



VIII.A.

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Planning Commission Vote Report

Subject: Zoning Map Amendment

Meeting Date: July 25, 2016

From: Jessica Henry, Project Planner

Location: North side of Chesterfield Parkway West, approximately 2,000 feet east of City Center Drive (17S210094, 17S230025, 17S230014, 17S230036 & 17S240057).

Petition: **P.Z. 07-2015 Monsanto Chesterfield Campus (C8 to UC)**

Summary

The Monsanto Company has submitted a request for a zoning map amendment from “C8” Planned Commercial District to “UC” Urban Core District. The applicant wishes to amend the zoning district to allow for an expansion in building area currently limited by the existing ordinance. A total of two (2) land uses are proposed which will continue to permit current land use activities at the site. Related with this request for a zoning map amendment, a Preliminary Plan is also attached for the Planning Commission’s consideration. Since the UC District is a planned district, the submittal of the preliminary plan is required.

A Public Hearing was held on this item on August 10, 2015. At that time, two issues were raised by the Planning Commission. The applicant has successfully addressed all issues and comments related to this request. The issues that were addressed are summarized in the Issues section of this report.

Zoning History

This site is located within the Northwest Quadrant of the Chesterfield Village, and is specifically known as parcel C304. The Northwest Quadrant of Olive/Clarkson and I-64 was included in the original presentation to the St. Louis County Planning Commission in 1971 to initiate the development of Chesterfield Village. In 1971, Sachs Properties submitted fifteen separate petitions to initiate the development of Chesterfield Village, one of the largest and most integrated proposals ever to be considered by the St. Louis County Planning Commission. This area was to be developed over a 20 to 30 year period and included 1,115 acres of what might ultimately be a 1,500+ acre planned community. Of the petitioned 1,115 acres stretching across the northwest and southwest quadrants of Highway 40 and MO 340, approximately 44% would

be used for residential purposes, 21% for commercial purposes, 27% left for open space, and 8% for right-of-way.

Although the majority of land affected by the 1971 Chesterfield Village proposal was in the southwest quadrant, five of the original fifteen petitions involved land in the northwest quadrant, where residential and commercial rezoning were requested for a total of 318 acres. In downscaling the original proposal, the County rejected commercial zoning in the northwest quadrant and limited residential rezoning to 270.7 acres of "R-3" zoned development in two P.E.U.'s. Of concern was how proposed development would integrate with existing development along Olive Boulevard.

In 1979 the Monsanto Company approached St. Louis County to rezone the subject site from "NU" Non-Urban and "R-3" Residence District within the Chesterfield Village to the "C-8" Planned Commercial District. This application was approved via St. Louis County Ordinance 9,002. This original ordinance was amended by St. Louis County numerous times (Ordinances 10,573, 10,688, and 10,986). In March 1989, Ordinance 258 was approved by the City of Chesterfield amending these previous County ordinances. Ordinance 258 was the final amendment reviewed by the City and may be found at the following link:

<http://www.chesterfield.mo.us/webcontent/ordinances/1989/ord258.pdf>

Multiple concept and section plans have been approved previously by the City of Chesterfield and St. Louis County for this site under Pfizer and Monsanto as these companies have grown. There are currently 2,107,145 square feet of structures approved at this location. Current ordinance authority limits total building square footage to 2,660,000 square feet.

Comprehensive Plan Analysis

The subject site is located within the Urban Core district. The Urban Core area is defined as the area known as the Chesterfield Village, centered at the intersection of I-64/US 40 and Clarkson Road/Olive Boulevard and primarily served by the Chesterfield Parkway. Land uses for the Urban Core include a mixture of high-density residential, retail and office uses containing the highest density development in the City of Chesterfield. All uses proposed associated with this request are compliant with the Urban Core land use designation.

Associated with the proposed uses within the Urban Core, a proposed development should be in general compliance with the Development Policies identified within the Comprehensive Plan. Below is a list of relevant policies within the Comprehensive Plan to the zoning request.

- **3.6.1 High-Density Development:** High density developments are encouraged within the Urban Core. As discussed earlier, the Urban Core is the center of the City. City centers typically offer many uses, especially high density developments. The proposed development, at 4.8 million square feet and structures no taller than eight (8) stories, is

the maximum floor area and height allowed at this location by Urban Core District standards and would be compliant.

- **3.6.5 Chesterfield Village:** This property is located within the Chesterfield Village portion of the City of Chesterfield. Per the policy, this area should be dedicated to significant portions of high density, mixed use residential and non-residential development. As stated in the previous policy, the proposed development would be at the maximum density allowed under the UC district standards.
- **4.1.1 Buffering of Neighborhoods:** The section identifies the importance of buffering existing residential areas from adjacent non-residential development. The implementation of buffering and large setbacks are documented on the Preliminary Plan around residential uses. Additional discussion on the setbacks and buffering is included in the Issues section of this report.
- **5.1 Research and Development Business Parks and Corporate Campuses:** This policy documents the importance of research and development business parks and corporate campuses in the Urban Core in a park-like setting. The proposed expansion highlights compliance with this policy as the current and proposed Monsanto campus includes many park-like features, such as open space and woodland for the use and enjoyment of Monsanto employees.

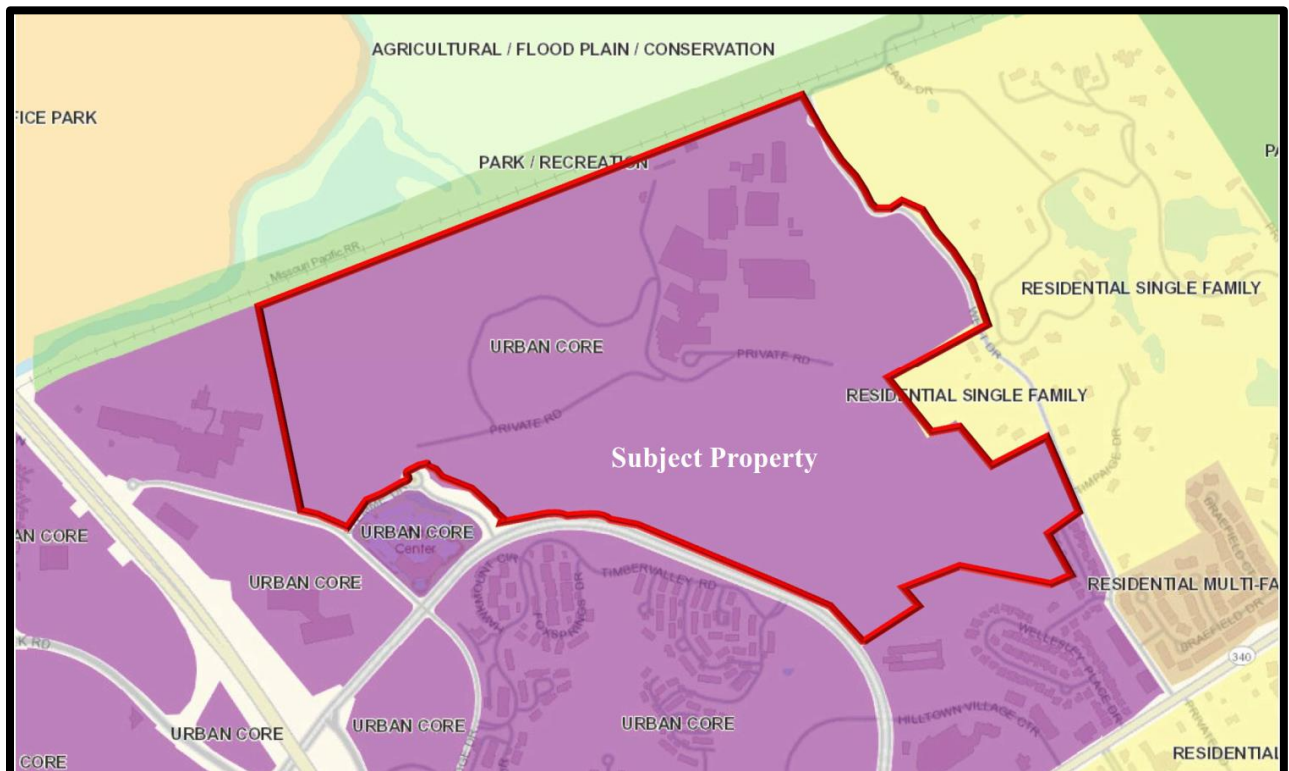


Figure 1—Future Land Use Plan

Surrounding Land Use and Zoning

The land use and zoning for the properties surrounding this parcel are shown in Figure 2 below and are as follows:

North: The property to the north is currently zoned “FPNU” Flood Plain Non-Urban District. This property is utilized for agricultural use.

South: The properties are currently zoned “R6A/PEU” Residence District with a Planned Environment Unit procedure. These lots are multi-family residences.

East: The properties are currently zoned “NU” Non-Urban District. These lots consist of single family residences.

West: The property is currently zoned “PC” Planned Commercial District. This lot is utilized as a Hotel.

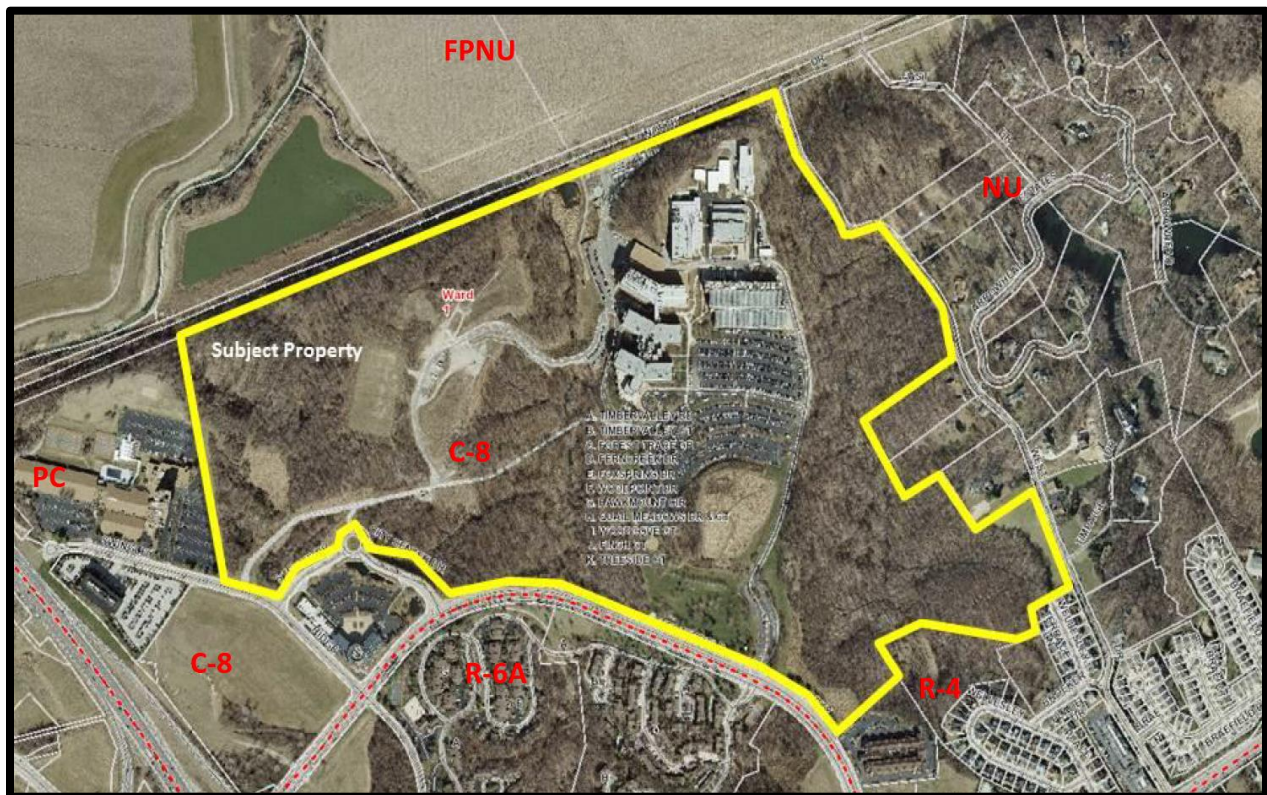


Figure 2: Aerial and Zoning Map

Issues

During the Public Hearing, a total of two (2) issues were identified associated with this request by Planning Commission, Staff and the public. Following is a brief summary of those issues.

1. Height of proposed structures relative to residences off West Drive. As indicated in the Comprehensive Plan Analysis above on page 4 of this report, the applicant is proposing to build multiple structures with the tallest being eight (8) stories in height and 750 Mean Sea Level (MSL) on the western side of the campus. While the eight stories limitation would be compliant with UC District minimum requirements, area residents voiced concern with tall structures near West Drive. The applicant has indicated via the proposed preliminary plans that no new structures are proposed near these residents off West Drive.

Further, the preliminary plan identifies structures on the eastern portion of the site as limited to between three (3) and five (5) stories in height. The tallest, eight (8) story building will be located west of the existing buildings and will not impact views from West Drive.

Additionally, a sight line study has been submitted for City evaluation and is included with the Preliminary Plan. The area between the proposed and existing buildings and the adjacent West Drive residences is heavily wooded and not only features a large ravine, it also contains a natural watercourse, which contributes to the Petitioner's intent to avoid future development in this area as shown on the Preliminary Plan. Based on this information, it is Staff's opinion that the significant distance, topography, existing forestation, and large setbacks (see below) will sufficiently mitigate the impacts to the adjacent residents on West Drive.

2. Clarification of proposed setbacks. During the Public Hearing, clarification was required as proposed setbacks were not consistent with the written narrative and the Preliminary Plan. The UC District requires a minimum structure setback of thirty-five (35) feet and parking setback of thirty (30) feet adjacent to district boundaries; however, Staff requested more restrictive setbacks in the West Drive area due to the proximity of the single family residences off of West Drive. Some of the neighboring residents also spoke in favor of greater setbacks. In response to discussions with Staff on the provision of appropriate setbacks in this area, the Petitioner is providing a building and parking setback along West Drive that ranges from 185 feet to 200 feet. Additionally, as noted above, the buildings proposed on the eastern portion of the site closest to West Drive range in height from three (3) to five (5) stories and none of these new buildings will be located or generally extend beyond the eastern limits of the existing campus buildings.

A thirty-five (35) foot structure and parking setback is proposed for the remainder of the site boundary.

Summary of Request

Proposed Uses

No uses are proposed which are not currently permitted for at this location. The petitioner is requesting to maintain existing uses; (1) Research Laboratory & Facility and (2) Office–General. These uses are compliant with the Urban Core District as these uses are permitted within any residential or commercial district.

Urban Core (UC) District Requirements

- Minimum lot for UC district is three (3) acres; subject site is 200.2 acres.
- A minimum of 30% percent open space is required associated with a UC request. This minimum is reflected in the Attachment “A”.
- A 30 foot landscape buffer is required.
- As previously discussed, a Preliminary Plan has been submitted to support the request.

Structures

A total of 4,800,000 square feet of structures are proposed with this request on the 200.2 acre site.

