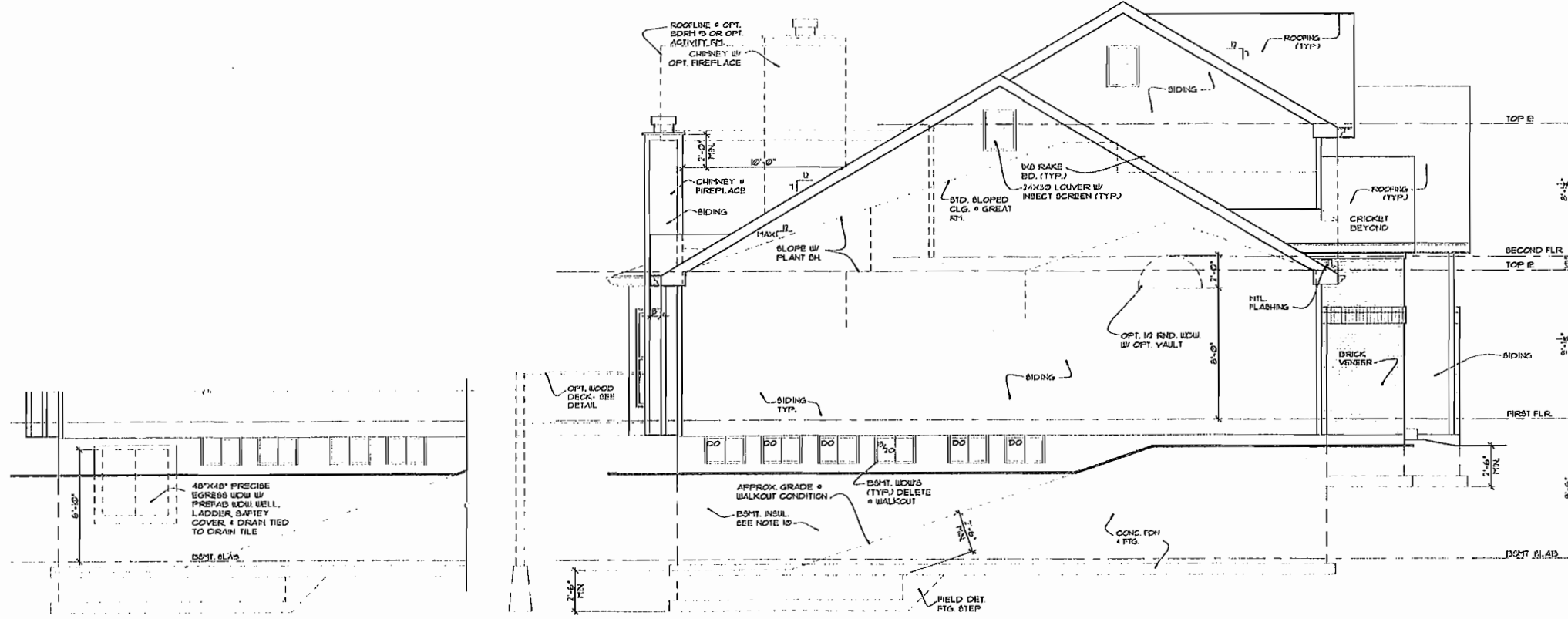
Elevation C



Elevation D

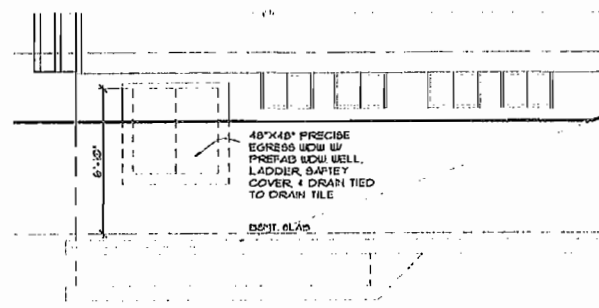


Elevation E



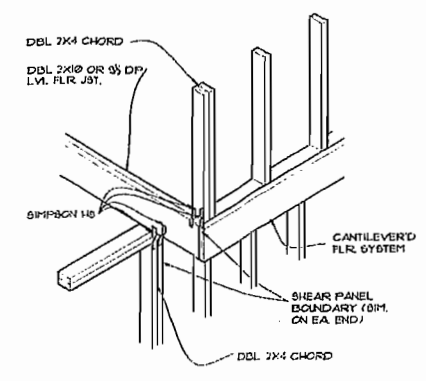
LEFT SIDE ELEVATION

1/4" = 1'-0"



PARTIAL LEFT SIDE ELEV. @ EGRESS WDW.

1/4" = 1'-0"

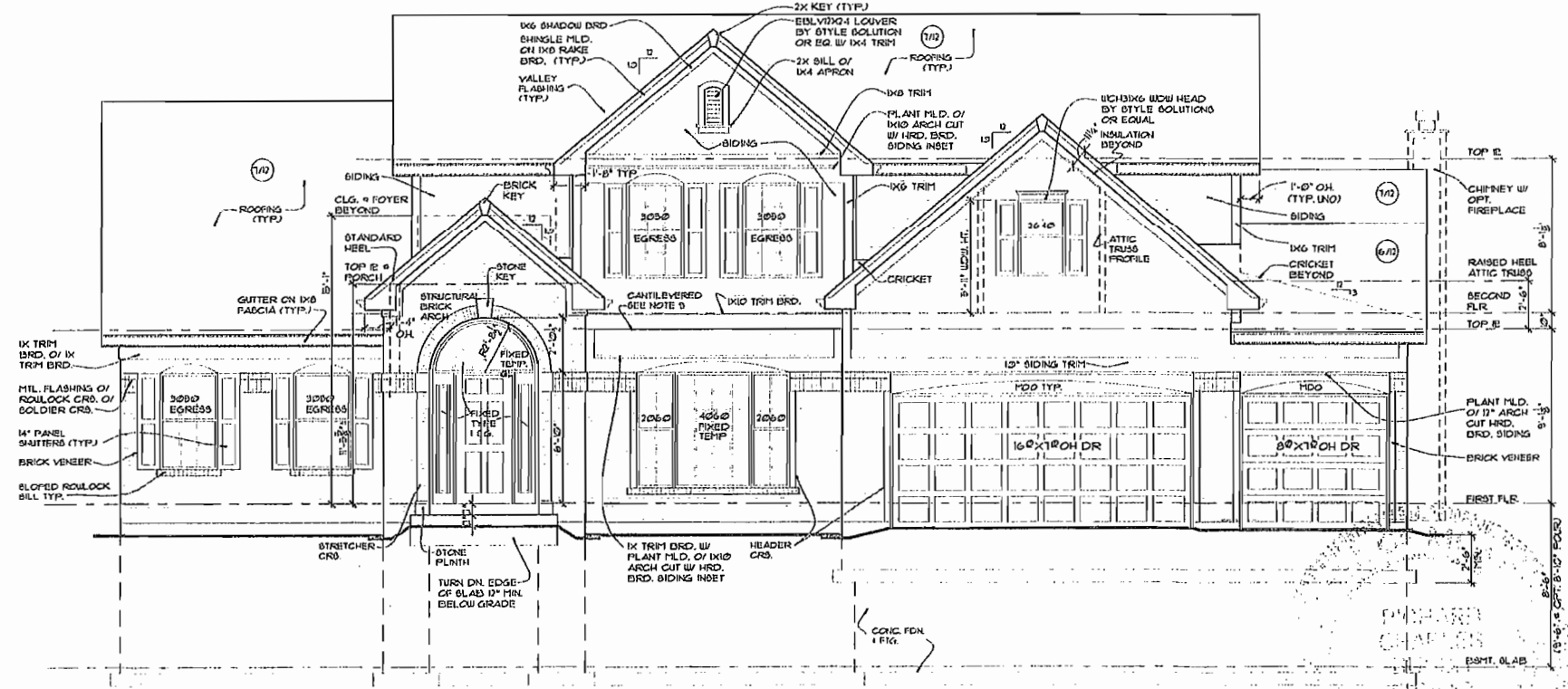


TENSION TRANSFER DET. @ FRONT PORCH FOR ELEVATIONS A,C,D

1 NTS

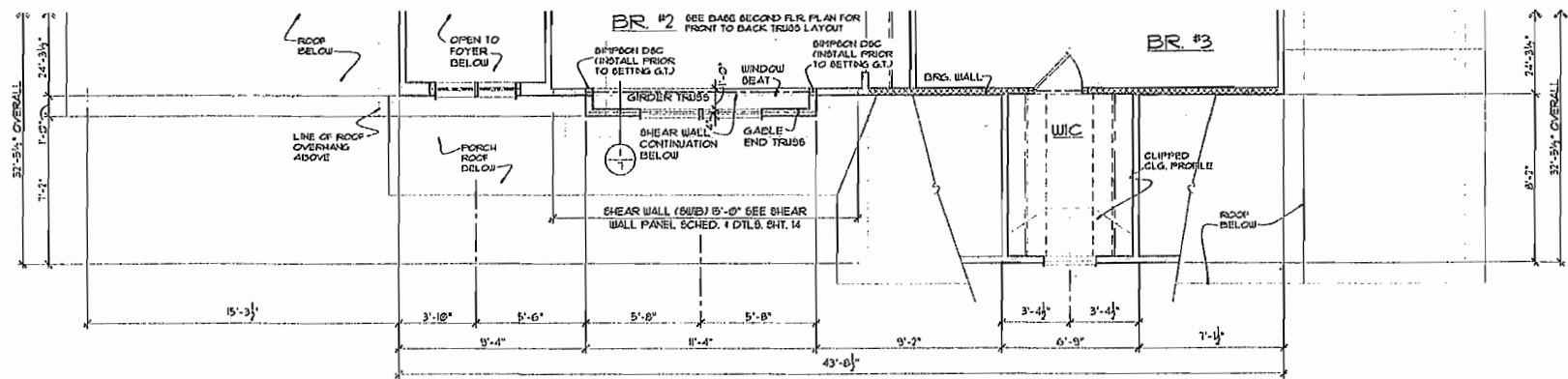
ELEVATION DRAWING NOTES

- FRONT ELEVATION "A" RELATES TO BASE FLOOR PLAN AND FOUNDATION.
- SEE BASE PLANS/ELEVATIONS, DETAIL SHEET, AND GENERAL NOTES FOR ADDITIONAL INFORMATION.
- GRADE, SLOPE AWAY FROM FOUNDATION A MINIMUM OF 6" DROP WITHIN THE FIRST 10' OR TO A SWALE.
- FOOTINGS & PIERS: SHALL EXTEND A MINIMUM OF 2'-6" BELOW FINISHED GRADE AND BEAR ON UNDISTURBED SOIL OR PREPARED FILL.
- BRICK VENEER: ALL SOLDIER AND ROULOCK HEADERS, SILLS AND TRIM TO PROJECT 3/4" UNLESS NOTED OTHERWISE.
- CHIMNEY HEIGHT: SHALL EXTEND ABOVE ROOF MIN. 3'-0" AT POINT OF PENETRATION AND 7'-0" HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10' HORIZONTALLY.
- DECK DOORS: SECURELY BARRICADE DOOR UNTIL DECK IS BUILT AND APPROVED.
- ROOF FLASHING: PROVIDE CORROSION-RESISTANT METAL FLASHING AT ALL ROOF VALLEYS, WALL AND CHIMNEY INTERSECTIONS, PORCHES, DECK, ETC. OPEN VALLEYS: LINING TO BE CORROSION RESISTANT METAL FLASHING A MIN. OF 24" WIDE. CLOSED VALLEYS: MIN. ONE PLY OF SMOOTH ROLL ROOFING (TYPE II OR III) A MINIMUM OF 36" WIDE.
- CANTILEVERS: PROVIDE EXTERIOR GRADE SOFFIT (SEAL ALL JOINTS) INSULATION BETWEEN FLOOR JOIST TO MINIMUM R-19 AND VENT JOIST CAVITIES.
- BASEMENT HAVING CONC. FOUNDATION WALLS WITH MORE THAN 20% EXPOSURE ABOVE FINISHED GRADE SHALL BE INSULATED. SEE GENERAL NOTES.
- GENERAL CONTRACTOR SHALL CONFIRM USE OF ALL TRIM ACCESSORIES AND MODEL NUMBERS WITH SUPPLIER BEFORE ORDERING.
- WINDOW DESIGNATIONS ARE THOSE OF CHELSEA CS SERIES 2200



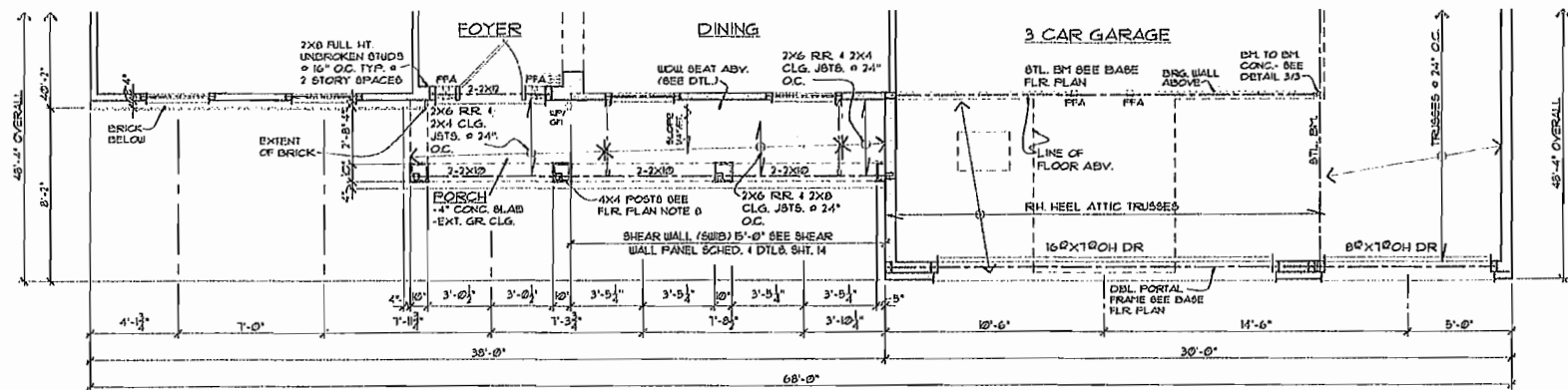
FRONT ELEV. "A" (BASE)

1/4" = 1'-0"



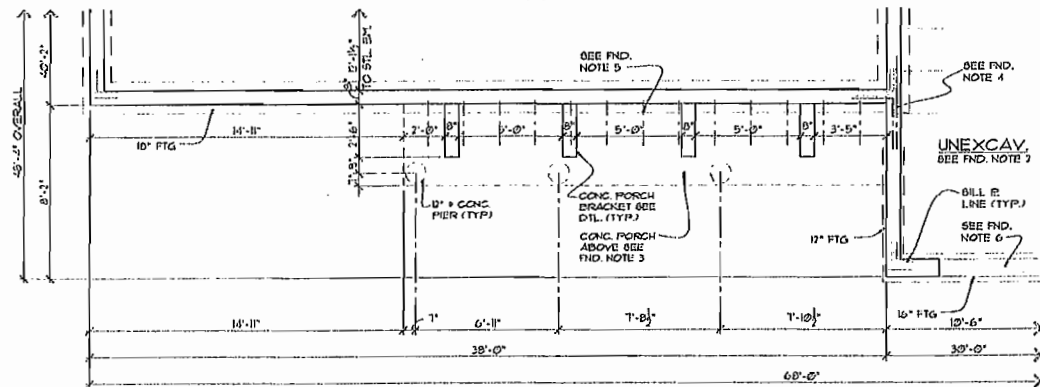
PARTIAL SECOND FLR. PLAN

1/4" = 1'-0" SEE BASE PLANS FOR ADDITIONAL INFO.



PARTIAL FIRST FLR. PLAN

1/4" = 1'-0" SEE BASE PLANS FOR ADDITIONAL INFO.

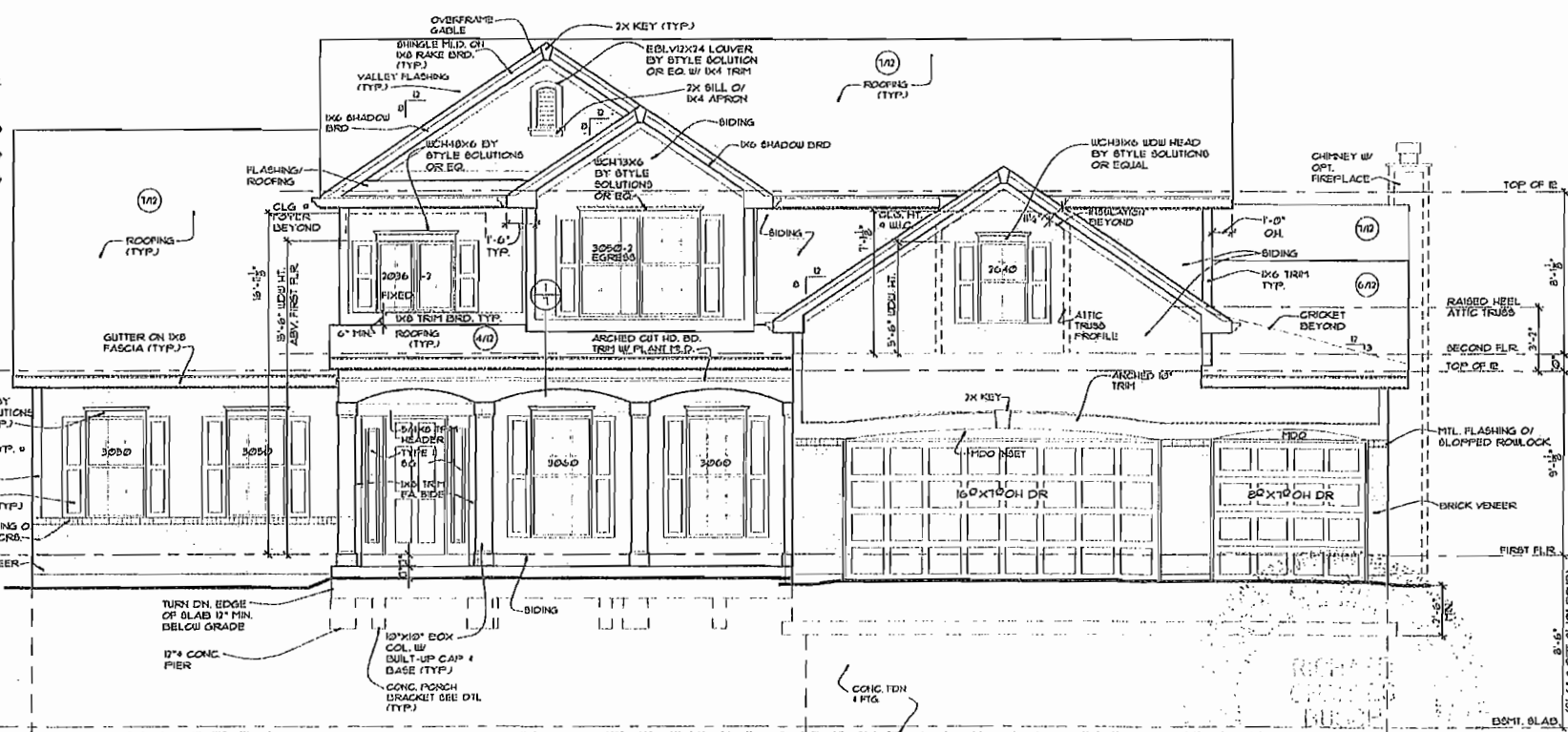


PARTIAL FOUNDATION PLAN

1/4" = 1'-0" SEE BASE PLANS FOR ADDITIONAL INFO.

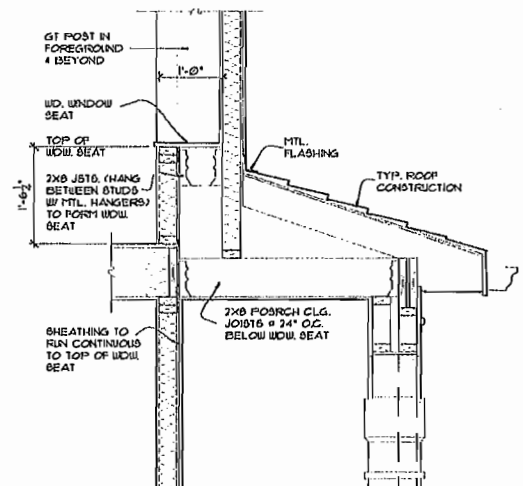
ELEVATION DRAWING NOTES

- FRONT ELEVATION "A" RELATED TO BASE FLOOR PLAN AND FOUNDATION.
- SEE BASE PLANS/ELEVATIONS, DETAIL SHEET, AND GENERAL NOTES FOR ADDITIONAL INFORMATION.
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- FOOTINGS & PIERS: SHALL EXTEND A MINIMUM OF 2'-6" BELOW FINISHED GRADE AND BEAR ON UNDISTURBED SOIL OR PREPARED FILL.
- BRICK VENEER: ALL SOLDIER AND ROWLOCK HEADERS, SILLS AND TRIM TO PROJECT 3/4", UNLESS NOTED OTHERWISE.
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- CANTILEVERS: PROVIDE EXTERIOR GRADE SOFFIT (SEAL ALL JOINTS) INSULATION BETWEEN FLOOR JOIST TO MINIMUM R-19 AND VENT JOIST CAVITIES.
- BASEMENT HAVING CONC. FOUNDATION WALLS WITH MORE THAN 20% EXPOSURE ABOVE FINISHED GRADE SHALL BE INSULATED. SEE GENERAL NOTES.
- GENERAL CONTRACTOR SHALL CONFIRM USE OF ALL TRIM ACCESSORIES AND MODEL NUMBERS WITH SUPPLIER BEFORE ORDERING.
- WINDOW DESIGNATIONS ARE THOSE OF CHELSEA CS SERIES 2200



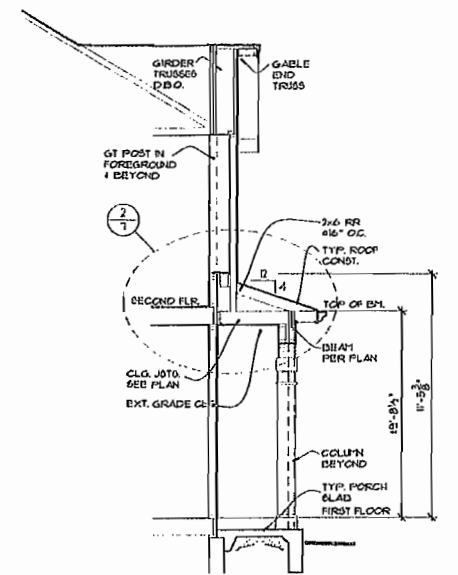
FRONT ELEVATION "B"

1/4" = 1'-0"



SECTION 2 PORCH SECTION

SCALE 3/4" = 1'-0"



SECTION 1 FRONT PORCH

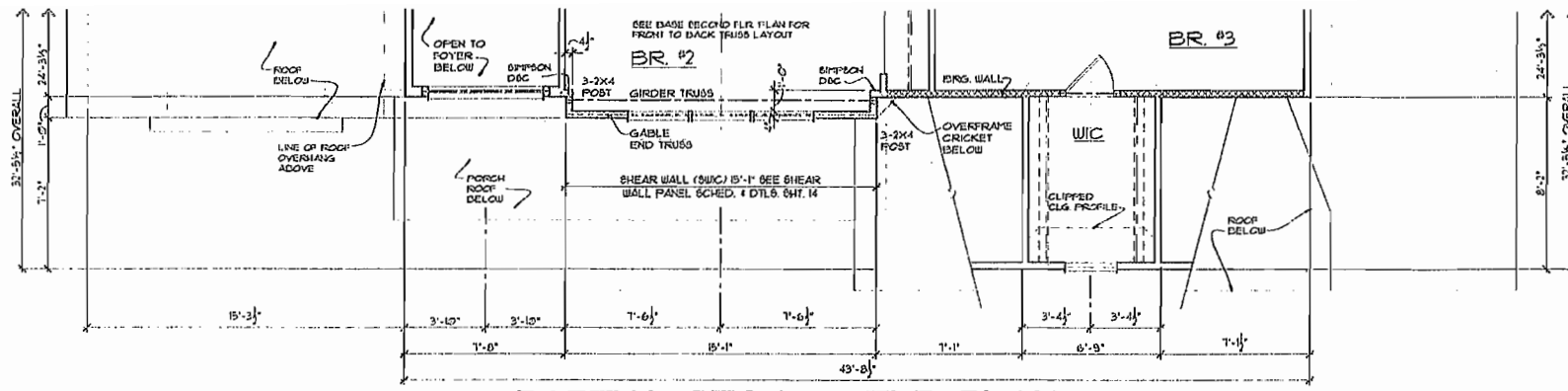
1/4" = 1'-0"

date: 11/25/03
 revised: 07/19/06
 2003/03/12/11/06
 02/08/07
 dick busch architects, p.c.
 15618 old chesterfield rd.
 chesterfield, mo 63011
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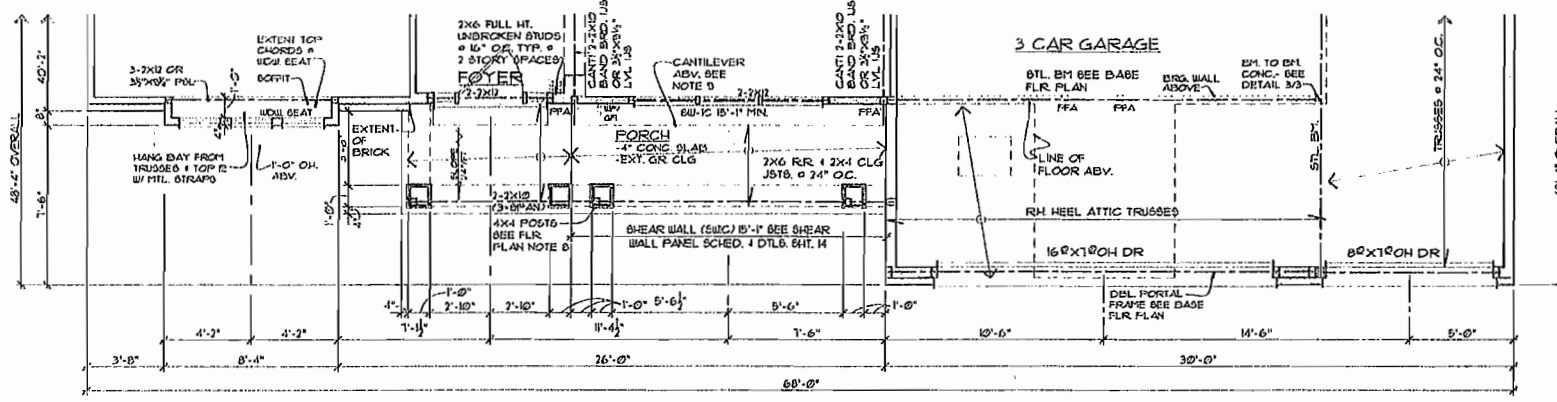
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"PRINCETON"

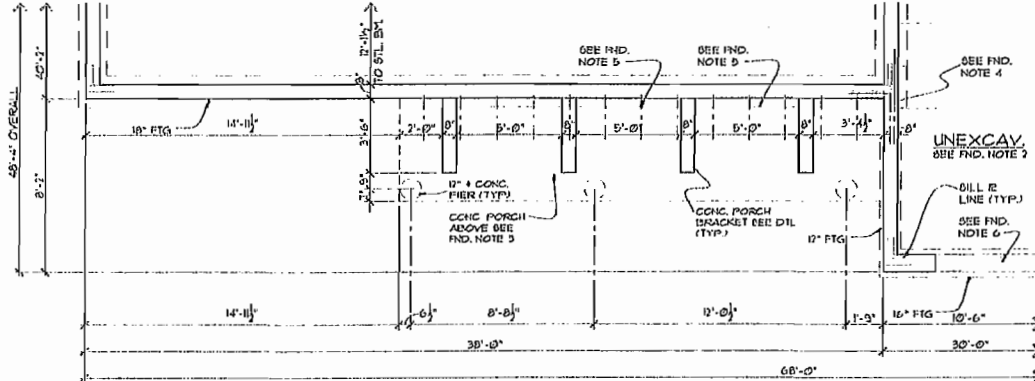
FRONT ELEVATION "B"



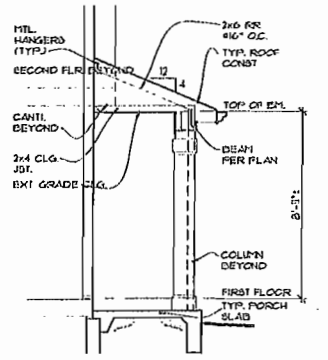
PARTIAL SECOND FLR. PLAN
1/4" = 1'-0" SEE BASE PLANS FOR ADDITIONAL INFO.



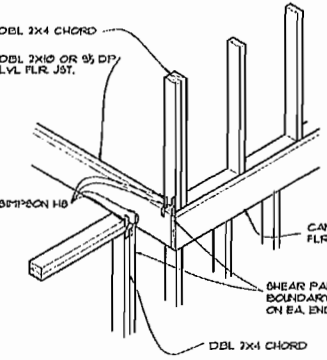
PARTIAL FIRST FLR. PLAN
1/4" = 1'-0" SEE BASE PLANS FOR ADDITIONAL INFO.



PARTIAL FOUNDATION PLAN
1/4" = 1'-0" SEE BASE PLANS FOR ADDITIONAL INFO.



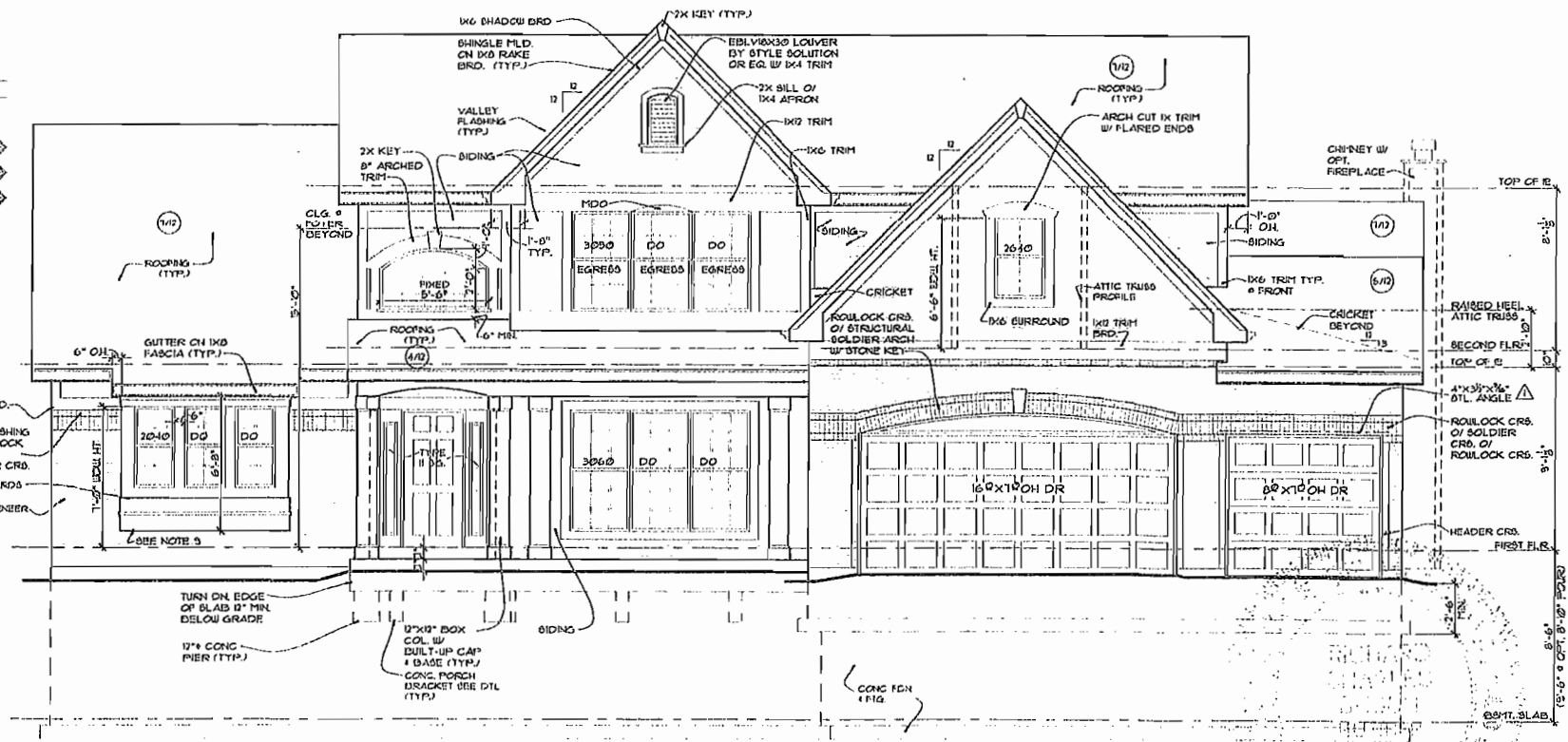
SECTION @ FRONT PORCH
1/4" = 1'-0"



TENSION TRANSFER DET. @ FRONT PORCH FOR ELEVATIONS A,C,D
1 NTS

ELEVATION DRAWING NOTES

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- WINDOW DESIGNATIONS ARE THOSE OF: CHELSEA C6 SERIES 2200



FRONT ELEVATION "C"
1/4" = 1'-0"

date: 11/25/03
revised: 02/21/05
02/15/05
02/13/05
02/06/07

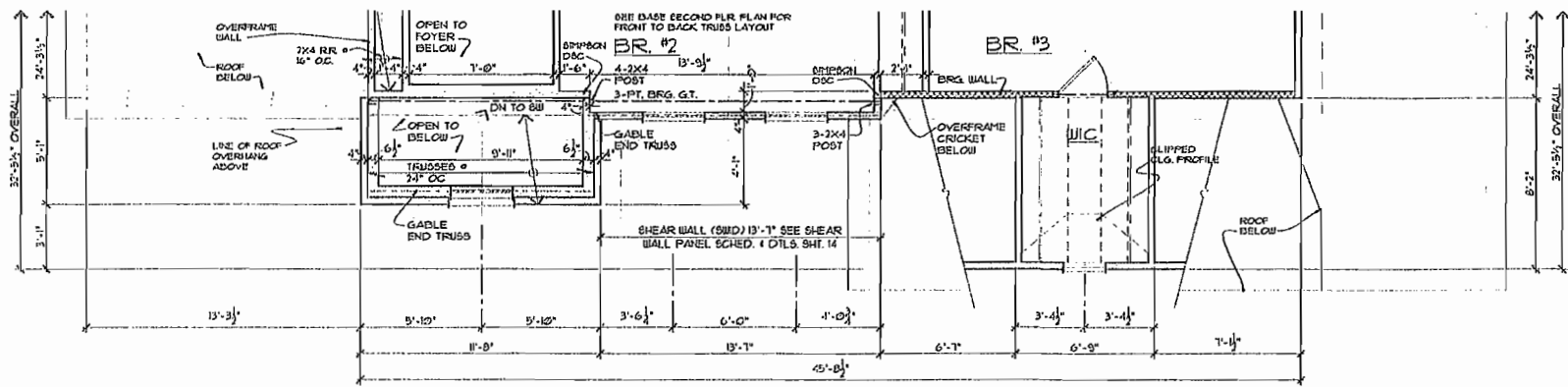
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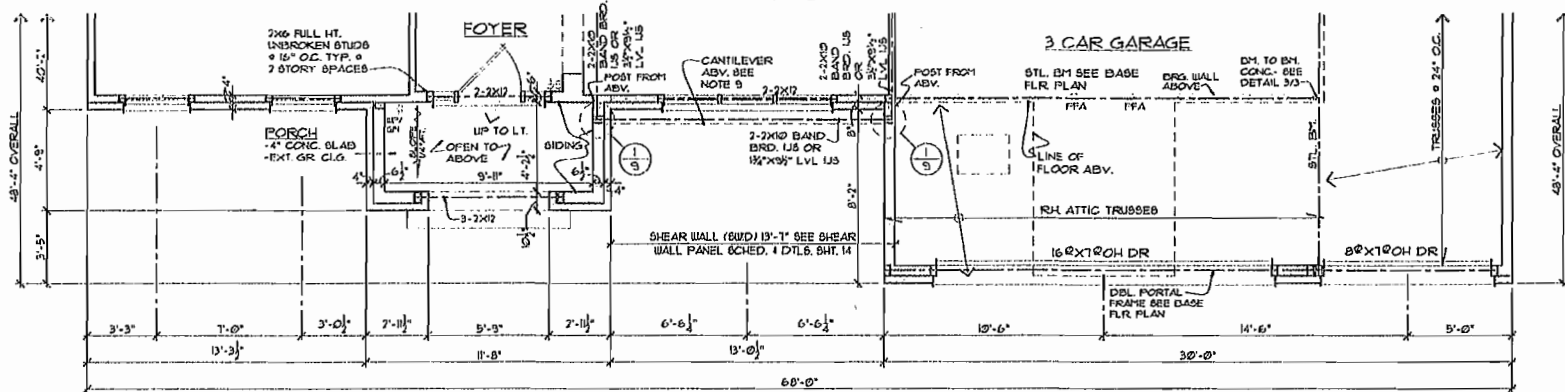
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FRONT ELEVATION "C"

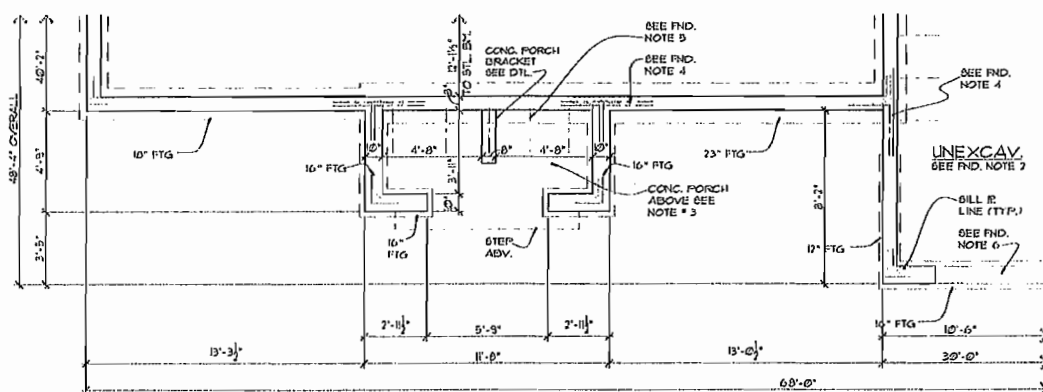
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PARTIAL SECOND FLR. PLAN
1/4" = 1'-0" SEE BASE PLANS FOR ADDITIONAL INFO.



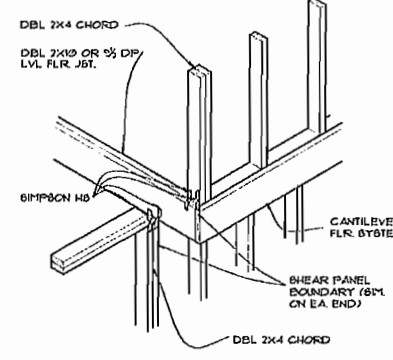
PARTIAL FIRST FLR. PLAN
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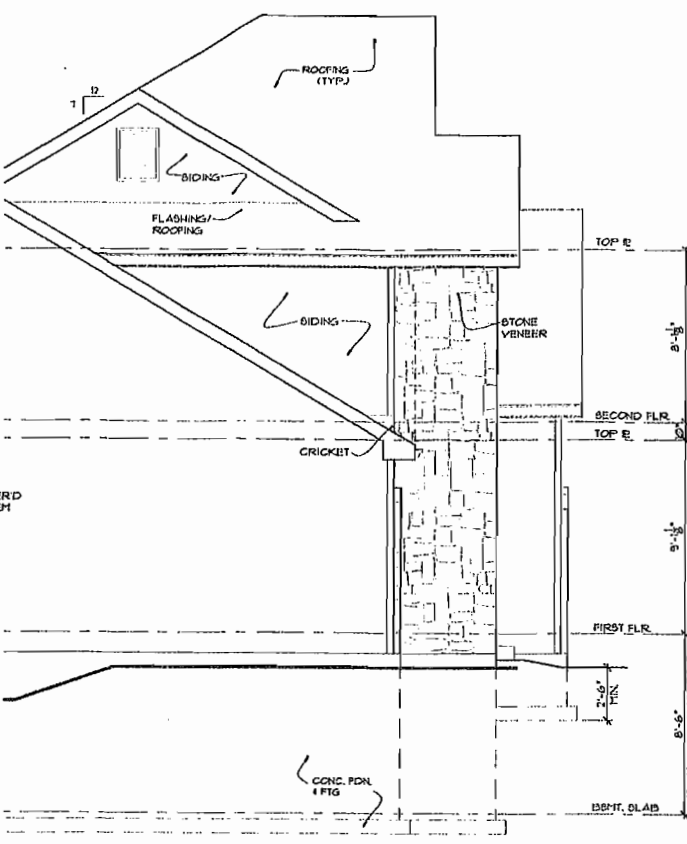
PARTIAL FOUNDATION PLAN
1/4" = 1'-0" SEE BASE PLANS FOR ADDITIONAL INFO.