- This square footage is also 0.55 floor area ratio, and allowed on the 200.2 acre site per the UC District standards.
- Current ordinance limits the site to 2,660,000 square feet on the 200.2 acre site.
- A total of 2,107,145 square feet of structures exists onsite or is in the process of being constructed.

Access

The current ordinance permitted three (3) access points and the Petitioner is requesting to maintain that number, allocated as follows:

- Three (3) total access points are proposed:
 - 1) Continue to utilize main access point off Chesterfield Parkway West;
 - 2) New secondary access off Chesterfield Parkway West further west of main access, and;
 - 3) Access off Swingley Ridge Drive from an entrance along Stemme Drive/City Center Drive with the final design and location to be determined during a Site Development Plan. It is important to note that only one curb cut will be allowed for the joint Stemme Drive/City Hall entrance/Monsanto entrance configuration. Although the Preliminary Plan and Attachment “A” establish the general location of this access, the exact

configuration and geometrics will be determined during review of the Traffic Impact Study and Site Development Section Plan submittals. A note to this effect has been placed on the Preliminary Plan.

- There is access off West Drive to the Monsanto campus on the northeast corner of the property; however this access is currently limited to service access only and does not provide for access for Monsanto construction or employees. This restriction will remain in place.

Traffic Impacts and Required Improvements

As the Planning Commission is aware, it is the City's process to require the submittal of a full Traffic Impact Study during the Site Development Section Plan review phase of development. However, due to the scope and nature of this zoning petition, the City has been working with the Petitioner, St. Louis County, and MoDOT for the last eight months to vet through the appropriate ordinance language for this petition. This review and professional analysis includes several meetings between the City, St. Louis County Department of Transportation, MoDOT, the Petitioner, and the Petitioner's professional traffic consulting firm. Resulting from these comprehensive discussions between the three jurisdictional authorities, language as agreed upon by all three agencies is included in the Attachment "A" prepared by Staff for this request.

Based on this joint review, the following items regarding to traffic impacts and improvements have been determined:

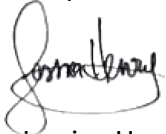
- As included on P. 7 of the Attachment "A", a phased (as necessary) Traffic Impact Study is required to be submitted in conjunction with the submittal of any plan subsequent to the establishment of this UC District.
- Additionally, the scope of the study shall include internal and external circulation and will detail specific improvements, such as the need for additional traffic lanes, entrance configuration and geometrics, and traffic signal modifications. This study will be fully reviewed and approved by all three jurisdictional authorities.
- Additionally, if full build-out has not occurred within 10 years of the date of the Traffic Impact Study, a new study will be required.
- As included on P. 6 of the Attachment "A", the Swingley Ridge/I-64 connection must be made prior to the occupancy of any development in excess of 2,660,000 square feet, which is the currently permitted maximum square footage.

The City, St. Louis County Department of Transportation, and MoDOT have determined that this language addresses the information necessary during this zoning phase to proceed with confidence in moving forward with this request and proposed density for the Monsanto campus build-out.

Request

Staff has reviewed the request for a zoning map amendment by the Monsanto Company for the Monsanto Chesterfield Campus and has found that the request is compliant with the City of Chesterfield Code and consistent with the Comprehensive Plan. Staff has prepared an Attachment A for this request for consideration by the Planning Commission and requests action on P.Z. 07-2015 Monsanto Chesterfield Campus (C8 to UC).

Respectfully submitted,



Jessica Henry, AICP
Project Planner

Attachments

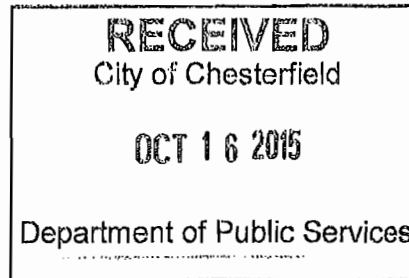
1. Petitioner's Issues Response Letters
2. Attachment "A"
3. Preliminary Plan
4. Tree Stand Delineation

cc: Aimee Nassif, Planning and Development Services Director

MONSANTO



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<http://www.monsanto.com>



John Boyer
Senior Planner
City of Chesterfield
690 Chesterfield Pkwy West
Chesterfield, MO 63017

SENT VIA ELECTRONIC MAIL TO: JBoyer@chesterfield.mo.us

RE: P.Z. 07-2015 Monsanto Chesterfield Campus (C8 to UC) – Issue letter

Dear Mr Boyer,

Please accept our response to the August 24, 2015 Issues Letter. Attached are our responses and the updated drawings. We also want to thank you and the Planning staff for meeting with us to discuss.

As part of your request, the City has asked for public access for pedestrian use or for hiking on our site. In addition to the obvious safety and liability concerns, since this is the flagship facility for our global research, there are several security and regulatory concerns that prevent us from being able to provide the requested access. However, we will be providing sidewalks along the parkway with views into our woodlands, plant displays, and artwork at the site. We will also have a site lighting plan that will enhance the neighborhood and provide a safe environment.

The topography and eastern woodlands of our site provide a nice buffer of our buildings from West Drive to our residential neighbors. The eastern border of our property is heavily wooded with a lush canopy. We intend to maintain these buffers and as shown on the drawings will agree to a setback buffer that acknowledges the creek flow line and building limitations. We have included a sight line drawing from West Drive in our packet. All future buildings on the site will be eight stories or lower and due to the natural topography will be shielded from view from our residential neighbors.

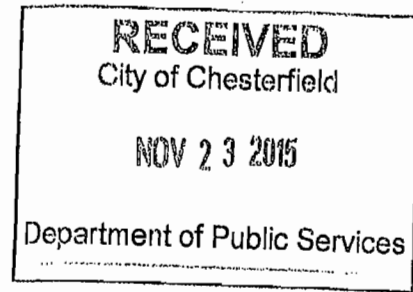
In a similar vein, the drawings show a future building on the south eastern portion of our site and it's important to note that the building will be three stories or less and sits below the fairly significant rising slope making it unseen by our neighbors.

As always, we appreciate the opportunity to work with the staff and committee to make sure that any concerns are addressed. Please feel free to contact me with any questions.

Sincerely,

Teresa Crossland

Jessica Henry
Planner
City of Chesterfield
690 Chesterfield Pkwy West
Chesterfield, MO 63017



November 23, 2015

SENT VIA ELECTRONIC MAIL TO: JHenry@chesterfield.mo.us

RE: P.Z. 07-2015 Monsanto Chesterfield Campus (C8 to UC) – Issue letter

Dear Ms Henry,

Please accept our response to the November 12, 2015 Issues Letter. Attached are our responses and the updated drawings. We also want to thank you and the Planning staff for meeting with us to discuss.

As part of your request, the City has asked for a recreational easement which would allow for public access to/from Chesterfield Parkway. Due to asset and employee safety will are unable to grant this easement. However, we will be providing sidewalks along the parkway with views into our woodlands, plant displays, and artwork at the site. We will also have a site lighting plan that will enhance the neighborhood and provide a safe environment.

We have increased the West Drive setbacks to range from a minimum of 95' to a maximum of 200'. The drawings have been updated to reflect these setbacks. In a similar vein, the drawings show the proposed maximum stories of all potential new buildings. The potential new building at the entrance will have a maximum of two stories.

Monsanto has committed to maintaining 40% open space which exceeds the minimum of 30%.

A consolidated entrance with the City Hall has been proposed at Swingley Ridge Road. We look forward to working with the City on the final design during future ASDP submittals.

As always, we appreciate the opportunity to work with the staff and committee to make sure that any concerns are addressed. Please feel free to contact me with any questions.

Sincerely,

Teresa Crossland

ATTACHMENT A

All provisions of the City of Chesterfield City Code shall apply to this development except as specifically modified herein.

I. SPECIFIC CRITERIA

A. PERMITTED USES

1. The uses allowed in this UC District shall be:
 - a. Office-general; and,
 - b. Research Laboratory and Facility
2. Telecommunication siting permits may be issued for wireless telecommunications facilities per the requirements of the City Code.

B. FLOOR AREA, HEIGHT, BUILDING AND PARKING STRUCTURE REQUIREMENTS

1. Floor Area
 - a. Total building floor area shall not exceed 4,800,000 square feet.
2. Height
 - a. The maximum height of any building, exclusive of exhaust stacks as required by State and Federal regulations, shall not exceed 750 feet Mean Sea Level (MSL) based on NGVD29 or 8 stories. The height of each building shall be as shown on the Preliminary Plan attached hereto as Attachment B.
3. Building Requirements
 - a. A minimum of 30% openspace is required for each lot within this development.
 - b. This development shall have a maximum F.A.R. of 0.55.

C. SETBACKS

1. Structure Setbacks

No building or structure, other than: a freestanding project identification sign, light standards, or flag poles will be located within the following setbacks:

- a. Thirty-five (35) feet from the boundary of this UC District, except as shown on the Preliminary Plan attached hereto as Attachment B.

2. Parking Setbacks

No parking stall, loading space, internal driveway, or roadway, except points of ingress or egress, will be located within the following setbacks:

- a. Thirty-five (35) feet from the boundary of this UC District, except as shown on the Preliminary Plan attached hereto as Attachment B.

D. PARKING AND LOADING REQUIREMENTS

1. Parking and loading spaces for this development will be as required in the City of Chesterfield Code.
2. Parking lots shall not be used as streets.
3. No construction related parking shall be permitted within right-of-way or on any existing roadways. All construction related parking shall be confined to the development.
4. Provide adequate temporary off-street parking for construction employees. Parking on non-surfaced areas shall be prohibited in order to eliminate the condition whereby mud from construction and employee vehicles is tracked onto the pavement causing hazardous roadway and driving conditions.

E. LANDSCAPE AND TREE REQUIREMENTS

The development shall adhere to the Landscape and Tree Preservation Requirements of the City of Chesterfield Code.

F. SIGN REQUIREMENTS

1. Signs shall be permitted in accordance with the regulations of the City of Chesterfield Code or a Sign Package may be submitted for the planned district. Sign Packages shall adhere to the City Code and are reviewed and approved by the City of Chesterfield Planning Commission.
2. Ornamental Entrance Monument construction, if proposed, shall be reviewed by the City of Chesterfield, and/or the Saint Louis County Department of Transportation for sight distance considerations and approved prior to installation or construction.

G. LIGHT REQUIREMENTS

Provide a lighting plan and cut sheet in accordance with the City of Chesterfield Code.

H. ARCHITECTURAL

1. The development shall adhere to the Architectural Review Standards of the City of Chesterfield Code.
2. Trash enclosures: All exterior trash areas will be enclosed with a minimum six (6) foot high sight-proof enclosure complemented by adequate landscaping. The location, material, and elevation of any trash enclosures will be as approved by the City of Chesterfield on the Site Development Plan.

I. ACCESS/ACCESS MANAGEMENT

1. Access to the development from Chesterfield Parkway West shall be from the existing entrance directly across from Forest Trace Drive along Chesterfield Parkway.

2. A second access point along Chesterfield Parkway shall be provided with the final design and location to be determined during review of Site Development Concept Plans, Site Development Section Plans, or any amendments thereto, as directed by the City of Chesterfield and the St. Louis County Department of Transportation. Auxiliary left and right turn lanes shall be provided as directed by the Saint Louis County Department of Transportation. This access shall provide required sight distance and be constructed to Saint Louis County and City of Chesterfield standards as directed by the City of Chesterfield and the Saint Louis County Department of Transportation.
3. The existing street stub along Chesterfield Parkway West approximately 650 feet west of the existing entrance shall be removed and right-of-way restored per Saint Louis County Department of Transportation standards.
4. Access to this development from Swingley Ridge Drive shall be from an entrance along Stemme Drive/City Center Drive with the final design and location to be determined during review of any plan subsequent to the establishment of this UC district and any amendments thereto. Only one curb cut shall be allowed for the joint Stemme Drive/City Hall entrance/Monsanto entrance configuration.
5. The existing construction entrance at Swingley Ridge Drive shall be removed prior to occupancy of any building on the portion of the campus west of the jurisdictional waterway, unless directed otherwise by the City of Chesterfield.
6. The existing access point off of West Drive shall be for service use only.
7. Adequate sight distance shall be provided, as directed by the City of Chesterfield and St. Louis County Department of Transportation, as applicable. If adequate sight distance cannot be provided at the access location(s), acquisition of right-of-way, reconstruction of pavement and other off-site improvements may be required to provide the required sight distance as required by the City of Chesterfield and the agency in control of the right-of-way off which the access is proposed.

J. PUBLIC/PRIVATE ROAD IMPROVEMENTS, INCLUDING PEDESTRIAN CIRCULATION

1. Any request to install a gate at the entrance to this development must be approved by the City of Chesterfield and the St. Louis County Department of Transportation. No gate installation will be permitted on public right-of-way.
2. If a gate is installed on a street in this development, the streets within the development, or that portion of the development that is gated, shall be private and remain private forever.
3. The developer's additional road improvement obligation shall be as determined by the approved traffic study and as directed by the City of Chesterfield, St. Louis County Department of Transportation, and Missouri Department of Transportation.
4. Prior to Special Use Permit issuance by the St. Louis County Department of Transportation, a special cash escrow or a special cash escrow supported by an Irrevocable Letter of Credit, must be established with the St. Louis County Department of Transportation to guarantee completion of the required roadway improvements.
5. The developer is advised that utility companies will require compensation for relocation of their facilities within public road right-of-way. Utility relocation cost shall not be considered as an allowable credit against the petitioner's traffic generation assessment contributions. The developer should also be aware of extensive delays in utility company relocation and adjustments. Such delays will not constitute a cause to allow occupancy prior to completion of road improvements.
6. The connection of Swingley Ridge Drive to North Outer 40 with access to I-64 westbound is required prior to occupancy of any development in excess of 2,660,000 square feet as approved by the Missouri Department of Transportation, the Federal Highways Administration, the City of Chesterfield, and the St. Louis County Department of Transportation as applicable.
7. The City reserves the right to hold occupancy permits until all road improvements and right of way dedication required by the phasing plan has been completed. Delays due to utility relocation and adjustments will not constitute a cause to allow occupancy prior to completion of road improvements.

8. Provide a sidewalk conforming to Saint Louis County ADA standards adjacent to Chesterfield Parkway West, as directed by the City of Chesterfield and Saint Louis County Department of Transportation.
9. Provide and/or improve sidewalk and curb ramps, in conformance with ADA standards, along Swingley Ridge Drive and Stemme Drive. The sidewalk shall provide for future connectivity to adjacent developments and/or roadway projects. The sidewalk may be located within right-of-way controlled by another agency, if permitted by that agency or on private property within a six (6) foot wide sidewalk, maintenance and utility easement dedicated to the City of Chesterfield.
10. Obtain approvals from the City of Chesterfield, Saint Louis County Department of Transportation, and the Missouri Department of Transportation and other entities as necessary for locations of proposed curb cuts and access points, areas of new dedication, and roadway improvements.
11. A 20 foot wide dedication strip for right-of-way along West Drive shall be dedicated to the City of Chesterfield, at no cost to the City, prior to approval of improvement plans. This dedication strip shall include all necessary temporary easements for construction. Be advised that required parking and structure setbacks for this development shall be from the existing western property line as shown on the Preliminary Plan attached hereto as Attachment B. This 20 foot wide right-of-way does not count against the total property acreage.
12. Improve the existing transit stop west of the main entrance off Chesterfield Parkway West with a covered shelter. The shelter is to be privately maintained, not located within public right-of-way and private advertisement is not permitted upon this shelter. The shelter shall be constructed with the first plan subsequent to the establishment of this UC District.

K. TRAFFIC STUDY

1. Provide a traffic study as directed by the City of Chesterfield and/or the Missouri Department of Transportation and/or St. Louis County Department of Transportation prior to approval of any plan subsequent to the establishment of this UC district. The scope of the study shall include internal and external circulation and may be limited to site specific impacts, such as the need for additional lanes, entrance configuration, geometrics, sight distance, traffic signal modifications or other improvements as required. The scope of the traffic study shall include but not be limited to Chesterfield Parkway West, North Outer 40 Road, Olive Road, Clarkson Road, Swingley Ridge Drive and any other impacted roadways.
2. If construction is phased, a plan for this phasing and associated traffic improvements shall be included in the traffic study.
3. If full build-out has not occurred within 10 years of the date of the traffic study, or if the City determines there to be a condition of development which would affect the findings of the traffic study, the developer will be required to update the traffic study prior to approval of any subsequent plans.
4. Provide a sight distance evaluation report, as required by the City of Chesterfield and/or Saint Louis County Department of Transportation, for the proposed entrances onto Chesterfield Parkway West and Swingley Ridge Road. If adequate sight distance cannot be provided at the access location, acquisition of right-of-way, reconstruction of pavement, including correction to the vertical alignment, and/or other off-site improvements shall be required, as directed by the City of Chesterfield and/or the Saint Louis County Department of Transportation.

L. POWER OF REVIEW

Either Councilmember of the Ward where a development is proposed or the Mayor may request that the plan for a development be reviewed and approved by the entire City Council. This request must be made no later than twenty-four (24) hours after Planning Commission review. The City Council will then take appropriate action relative to the proposal. The plan for a development, for purposes of this section, may include the site development plan, site development section plan, site development concept plan, landscape plan, lighting plans, architectural elevations, sign package or any amendment thereto.

M. STORM WATER

1. The site shall provide for the positive drainage of storm water and it shall be discharged at an adequate natural discharge point or connected to an adequate piped system.
2. Detention/retention and channel protection measures are to be provided in each watershed as required by the City of Chesterfield and the Metropolitan St. Louis Sewer District. The storm water management facilities shall be operational prior to paving of any driveways or parking areas in non-residential developments. The location and types of storm water management facilities shall be identified on all Site Development Plans.
3. Post construction storm water Best Management Practices (BMPs) are required to treat the extents of the project's disturbed area. BMPs shall be designed to provide runoff volume reduction such that the project post development runoff condition mimics its preconstruction runoff condition. Channel Protection and Detention are required. Facilities to satisfy these requirements are indicated on the drawing, and their adequacy will be evaluated during formal plan review when design calculations are submitted for MSD review.
4. Emergency overflow drainage ways to accommodate runoff from the 100 year storm event shall be provided for all storm sewers, as directed by the City of Chesterfield.
5. Offsite storm water shall be picked up and piped to an adequate natural discharge point. Such bypass systems must be adequately designed.
6. The lowest opening of all structures shall be set at least two (2) feet higher than the 100 year high water elevation in detention/retention facilities. All structures shall be set at least 30 feet horizontally from the limits of the 100 year high water.
7. Locations of site features such as lakes and detention ponds must be approved by the City of Chesterfield and the Metropolitan Saint Louis Sewer District.

N. SANITARY SEWER

1. Sanitary sewers shall be approved by the Metropolitan St. Louis Sewer District and the City of Chesterfield.

2. Capacity improvements to the Monsanto Pump Station are required prior to occupancy of the new buildings as required by the Metropolitan St. Louis Sewer District.

O. GEOTECHNICAL REPORT

Prior to Site Development Plan approval, provide a geotechnical report, prepared by a registered professional engineer licensed to practice in the State of Missouri, as directed by the Department of Public Services. The report shall verify the suitability of grading and proposed improvements with soil and geologic conditions and address the existence of any potential sinkhole, ponds, dams, septic fields, etc., and recommendations for treatment. A statement of compliance, signed and sealed by the geotechnical engineer preparing the report, shall be included on all Site Development Plans and Improvement Plans.

P. MISCELLANEOUS

1. All utilities will be installed underground.
2. An opportunity for recycling will be provided. All provisions of Chapter 25, Article VII, and Section 25-122 thru Section 25-126 of the City Code shall be required where applicable.
3. Road improvements and right-of-way dedication shall be completed prior to the issuance of an occupancy permit. If development phasing is anticipated, the developer shall complete road improvements, right-of-way dedication, and access requirements for each phase of development as directed by the City of Chesterfield and Saint Louis County Department of Transportation or the Missouri Department of Transportation. Delays due to utility relocation and adjustments will not constitute a cause to allow occupancy prior to completion of road improvements.
4. Prior to final release of construction deposits or record plat approval, the developer shall provide certification by a registered land surveyor that all monumentation depicted on the record plat has been installed and United States Public Land Survey Corners have not been disturbed during construction activities or that they have been reestablished and the appropriate documents filed with the Missouri Department of Natural Resources Land Survey Program, as necessary.

5. This development shall include the installation of public art. Said artwork shall be placed so as to be visible for public view and enjoyment. Location and art work to be approved by the City of Chesterfield prior to the issuance of municipal zoning approval for any new development in excess of 2,660,000 square feet.

Q. WETLANDS AND JURISDICTIONAL WATERWAYS

1. Prior to approval of any grading permit or improvement plans, or issuance of a building permit, required permits from the Army Corps of Engineers shall be obtained.

II. TIME PERIOD FOR SUBMITTAL OF SITE DEVELOPMENT CONCEPT PLANS AND SITE DEVELOPMENT PLANS

- A.** The developer shall submit a concept plan within eighteen (18) months of City Council approval of the change of zoning.
- B.** In lieu of submitting a Site Development Concept Plan and Site Development Section Plans, the petitioner may submit a Site Development Plan for the entire development within eighteen (18) months of the date of approval of the change of zoning by the City.
- C.** Failure to comply with these submittal requirements will result in the expiration of the change of zoning and will require a new public hearing.
- D.** Said Plan shall be submitted in accordance with the combined requirements for Site Development Section and Concept Plans. The submission of Amended Site Development Plans by sections of this project to the Planning Commission shall be permitted if this option is utilized.
- E.** Where due cause is shown by the developer, the City Council may extend the period to submit a Site Development Concept Plan or Site Development Plan for eighteen (18) months.

III. COMMENCEMENT OF CONSTRUCTION

- A.** Substantial construction shall commence within two (2) years of approval of the Site Development Concept Plan or Site Development Plan, unless otherwise authorized by ordinance.
- B.** Where due cause is shown by the developer, the City Council may extend the period to commence construction for two (2) additional years.

IV. GENERAL CRITERIA

A. SITE DEVELOPMENT CONCEPT PLAN

1. Any Site Development Concept Plan shall show all information required on a preliminary plat as required in the City of Chesterfield Code.
2. Include a Conceptual Landscape Plan in accordance with the City of Chesterfield Code to indicate proposed landscaping along arterial and collector roadways.
3. Include a Lighting Plan in accordance with the City of Chesterfield Code to indicate proposed lighting along arterial collector roadways.
4. Provide comments/approvals from the appropriate Fire District, the St. Louis County Department of Highways and Traffic, Monarch Chesterfield Levee District, Spirit of St. Louis Airport and the Missouri Department of Transportation.
5. Compliance with the current Metropolitan Sewer District Site Guidance as adopted by the City of Chesterfield.

B. SITE DEVELOPMENT PLAN SUBMITTAL REQUIREMENTS

The Site Development Plan shall include, but not be limited to, the following:

1. Location map, north arrow, and plan scale. The scale shall be no greater than one (1) inch equals one hundred (100) feet.
2. Outboundary plat and legal description of property.
3. Density calculations.
4. Parking calculations. Including calculation for all off street parking spaces, required and proposed, and the number, size and location for handicap designed.
5. Provide openspace percentage for overall development including separate percentage for each lot on the plan.
6. Provide Floor Area Ratio (F.A.R.).
7. A note indicating all utilities will be installed underground.

8. A note indicating signage approval is separate process.
9. Depict the location of all buildings, size, including height and distance from adjacent property lines, and proposed use.
10. Specific structure and parking setbacks along all roadways and property lines.
11. Indicate location of all existing and proposed freestanding monument signs.
12. Zoning district lines, subdivision name, lot number, dimensions, and area, and zoning of adjacent parcels where different than site.
13. Floodplain boundaries.
14. Depict existing and proposed improvements within 150 feet of the site as directed. Improvements include, but are not limited to, roadways, driveways and walkways adjacent to and across the street from the site, significant natural features, such as wooded areas and rock formations, and other karst features that are to remain or be removed.
15. Depict all existing and proposed easements and rights-of-way within 150 feet of the site and all existing or proposed off-site easements and rights-of-way required for proposed improvements.
16. Indicate the location of the proposed storm sewers, detention basins, sanitary sewers and connection(s) to the existing systems.
17. Depict existing and proposed contours at intervals of not more than one (1) foot, and extending 150 feet beyond the limits of the site as directed.
18. Address trees and landscaping in accordance with the City of Chesterfield Code.
19. Comply with all preliminary plat requirements of the City of Chesterfield Subdivision Regulations per the City of Chesterfield Code.
20. Signed and sealed in conformance with the State of Missouri Department of Economic Development, Division of Professional Registration, Missouri Board for Architects, Professional Engineers and Land Surveyors requirements.

21. Provide comments/approvals from the appropriate Fire District, Monarch Levee District, Spirit of St. Louis Airport, Metropolitan St. Louis Sewer District (MSD) and the Missouri Department of Transportation.
22. Compliance with Sky Exposure Plane.
23. Compliance with the current Metropolitan Sewer District Site Guidance as adopted by the City of Chesterfield.

C. SITE DEVELOPMENT SECTION PLAN SUBMITTAL REQUIREMENTS

The Site Development Section Plan shall adhere to the above criteria and to the following:

1. Location map, north arrow, and plan scale. The scale shall be no greater than one (1) inch equals one hundred (100) feet.
2. Parking calculations. Including calculation for all off street parking spaces, required and proposed, and the number, size and location for handicap designed.
3. Provide openspace percentage for overall development including separate percentage for each lot on the plan.
4. Provide Floor Area Ratio (F.A.R.).
5. A note indicating all utilities will be installed underground.
6. A note indicating signage approval is separate process.
7. Depict the location of all buildings, size, including height and distance from adjacent property lines and proposed use.
8. Specific structure and parking setbacks along all roadways and property lines.
9. Indicate location of all existing and proposed freestanding monument signs.
10. Zoning district lines, subdivision name, lot number, lot dimensions, lot area, and zoning of adjacent parcels where different than site.
11. Floodplain boundaries.

12. Depict existing and proposed improvements within 150 feet of the site as directed. Improvements include, but are not limited to, roadways, driveways and walkways adjacent to and across the street from the site, significant natural features, such as wooded areas and rock formations, and other karst features that are to remain or be removed.
13. Depict all existing and proposed easements and rights-of-way within 150 feet of the site and all existing or proposed off-site easements and rights-of-way required for proposed improvements.
14. Indicate the location of the proposed storm sewers, detention basins, sanitary sewers and connection(s) to the existing systems.
15. Depict existing and proposed contours at intervals of not more than one (1) foot, and extending 150 feet beyond the limits of the site as directed.
16. Address trees and landscaping in accordance with the City of Chesterfield Code.
17. Comply with all preliminary plat requirements of the City of Chesterfield Subdivision Regulations per the City of Chesterfield Code.
18. Signed and sealed in conformance with the State of Missouri Department of Economic Development, Division of Professional Registration, Missouri Board for Architects, Professional Engineers and Land Surveyors requirements.
19. Provide comments/approvals from the appropriate Fire District, Monarch Levee District, Spirit of St. Louis Airport, St. Louis Department of Highways and Traffic, Metropolitan St. Louis Sewer District (MSD) and the Missouri Department of Transportation.
20. Compliance with Sky Exposure Plane.
21. Compliance with the current Metropolitan Sewer District Site Guidance as adopted by the City of Chesterfield.

V. TRUST FUND CONTRIBUTION

Traffic Generation Assessment Rates

The amount of all required contributions for roadway, storm water and primary water line improvements, if not submitted by January 1, 2017, shall be adjusted on that date and on the first day of January in each succeeding year thereafter in accordance with the construction cost index as determined by the Saint Louis County Department of Transportation.

A. ROADS

1. The developer shall be required to contribute a Traffic Generation Assessment (TGA) to the Chesterfield Valley Trust Fund (No. 554). This contribution shall not exceed an amount established by multiplying the required parking spaces by the following rate schedule:

<u>Type of Development</u>	<u>Required Contribution</u>
General Office	\$741.06/parking space
Research Center	\$741.06/parking space
Loading Space	\$3,638.14/parking space

If types of development proposed differ from those listed, rates shall be provided by the St. Louis County Department of Transportation.

If a portion of the improvements required herein are needed to provide for the safety of the traveling public, their completion as a part of this development is mandatory.

Allowable credits for required roadway improvements will be awarded as directed by the St. Louis County Department of Transportation and the City of Chesterfield. Sidewalk construction and utility relocation, among other items, are not considered allowable credits.

2. As this development is located within a trust fund area established by St. Louis County, any portion of the traffic generation assessment contribution which remains following completion of road improvements required by the development shall be retained in the appropriate trust fund.

3. Traffic Generation Assessment contributions shall be deposited with Saint Louis County Department of Transportation. The deposit shall be made prior to the issuance of a Special Use Permit (S.U.P.) by Saint Louis County Department of Transportation or prior to the issuance of building permits in the case where no Special Use Permit is required. If development phasing is anticipated, the developer shall provide the Traffic Generation Assessment contribution prior to the issuance of building permits for each phase of development. Funds shall be payable to Treasurer, Saint Louis County.