ELEVATION DRAWING NOTES

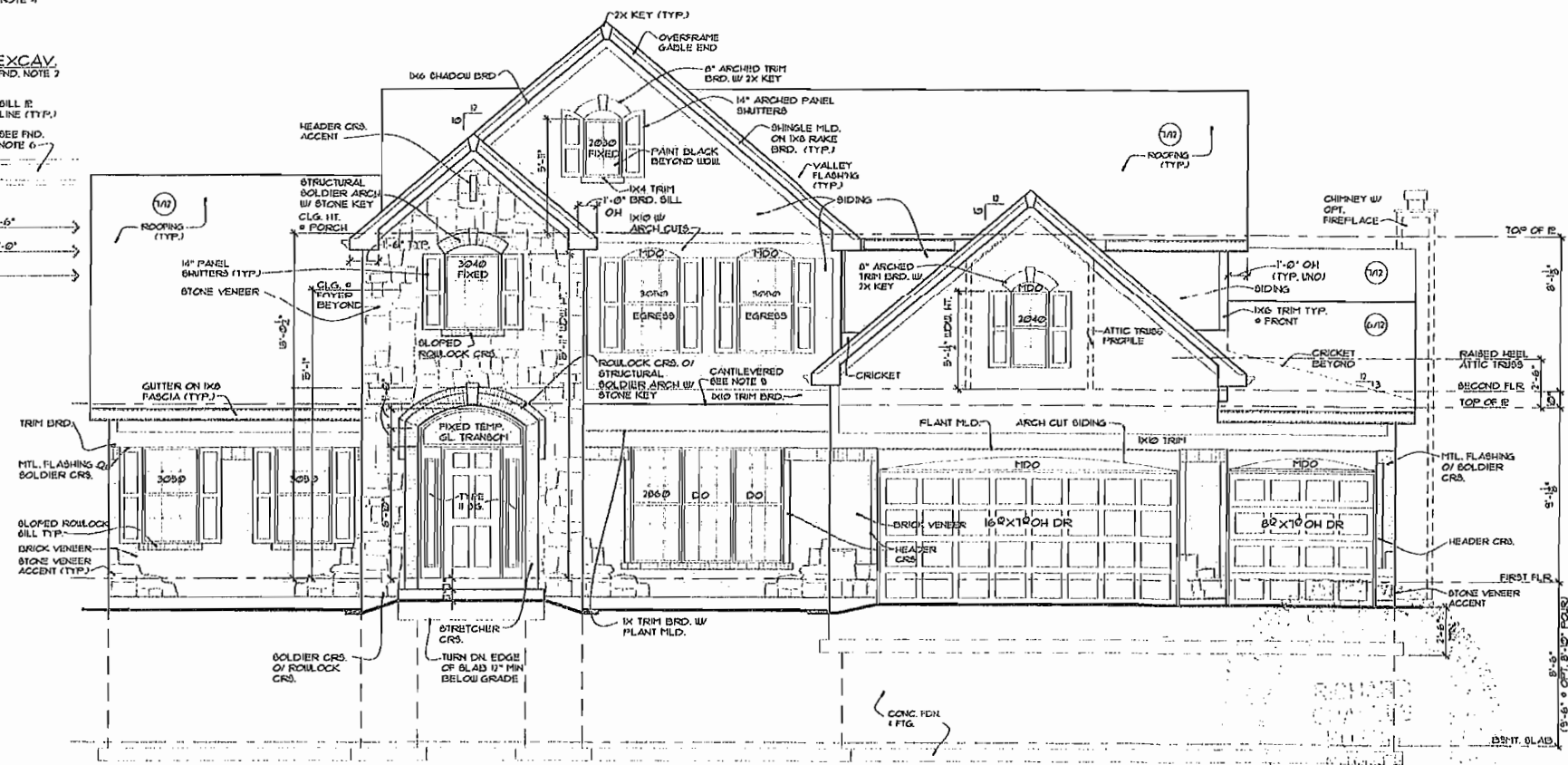
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TENSION TRANSFER DET. @ FRONT PORCH FOR ELEVATIONS A,C,D
1/4" = 1'-0"



PARTIAL LEFT SIDE ELEV.
1/4" = 1'-0"



FRONT ELEVATION "D"
1/4" = 1'-0"

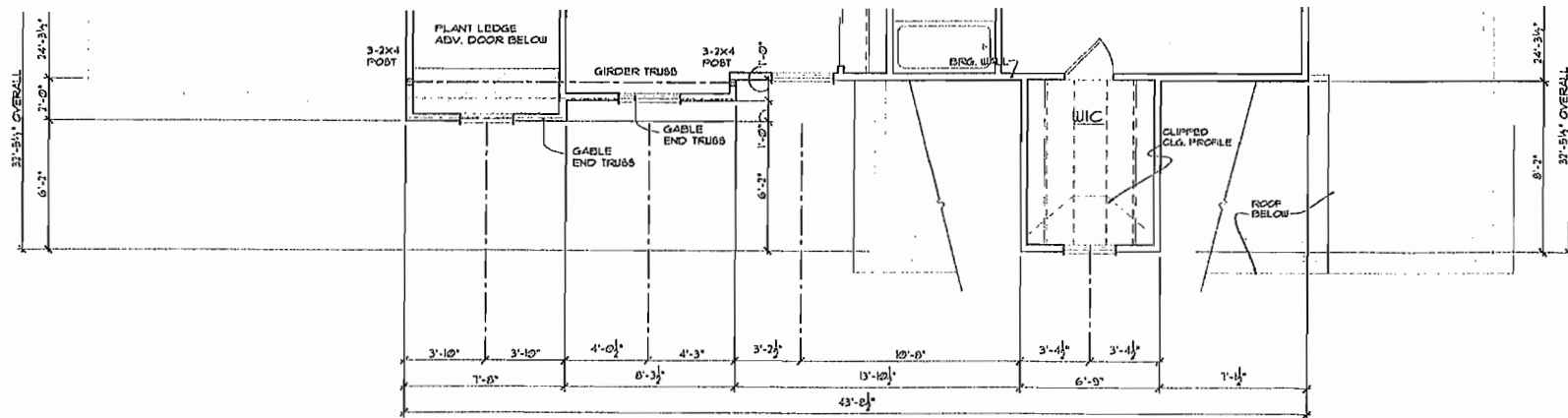
date: 11/25/03
revised: 02/03/05, 07/13/06, 02/06/07
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Prestige

"PRINCETON"

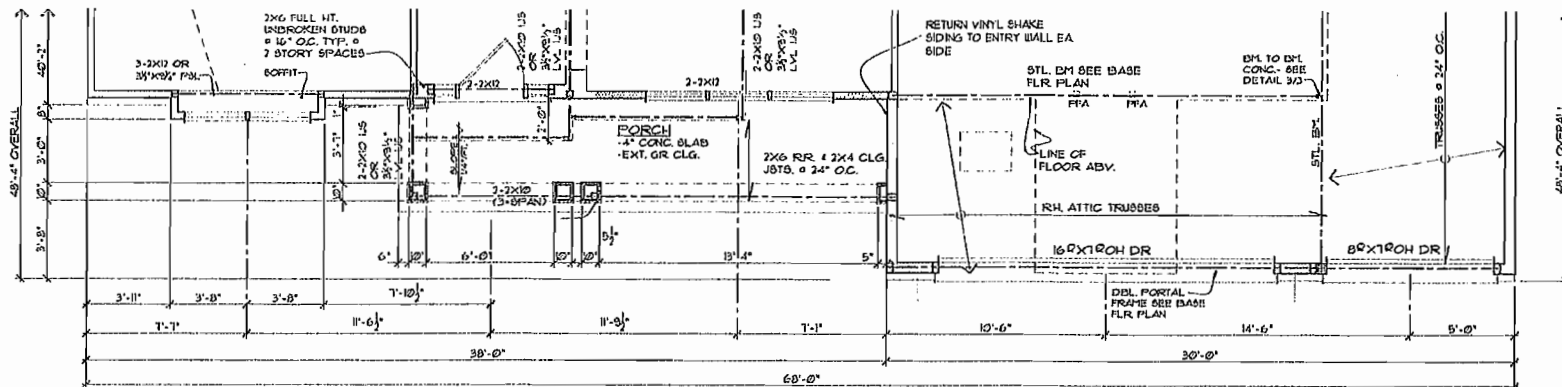
FRONT ELEVATION "D"

sheet: of 17



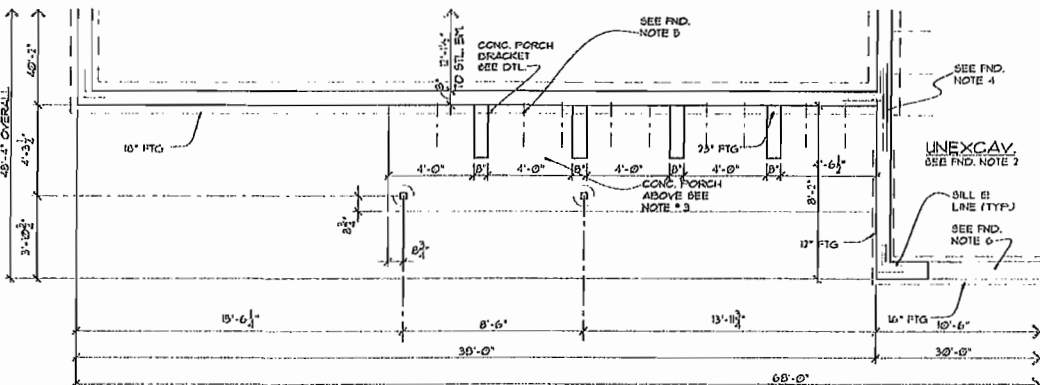
PARTIAL SECOND FLR. PLAN

1/4" = 1'-0" SEE BASE PLANS FOR ADDITIONAL INFO.



PARTIAL FIRST FLR. PLAN

1/4" = 1'-0" SEE BASE PLANS FOR ADDITIONAL INFO.



PARTIAL FOUNDATION PLAN

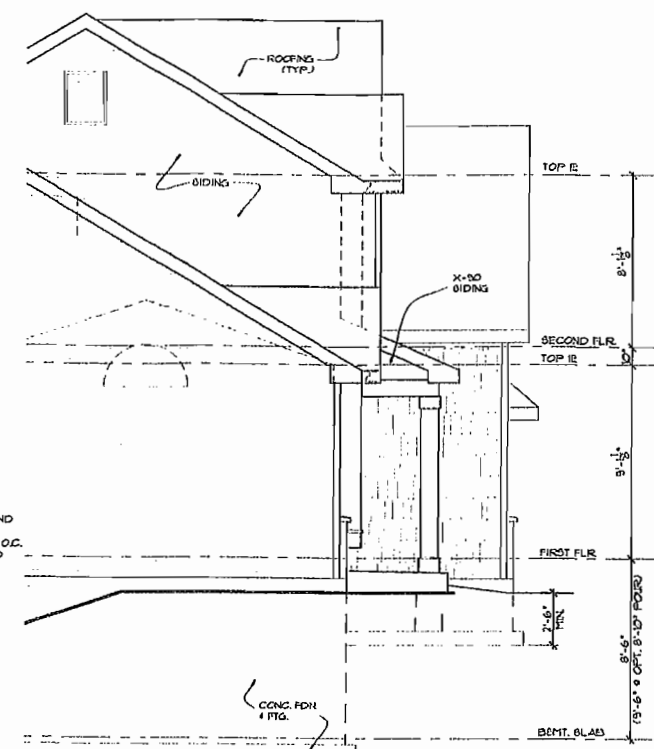
1/4" = 1'-0" SEE BASE PLANS FOR ADDITIONAL INFO.

ELEVATION DRAWING NOTES

- FRONT ELEVATION "A" RELATES TO BASE FLOOR PLAN AND FOUNDATION.
- SEE BASE PLANS/ELEVATIONS, DETAIL SHEET, AND GENERAL NOTES FOR ADDITIONAL INFORMATION.
- GRADE: SLOPE AWAY FROM FOUNDATION A MINIMUM OF 6" DROP WITHIN THE FIRST 10' OR TO A SWALE.
- FOOTINGS & PILES: SHALL EXTEND A MINIMUM OF 2'-6" BELOW FINISHED GRADE AND BEAR ON UNDISTURBED SOIL OR PREPARED FILL.
- BRICK VENEER: ALL SOLDIER AND ROWLOCK HEADERS, SILLS AND TRIM TO PROJECT 1/4", UNLESS NOTED OTHERWISE.
- CHIMNEY HEIGHT: SHALL EXTEND ABOVE ROOF MIN. 3'-0" AT POINT OF PENETRATION AND 2'-0" HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10' HORIZONTALLY.
- DECK DOORS: SECURELY BARRICADE DOOR UNTIL DECK IS BUILT AND APPROVED.
- ROOF FLASHING: PROVIDE CORROSION-RESISTANT METAL FLASHING AT ALL ROOF VALLEYS, WALL AND CHIMNEY INTERSECTIONS, PORCHES, DECKS, ETC.
- OPEN VALLEYS: LINING TO BE CORROSION RESISTANT METAL FLASHING A MIN. OF 24" WIDE.
- CLOSED VALLEYS: MIN ONE PLY OF SMOOTH ROLL ROOFING (TYPE II OR III) A MINIMUM OF 36" WIDE.
- CANTILEVERS: PROVIDE EXTERIOR GRADE SOFFIT (SEAL ALL JOINTS) INSULATION BETWEEN FLOOR JOIST TO MINIMUM R-15 AND VENT JOIST CAVITIES.
- BASEMENT HAVING CONC. FOUNDATION WALLS WITH MORE THAN 20% EXPOSURE ABOVE FINISHED GRADE SHALL BE INSULATED. SEE GENERAL NOTES.
- GENERAL CONTRACTOR SHALL CONFIRM USE OF ALL TRIM ACCESSORIES AND MODEL NUMBERS WITH SUPPLIER BEFORE ORDERING.
- WINDOW DESIGNATIONS ARE THOSE OF CHELSEA CB SERIES 2200

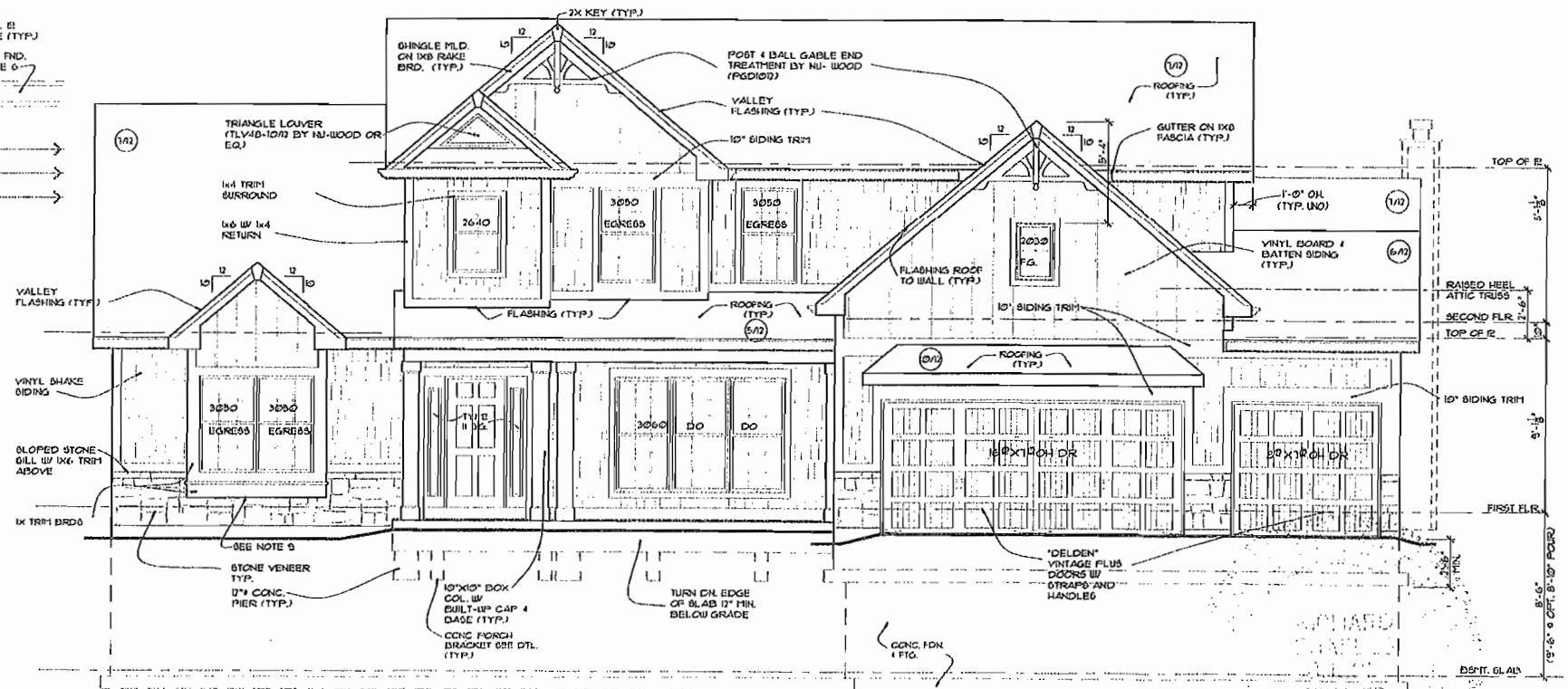
1 SHED ROOF @ GARAGE

SCALE 3/4" = 1'-0"



PARTIAL LEFT SIDE ELEV.

1/4" = 1'-0"



FRONT ELEV. "E"

1/4" = 1'-0"

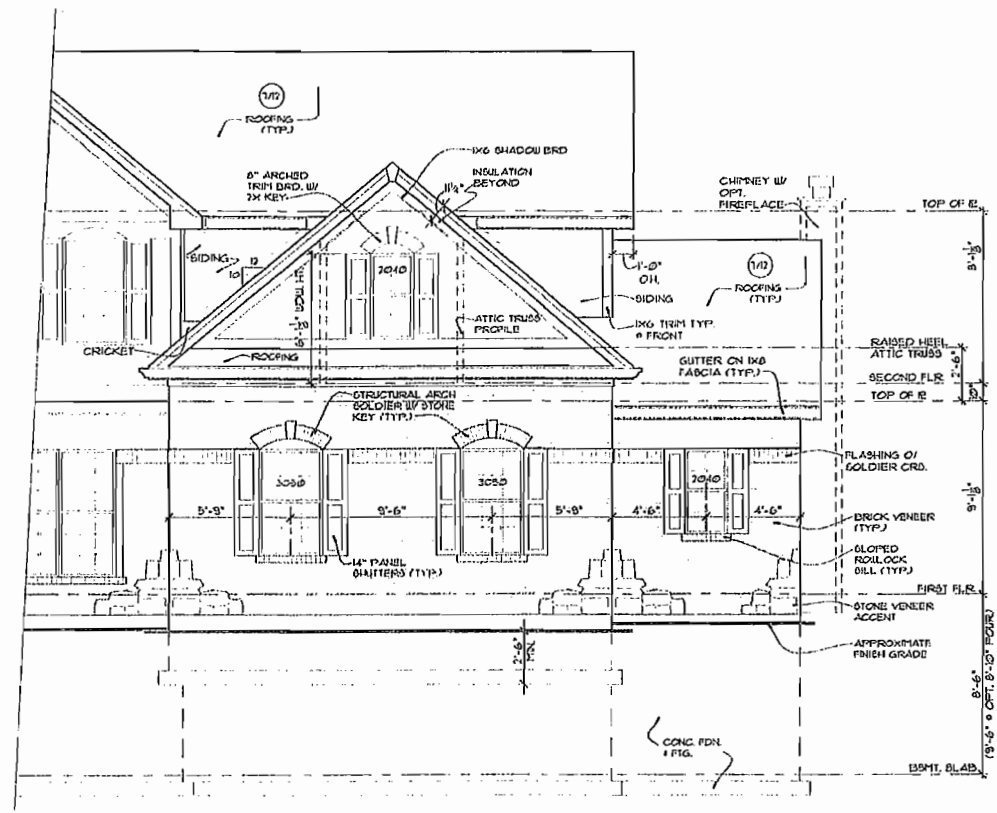
date: 11/25/03
 revised: 6/15/05
 05/22/07
 03/23/08 ELEV. "E"
 dick busch architects, p.c.
 16676 old chesterfield rd.
 chesterfield, mo 63017
 (636) 530-7181
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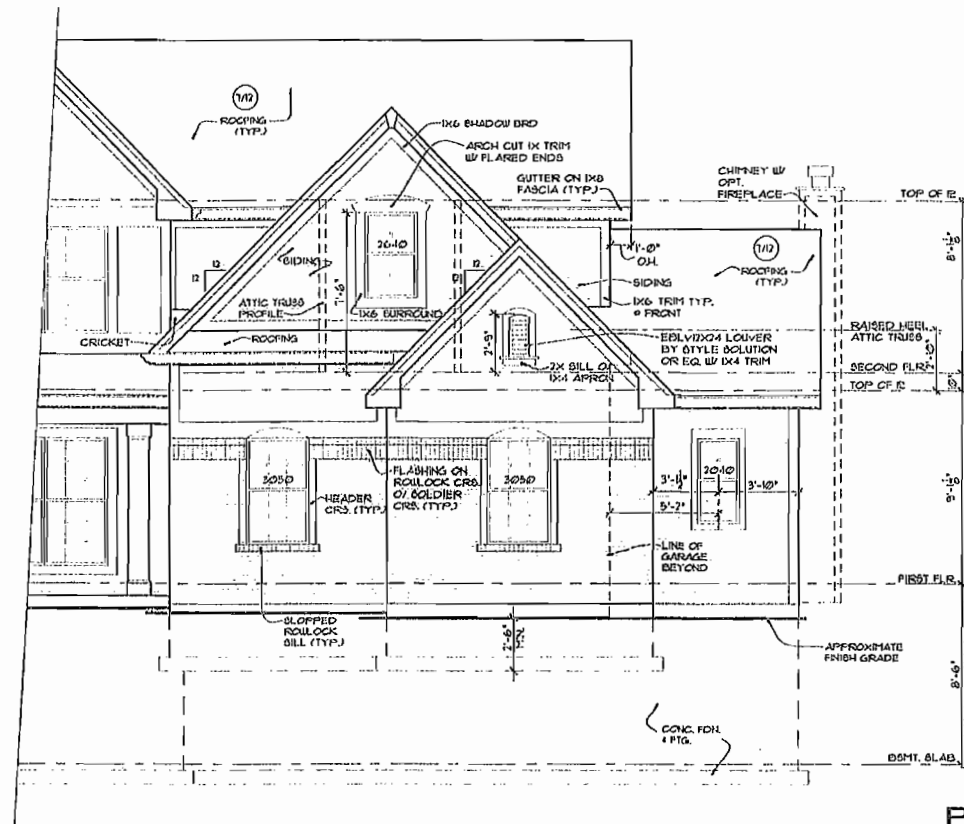
"PRINCETON"

FRONT ELEVATION "E"

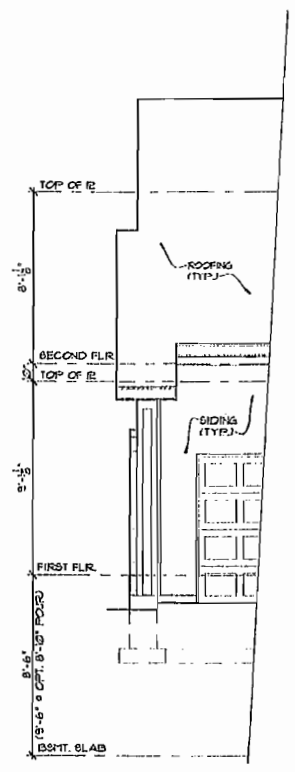
sheet: **9A** of 17



FRONT ELEVATION "D"
 1/4" = 1'-0" SEE BASE PLANS FOR ADD. INFO.



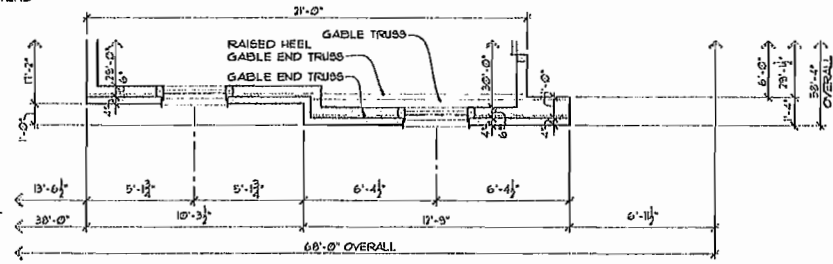
PARTIAL FRONT ELEV. "C"
 1/4" = 1'-0" SEE BASE PLANS FOR ADD. INFO.



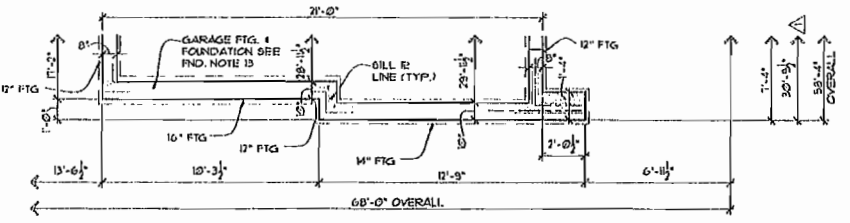
PARTIAL RIGHT SIDE ELEV.
 1/4" = 1'-0" SEE BASE PLANS FOR ADD. INFO.