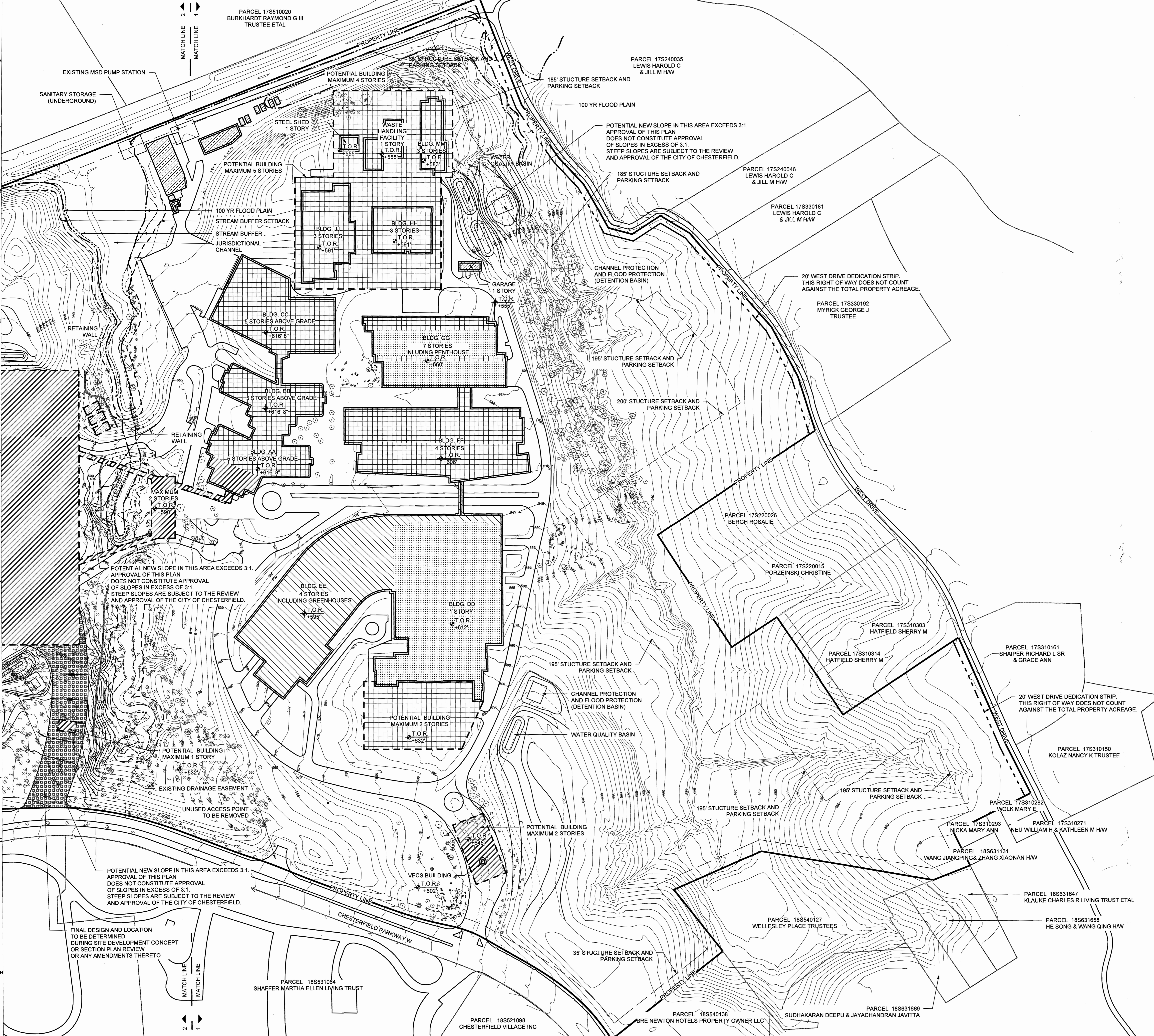
VI. RECORDING

Within sixty (60) days of approval of any development plan by the City of Chesterfield, the approved Plan will be recorded with the St. Louis County Recorder of Deeds. Failure to do so will result in the expiration of approval of said plan and require re-approval of a plan by the Planning Commission.

VII. ENFORCEMENT

- A.** The City of Chesterfield, Missouri will enforce the conditions of this ordinance in accordance with the Plan approved by the City of Chesterfield and the terms of this Attachment A.
- B.** Failure to comply with any or all the conditions of this ordinance will be adequate cause for revocation of approvals/permits by reviewing Departments and Commissions.
- C.** Non-compliance with the specific requirements and conditions set forth in this Ordinance and its attached conditions or other Ordinances of the City of Chesterfield shall constitute an ordinance violation, subject, but not limited to, the penalty provisions as set forth in the City of Chesterfield Code.
- D.** Waiver of Notice of Violation per the City of Chesterfield Code.
- E.** This document shall be read as a whole and any inconsistency to be integrated to carry out the overall intent of this Attachment A.

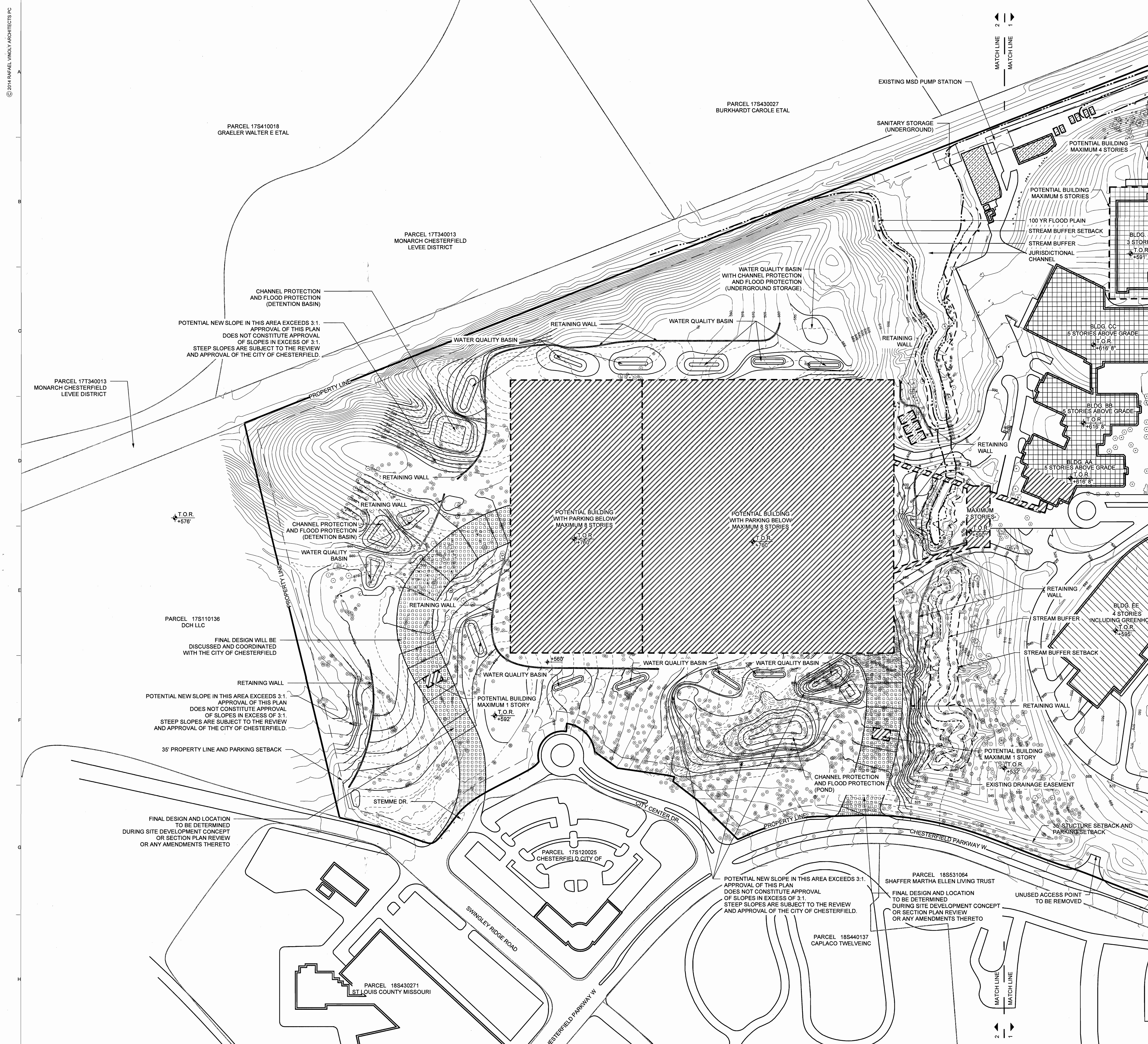
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[Symbol]	LABORATORIES
[Symbol]	GREENHOUSES
[Symbol]	OFFICES
[Symbol]	PARKING
[Symbol]	UTILITY / MAINTENANCE
[Symbol]	FUTURE ACCESS POINT
[Symbol]	EXISTING TREE
[Symbol]	EXISTING CONTOUR LINE
[Symbol]	POTENTIAL MODIFIED CONTOUR LINE
[Symbol]	NEW CONTOUR LINE
[Symbol]	PROPERTY LINE
[Symbol]	35' STRUCTURE SETBACK AND PARKING SETBACK EXCEPT WHERE SHOWN OTHERWISE
[Symbol]	20' WEST DRIVE DEDICATION STRIP
[Symbol]	ADJACENT PROPERTY BOUNDARY LINE
[Symbol]	100 YEAR FLOOD PLAIN
[Symbol]	STREAM BUFFER SETBACK
[Symbol]	STREAM BUFFER
[Symbol]	DRAINAGE EASEMENT
[Symbol]	POTENTIAL BUILDING
[Symbol]	EXISTING BUILDING
[Symbol]	ROAD EDGE
[Symbol]	WATER QUALITY BASIN AND DETENTION BASIN
[Symbol]	RETAINING WALLS
[Symbol]	MATCH LINE

ALL CONTOURS AT MSL INTERVAL: 5 FT
ELEVATION AT LEVEL 01 TOP OF FLOOR: 568' - BASED ON NGVD 29
T.O.R IS MAXIMUM EXCLUDING EXHAUST STACKS

<p>TRAFFIC ENGINEER: CBT TRAFFIC 12400 OLIVE BOULEVARD, SUITE 430 ST. LOUIS, MO 63141 T 314.878.9644 F 314.878.5877</p>	<p>CIVIL ENGINEER: RAFAEL VINOLY ARCHITECTS PC 1552 SOUTH 7TH STREET ST. LOUIS, MO 63104 T 314.880.4427 F 314.883.5578</p>	<p>ARCHITECT: RAFAEL VINOLY ARCHITECTS PC 50 VANDAM STREET NEW YORK, NY 10013 T 212.924.5060 F 646.478.9596</p>	<p>OWNER: MONSANTO COMPANY 800 NORTH LINDENBUSH BOULEVARD ST. LOUIS, MO 63167</p>	<p>LANDSCAPE ARCHITECT: DTLS 1624 TOMER GROVE AVENUE SAINT LOUIS, MISSOURI 63110 T 314.534.4000</p>	<p>DISCLAIMER THE ARCHITECT SHALL HAVE NO RESPONSIBILITY FOR ANY LIABILITY, LOSS, COST, DAMAGE OR EXPENSE ARISING FROM OR RESULTING FROM ANY USE OF THIS DOCUMENT FOR ANY PURPOSE OTHER THAN THAT INTENDED BY THE ARCHITECT. THIS DOCUMENT IS TO BE CONSIDERED A CONSULTING CONTRACT ONLY. THE ARCHITECT IS NOT PROVIDING PROFESSIONAL ENGINEERING SERVICES. CONTRACTORS MUST VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH ANY WORK. ONLY FIGURED DIMENSIONS ARE TO BE USED FOR VERIFICATION.</p>	<p>PROJECT NAME AND LOCATION MONSANTO 700 CHESTERFIELD PARKWAY WEST CHESTERFIELD, MO 63017</p>	<p>KEY PLAN</p>	<table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> <th>DRAWING ORIGINATOR</th> <th>DRAWING TITLE</th> </tr> </thead> <tbody> <tr> <td>05-20-2016</td> <td>REZONING SUBMISSION</td> <td>RAFAEL VINOLY ARCHITECTS PC</td> <td>PRELIMINARY PLAN-1</td> </tr> </tbody> </table>	REV	DATE	DESCRIPTION	DRAWING ORIGINATOR	DRAWING TITLE	05-20-2016	REZONING SUBMISSION	RAFAEL VINOLY ARCHITECTS PC	PRELIMINARY PLAN-1	<p>DOCUMENT STATUS CHANGE OF ZONING APPLICATION</p>	<p>PROJECT NUMBER 680.100</p>	<p>SCALE 1:100</p>	<p>DRAWING NUMBER A0.3.010</p>
REV	DATE	DESCRIPTION	DRAWING ORIGINATOR	DRAWING TITLE																	
05-20-2016	REZONING SUBMISSION	RAFAEL VINOLY ARCHITECTS PC	PRELIMINARY PLAN-1																		



LEGEND	
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POTENTIAL NEW SLOPE IN THIS AREA EXCEEDS 3:1. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE APPROVAL OF SLOPES IN EXCESS OF 3:1. STEEP SLOPES ARE SUBJECT TO THE REVIEW AND APPROVAL OF THE CITY OF CHESTERFIELD.

FINAL DESIGN WILL BE DISCUSSED AND COORDINATED WITH THE CITY OF CHESTERFIELD

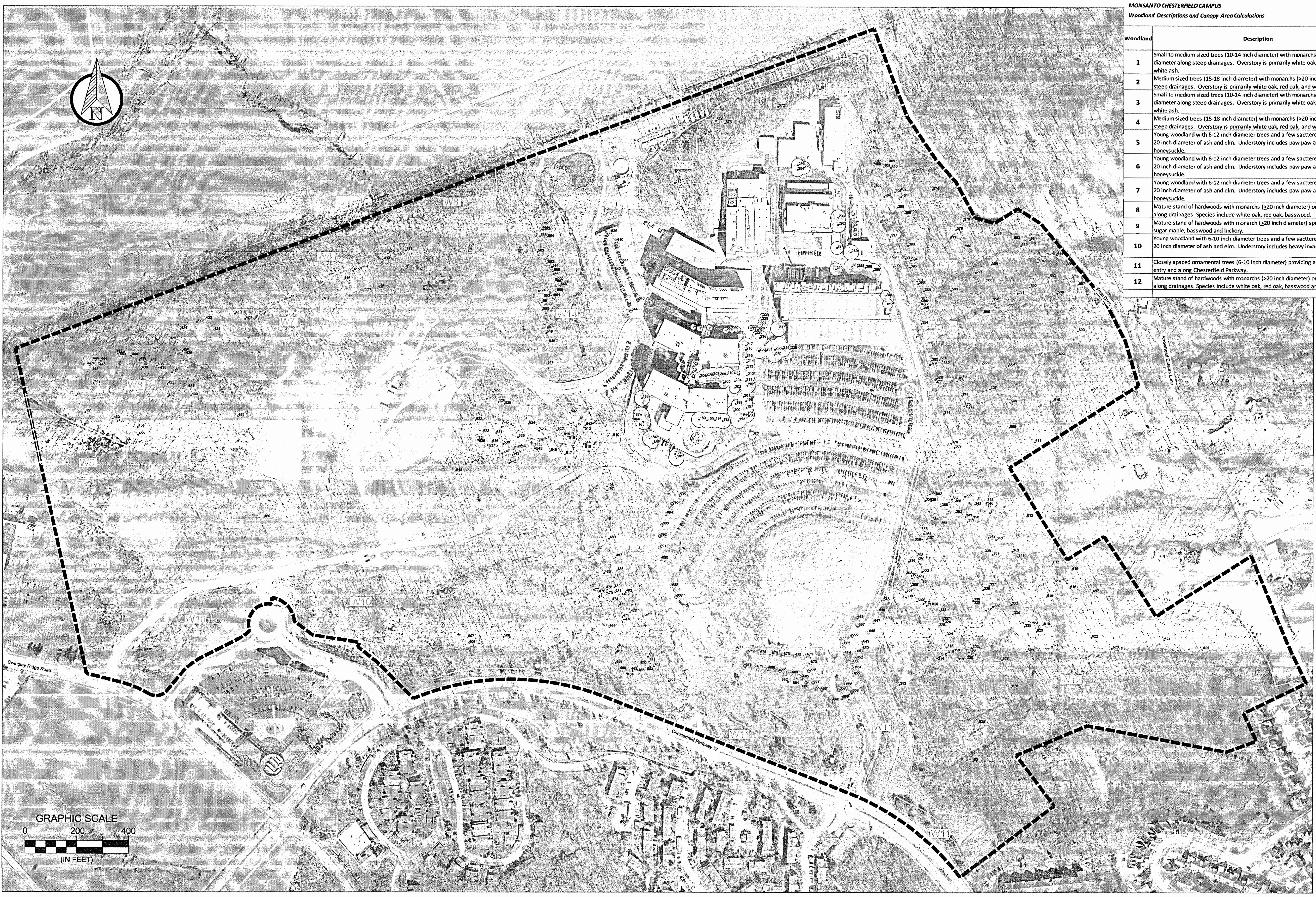
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FINAL DESIGN AND LOCATION TO BE DETERMINED DURING SITE DEVELOPMENT CONCEPT OR SECTION PLAN REVIEW OR ANY AMENDMENTS THERETO

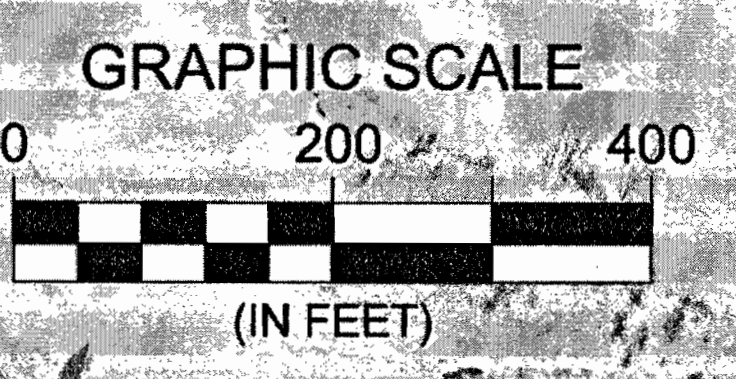
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<p>TRAFFIC ENGINEER: CSB TRAFFIC 12000 OLIVE BOULEVARD, SUITE 430 ST. LOUIS, MO 63141 T 314.878.6544 F 314.878.5877</p>	<p>CIVIL ENGINEER: RAFAEL VINOLY ARCHITECTS PC 1550 SOUTH 7TH STREET ST. LOUIS, MO 63104 T 314.880.4427 F 314.863.5578</p>	<p>ARCHITECT: RAFAEL VINOLY ARCHITECTS PC 80 VANDAM STREET NEW YORK, NY 10013 T 212.324.5000 F 646.478.9596</p>	<p>OWNER: MONSANTO COMPANY 800 NORTH LINDBERGH BOULEVARD ST. LOUIS, MO 63167</p>	<p>DISCLAIMER THE ARCHITECT SHALL HAVE NO RESPONSIBILITY FOR ANY LIABILITY LOSS, COST, DAMAGE OR EXPENSE ARISING FROM OR RESULTING FROM THE USE OF THIS DOCUMENT FOR ANY PURPOSE OTHER THAN THAT FOR WHICH IT WAS INTENDED. THE ARCHITECT'S DOCUMENTS ARE NOT TO BE CONSIDERED IN CONNECTION WITH ALL RELATED DOCUMENTS. ANY DECISIONS OR ACTIONS TAKEN BY THE ARCHITECT OR ENGINEER MUST BE VERIFIED BY THE CLIENT PRIOR TO PROCEEDING WITH ANY WORK. ONLY FIGURES DIMENSIONS ARE TO BE USED FOR VERIFICATION.</p>	<p>PROJECT NAME AND LOCATION MONSANTO MONSANTO COMPANY CHESTERFIELD VILLAGE CAMPUS 700 CHESTERFIELD PARKWAY WEST CHESTERFIELD, MO 63017</p>	<p>KEY PLAN [Map showing site location within a larger area]</p>	<table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>05-20-2016</td> <td>REZONING SUBMISSION</td> <td></td> </tr> </tbody> </table>	REV	DATE	DESCRIPTION	05-20-2016	REZONING SUBMISSION		<p>DRAWING ORIGINATOR RAFAEL VINOLY ARCHITECTS PC</p> <p>DOCUMENT STATUS CHANGE OF ZONING APPLICATION</p> <p>PROJECT NUMBER 680.100</p> <p>SCALE 1:100</p>	<p>DRAWING TITLE PRELIMINARY PLAN-2</p> <p>DRAWING NUMBER A0.3.011</p>
REV	DATE	DESCRIPTION													
05-20-2016	REZONING SUBMISSION														



Woodland	Description	Canopy Area (acres)
1	Small to medium sized trees (10-14 inch diameter) with monarchs (>20 inch diameter) along steep drainages. Overstory is primarily white oak, red oak, and white ash.	1.481
2	Medium sized trees (15-18 inch diameter) with monarchs (>20 inch diameter) along steep drainages. Overstory is primarily white oak, red oak, and white ash.	0.807
3	Small to medium sized trees (10-14 inch diameter) with monarchs (>20 inch diameter) along steep drainages. Overstory is primarily white oak, red oak, and white ash.	3.257
4	Medium sized trees (15-18 inch diameter) with monarchs (>20 inch diameter) along steep drainages. Overstory is primarily white oak, red oak, and white ash.	0.784
5	Young woodland with 6-12 inch diameter trees and a few scattered larger trees (12-20 inch diameter) of ash and elm. Understory includes paw paw and heavy invasive honeysuckle.	10.167
6	Young woodland with 6-12 inch diameter trees and a few scattered larger trees (12-20 inch diameter) of ash and elm. Understory includes paw paw and heavy invasive honeysuckle.	2.929
7	Young woodland with 6-12 inch diameter trees and a few scattered larger trees (12-20 inch diameter) of ash and elm. Understory includes paw paw and heavy invasive honeysuckle.	5.353
8	Mature stand of hardwoods with monarchs (>20 inch diameter) on north slope and along drainages. Species include white oak, red oak, basswood.	13.050
9	Mature stand of hardwoods with monarch (>20 inch diameter) species of red oak, sugar maple, basswood and hickory.	6.875
10	Young woodland with 6-10 inch diameter trees and a few scattered larger trees (12-20 inch diameter) of ash and elm. Understory includes heavy invasive honeysuckle.	12.688
11	Closely spaced ornamental trees (6-10 inch diameter) providing a buffer along main entry and along Chesterfield Parkway.	2.229
12	Mature stand of hardwoods with monarchs (>20 inch diameter) on north slopes and along drainages. Species include white oak, red oak, basswood and hickory.	50.488
TOTAL		110.108



- - - - - = Approximate study area (200.251 acres)
 25 = Mapped tree and tree number
 25 = Monarch tree and tree number are trees in woodlands (W1-W12)
 25 = Mapped tree with canopy spread for trees in non-woodland areas
 W1-W12 = Woodlands (110.108 acres)
 W13-W20 = Non-woodlands (87.816 acres)

Woodland Canopy Area	110.108 acres
Non-Woodland Canopy Area	2.327 acres
Total Canopy On-Site	112.435 acres

Prepared by
DAVEY
 RESOURCE GROUP
 A Division of The Davey Tree Expert Company

Prepared for
Civil Design, Inc.

Tree Stand Delineation Map
 700 Chesterfield Parkway
 200 Acres, Chesterfield, Missouri
 Tree Stand Delineation prepared by:
 Jacob McMains, ISA Board Certified
 Arborist (MW-5328A)

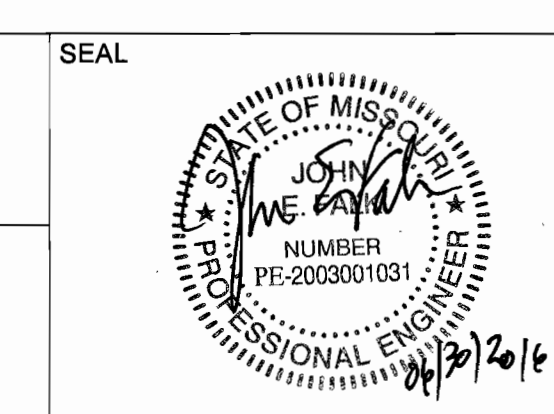
Tree data used to produce this map were collected in March and June 2013 and April 11, 2014 and revised May 18, 2015
 Tree Stand Delineation mapping prepared by: Ken Christensen, ISA Board Certified Arborist (A-0690)

Sheet 1
of 2

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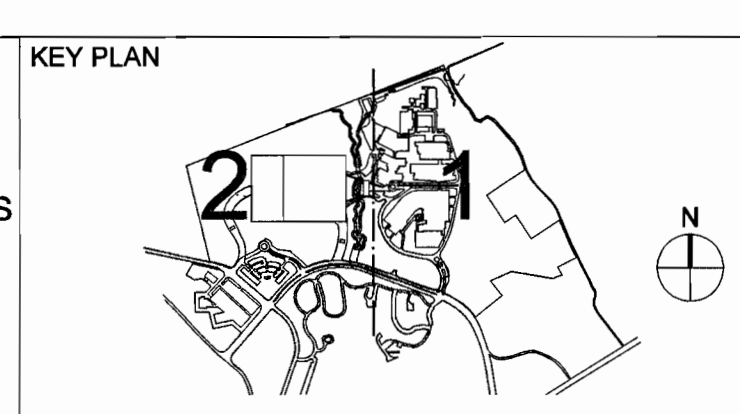
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PROJECT NAME AND LOCATION
 MONSANTO
 MONSANTO COMPANY
 CHESTERFIELD VILLAGE CAMPUS
 700 CHESTERFIELD PARKWAY WEST
 CHESTERFIELD, MO 63017



REV	DATE	DESCRIPTION
05-20-2016		REZONING SUBMISSION

DRAWING ORIGINATOR
 RAFAEL VINOLY ARCHITECTS PC
 DOCUMENT STATUS
 CHANGE OF ZONING APPLICATION
 PROJECT NUMBER
 680.100
 SCALE
 N.T.S.

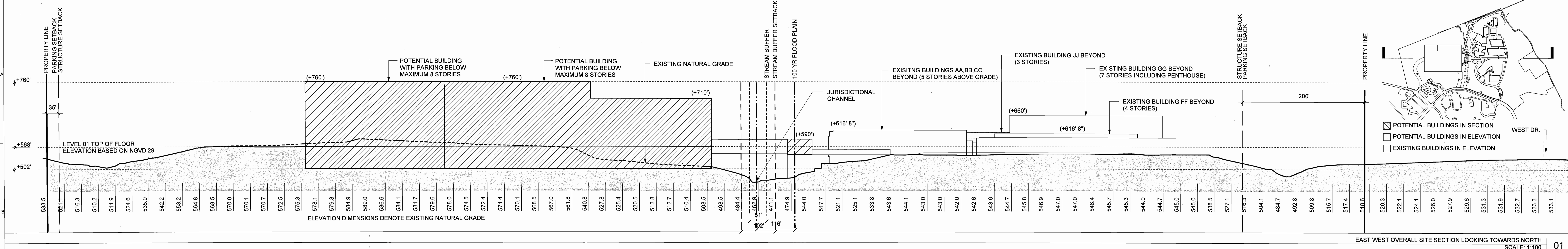
DRAWING TITLE
TREE STAND DELINEATION DIAGRAM
 DRAWING NUMBER
 A0.3.020

TREE DATA - 700 Chesterfield Parkway, Chesterfield, MO
 Data collected March 2013; June 2013; April 2014 (Skip Kincaid); and
 May 2015 by Jacob McMains
 Project Manager and Consulting Forester
 Davey Resource Group
 ISA Certified Arborist (MW-5328A)
 jacob.mcmains@davey.com