ELEVATION DRAWING NOTES

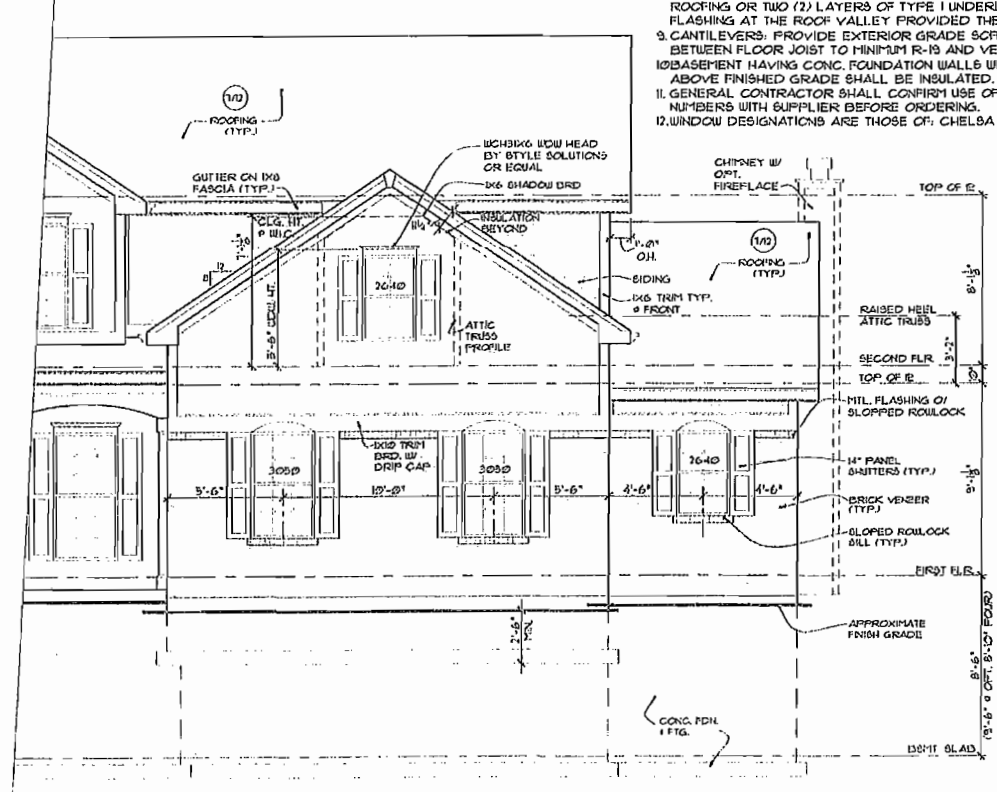
- FRONT ELEVATION "A" RELATES TO BASE FLOOR PLAN AND FOUNDATION.
- SEE BASE PLANS, ELEVATIONS AND DETAIL SHEET FOR ADDITIONAL INFORMATION.
- SLOPE GRADE AWAY FROM FOUNDATION MINIMUM 1/4" FT. FOR A DISTANCE OF 8'-0" OR TO A SWALE.
- FOOTINGS & PIERS: BOTTOM OF ALL FOOTINGS TO SET ON VIRGIN SOIL. PIERS TO EXTEND MINIMUM 24" INTO SOLID VIRGIN SOIL. BOTH SHALL BE MINIMUM 30" BELOW GRADE.
- BRICK VENEER: ALL SOLDIER AND ROULOCK HEADERS, BILLS AND TRIM TO PROJECT 3/4" UNLESS NOTED OTHERWISE.
- CHIMNEY HEIGHT: SHALL EXTEND ABOVE ROOF MIN 3'-0" AT POINT OF PENETRATION AND 2'-0" HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10' HORIZONTALLY.
- DECK DOORS: SECURITY BARRICADE DOOR UNTIL DECK IS BUILT AND APPROVED.
- ROOF FLASHING: PROVIDE CORROSION-RESISTANT METAL FLASHING AT ALL ROOF VALLEYS, WALL AND CHIMNEY INTERSECTIONS, PORCHES, DECKS, ETC. ROLLED ROOFING OR TWO (2) LAYERS OF TYPE I UNDERLAYMENT MAY BE SUBSTITUTED FOR FLASHING AT THE ROOF VALLEY PROVIDED THE SHINGLES ARE INTERLACED.
- CANTILEVERS: PROVIDE EXTERIOR GRADE SOFFIT (SEAL ALL JOINTS) INSULATION BETWEEN FLOOR JOIST TO MINIMUM R-19 AND VENT JOIST CAVITIES.
- BASEMENT HAVING CONC. FOUNDATION WALLS WITH MORE THAN 20% EXPOSURE ABOVE FINISHED GRADE SHALL BE INSULATED. SEE GENERAL NOTES.
- GENERAL CONTRACTOR SHALL CONFIRM USE OF ALL TRIM ACCESSORIES AND MODEL NUMBERS WITH SUPPLIER BEFORE ORDERING.
- WINDOW DESIGNATIONS ARE THOSE OF: CHELSEA CS-SERIES 2200



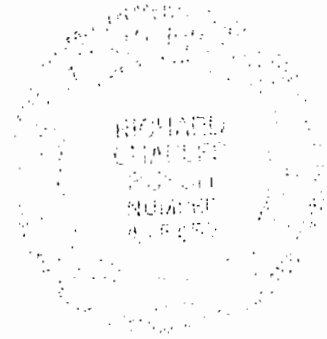
PARTIAL FIRST FLOOR PLAN @ ELEV. "C"
 1/4" = 1'-0"



PARTIAL FOUNDATION PLAN @ ELEV. "C"
 1/4" = 1'-0" SEE BASE PLANS FOR ADD. INFO.



FRONT ELEVATION "B"
 1/4" = 1'-0" SEE BASE PLANS FOR ADD. INFO.



date: 11/25/03
 revised: 05/29/05
 5/15/05
 2003R12/13/05

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 16678 old chesterfield rd.
 chesterfield, mo 63017
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"PRINCETON"

OPTIONAL 3-CAR SIDE FRONT ELEVATIONS

sheet: of 17

City of Chesterfield

APR 17 2014

Department of Public Services
RIVIERA

LEGEND SERIES

Prestige
CUSTOM HOMES



Elevation G



Elevation H



Elevation A Shown with opt. dormers



Elevation D

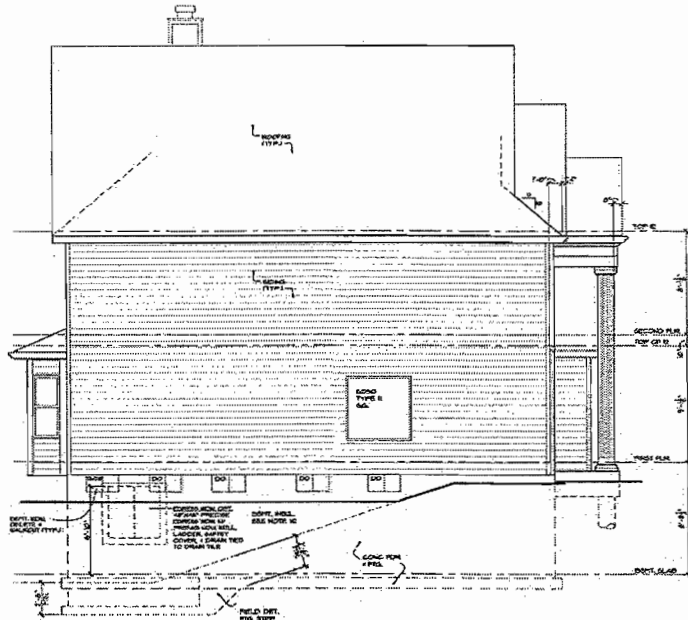


Elevation E

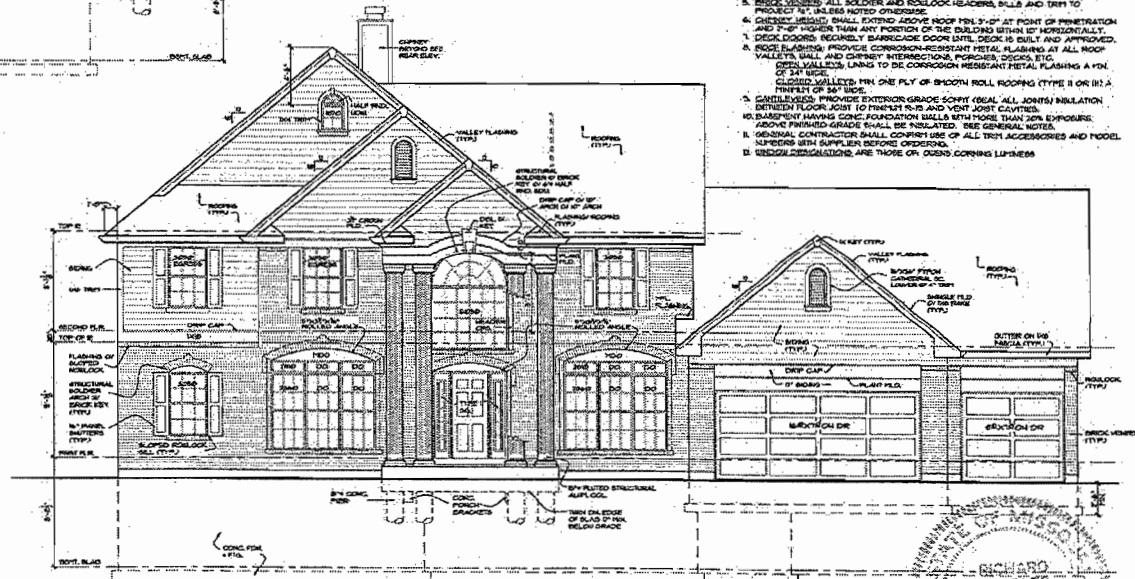


Elevation F

Renderings are artist's conceptions and may include optional features such as fireplaces, dormers and cupolas.
Renderings may vary in precise detail and scale from actual construction.



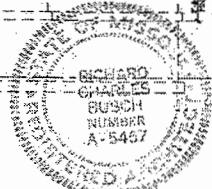
LEFT SIDE ELEVATION
1/4" = 1'-0"



FRONT ELEVATION #2
1/4" = 1'-0"

ELEVATION DRAWING NOTES

1. FRONT ELEVATION 2 RELATES TO BASE FLOOR PLAN AND FOUNDATION.
2. SEE BASE PLANS/ELEVATIONS, DETAIL SHEET, AND GENERAL NOTES FOR ADDITIONAL INFORMATION.
3. GRADE, SLOPE AWAY FROM FOUNDATION A MINIMUM OF 4" DROP WITHIN THE FIRST 10' OR TO A SLOPE.
4. FOOTINGS & BEAMS SHALL EXTEND A MINIMUM OF 2'-6" BELOW FINISHED GRADE AND BE SET ON UNDESIGNED SOIL OR PREPARED FILL.
5. DRILL BIT TESTS: ALL HOLDERS AND ROD LOCK HEADERS, BILLS AND TRIP TO PROTECT IT, UNLESS NOTED OTHERWISE.
6. GROUND BEHIND SHALL EXCEED ABOVE ROOF FIN. 3" AT POINT OF PENETRATION AND 2'-0" HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10' HORIZONTALLY.
7. DRILL LOGS: REGULARLY BARICHECK DOOR SILE, DISK IS BUILT AND APPROVED.
8. ROOF FLASHING: PROVIDE CORROSION-RESISTANT METAL FLASHING AT ALL ROOF VALLEYS, WALL AND CORNER INTERSECTIONS, PORCHES, DECKS, ETC. DETAIL VALLEY FLASHING TO BE CORROSION RESISTANT METAL FLASHING A MIN. OF 24 GA. GALVALUM. PROVIDE CORROSION RESISTANT METAL FLASHING A MIN. OF 24 GA. GALVALUM. PROVIDE CORROSION RESISTANT METAL FLASHING A MIN. OF 24 GA. GALVALUM. PROVIDE CORROSION RESISTANT METAL FLASHING A MIN. OF 24 GA. GALVALUM.
9. GUTTER/LEADS: PROVIDE EXTERIOR GRADE SLOPE (LOCAL ALL JOINTS) INSULATION BETWEEN FLOOR JOINT TO PREVENT R-RS AND VENT JOINT CAVITIES.
10. FOUNDATION: HAVING CONC. FOUNDATION SHALL WITH MORE THAN 30% EXPOSURE ABOVE FINISHED GRADE SHALL BE INSULATED. SEE GENERAL NOTES.
11. GENERAL CONTRACTOR SHALL VERIFY USE OF ALL TRIM ACCESSORIES AND MODEL NUMBERS WITH SUPPLIER BEFORE ORDERING.
12. UNLESS DESIGNATIONS ARE THOSE ON DEDICATED LITERATURE.



DATE: 12/21/2011
REVISED: 12/21/2011

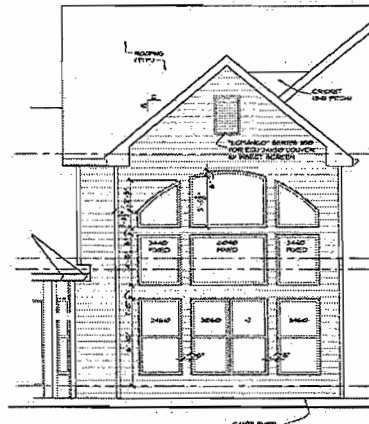
Prestige
ARCHITECTURE

"RIVIERA"
MASTER PLAN

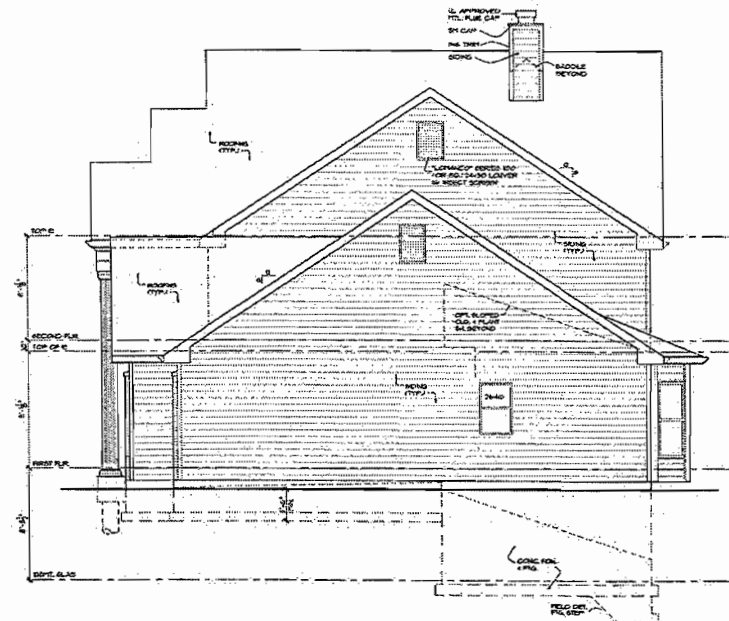
FRONT ELEVATION #2
LEFT SIDE ELEVATION

sheet: **4** of 24

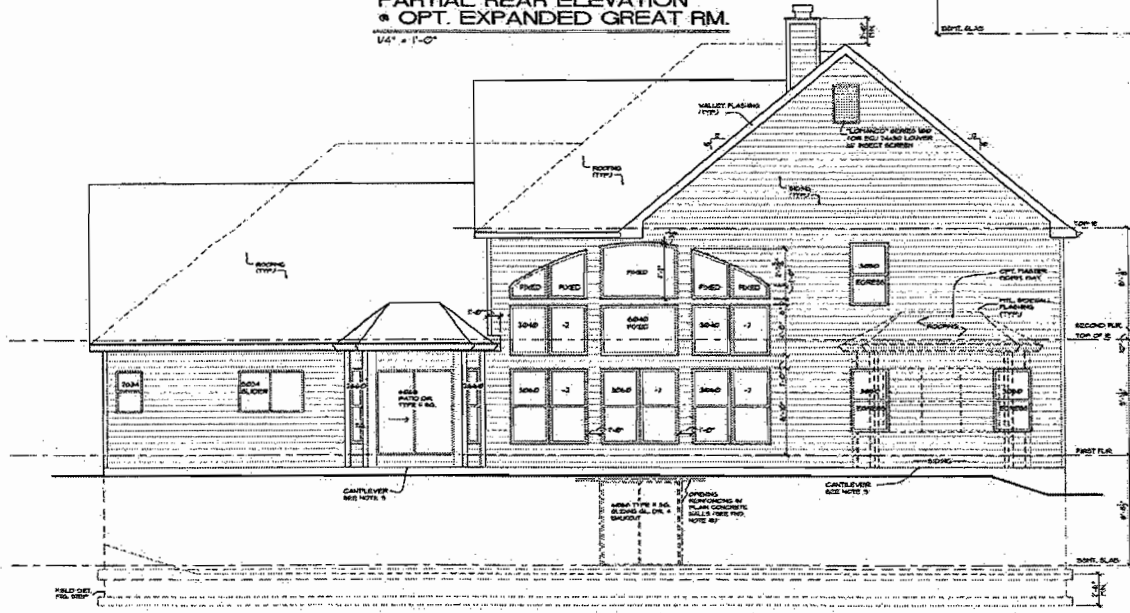
dick busch architect pc
10000 N. W. 10th St.
Miami, FL 33157
Tel: 305.444.1111
Fax: 305.444.1112
www.dickbusch.com



PARTIAL REAR ELEVATION
 • OPT. EXPANDED GREAT RM.
 1/4" = 1'-0"



RIGHT SIDE ELEVATION
 1/4" = 1'-0"



REAR ELEVATION
 1/4" = 1'-0"

- ELEVATION DRAWING NOTES**
- FRONT ELEVATION IS RELATED TO BASE FLOOR PLAN AND FOUNDATION.
 - SEE BASE PLAN, SECTIONS, DETAIL SHEET, AND GENERAL NOTES FOR ADDITIONAL INFORMATION.
 - GRADE SLOPE AWAY FROM FOUNDATION A MINIMUM OF 4" DROP WITHIN THE FIRST 10' OR TO A SILL.
 - ROOFING SLOPE SHALL EXTEND A MINIMUM OF 2'-6" BELOW FINISHED GRADE AND BE ON UNFINISHED SOIL OR PREPARED HILL.
 - DECK JOISTS ALL SOLDER AND REDWOOD HEADERS, SILLS AND TRIM TO PROJECT 1/4" UNLESS NOTES OTHERWISE.
 - CHIMNEY SILLING SHALL EXTEND ABOVE ROOF MIN 3'-0" AT POINT OF PENETRATION AND 2'-0" HIGHER THAN ANY PORTION OF THE BUILDING STRUCTURE HORIZONTALLY.
 - DECK DOORS: RESILIENT BARRICADE DOOR UNITS, DECK IS BUILT AND APPROVED.
 - ROOF FLASHING: PROVIDE CORROSION-RESISTANT METAL FLASHING AT ALL ROOF VALLEYS, GULL, AND GABLET INTERSECTIONS, PORCHES, DECKS, ETC. SPECIALTY FLASHING LING TO BE CORROSION RESISTANT METAL FLASHING A MIN OF 1/4" SILL.
 CLOSED VALLEYS MIN ONE PLY OF 8" BROAD ROLL ROOFING (TYPE II OR III) A MINIMUM OF 3/8" EDGE.
 - CONCEALERS: PROVIDE EXTERIOR GRADE SMOOTH (E.G. ALL JOINTS) FINISH ATION BETWEEN FLOOR JOIST TO FINISH SILL AND VENT JOIST CANTERS.
 - BLASSEMBENT HAVING CONIC FOUNDATION WALLS WITH MORE THAN 10% EXPOSURE ABOVE FINISHED GRADE SHALL BE RELETED. SEE GENERAL NOTES.
 - GENERAL CONTRACTOR SHALL COVER USE OF ALL TRIM ACCESSORIES AND MODEL. HANGERS WITH SUPPLIER BEFORE ORDERING.
 - FINISH DESIGNATIONS ARE THOSE OF OWNER'S CONING LISTENESS.



REVISED
 11/20/05
 2003, INC.

DATE:
 11/20/05

click batch architect, pc
 see to our advertisement at
 1015 1/2 page 101
 clickbatch.com/usa.htm

Prestige

"RIVIERA"
 MASTER PLAN

ELEVATIONS

sheet: **5** of 24

DATE: 01/11/10
 REVISED: 01/11/10

db
 db busch architect
 1000 W. 10th St., Suite 100
 Fort Collins, CO 80504
 970.221.1111

Mayer
 Homes II

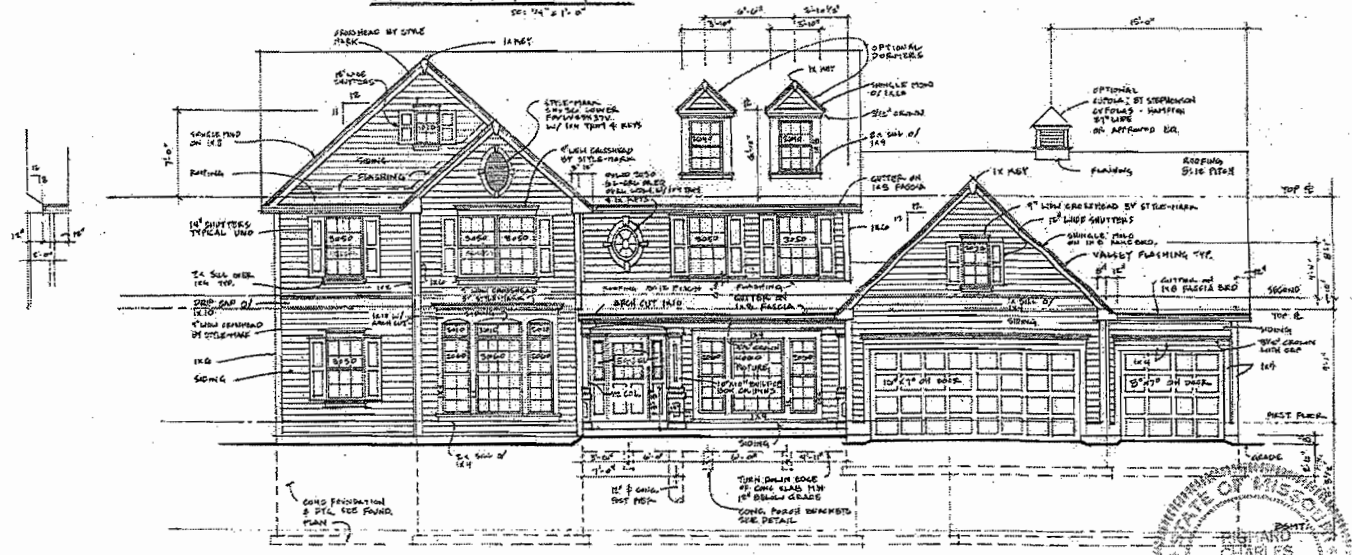
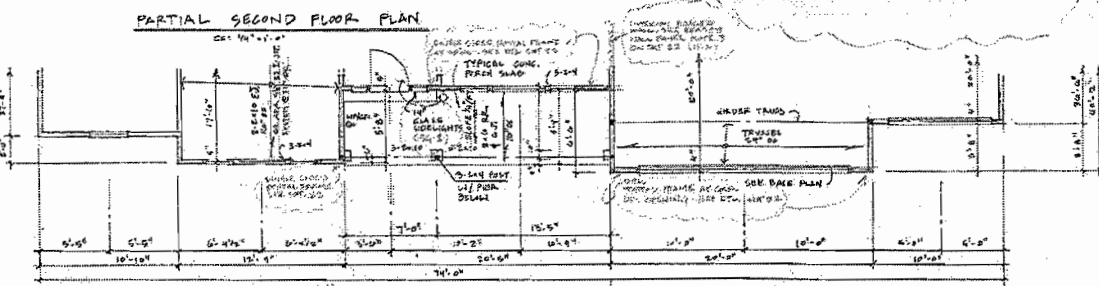
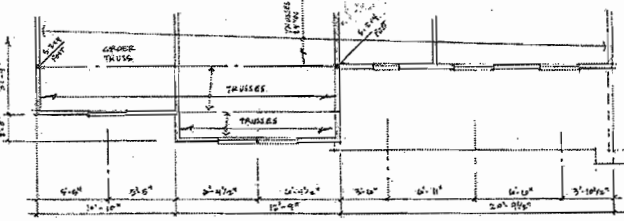
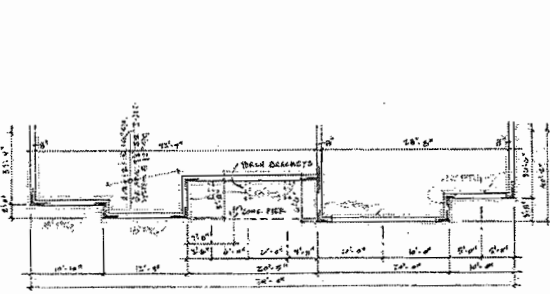
FIVIERA

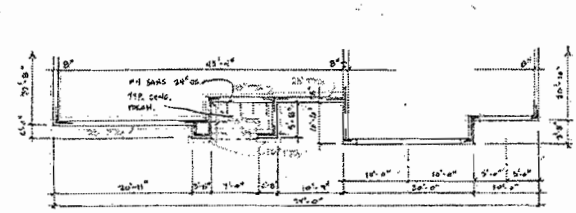
FRONT ELEVATION #1
 30' 0" x 11' 0"

SHEET
 6

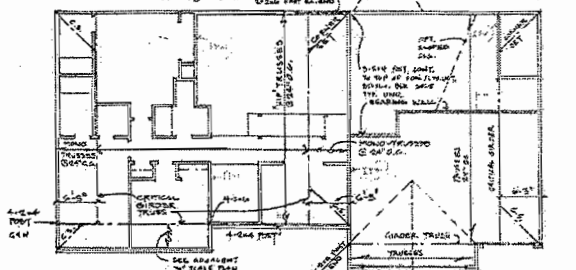
ELEVATION DRAWING NOTES

1. THESE ELEVATIONS RELY UPON THE FOUNDATION PLAN AND FOUNDATION.
2. SEE WALL PLAN, ANNOTATIONS, DETAIL, SCHEDULE AND GENERAL NOTES FOR ADDITIONAL INFORMATION.
3. GRADES: ALWAYS SHOW FROM FOUNDATION A FINISH OF 6" (DROP) WITH 18" FIRST OF 10" IS A BENCH.
4. EXTERIOR FINISH SHALL BE A FINISH OF 2" (4" BENCH) FINISH GRADE AND 2" (4" BENCH) FINISH GRADE AND 2" (4" BENCH) FINISH GRADE.
5. EXTERIOR FINISH SHALL BE A FINISH OF 2" (4" BENCH) FINISH GRADE AND 2" (4" BENCH) FINISH GRADE.
6. EXTERIOR FINISH SHALL BE A FINISH OF 2" (4" BENCH) FINISH GRADE AND 2" (4" BENCH) FINISH GRADE.
7. EXTERIOR FINISH SHALL BE A FINISH OF 2" (4" BENCH) FINISH GRADE AND 2" (4" BENCH) FINISH GRADE.
8. EXTERIOR FINISH SHALL BE A FINISH OF 2" (4" BENCH) FINISH GRADE AND 2" (4" BENCH) FINISH GRADE.
9. EXTERIOR FINISH SHALL BE A FINISH OF 2" (4" BENCH) FINISH GRADE AND 2" (4" BENCH) FINISH GRADE.
10. EXTERIOR FINISH SHALL BE A FINISH OF 2" (4" BENCH) FINISH GRADE AND 2" (4" BENCH) FINISH GRADE.
11. EXTERIOR FINISH SHALL BE A FINISH OF 2" (4" BENCH) FINISH GRADE AND 2" (4" BENCH) FINISH GRADE.
12. EXTERIOR FINISH SHALL BE A FINISH OF 2" (4" BENCH) FINISH GRADE AND 2" (4" BENCH) FINISH GRADE.

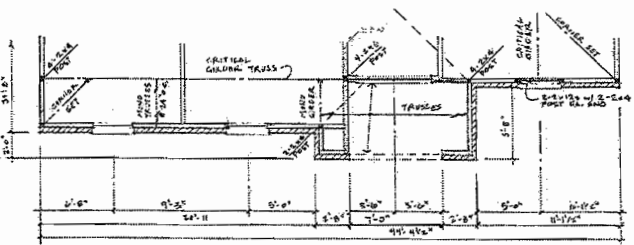




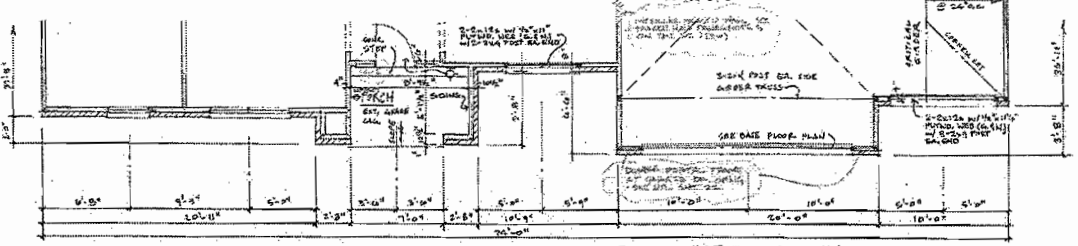
PARTIAL FOUNDATION PLAN
Scale: 1/4" = 1'-0"



ROOF FRAMING PLAN
Scale: 1/4" = 1'-0"



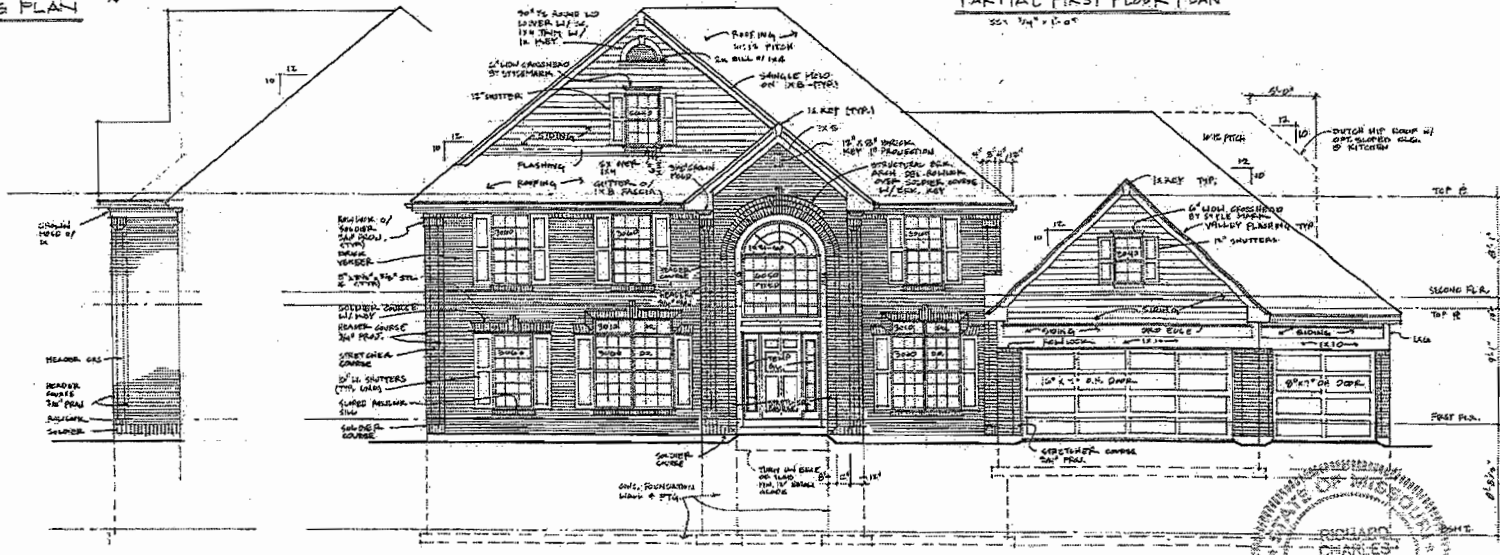
PARTIAL SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"



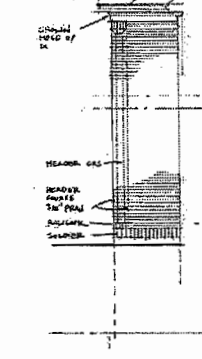
PARTIAL FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"

ELEVATION DRAWING NOTES

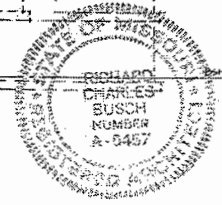
1. FROM ELEVATION TO REFERENCE TO DRAWING PLAN AND FOUNDATION.
2. SEE PLAN FOR FOUNDATION DETAIL, SILL, AND GENERAL NOTES FOR FOUNDATION.
3. SEE PLAN FOR ROOF FRAMING DETAIL, SILL, AND GENERAL NOTES FOR ROOF FRAMING.
4. SEE PLAN FOR WALL DETAIL, SILL, AND GENERAL NOTES FOR WALL.
5. SEE PLAN FOR WINDOW DETAIL, SILL, AND GENERAL NOTES FOR WINDOW.
6. SEE PLAN FOR DOOR DETAIL, SILL, AND GENERAL NOTES FOR DOOR.
7. SEE PLAN FOR PORCH DETAIL, SILL, AND GENERAL NOTES FOR PORCH.
8. SEE PLAN FOR GARAGE DETAIL, SILL, AND GENERAL NOTES FOR GARAGE.
9. SEE PLAN FOR STAIR DETAIL, SILL, AND GENERAL NOTES FOR STAIR.
10. SEE PLAN FOR BATH DETAIL, SILL, AND GENERAL NOTES FOR BATH.
11. SEE PLAN FOR KITCHEN DETAIL, SILL, AND GENERAL NOTES FOR KITCHEN.
12. SEE PLAN FOR HALL DETAIL, SILL, AND GENERAL NOTES FOR HALL.
13. SEE PLAN FOR BEDROOM DETAIL, SILL, AND GENERAL NOTES FOR BEDROOM.
14. SEE PLAN FOR LIVING DETAIL, SILL, AND GENERAL NOTES FOR LIVING.
15. SEE PLAN FOR DINING DETAIL, SILL, AND GENERAL NOTES FOR DINING.
16. SEE PLAN FOR BREAKFAST DETAIL, SILL, AND GENERAL NOTES FOR BREAKFAST.
17. SEE PLAN FOR CLOSET DETAIL, SILL, AND GENERAL NOTES FOR CLOSET.
18. SEE PLAN FOR TERRACE DETAIL, SILL, AND GENERAL NOTES FOR TERRACE.
19. SEE PLAN FOR PATIO DETAIL, SILL, AND GENERAL NOTES FOR PATIO.
20. SEE PLAN FOR DRIVEWAY DETAIL, SILL, AND GENERAL NOTES FOR DRIVEWAY.



FRONT # 3
Scale: 1/4" = 1'-0"



PARTIAL SIDE
Scale: 1/4" = 1'-0"



DATE: 11/11/11
REVISED: 11/11/11

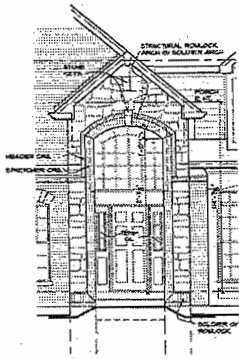
db
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PH: 314.433.1111
WWW.DICKBUSCHARCHITECTS.COM

Mayer
Homes

RIVIERA

FRONT ELEVATION # 3

SHEET 7

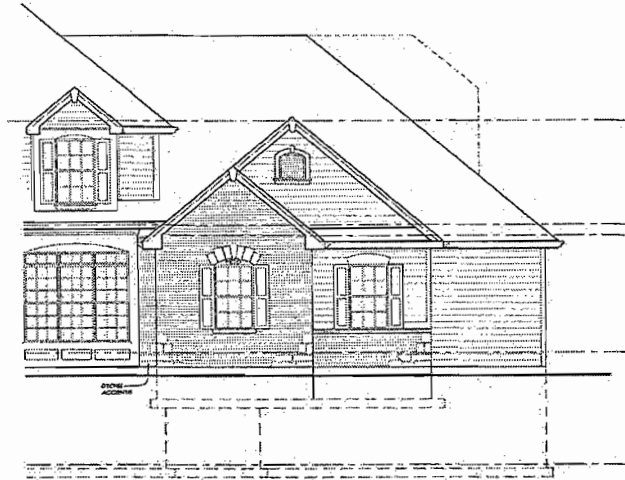


**PARTIAL
OPT. FRONT ELEVATION #4**
1/4" = 1'-0"

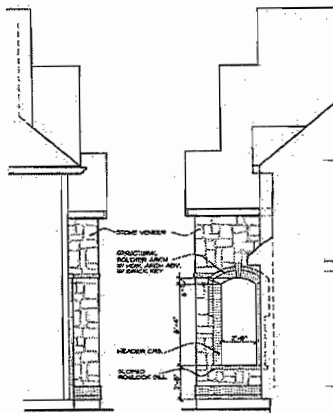
SCALE ELEV. & PORCH
DIMENSIONS ARE THE SAME

ELEVATION DRAWING NOTES

1. FRONT ELEVATION #5 RELATES TO BASE FLOOR PLAN AND FOUNDATION.
2. SIDE ELEV. PLUMB/ELEVATIONS, DETAIL SHEET, AND GENERAL NOTES FOR ADDITIONAL SPECIFICATION.
3. SIDING: SIDING SHALL BE POSITIONED A MINIMUM OF 6" DROP WHEN THE FIRST 1/2" ON TO A SHALE.
4. EXTERIOR FINISH: SMALL EXTENDING A MINIMUM OF 2'-6" BELOW FINISHED GRADE AND BREAK ON UNDISTURBED SOIL OR PREPARED FILL.
5. BRICK VENEER: ALL SOLIDITY AND ROSEWOOD FRAGERS, SILLS AND TIE IN PROJECT 1/4" SMALLER NOTED OTHERWISE.
6. CONCRETE SILLING: SHALL EXTEND ABOVE ROOF LINE 3'-0" AT POINT OF PENETRATION AND 7'-0" LONGER THAN ANY PORTION OF THE BUILDING OTHER THAN HORIZONTALLY.
7. DECK DOORS: SECURELY BARRICADE DOOR INTO DECK IS BUILT AND APPROVED.
8. ROOF FLASHING: PROVIDE CORROSION-RESISTANT METAL FLASHING AT ALL ROOF VALLEYS, WALL, AND CHIMNEY INTERSECTIONS, PORCHES, DECKS, ETC.
9. GUTTER VALLEYS: LIVING TO BE CORROSION RESISTANT METAL FLASHING 4" MIN. OF 3/4" WIDE.
10. CLASSIC VALLEYS: HOLLOW 1/2" OF SMOOTH ROLL ROOFING (TYPE 1) OR 1/2" A MINIMUM OF 3/4" WIDE.
11. CEMENT/STUCCO: PROVIDE EXTERIOR GRADE SORT (SEAL ALL JOINTS) INSULATION BETWEEN FLOOR JOINT TO MINIMIZE R-15 AND VENT JOINT CAVITIES.
12. BASEMENT: MAJOR CONC. FOUNDATION WALLS WITH MORE THAN 30% EXPOSURE ABOVE FINISHED GRADE SHALL BE INSULATED. SEE GENERAL NOTES.
13. GENERAL CONTRACTOR SHALL COVER USE OF ALL TRIM ACCESSORIES AND FLOOR FINISHES WITH SUPPLIER EXTERIOR COORDINATING.
14. MATERIAL DESIGNATIONS ARE THOSE ON OTHER DRAWING SHEETS.



PARTIAL FRONT ELEVATION #5
1/4" = 1'-0"
W/ 3-CAR SIDE
ENTRY GARAGE



**PARTIAL SIDE ELEV.'S
& FRONT PORCH**
1/4" = 1'-0"



FRONT ELEVATION #5
1/4" = 1'-0"

NOTE: SEE FRONT ELEVATION #4
FOR ADDITIONAL INFORMATION



DATE: 11/11/11
REVISION: 11/11/11

date: 11/11/11
revised: 11/11/11

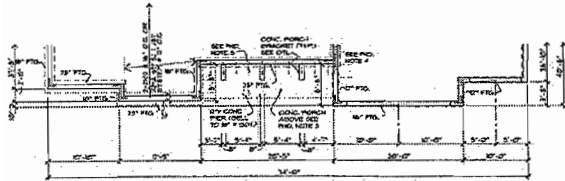
diak busch architects, p.c.
10111 101st Avenue NE
Bellevue, WA 98004
Phone: (206) 451-1111
Fax: (206) 451-1112
www.diakbusch.com

Prestige

"RIVIERA"
MASTER PLAN

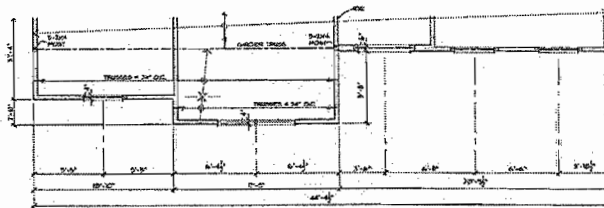
FRONT ELEVATION #5

sheet: 9 of 24



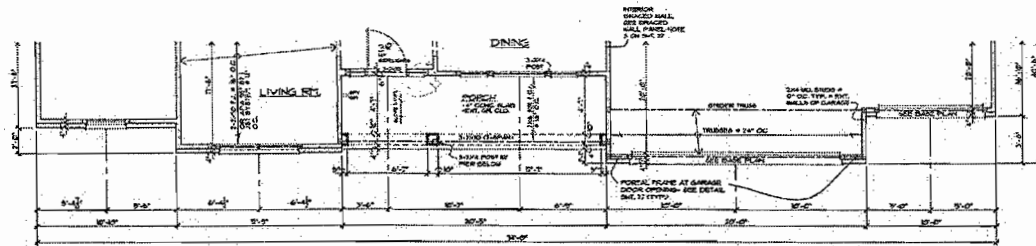
FOUNDATION PLAN

1/8" = 1'-0"



PARTIAL SECOND FLOOR PLAN

1/4" = 1'-0"

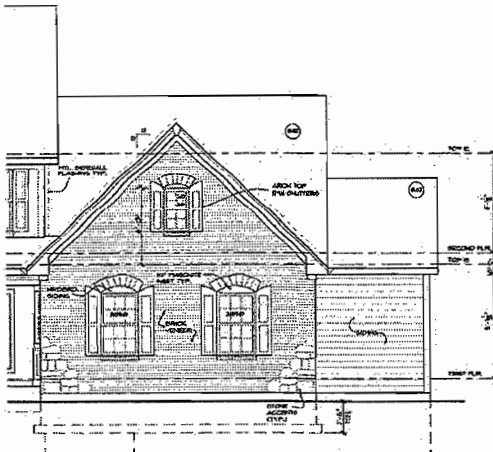


PARTIAL FIRST FLOOR PLAN

1/4" = 1'-0"

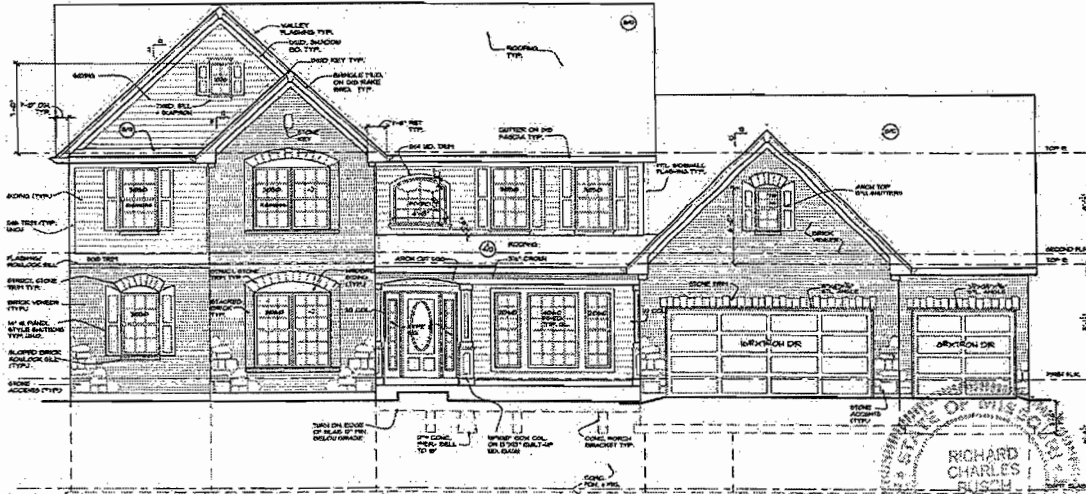
ELEVATION DRAWING NOTES

1. FRONT ELEVATION IS RELATED TO BASE FLOOR PLAN AND FOUNDATION.
2. SEE BASE PLAN ELEVATION, DETAIL, SHEET, AND GENERAL NOTES FOR ADDITIONAL INFORMATION.
3. GRADE IS AS SHOWN FROM FOUNDATION A MINIMUM OF 4" DROP WITHIN THE FIRST 12" OR TO A SILL.
4. EXTERIOR FINISHES SHALL EXTEND A MINIMUM OF 1'-0" BELOW FINISHED GRADE AND SEAR ON UNGRADED SOIL OR PREPARED FILL.
5. EXTERIOR FINISHES SHALL EXTEND ABOVE ROOF FINISH 3'-0" AT POINT OF PENETRATION AND 7'-0" HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 12' HORIZONTALLY.
6. DOOR THRESHOLS SHALL BE PROTECTED BY A MINIMUM OF 1/2" RADIUS AND APPROVED.
7. DOOR FINISHES PROVIDE CORROSION RESISTANT FINISH PLANNING AT ALL ROOF VALLEYS, WALL AND CORNER INTERSECTIONS, PORCHES, DECKS, ETC.
8. GROUND VALLEYS LINED TO BE CORROSION RESISTANT FINISH PLANNING A MIN. OF 3/4" EDGE.
9. CLOSED VALLEYS SHALL BE ONE PLY OF SMOOTH ROLL ROOFING TYPE II OR III A MINIMUM OF 36" WIDE.
10. CARETAKERS PROVIDE EXTERIOR GRADE BERRY (SEAL ALL JOINTS) INSULATION BETWEEN FLOOR JOIST TO TRANSIT R-15 AND VENT JOIST CAVITIES.
11. EXTERIOR FINISHES SHALL BE INSULATED. SEE GENERAL NOTES.
12. GENERAL CONTRACTOR SHALL CONFIRM USE OF ALL TEST ACCESSORIES AND MODEL NUMBERS WITH SUPPLIER BEFORE ORDERING.
13. DIMENSIONS ARE THOSE OF DIMS CONING LUMBERS.