Jacob McMains

Tree Number	Common Name	Species	DBH	Height	Condition	Health	Quality	Location	Notes
181	Pine, Austrian	Pinus	12	20	314	No	0	0	Yes
182	Maple, Red	Acer	9	Fair	No	20	314	No	Yes
183	Honeylocust	Gleditsia	9	Fair	No	20	314	No	Yes
184	Ash, white	Fraxinus	17	Good	No	30	707	No	Yes
185	Ash, white	Fraxinus	25	Good	No	30	707	No	Yes
186	Redbud	Amelanchier	10	Fair	No	30	314	No	Yes
187	Oak, Pin	Quercus	12	Fair	No	30	707	No	Yes
188	Honeylocust	Gleditsia	14	Good	No	30	707	No	Yes
189	Honeylocust	Gleditsia	12	Good	No	30	707	No	Yes
190	Honeylocust	Gleditsia	12	Good	No	30	707	No	Yes
191	Honeylocust	Gleditsia	12	Good	No	30	707	No	Yes
192	Honeylocust	Gleditsia	12	Good	No	30	707	No	Yes
193	Honeylocust	Gleditsia	12	Good	No	30	707	No	Yes
194	Redbud	Amelanchier	10	Fair	No	20	314	No	Yes
195	Redbud	Amelanchier	11	Fair	No	20	314	No	Yes
196	Honeylocust	Gleditsia	10	Good	No	25	491	No	Yes
198	Honeylocust	Gleditsia	10	Good	No	25	491	No	Yes
199	Plum, Purpleleaf	Prunella	8	Good	No	16	201	No	Yes
200	Oak, Pin	Quercus	11	Fair	No	25	491	No	Yes
201	Honeylocust	Gleditsia	8	Fair	No	25	491	No	Yes
202	Honeylocust	Gleditsia	12	Good	No	30	707	No	Yes
203	Honeylocust	Gleditsia	9	Fair	No	20	314	No	Yes
204	Ash, white	Fraxinus	18	Good	No	30	707	No	Yes
205	Ulmus, Umbellata	Ulmus	12	Fair	No	20	314	No	Yes
206	Maple, Sugar	Acer	8	Good	No	20	314	No	Yes
207	Honeylocust	Gleditsia	14	Fair	No	30	707	No	Yes
208	Birch, River	Betula	11	Fair	No	30	707	No	Yes
209	Ash, white	Fraxinus	8	Fair	No	30	707	No	Yes
210	Ulmus, Umbellata	Ulmus	12	Fair	No	20	314	No	Yes
211	Honeylocust	Gleditsia	10	Good	No	30	707	No	Yes
212	Honeylocust	Gleditsia	10	Good	No	30	707	No	Yes
213	Honeylocust	Gleditsia	10	Good	No	30	707	No	Yes
214	Honeylocust	Gleditsia	9	Good	No	30	707	No	Yes
215	Honeylocust	Gleditsia	10	Good	No	30	707	No	Yes
216	Honeylocust	Gleditsia	10	Good	No	30	707	No	Yes
217	Honeylocust	Gleditsia	9	Good	No	30	707	No	Yes
218	Elm, hybrid	Ulmus	12	Good	No	12	113	No	Yes
219	Elm, hybrid	Ulmus	4	Good	No	12	113	No	Yes
220	Elm, hybrid	Ulmus	12	Good	No	12	113	No	Yes
221	Elm, hybrid	Ulmus	4	Good	No	12	113	No	Yes
222	Elm, hybrid	Ulmus	4	Good	No	12	113	No	Yes
223	Elm, hybrid	Ulmus	4	Good	No	12	113	No	Yes
224	Birch, River	Betula	3	Good	No	10	79	No	Yes
225	Elm, hybrid	Ulmus	2	Good	No	10	79	No	Yes
226	Elm, hybrid	Ulmus	2	Good	No	10	79	No	Yes
227	Elm, hybrid	Ulmus	2	Good	No	10	79	No	Yes
228	Elm, hybrid	Ulmus	2	Good	No	10	79	No	Yes
229	Elm, hybrid	Ulmus	2	Good	No	10	79	No	Yes
230	Ash, Green	Fraxinus	16	Good	No	30	707	No	Yes
231	Maple, Red	Acer	10	Fair	No	20	314	No	Yes
232	Maple, Red	Acer	14	Fair	No	30	707	No	Yes
233	Pear, Callery	Pyrus	18	Fair	No	40	1207	No	Yes
234	Oak, Red	Quercus	14	Fair	No	30	707	No	Yes
235	Drummond, Flowering	Hamamelis	1	Fair	No	10	79	No	Yes
236	Ash, Green	Fraxinus	10	Fair	No	30	707	No	Yes
237	Ash, Green	Fraxinus	18	Fair	No	30	707	No	Yes
238	Plum, Purpleleaf	Prunella	6	Fair	No	20	314	No	Yes
239	Ash, white	Fraxinus	6	Fair	No	15	172	No	Yes
240	Pear, Callery	Pyrus	6	Fair	No	12	113	No	Yes
241	Pear, Callery	Pyrus	10	Fair	No	12	113	No	Yes
242	Pear, Callery	Pyrus	2	Fair	No	8	50	No	Yes
243	Honeylocust	Gleditsia	6	Fair	No	14	154	No	Yes
244	Elm, hybrid	Ulmus	6	Good	No	15	172	No	Yes
245	Goldenrain	Fraxinus	10	Fair	No	20	314	No	Yes
246	Sourwood	Fraxinus	10	Fair	No	20	314	No	Yes
247	Honeylocust	Gleditsia	14	Fair	No	30	707	No	Yes
248	Crataegus	Crataegus	12	Good	No	30	707	No	Yes
249	Oak, Pin	Quercus	11	Good	No	30	707	No	Yes
250	Oak, Pin	Quercus	14	Good	No	30	707	No	Yes
251	Honeylocust	Gleditsia	12	Good	No	25	491	No	Yes
252	Honeylocust	Gleditsia	12	Good	No	25	491	No	Yes
253	Honeylocust	Gleditsia	14	Good	No	30	707	No	Yes
254	Ash, white	Fraxinus	12	Good	No	25	491	No	Yes
255	Maple, Red	Acer	10	Good	No	25	491	No	Yes
256	Maple, Red	Acer	10	Good	No	25	491	No	Yes
257	Oak, Red	Quercus	10	Good	No	0	0	Yes	Yes
258	Oak, Red	Quercus	10	Fair	Yes	0	0	Yes	Yes
259	Ash, Green	Fraxinus	22	Fair	Yes	0	0	Yes	Yes
260	Hickory, Bitternut	Carya	28	Fair	Yes	0	0	Yes	Yes
261	Oak, White	Quercus	20	Fair	Yes	0	0	Yes	Yes
262	Oak, White	Quercus	36	Good	Yes	0	0	Yes	Yes
263	Ash, Green	Fraxinus	28	Good	Yes	0	0	Yes	Yes
264	Oak, White	Quercus	32	Good	Yes	0	0	Yes	Yes
265	Oak, White	Quercus	40	Good	Yes	0	0	Yes	Yes
266	Oak, White	Quercus	22	Fair	Yes	0	0	Yes	Yes
267	Oak, Red	Quercus	21	Good	Yes	0	0	Yes	Yes
268	Oak, White	Quercus	22	Fair	Yes	0	0	Yes	Yes
269	Oak, White	Quercus	22	Fair	Yes	0	0	Yes	Yes
270	Oak, White	Quercus	22	Fair	Yes	0	0	Yes	Yes
271	Oak, White	Quercus	22	Fair	Yes	0	0	Yes	Yes
272	Oak, White	Quercus	22	Fair	Yes	0	0	Yes	Yes
273	Oak, White	Quercus	22	Fair	Yes	0	0	Yes	Yes
274	Oak, White	Quercus	22	Fair	Yes	0	0	Yes	Yes
275	Oak, White	Quercus	22	Fair	Yes	0	0	Yes	Yes
276	Oak, White	Quercus	22	Fair	Yes	0	0	Yes	Yes
277	Oak, White	Quercus	22	Fair	Yes	0	0	Yes	Yes
278	Oak, White	Quercus	22	Fair	Yes	0	0	Yes	Yes
279	Oak, White	Quercus	22	Fair	Yes	0	0	Yes	Yes
280	Oak, White	Quercus	22	Fair	Yes	0	0	Yes	Yes
281	Oak, White	Quercus	22	Fair	Yes	0	0	Yes	Yes
282	Oak, White	Quercus	22	Fair	Yes	0	0	Yes	Yes
283	Oak, White	Quercus	22	Fair	Yes	0	0	Yes	Yes
284	Oak, White	Quercus	22	Fair	Yes	0	0	Yes	Yes
285	Oak, White	Quercus	22	Fair	Yes	0	0	Yes	Yes
286	Oak, White	Quercus	22	Fair	Yes	0	0	Yes	Yes
287	Oak, White	Quercus	22	Fair	Yes	0	0	Yes	Yes
288	Oak, White	Quercus	22	Fair	Yes	0	0	Yes	Yes
289	Oak, White	Quercus	22	Fair	Yes	0	0	Yes	Yes
290	Oak, White	Quercus	22	Fair	Yes	0	0	Yes	Yes
291	Oak, White	Quercus	22	Fair	Yes	0	0	Yes	Yes
292	Oak, White	Quercus	22	Fair	Yes	0	0	Yes	Yes
293	Oak, White	Quercus	22	Fair	Yes	0	0	Yes	Yes
294	Oak, White	Quercus	22	Fair	Yes	0	0	Yes	Yes
295	Oak, White	Quercus	22	Fair	Yes	0	0	Yes	Yes
296	Oak, White	Quercus	22	Fair	Yes	0	0	Yes	Yes
297	Oak, White	Quercus	22	Fair	Yes	0	0	Yes	Yes
298	Oak, White	Quercus	22	Fair	Yes	0	0	Yes	Yes
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300	Oak, White	Quercus	22	Fair	Yes	0	0	Yes	Yes

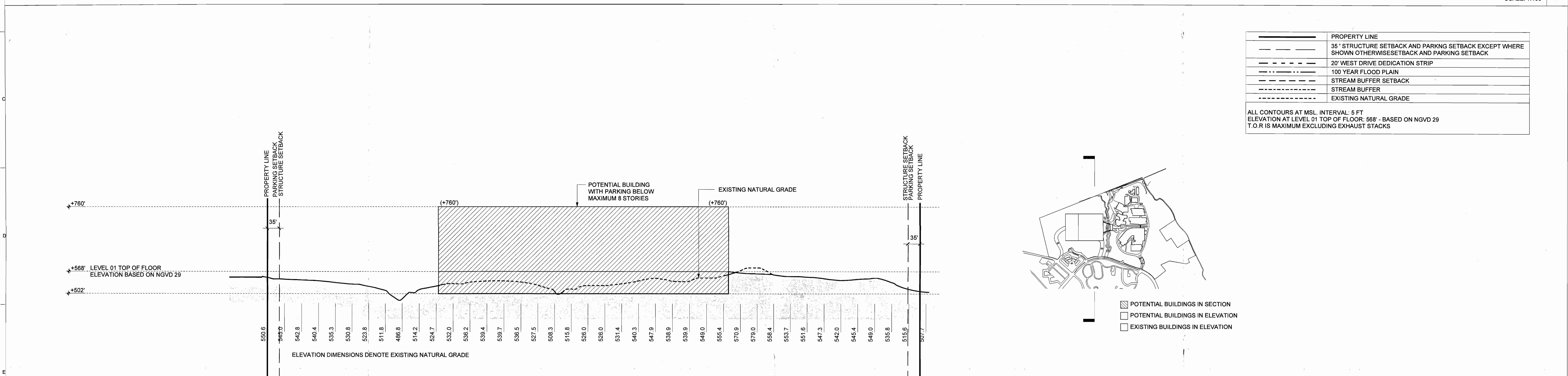
Tree Number	Common Name	Species	DBH	Height	Condition	Health	Quality	Location	Notes
311	Cottonwood	Populus	22	Fair	Yes	0	0	Yes	Yes
314	Ash, Green	Fraxinus	28	Fair	Yes	0	0	Yes	Yes
315	Oak, White	Quercus	26	Poor	No	0	0	Yes	Yes
316	Maple, Sugar	Acer	22	Fair	Yes	0	0	Yes	Yes
317	Ash, Green	Fraxinus	22	Fair	Yes	0	0	Yes	Yes
318	Maple, Sugar	Acer	33	Fair	Yes	0	0	Yes	Yes
319	Maple, Sugar	Acer	26	Fair	Yes	0	0	Yes	Yes
320	Oak, White	Quercus	26	Fair	Yes	0	0	Yes	Yes
321	Maple, Sugar	Acer	28	Good	Yes	0	0	Yes	Yes
322	Maple, Sugar	Acer	28	Good	Yes	0	0	Yes	Yes
323	Oak, White	Quercus	36	Poor	No	0	0	Yes	Yes
324	Oak, Red	Quercus	34	Fair	Yes	0	0	Yes	Yes
325	Oak, Red	Quercus	32	Fair	Yes	0	0	Yes	Yes
326	Maple, Sugar	Acer	24	Fair	Yes	0	0	Yes	Yes
327	Maple, Sugar	Acer	26	Poor	No	0	0	Yes	Yes
328	Ash, Green	Fraxinus	34	Fair	Yes	0	0	Yes	Yes
329	Sycamore	Platanus	22	Poor	No	0	0	Yes	Yes
330	Sycamore	Platanus	22	Poor	No	0	0	Yes	Yes
331	Sycamore	Platanus	24	Poor	No	0	0	Yes	Yes
332	Maple, Sugar	Acer	26	Good	Yes	0	0	Yes	Yes
333	Maple, Sugar	Acer	26	Good	Yes	0	0	Yes	Yes
334	Maple, Sugar	Acer	26	Good	Yes	0	0	Yes	Yes
335	Maple, Sugar	Acer	26	Good	Yes	0	0	Yes	Yes
336	Oak, White	Quercus	24	Fair	Yes	0	0	Yes	Yes
337	Ash, Green	Fraxinus	36	Poor	No	0	0	Yes	Yes
338	Maple, Black	Acer	24	Good	Yes	0	0	Yes	Yes
339	Maple, Sugar	Acer	23	Good	Yes	0	0	Yes	Yes
340	Ash, Green	Fraxinus	28	Fair	Yes	0	0	Yes	Yes
341	Oak, White	Quercus	24	Fair	Yes	0	0	Yes	Yes
342	Ash, Green	Fraxinus	27	Fair	Yes	0	0	Yes	Yes
343	Maple, Sugar	Acer	24	Fair	Yes	0	0	Yes	Yes
344	Maple, Sugar	Acer	26	Fair	Yes	0	0	Yes	Yes
345	Ash, Green	Fraxinus	24	Fair	Yes	0	0	Yes	Yes
346	Sycamore	Platanus	36	Fair	Yes	0	0	Yes	Yes
347	Sycamore	Platanus	34	Fair	Yes	0	0	Yes	Yes
348	Cottonwood	Populus	24	Good	Yes	0	0	Yes	Yes
349	Maple, Sugar	Acer	26	Good	Yes	0	0	Yes	Yes
350	Maple, Sugar	Acer	26	Good	Yes	0	0	Yes	Yes
351	Maple, Sugar	Acer	26	Good	Yes	0	0	Yes	Yes
352	Oak, White	Quercus	24	Fair	Yes	0	0	Yes	Yes
353	Oak, White	Quercus	24	Fair	Yes	0	0	Yes	Yes
354	Ash, Green	Fraxinus	24	Fair	Yes	0	0	Yes	Yes
355	Oak, Red	Quercus	24	Fair	Yes	0	0	Yes	Yes
356	Ash, Green	Fraxinus	24	Fair	Yes	0	0	Yes	Yes
357	Oak, Red	Quercus	24	Fair	Yes	0	0	Yes	Yes
358	Oak, Red	Quercus	24	Fair	Yes				



EAST WEST OVERALL SITE SECTION LOOKING TOWARDS NORTH
SCALE: 1:100 01

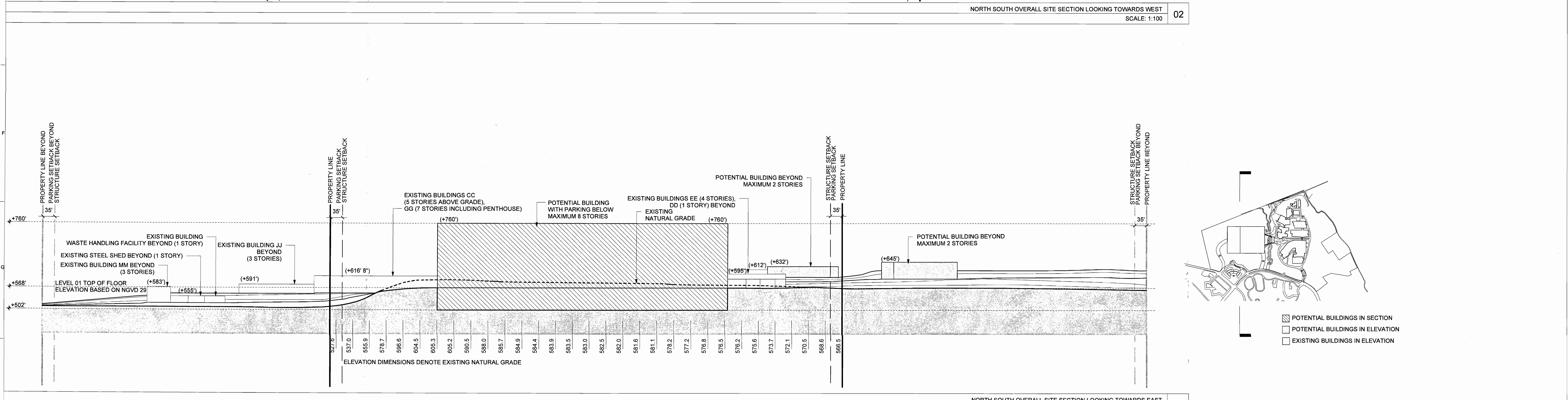
	PROPERTY LINE
	35' STRUCTURE SETBACK AND PARKING SETBACK EXCEPT WHERE SHOWN OTHERWISE SETBACK AND PARKING SETBACK
	20' WEST DRIVE DEDICATION STRIP
	100 YEAR FLOOD PLAIN
	STREAM BUFFER SETBACK
	STREAM BUFFER
	EXISTING NATURAL GRADE