PARTIAL FRONT ELEVATION #6

1/4" = 1'-0"
© COPY 3 CAR SIDE ENTRY GARAGE



FRONT ELEVATION #6

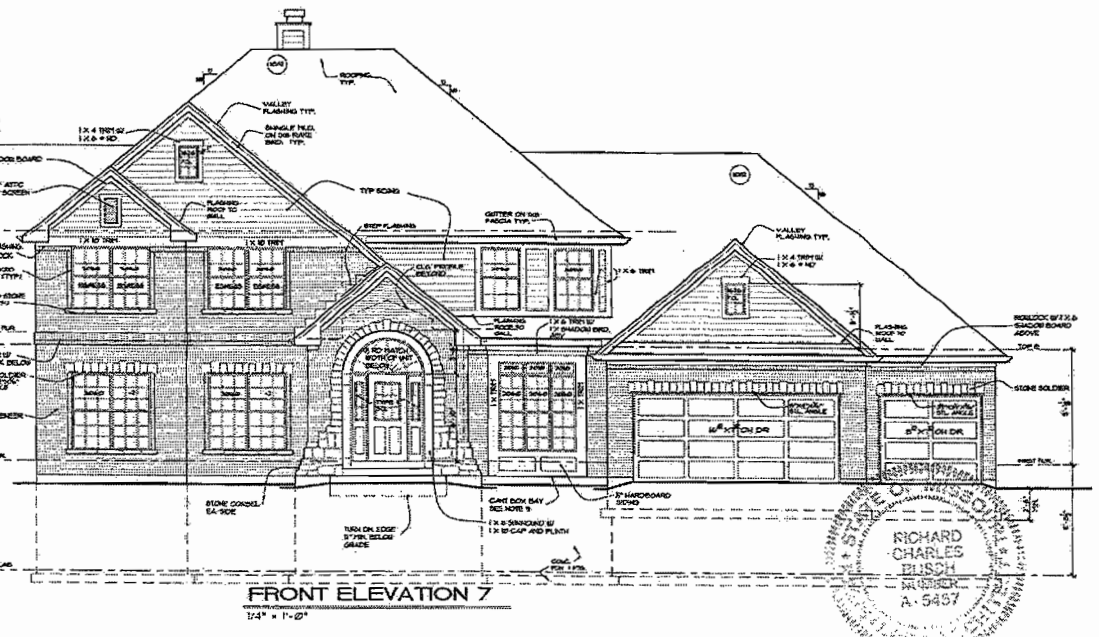
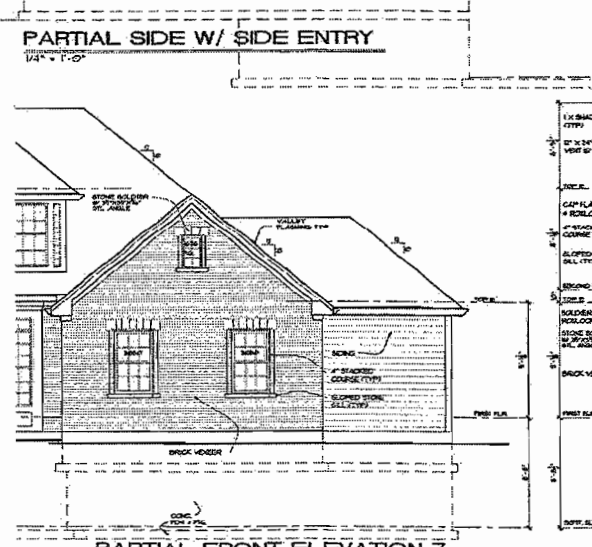
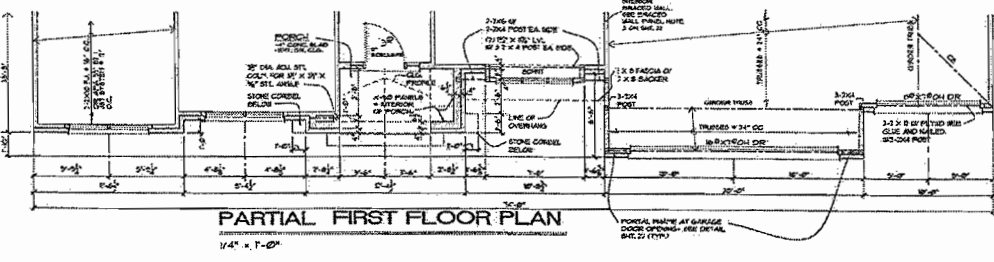
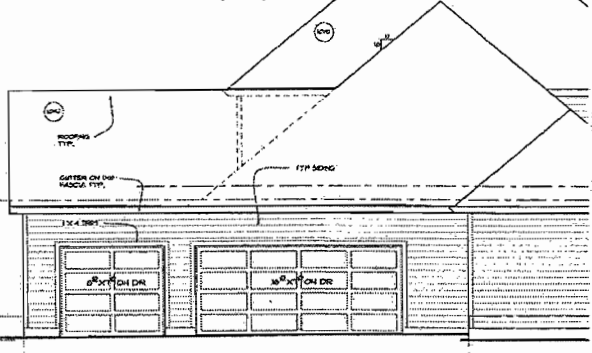
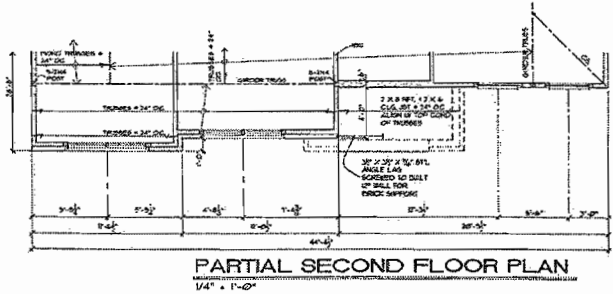
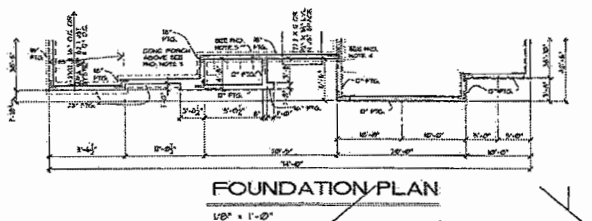
1/4" = 1'-0"



date: revised: 5/16/08
 click buch architects, pc
 1840 Old Chancellors Rd.
 Nashville, TN 37217
 (615) 232-1111
 info@clickbuch.com
 www.clickbuch.com

"RIVIERA"
 MASTER PLAN
 FRONT ELEVATION #6

Sheet: **10** of 24



- ELEVATION DRAWING NOTES**
- FRONT ELEVATION 7 RELATES TO BASE FLOOR PLAN AND FOUNDATION.
 - SEE BASE PLAN/ELEVATIONS DETAIL SHEET, AND GENERAL NOTES FOR ADDITIONAL INFORMATION.
 - GRADE: EXPOSED ASHLY FIBRE FOUNDATION A MINIMUM OF 4" DEEP WITHIN THE FINISH 1/2" OR TO A SEAL.
 - FOOTINGS: EXPOSED SHALL EXTEND A MINIMUM OF 2'-0" BELOW FINISHED GRADE AND BEAR ON UNDISTURBED SOIL OR PREPARED FILL.
 - ROOF: MEMBERS: ALL BOLDS AND ROOFLOCK HEADERS, PILLS AND TRIM TO PROJECT 1/2", UNLESS NOTED OTHERWISE.
 - CHIMNEY: HEIGHT SHALL EXCEED ABOVE ROOF FIN 3'-0" AT POINT OF PENETRATION AND 2'-0" HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 45° HORIZONTALLY.
 - DECK: ROOFS: SECURELY DAMPPROOF DOOR/UNTIL DECK IS DALT AND APPROVED.
 - ROOF FLASHING: PROVIDE CORROSION-RESISTANT METAL FLASHING AT ALL ROOF VALLEYS, WALL AND CHIMNEY INTERSECTIONS, PONDS, DECKS, ETC. CORN VALLEYS: LEAD TO BE CORROSION RESISTANT METAL FLASHING A MIN OF 2" WIDE. CLOSED: UNLESS MIN ONE FOOT OF SMOORH ROLL ROOFING (TYPE 4 OR 3) A MINIMUM OF 3" WIDE.
 - CARROLLOCK: PROVIDE EXTERIOR GRADE GORTH (SEAL ALL JOINTS) INSULATION BETWEEN FLOOR JOINT TO FINISH R/S AND VOID JOINT CAVITIES.
 - BASEMENT: HAVING CONC FOUNDATION WALLS WITH MORE THAN 20% EXPOSURE ABOVE FINISHED GRADE SHALL BE INSULATED. SEE GENERAL NOTES.
 - GENERAL CONTRACTOR SHALL CONFIRM USE OF ALL TRIM ACCESSORIES AND MODEL NUMBER WITH SUPPLIER BEFORE ORDERING.
 - UNLESS DESIGNATIONS ARE THOSE ON OVER CORNING LISTINGS

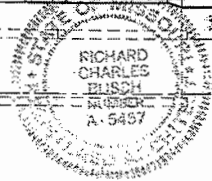
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 PROJECT: 1/25/20
 DRAWN BY: J. B. B. / J. B. B.
 CHECKED BY: J. B. B. / J. B. B.
 SCALE: AS SHOWN
 © 2020 BY J. B. B. ARCHITECTS, P.C.

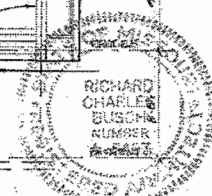
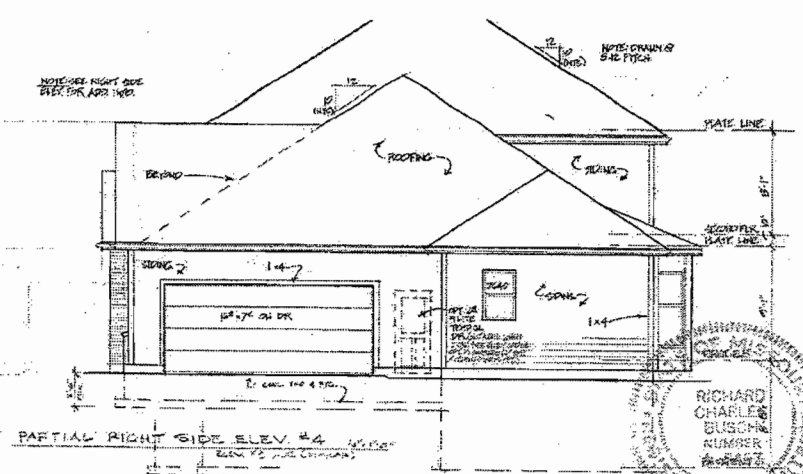
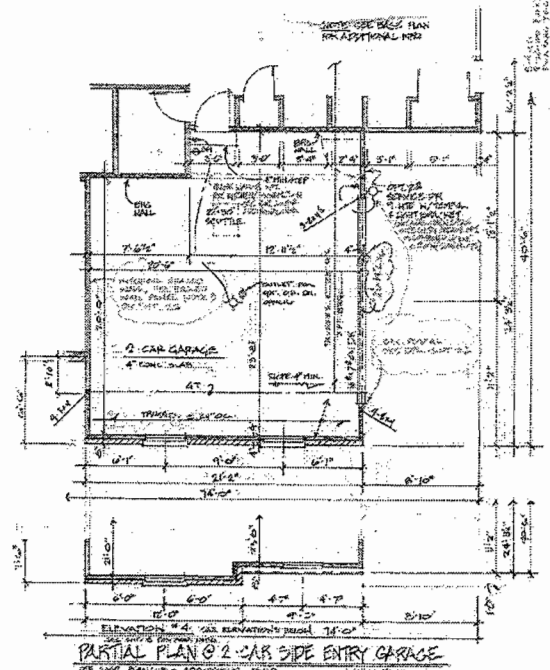
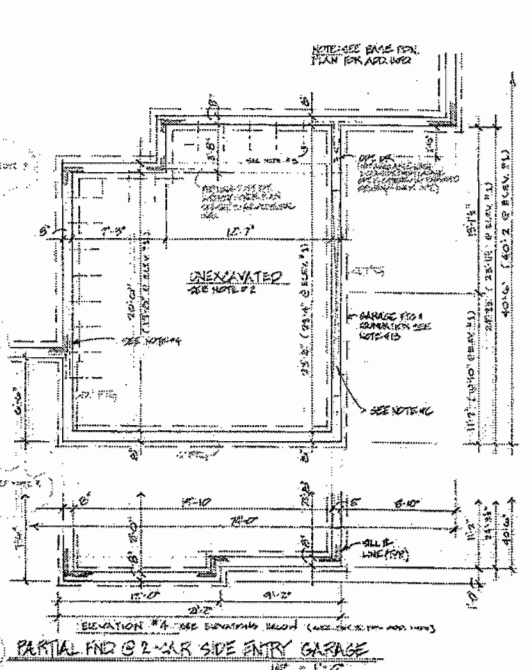
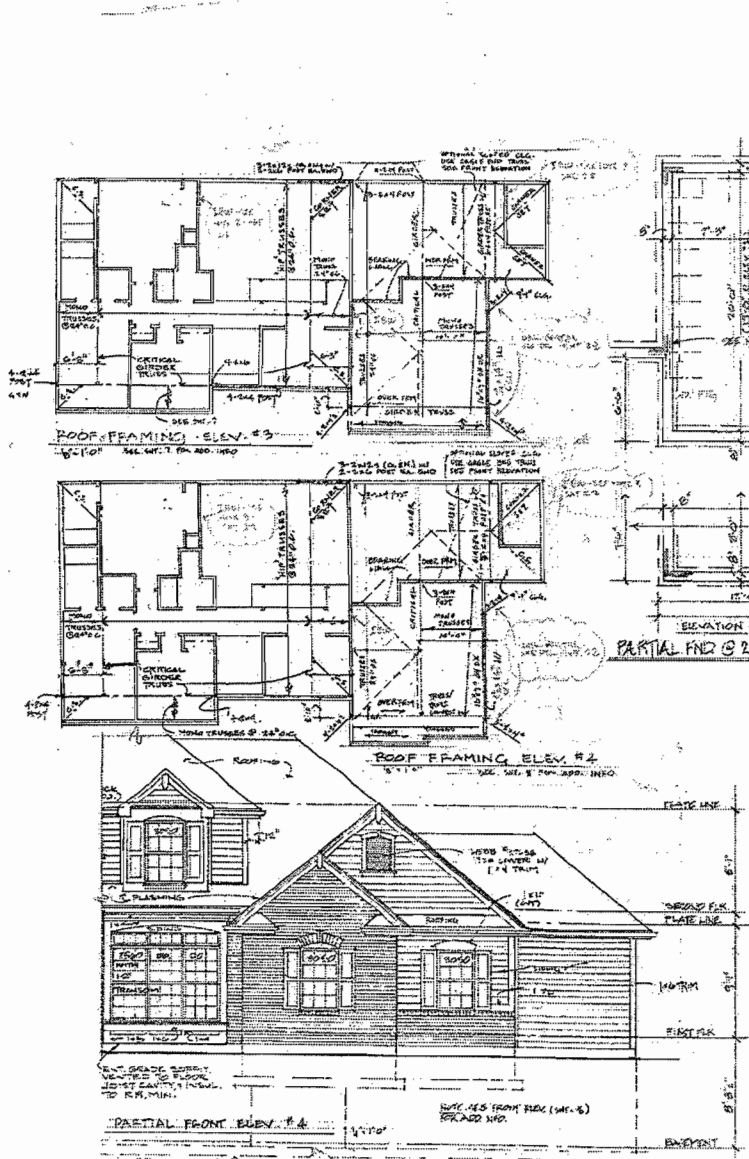
dick buch architects p.c.
 1625 BROADWAY, SUITE 200
 WASHINGTON, DC 20004
 TEL: 202.331.1111
 WWW.DICKBUCHARCHITECTS.COM

Prestige
 LUXURY HOMES

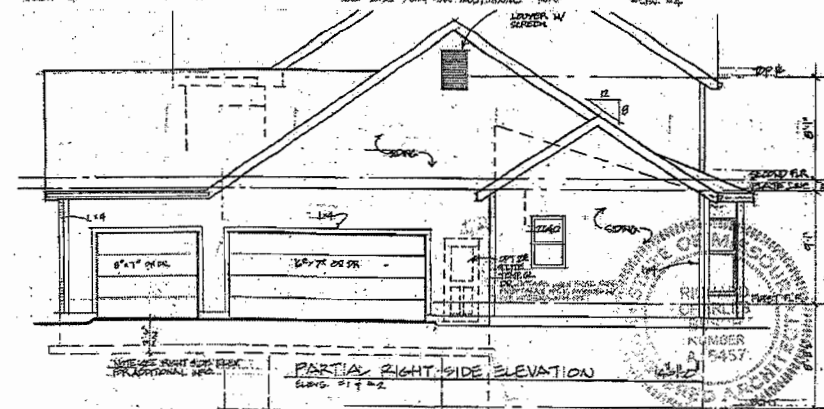
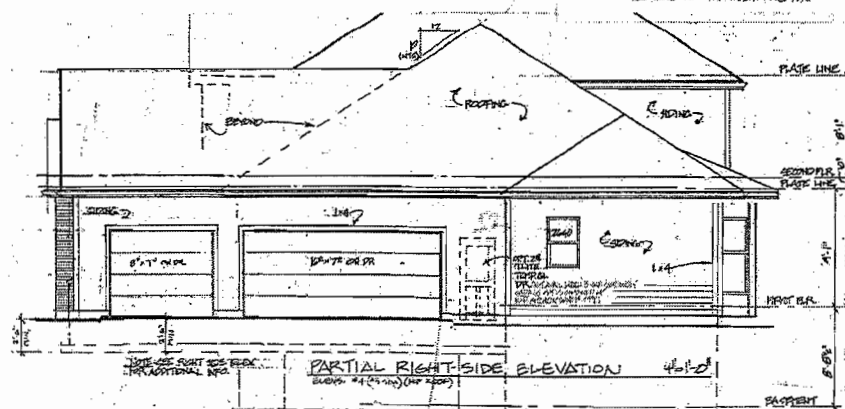
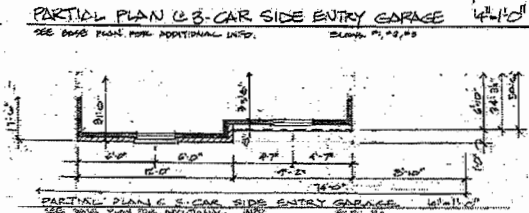
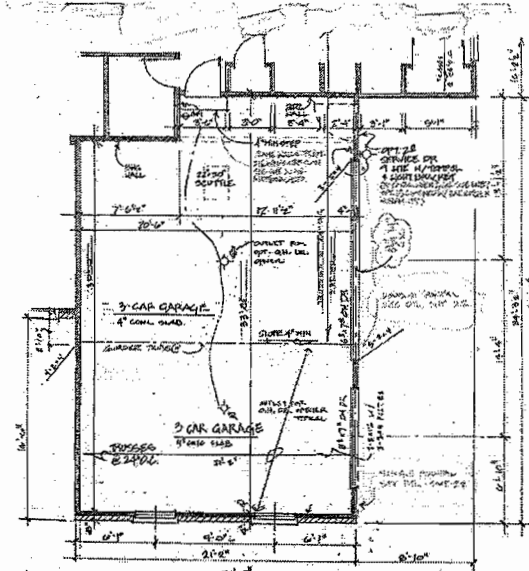
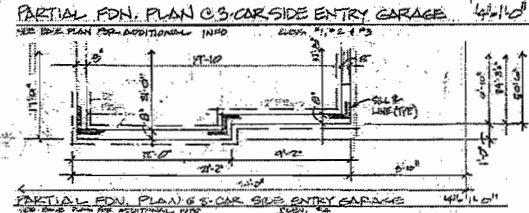
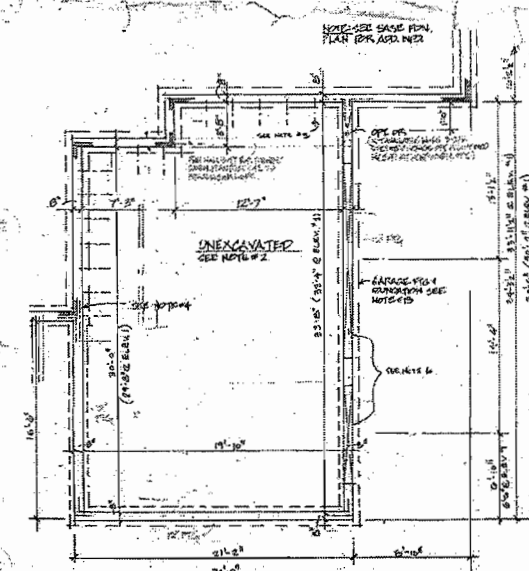
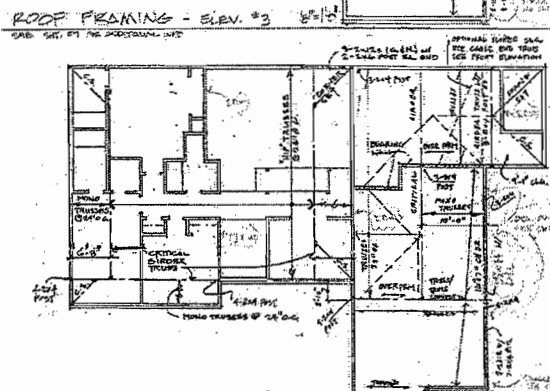
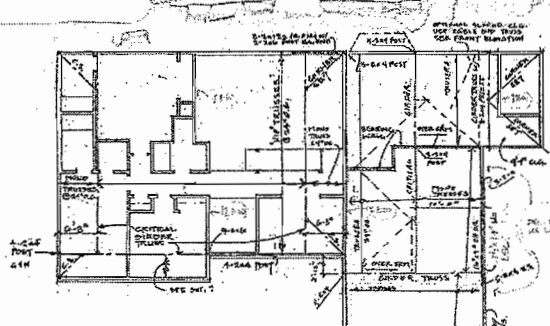
**"RIVIERA"
 MASTER PLAN**