ALL CONTOURS AT MSL, INTERVAL: 5 FT
ELEVATION AT LEVEL 01 TOP OF FLOOR: 568' - BASED ON NGVD 29
T.O.R IS MAXIMUM EXCLUDING EXHAUST STACKS



NORTH SOUTH OVERALL SITE SECTION LOOKING TOWARDS WEST
SCALE: 1:100 02

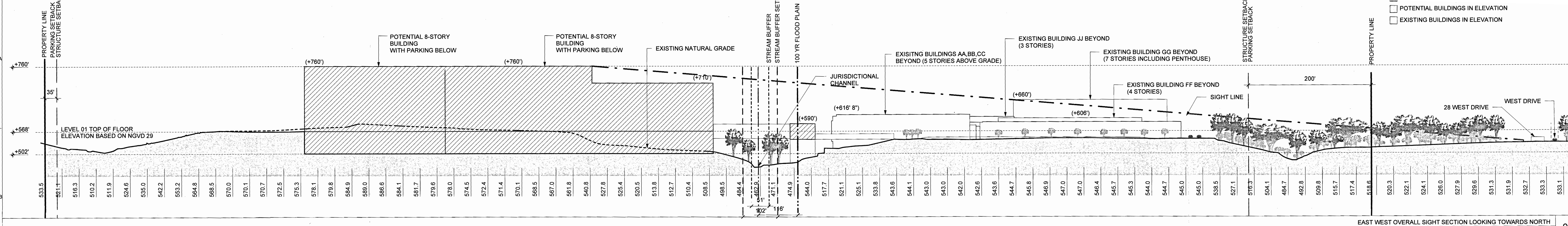
	POTENTIAL BUILDINGS IN SECTION
	POTENTIAL BUILDINGS IN ELEVATION
	EXISTING BUILDINGS IN ELEVATION



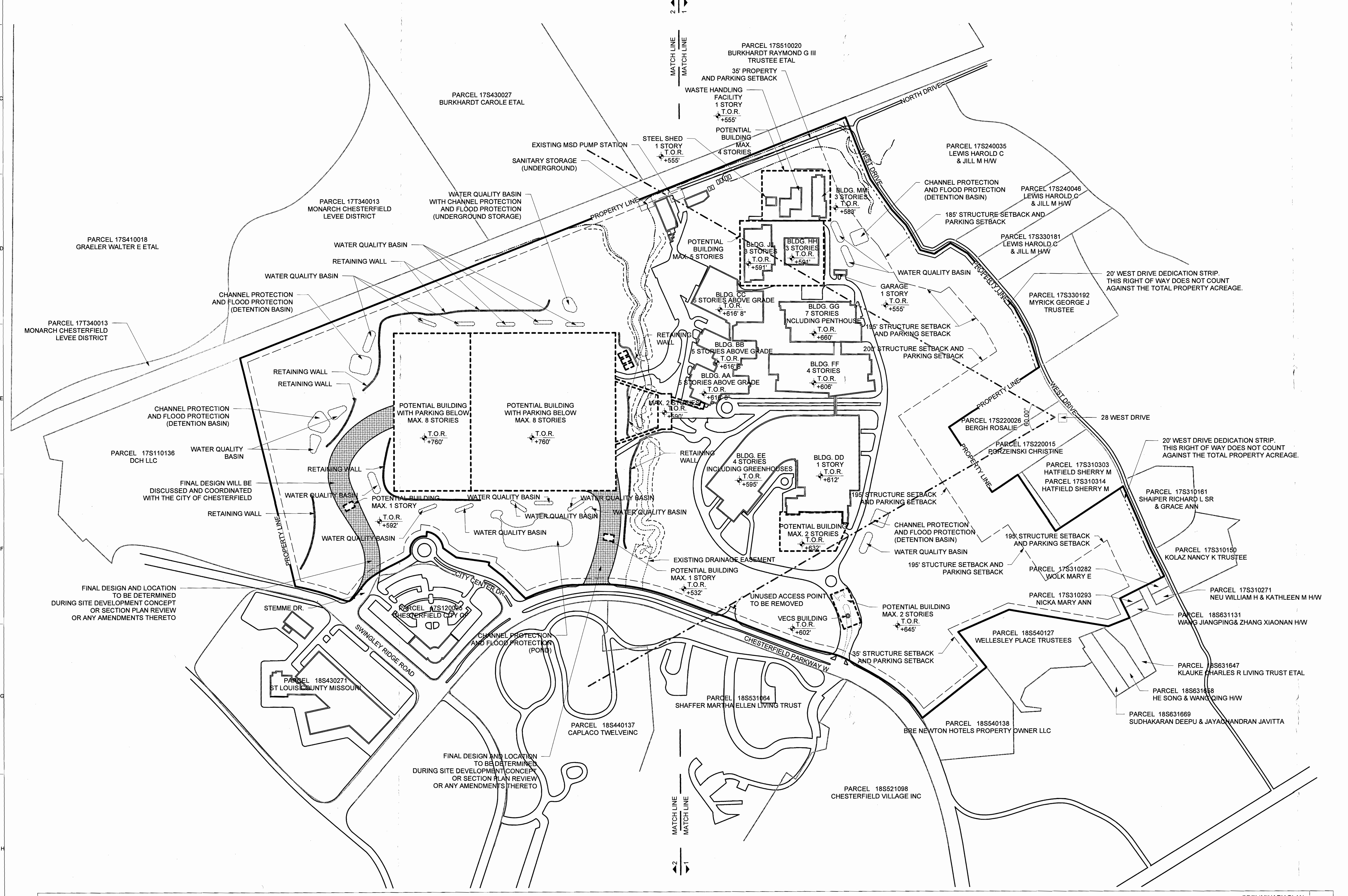
NORTH SOUTH OVERALL SITE SECTION LOOKING TOWARDS EAST
SCALE: 1:100 03

	POTENTIAL BUILDINGS IN SECTION
	POTENTIAL BUILDINGS IN ELEVATION
	EXISTING BUILDINGS IN ELEVATION

<p>TRAFFIC ENGINEER: CBB TRAFFIC 12400 OLIVE BOULEVARD, SUITE 430 ST. LOUIS, MO 63141 T 314.878.6644 F 314.878.5877</p>	<p>CIVIL ENGINEER: CIVIL DESIGN, INC. 1522 SOUTH 7TH STREET ST. LOUIS, MO 63104 T 314.885.4427 F 314.863.5578</p> <p>LANDSCAPE ARCHITECT: DTLS 1624 TOWER GROVE AVENUE SAINT LOUIS, MISSOURI 63110 T 314.534.4000</p>	<p>ARCHITECT: RAFAEL VINOLY ARCHITECTS PC 50 VANDAM STREET NEW YORK, NY 10013 T 212.804.5900 F 646.478.9596</p> <p>OWNER: MONSANTO COMPANY 800 NORTH LINDBERGH BOULEVARD ST. LOUIS, MO 63167</p>	<p>SEAL: Professional Engineer No. 0412014</p>	<p>DISCLAIMER: THE ARCHITECT SHALL HAVE NO RESPONSIBILITY FOR ANY LIABILITY, LOSS, COST, DAMAGE OR EXPENSE ARISING FROM OR RELATING TO ANY USE OF THIS DOCUMENT FOR ANY PURPOSE OTHER THAN ITS INTENDED PURPOSE ON THIS PROJECT. THIS DOCUMENT IS PROTECTED BY COPYRIGHT. THIS DOCUMENT IS TO BE CONSIDERED IN CONNECTION WITH ALL RELATED DOCUMENTATION AND DISCREPANCIES IDENTIFIED IN THIS DOCUMENT MUST BE REPORTED IMMEDIATELY TO THE ARCHITECT BEFORE PROCEEDING. CONTRACTORS MUST VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH ANY WORK. ONLY FIELD DIMENSIONS ARE TO BE USED FOR CONSTRUCTION.</p>	<p>PROJECT NAME AND LOCATION: MONSANTO COMPANY CHESTERFIELD VILLAGE CAMPUS 700 CHESTERFIELD PARKWAY WEST CHESTERFIELD, MO 63017</p>	<p>KEY PLAN: </p>	<table border="1"> <tr> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td>01</td> <td>06-20-2016</td> <td>REZONING SUBMISSION</td> </tr> </table>	REV	DATE	DESCRIPTION	01	06-20-2016	REZONING SUBMISSION	<p>DRAWING ORIGINATOR: RAFAEL VINOLY ARCHITECTS PC</p> <p>DOCUMENT STATUS: CHANGE OF ZONING APPLICATION</p> <p>PROJECT NUMBER: 680.100 SCALE: 1:100</p>	<p>DRAWING TITLE: SITE SECTIONS OF PRELIMINARY FORM</p> <p>DRAWING NUMBER: A0.3.030</p>
REV	DATE	DESCRIPTION													
01	06-20-2016	REZONING SUBMISSION													

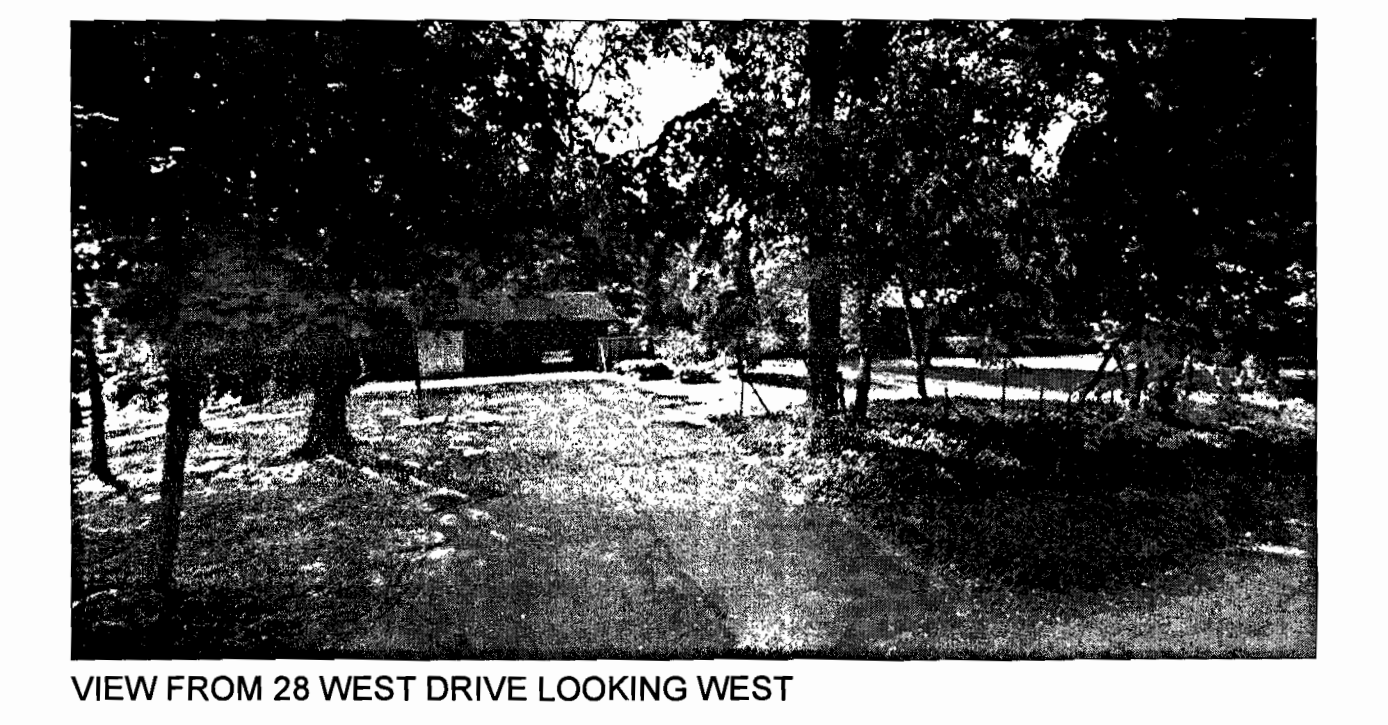
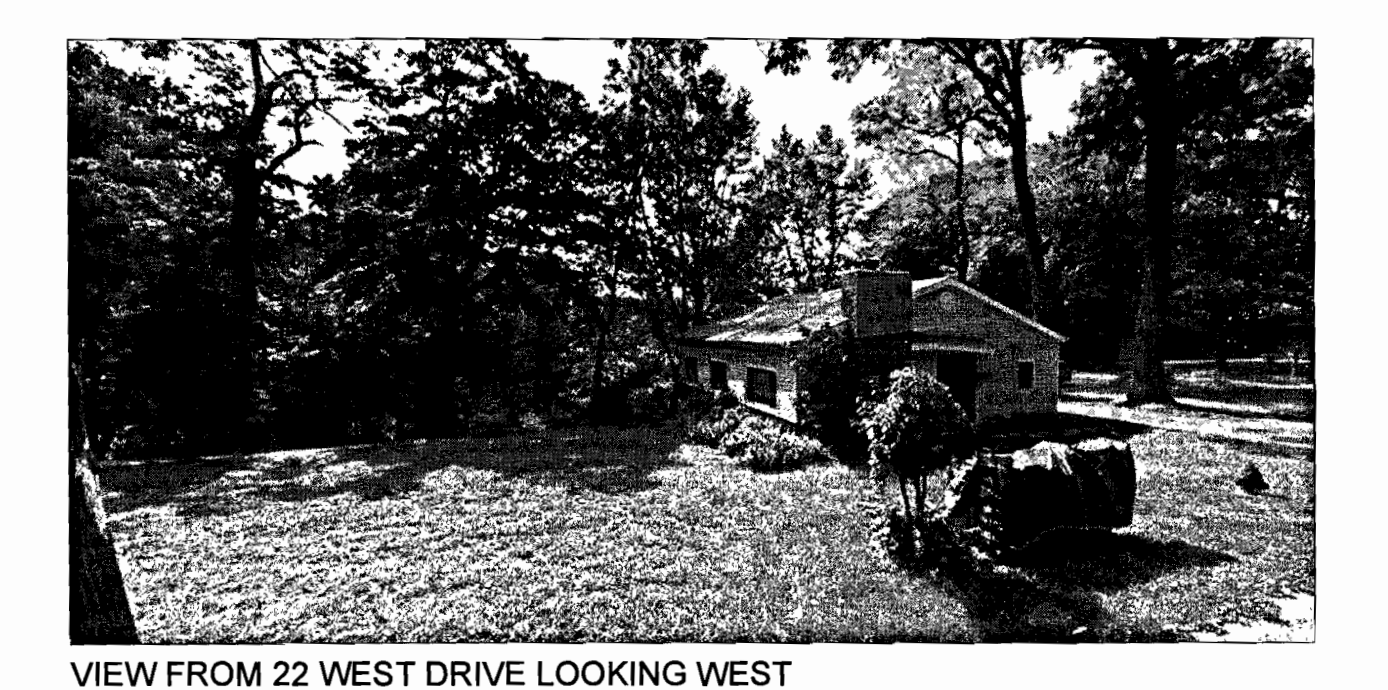