FRONT ELEVATION #7





DATE 10/11/11	REVISION
	1. 10/11/11
SHEET 16 OF 25 2-CAR SIDE ENTRY GARAGE	



DATE 10-1-16
 REVISIONS
 1. REV. 10-1-16
 2. REV. 10-1-16
 3. REV. 10-1-16
 4. REV. 10-1-16
 5. REV. 10-1-16
 6. REV. 10-1-16
 7. REV. 10-1-16
 8. REV. 10-1-16
 9. REV. 10-1-16
 10. REV. 10-1-16

OKBLSCH ARCHITECT
 1000 S. 10TH AVE. SUITE 100
 DENVER, CO 80202
 PH: 303.733.1111
 WWW.OKBLSCHARCHITECT.COM

Mayer
 Homes

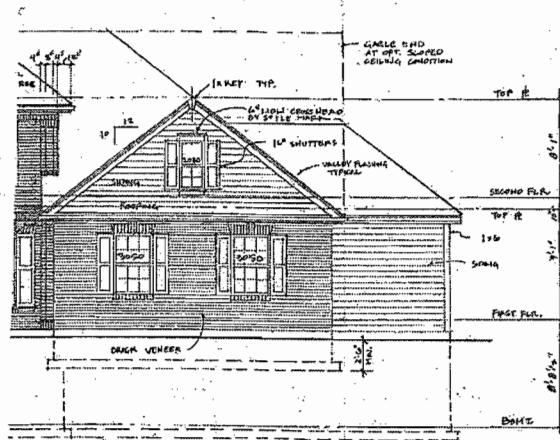
RIVERA

3-CAR SIDE ENTRY GARAGE

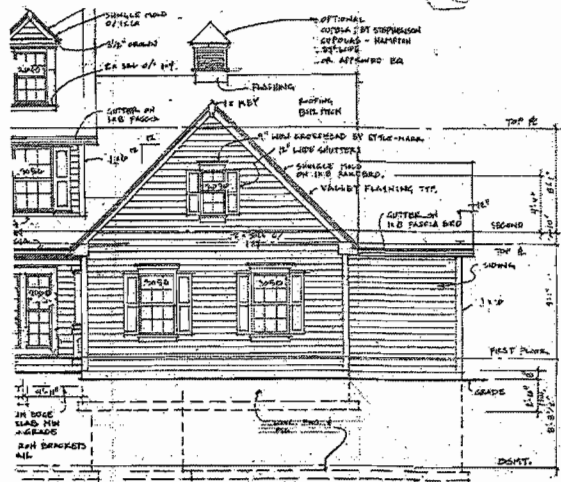
SHEET 18

NUMBER 2457

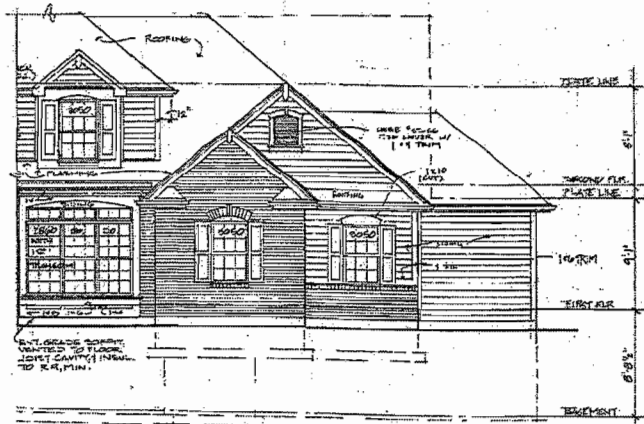
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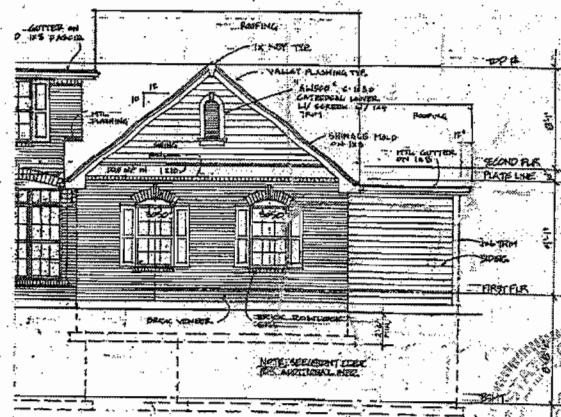
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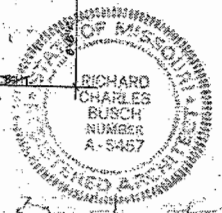
FRONT ELEVATION #1 ALL. OPT. 2. P. 400-1110.



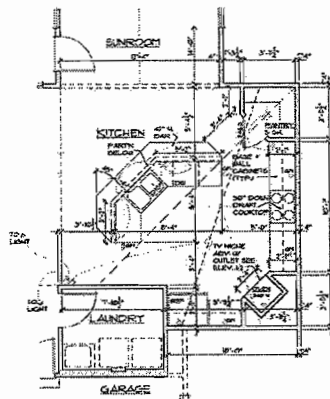
PARTIAL FRONT ELEV. #2 ALL. OPT. 3. P. 400-1110.



PARTIAL FRONT ELEV. #2 ALL. OPT. 4. P. 400-1110.

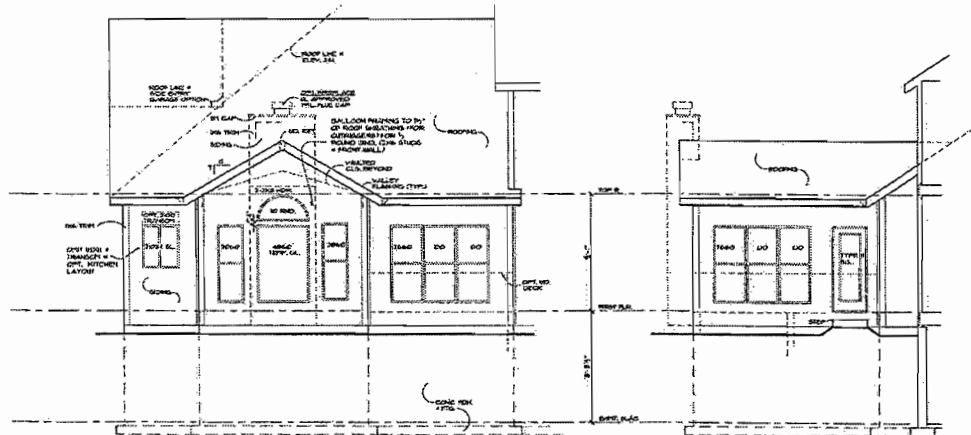


DATE 01-17-78
 REVISION 8-23-74
 ok to construct
 10/10/77 10/10/77
 10/10/77
 Mayer Homes I
 RIVIERA
 2-CAR SIDE ENTRY GARAGE
 SHEET 19



ALT. KITCHEN LAYOUT

1/4" = 1'-0"
 -# OPT. EXPANDED KITCHEN/
 SUNROOM PLAN
 -SEE ADJACENT PLAN FOR
 ADDITIONAL INFO.

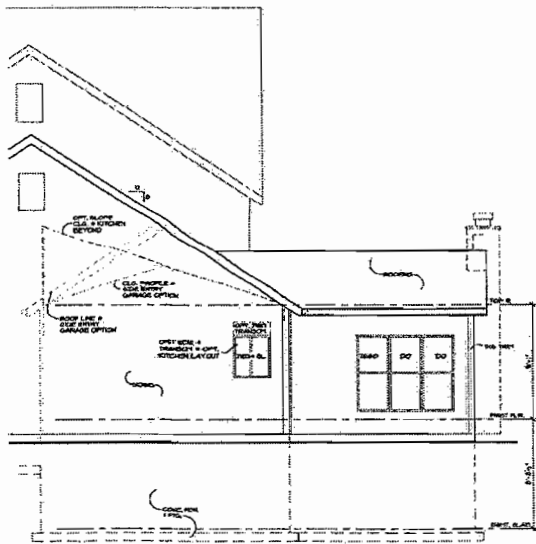


PARTIAL REAR ELEV.

1/4" = 1'-0"
 -SEE BASE ELEV.'S FOR
 ADDITIONAL INFORMATION

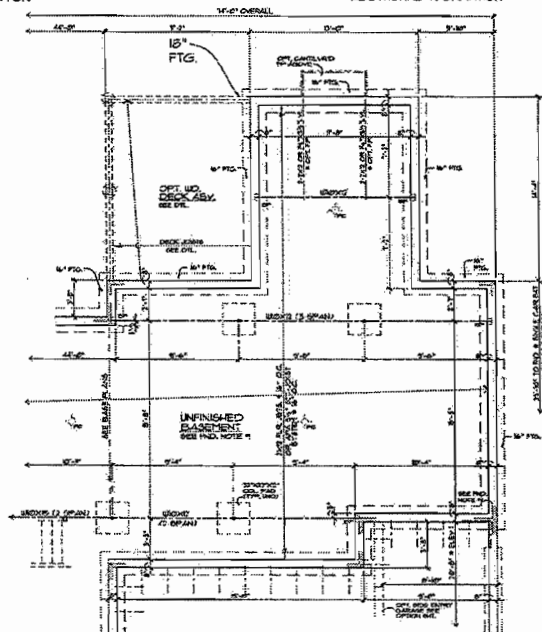
PARTIAL LEFT SIDE ELEV.

1/4" = 1'-0"
 -SEE BASE ELEV.'S FOR
 ADDITIONAL INFORMATION



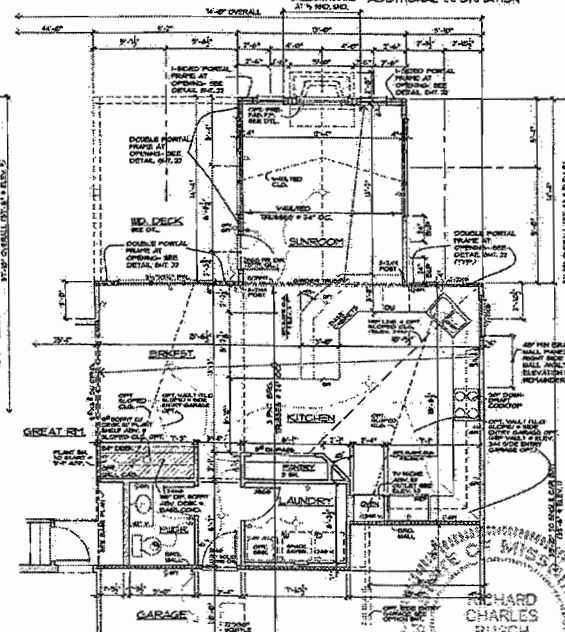
PARTIAL RIGHT SIDE ELEV.

1/4" = 1'-0"
 -SEE BASE ELEV.'S FOR
 ADDITIONAL INFORMATION



PARTIAL FOUNDATION PLAN

1/4" = 1'-0"
 -SEE BASE PLANS FOR
 ADDITIONAL INFORMATION



PARTIAL FIRST FLR PLAN

1/4" = 1'-0"
 -SEE BASE PLANS FOR
 ADDITIONAL INFORMATION

date: _____
 revised: _____
 BY: _____
 FOR: _____
 5/20/08
 10:30 AM
 5/23/07

old batch architects p.c.
 1415 W. 10th Street
 Suite 100
 Anchorage, AK 99503
 (907) 562-1234
 www.oldbatch.com

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 ARCHITECTS

**"RIVIERA"
 MASTER PLAN**

**OPT. EXPANDED
 KITCHEN/SUNRM. PLAN**

sheet: **20** of 24

RICHARD CHARLES RUSCH ARCHITECT
 4155 STATE ST. SUITE 100
 ANCHORAGE, AK 99503
 (907) 562-1234
 R-5457

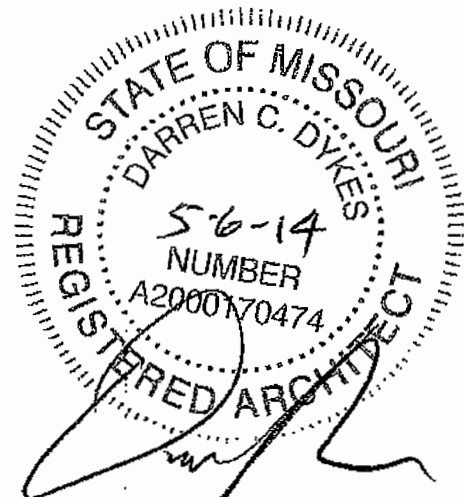




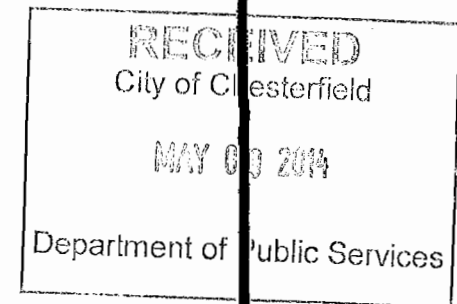
FRONT ELEVATION #1

SCALE: 1/8" = 1'-0"

BORDEAUX- CHESTERFIELD



DATE: 05.06.14
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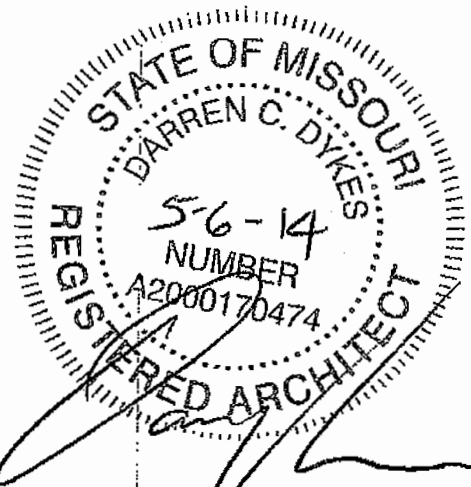
1000 EXECUTIVE PKWY
SUITE 106
ST. LOUIS, MO 63141



FRONT ELEVATION #2

SCALE: 1/8" = 1'-0"

BORDEAUX-CHESTERFIELD



DATE: 05.06.14

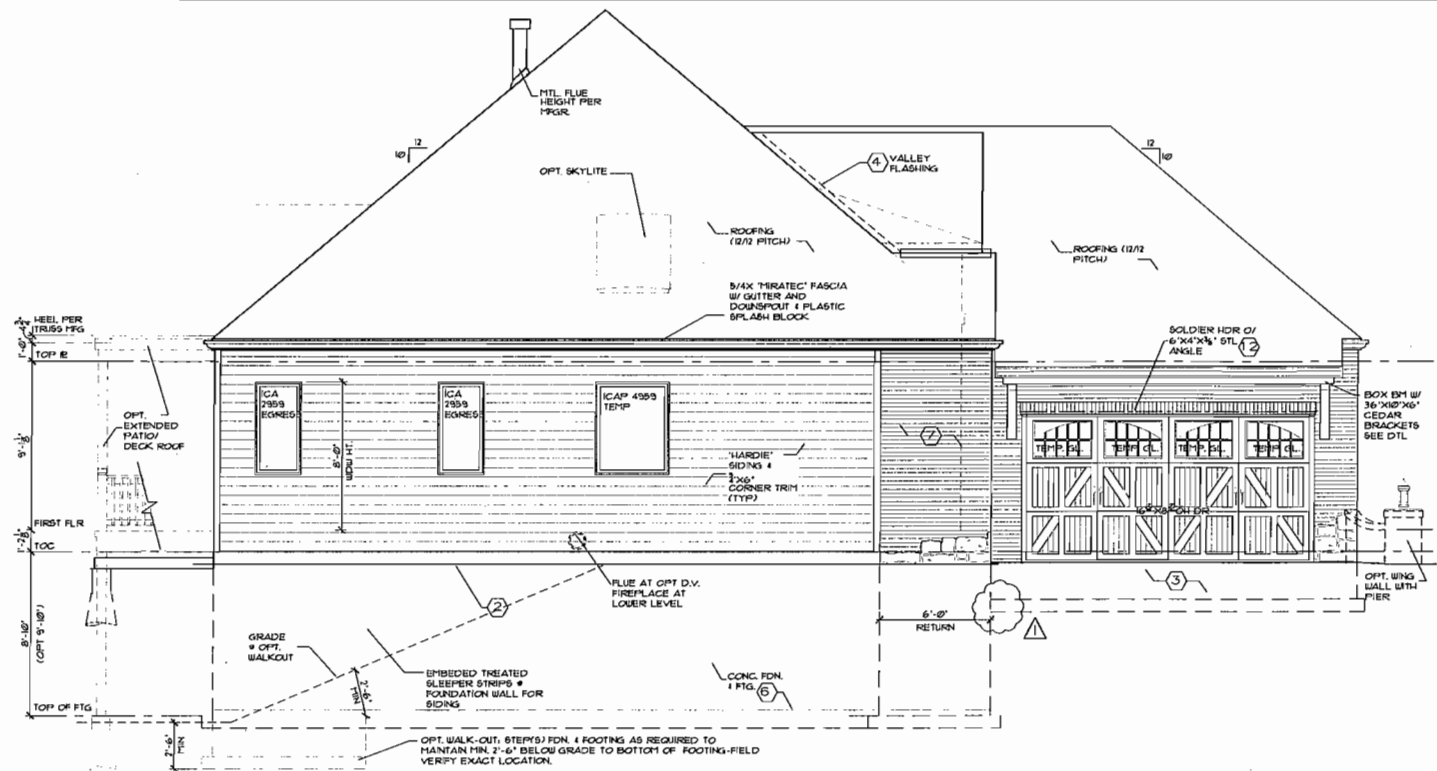
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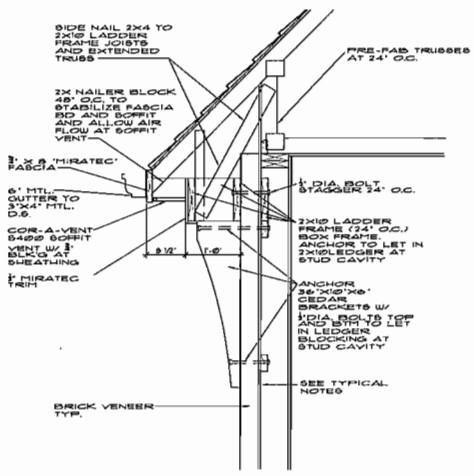
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SUITE 106
ST. LOUIS, MO 63141



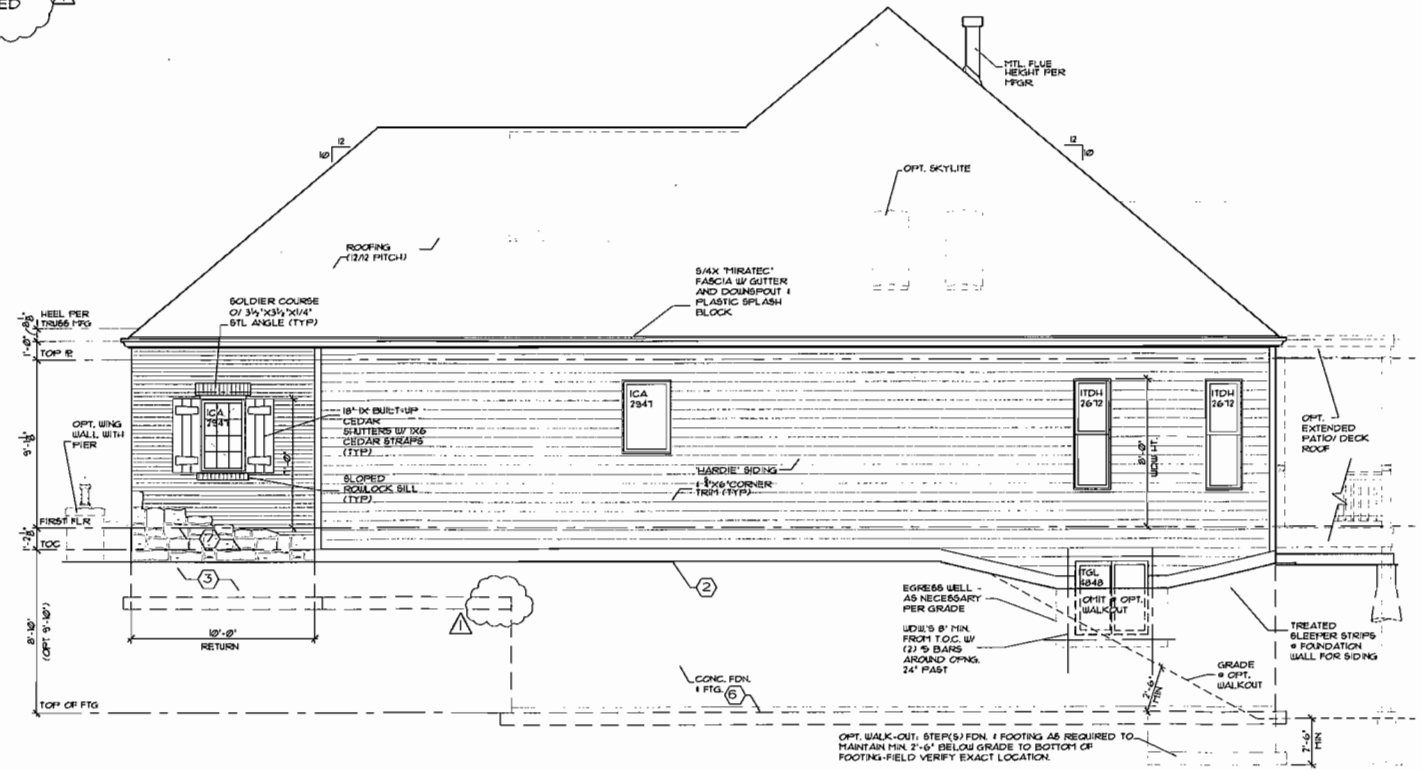
LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

13% MASONRY/81% SIDING
(GARAGE CONSIDERED FRONT)

- ELEVATION KEY NOTES**
- 1-SEE BASE PLANS AND DETAIL SHEET FOR ADDITIONAL INFORMATION.
 - 2-FINISHED GRADE (FV)-SLOPE GRADE AWAY FROM FOUNDATION MINIMUM 1" FT. FOR A DISTANCE OF 8'-0" OR TO A SWALE.
 - 3-BRICK WALL: BOTTOM OF ALL FOOTINGS TO SET ON VIRGIN SOIL & BE MINIMUM 30" BELOW GRADE.
 - 4-FLASHING: PROVIDE CORROSION-RESISTANT METAL FLASHING AT ALL WALL AND CHIMNEY INTERSECTIONS, PORCHES, DECKS, ETC. ICE AND WATERSHIELD FLASHING AT THE ROOF VALLEYS PROVIDED THE SHINGLES ARE INTERLACED. ALSO USE METAL FLASHING & ALL SIDING FOR TERRA-MASONRY TRANSITION.
 - 5-WINDOW DESIGNATIONS ARE THOSE OF MARVIN INTEGRAITY.
 - 6-FOOTINGS & PIERS: BOTTOM OF ALL FOOTINGS TO SET ON VIRGIN SOIL. PIERS TO EXTEND MINIMUM 24" INTO SOLID VIRGIN SOIL. BOTH SHALL BE MINIMUM 30" BELOW GRADE.
 - 7-SHOCK & STONE VENEER: ALL SOLDIER AND ROLLOCK HEADERS, BELLS AND TRIPLES PROJECT AS UNLESS NOTED OTHERWISE.
 - 8-SIDING TO COMPLY WITH ASTM C1186, TYPE A, GRADE IF JOINT ENDS GOALS JUST.
 - 9-DECK DOORS: SECURELY BARRICADE DOOR UNTIL DECK IS BUILT AND APPROVED.
 - 10-CASTLENESS: PROVIDE EXTERIOR GRADE BOFFIT (SEAL ALL JOINTS) INSULATION BETWEEN FLOOR JOIST TO MINIMUM R-19 AND VENT JOIST CAVITIES.
 - 11-GENERAL CONTRACTOR SHALL CONFIRM USE OF ALL TRIM ACCESSORIES AND MODEL NUMBERS WITH SUPPLIER BEFORE ORDERING.
 - 12-STEEL ANGLE AT GARAGE DOORS TO BE BOLTED TO STRUCTURAL HORIZ. BEHIND USE 1" DIA. BOLTS 24" O.C. STEEL ANGLE TO HAVE SLOTTED HOLES TO ENSURE BOLTS MOVE FREELY IN VERTICAL DIRECTION AS AS NEEDED TO ACCOMMODATE ADJUSTMENT.
 - 13-ANY WINDOW ABOVE OPENING IS MORE THAN 6'-0" ABOVE THE FINISH GRADE OR SURFACE BELOW AND LESS THAN 24" ABOVE FLOOR WILL REQUIRE A GREENSBORO CONTRACT DEVICE (SEE A609 NC-2502).



BRACKETED O.H. DTL.
SCALE: 3/4" = 1'-0"



RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

16% MASONRY/84% SIDING

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7604 BIG BEND, SUITE A
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BENTON HOMEBUILDERS
1000 EXECUTIVE PKWY
SUITE 106
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SHEET CONTENTS:
SIDE ELEVATIONS

BORDEAUX on MOSLEY

DATE: 09.29.13	JOB NO: 130226
REVISIONS: 11.13	
▲ 304 PLAN REVIEW KEYS	
DRAWN BY: JLB	CKD BY: DCO

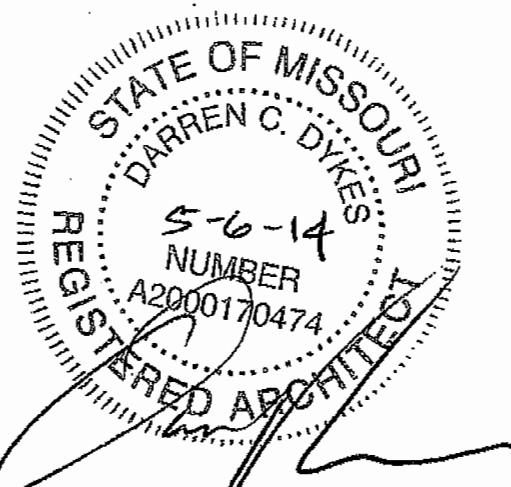
SHEET NUMBER
5
OF 22



FRONT ELEVATION #1

SCALE: 1/8" = 1'-0"

MONT BLANC- FRONTENAC



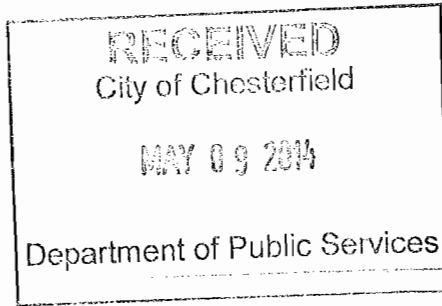
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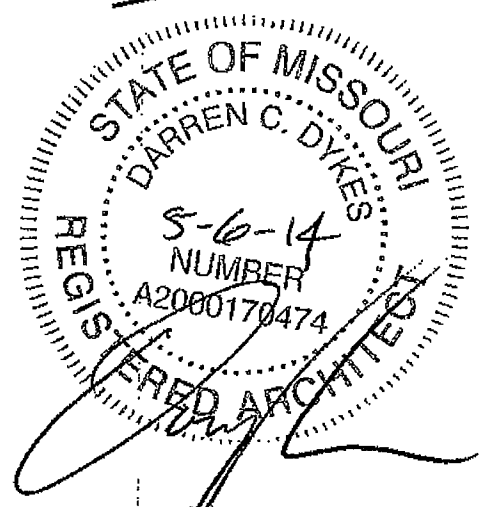


1000 EXECUTIVE PKWY
SUITE 106
ST. LOUIS, MO 63141





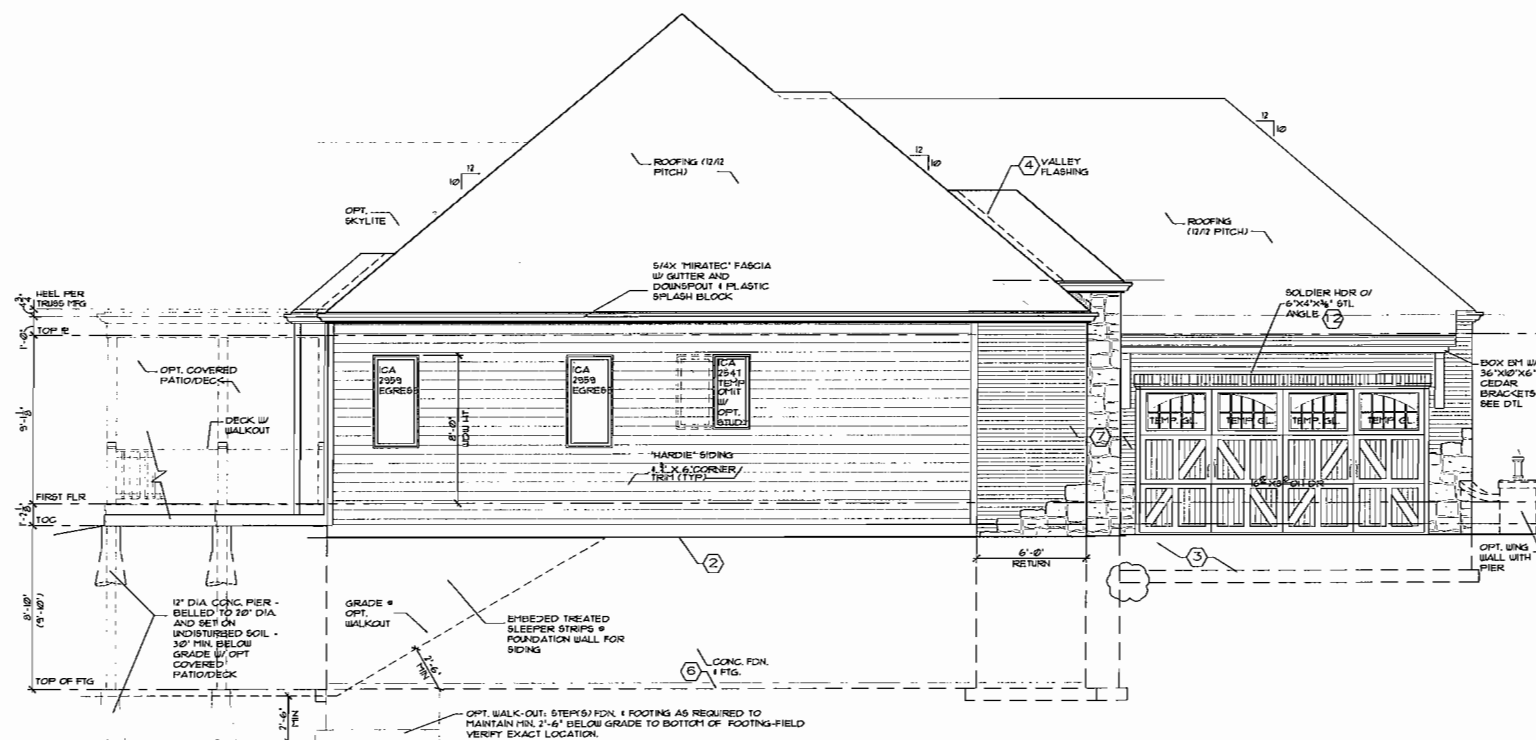
FRONT ELEVATION #2
SCALE: 1/8" = 1'-0" MONT BLANC- FRONTENAC



DATE: 05.06.14
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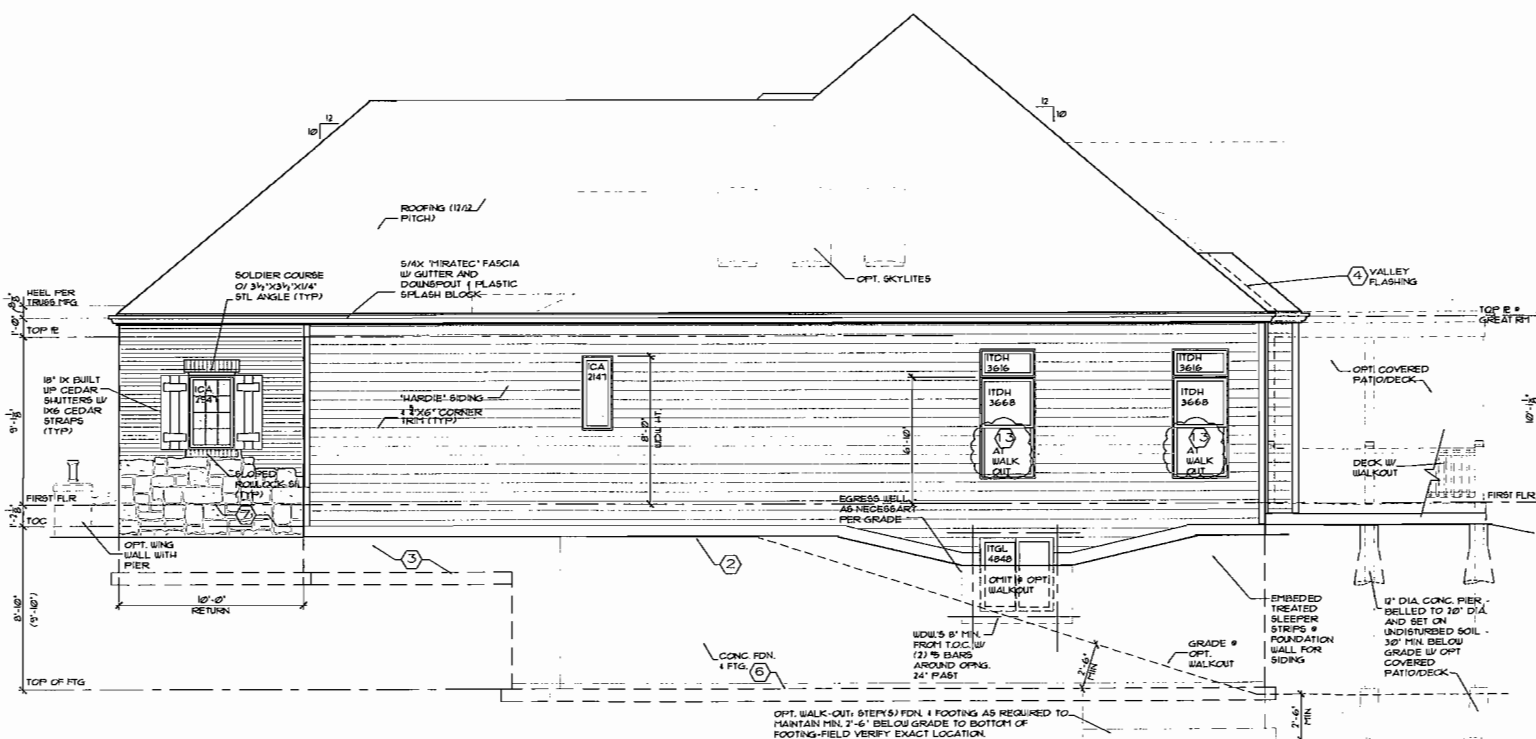
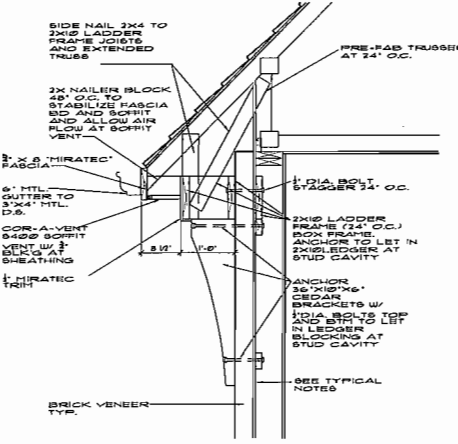
DL DESIGN 
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ST. LOUIS, MO 63119
314.644.3420

BENTON
Homebuilders
1000 EXECUTIVE PKWY
SUITE 106
ST. LOUIS, MO 63141



ELEVATION KEY NOTES

- 1- SEE BASE PLANS AND DETAIL SHEET FOR ADDITIONAL INFORMATION.
- 2- FINISHED GRADE (F.V.)-SLOPE GRADE AWAY FROM FOUNDATION MINIMUM 1% FOR A DISTANCE OF 8'-0" OR TO A SWALE.
- 3- FOOT WALL- BOTTOM OF ALL FOOTINGS TO SET ON VIRGIN SOIL & BE MINIMUM 30" BELOW GRADE.
- 4- FLASHING- PROVIDE CORROSION- RESISTANT METAL FLASHING AT ALL GULL AND CHIMNEY INTERSECTIONS, PORCHES, DECKS, ETC. ICE AND WATERSHIELD FLASHING AT THE ROOF VALLEYS PROVIDED THE SHINGLES ARE INTERLACED. ALSO USE METAL FLASHING & ALL SIDING FOR TRIM/MASONRY TRANSITION.
- 5- WINDOW DESIGNATIONS ARE THOSE OF MARVIN INTEGRITY.
- 6- FOOTINGS & PILES- BOTTOM OF ALL FOOTINGS TO SET ON VIRGIN SOIL. PIERS TO EXTEND MINIMUM 24" INTO SOLID VIRGIN SOIL. BOTH SHALL BE MINIMUM 30" BELOW GRADE.
- 7- BRICK & STONE VENEER- ALL SOLDIER AND ROULOCK HEADERS, SILLS AND TRIM TO PROJECT 3/4" UNLESS NOTED OTHERWISE.
- 8- SIDING TO COMPLY WITH ASTM C166, TYPE A GRADE II JOINT ENDS CAULK TIGHT.
- 9- DOOR- DOORS- SECURELY BARRICADE DOOR- ON-IT- DECK IS BUILT AND APPROVED.
- 10- CANTILEVERS- PROVIDE EXTERIOR GRADE SOFFIT (SEAL ALL JOINTS) INSULATION BETWEEN FLOOR JOIST TO MINIMUM R-19 AND VENT JOIST CAVITIES.
- 11- GENERAL CONTRACTOR SHALL CONFIRM USE OF ALL TRIM ACCESSORIES AND MODEL NUMBERS WITH SUPPLIER BEFORE ORDERING.
- 12- STEEL ANGLE AT GARAGE DOORS TO BE BOLTED TO STRUCTURAL HDR BEHIND USE 1" DIA. BOLTS 24" O.C. STEEL ANGLE TO HAVE SLOTTED HOLES TO ENSURE BOLTS MOVE FREELY IN VERTICAL DIRECTION AS NOT TO BE A LOAD ON THE STRUCTURAL HDR.
- 13- ANY WINDOW (ORSE OPENING IS MORE THAN 6'-0" ABOVE THE FINISH GRADE OR SURFACE BELOW AND LESS THAN 24" ABOVE FLOOR WILL REQUIRE A OPENING RESTRICTOR DEVICE PER ADA 2010-2012.



RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

SHEET CONTENTS:
SIDE ELEVATIONS

DATE: _____ JOB NO. _____
REVISIONS: _____

DRAWN BY: JLB CKD BY: _____

SHEET NUMBER

5

OF 19



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Chesterfield, MO 63005-1194
(636) 519-8668 • Fax (636) 519-0797
e-mail: rsaunders@loomis-associates.com

July 14, 2014

Mr. John Boyer
Senior Planner
City of Chesterfield
690 Chesterfield Parkway West
Chesterfield, MO 63017

RE: Schoettler Grove

Dear John:

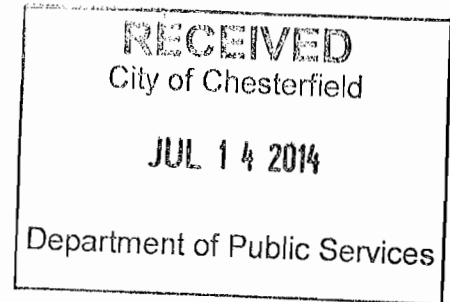
Loomis Associates is the Landscape Architect for the Schoettler Grove landscape and landscape mitigation plans. I understand that city staff has inquired about the density of planting shown on these plans since we have distinct requirements for both buffer plantings and mitigation plantings.

Our design intent with the perimeter plantings is to provide buffering and screening from both Schoettler Road and Clayton Road. Further, we are providing new buffer plantings to enhance the common perimeter bufferyard with existing residential developments.

As pointed out, the combination of the mitigation plantings and bufferyard plantings have yielded a substantial buffer. In some areas the plantings are closer together to achieve dense buffer plantings, in others the proposed trees are spread further apart. Within the common areas (shown shaded), the combination of buffering and mitigation plantings will yield 107 trees/acre or 400 s.f./tree.

In the densely planted areas we have shown the equivalent of 160 tree/acre or 272 s.f./tree. This will eventually cause tree canopies to grow together to create a new woodland. We expect the canopy trees to become dominant, however evergreen masses will also grow together to provide dense vegetative screens. Understory trees will complement both canopy trees and evergreen trees.

We are comfortable with the proposed density of planting depicted with this plan. The designed dense buffer areas are at the upper limits of maximum trees/acre for an effective landscape screen. We have compared this proposed buffer planting with those required by other nearby communities and have found the density to be similar to the most intense screening required. Therefore, we are confident that the buffers as proposed will serve as an effective landscape



Mr. John Boyer
Schoettler Grove
Page 2 of 2

screen for this development and the neighboring residential communities. We would not recommend any additional plantings.

Should you have any questions or concerns related to this matter, please contact me directly.

Respectfully,

LOOMIS ASSOCIATES, INC.

A handwritten signature in black ink, appearing to read "Rusty Saunders", written over a horizontal dashed line.

Rusty Saunders, ASLA
Principal

c. George Stock
Dan Thies
Chris Mueller

WB PROPERTIES SCHOETTLER, LLC

RECEIVED
City of Chesterfield

JUL 22 2014

Department of Public Services

July 22, 2014

NARRATIVE STATEMENT

A 1.17 acre portion of the Property was used at one time as a cemetery ("Cemetery"). Over the years the Cemetery was not properly maintained. As a result, certain sections of the Cemetery became overgrown (i.e. concealed the headstones) while other areas became littered with dead vegetation. Our plan calls for the overgrowth to be properly trimmed and the dead vegetation to be removed. We believe that trimming back the overgrowth and removal of the dead vegetation will act to enhance the vegetation that will remain in place. We are cognizant that this area is to be a Preservation Area and are therefore committed to maintaining the existing tree mass that exists on the site today. Additionally the perimeter of the Cemetery will be fenced to provide a clear demarcation of the ground comprising the Cemetery. Finally, our plan calls for a small monument providing the history of the Cemetery to be constructed on a suitable section of the site. Thereafter, the Cemetery will be maintained in perpetuity through the utilization of the funds we will deposit with the Homeowner's Association.

Sincerely,



William C. Biermann
Attorney at Law