EAST WEST OVERALL SIGHT SECTION LOOKING TOWARDS NORTH
SCALE: 1:100



PROPERTY LINE	
---	35' STRUCTURE SETBACK AND PARKING SETBACK EXCEPT WHERE SHOWN OTHERWISE SETBACK AND PARKING SETBACK
---	20' WEST DRIVE DEDICATION STRIP
---	100 YEAR FLOOD PLAIN
---	STREAM BUFFER SETBACK
---	STREAM BUFFER
---	EXISTING NATURAL GRADE

ALL CONTOURS AT MSL INTERVAL: 5 FT
ELEVATION AT LEVEL 01 TOP OF FLOOR: 568' - BASED ON NGVD 29
T.O.R IS MAXIMUM EXCLUDING EXHAUST STACKS



VIEW FROM 22 WEST DRIVE LOOKING WEST

VIEW FROM 28 WEST DRIVE LOOKING WEST

PRELIMINARY PLAN
SCALE: 1:200

TRAFFIC ENGINEER:
CBB TRAFFIC
12400 OLIVE BOULEVARD, SUITE 430
ST. LOUIS, MO 63141
T 314.878.8544 F 314.878.5877

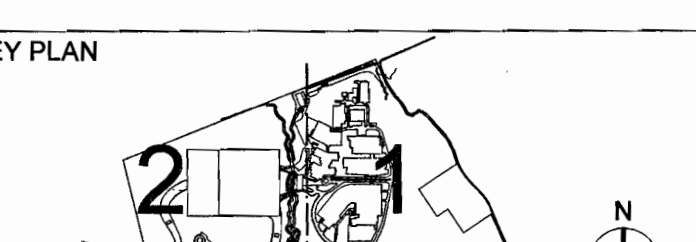
CIVIL ENGINEER:
CIVIL DESIGN, INC.
1652 SOUTH 7TH STREET
ST. LOUIS, MO 63104
T 314.880.4427 F 314.883.5578

ARCHITECT:
RAFAEL VINOLY ARCHITECTS PC
50 VANDAM STREET
NEW YORK, NY 10013
T 212.924.5060 F 646.478.9596

OWNER:
MONSANTO COMPANY
800 NORTH LINDBERGH BOULEVARD
ST. LOUIS, MO 63167

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PROJECT NAME AND LOCATION
MONSANTO COMPANY
CHESTERFIELD VILLAGE CAMPUS
700 CHESTERFIELD PARKWAY WEST
CHESTERFIELD, MO 63017



REV	DATE	DESCRIPTION
05-20-2016	05-20-2016	REZONING SUBMISSION

DRAWING ORIGINATOR
RAFAEL VINOLY ARCHITECTS PC

DOCUMENT STATUS
CHANGE OF ZONING APPLICATION

PROJECT NUMBER
680.100

SCALE
AS NOTED

DRAWING TITLE
SIGHT LINE SECTION

DRAWING NUMBER
A0.3.031

Map Unit Legend

Map Unit Symbol	Map Unit Name	Area in ACI	Percent of ACI	
60003	Merino silt loam, 8 to 14 percent slopes, eroded	41.4	10.3%	
60004	Merino silt loam, 14 to 20 percent slopes, eroded	16.0	2.0%	
60006	Merino silt loam, 20 to 45 percent slopes	108.3	44.8%	
60224	Urban land-harvester complex, hard, 2 to 8 percent slopes	1.8	0.4%	
60225	Urban land-harvester complex, hard, 9 to 20 percent slopes	66.2	21.4%	
60112	Slopes silt loam, 0 to 2 percent slopes, frequently flooded	2.1	0.2%	
60119	Limerick silt loam, 0 to 2 percent slopes, occasionally flooded	8.8	1.4%	
60824	Wichita silt loam, 0 to 2 percent slopes, frequently flooded	3.4	0.8%	
60829	Peace silt clay loam, 0 to 2 percent slopes, occasionally flooded	10.3	2.9%	
60910	Stard silt loam silt clay, 0 to 2 percent slopes, occasionally flooded	13.8	3.4%	
60920	Hoyne-Tricar-Diako complex, 0 to 2 percent slopes, frequently flooded	23.3	6.9%	
90023	Urban land, upland, 0 to 6 percent slopes	23.9	6.9%	
Totals for Areas of Interest			422.2	100.0%



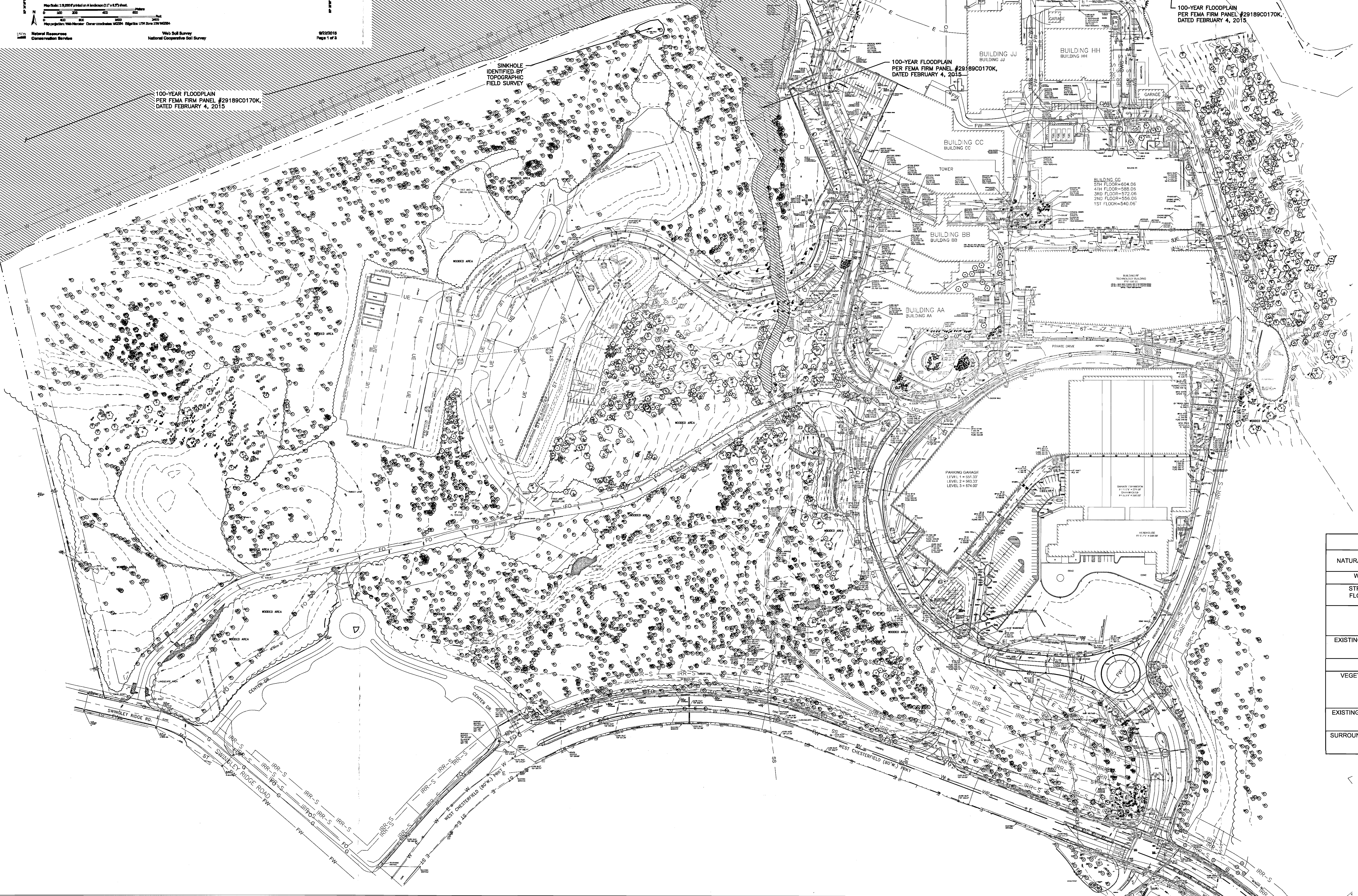
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 Natural Resources Conservation Service Web Soil Survey National Cooperative Soil Survey
 02/20/15 Page 1 of 3

100-YEAR FLOODPLAIN PER FEMA FIRM PANEL #29189C0170K, DATED FEBRUARY 4, 2015

100-YEAR FLOODPLAIN PER FEMA FIRM PANEL #29189C0170K, DATED FEBRUARY 4, 2015

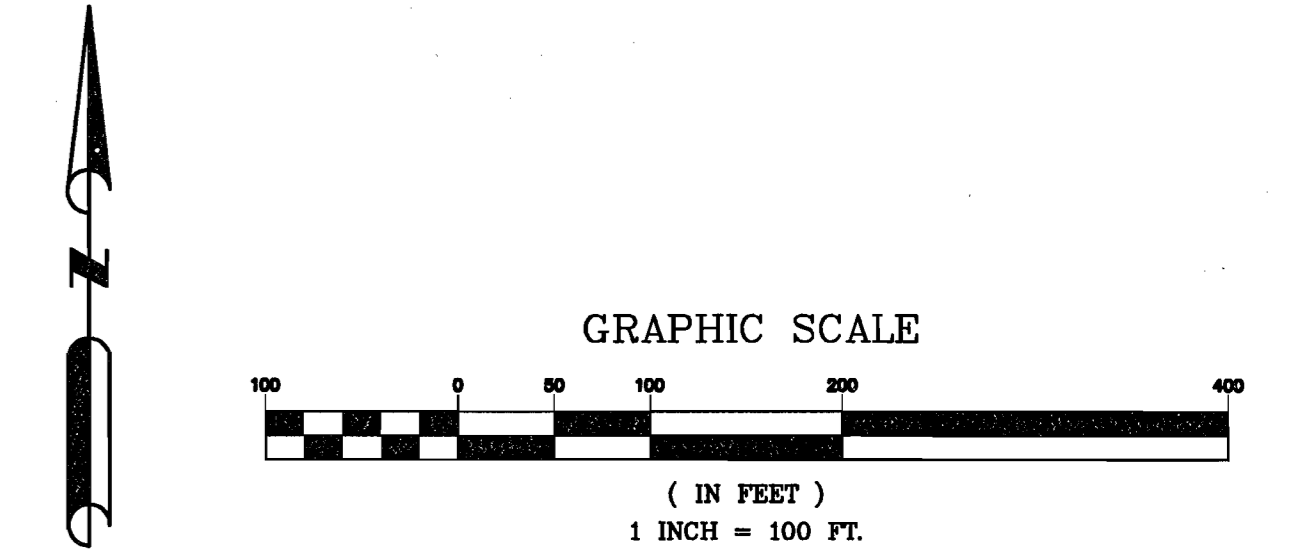
100-YEAR FLOODPLAIN PER FEMA FIRM PANEL #29189C0170K, DATED FEBRUARY 4, 2015

SINKHOLE IDENTIFIED BY TOPOGRAPHIC FIELD SURVEY



BUILDING CC
 BUILDING JJ
 BUILDING HH
 BUILDING AA
 BUILDING BB
 BUILDING DD
 BUILDING EE
 BUILDING FF
 BUILDING GG
 BUILDING II
 BUILDING KK
 BUILDING LL
 BUILDING MM
 BUILDING NN
 BUILDING OO
 BUILDING PP
 BUILDING QQ
 BUILDING RR
 BUILDING SS
 BUILDING TT
 BUILDING UU
 BUILDING VV
 BUILDING WW
 BUILDING XX
 BUILDING YY
 BUILDING ZZ

EXISTING SITE RESOURCES		
NATURAL RESOURCES	PRESENCE OR DESCRIPTION	REMARKS
WETLANDS	INDICATED	
STREAMS AND FLOODPLAINS	INDICATED	
KARST	ONE KNOWN SINKHOLE INDICATED NEAR NORTHERN PROPERTY LINE	
EXISTING TOPOGRAPHY	MILD TO STEEP SLOPES IN AREAS, SOIL TYPES SHOWN IN TABLE	
PONDS	NONE KNOWN	
VEGETATED COVER	NATIVE TREES, PLANTS, AND GRASSES FOR WESTERN SIDE AND FAR EASTERN SIDE OF PROPERTY	
EXISTING PROPERTY USE	RESEARCH CAMPUS ON EASTERN SIDE OF PROPERTY	
SURROUNDING PROPERTY USE	COMMERCIAL AND RESIDENTIAL, FLOODPLAIN TO NORTH	



<p>TRAFFIC ENGINEER: CBB TRAFFIC 12400 OLIVE BOULEVARD, SUITE 430 ST. LOUIS, MO 63141 T 314.878.9844 F 314.878.5877</p>	<p>CIVIL ENGINEER: CIVIL DESIGN, INC. 1850 SOUTH 77th STREET ST. LOUIS, MO 63104 T 314.880.4427 F 314.863.5578</p> <p>LANDSCAPE ARCHITECT: DTLS 1624 TOWER GROVE AVENUE SAINT LOUIS, MISSOURI 63110 T 314.534.4000</p>	<p>ARCHITECT: RAFAEL VIÑOLY ARCHITECTS PC 50 VANDAM STREET NEW YORK, NY 10013 T 212.924.5060 F 646.478.9996</p> <p>OWNER: MONSANTO COMPANY 800 NORTH LINDBERGH BOULEVARD ST. LOUIS, MO 63167</p>	<p>SEAL</p>	<p>DISCLAIMER</p> <p>THE ARCHITECT SHALL HAVE NO RESPONSIBILITY FOR ANY LIABILITY, LOSS, COST, DAMAGE OR EXPENSE ARISING FROM OR RELATING TO ANY USE OF THIS DOCUMENT FOR ANY PURPOSE OTHER THAN THAT SPECIFICALLY INTENDED BY THE ARCHITECT. THIS DOCUMENT IS PROTECTED BY COPYRIGHT. THIS DOCUMENT IS TO BE CONSIDERED IN CONNECTION WITH ALL RELATED DOCUMENTATION. ANY DISCREPANCIES IDENTIFIED IN THIS DOCUMENT MUST BE REPORTED IMMEDIATELY TO THE ARCHITECT. BEFORE PROCEEDING, CONTRACTORS MUST VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH ANY WORK. ONLY FIGURED DIMENSIONS ARE TO BE USED FOR VERIFICATION.</p>	<p>PROJECT NAME AND LOCATION</p> <p>MONSANTO MONSANTO COMPANY CHESTERFIELD VILLAGE CAMPUS 700 CHESTERFIELD PARKWAY WEST CHESTERFIELD, MO 63017</p>	<p>KEY PLAN</p>	<table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>05-20-2016</td> <td>REZONING SUBMISSION</td> <td></td> </tr> </tbody> </table>	REV	DATE	DESCRIPTION	05-20-2016	REZONING SUBMISSION		<p>ARCHITECT</p> <p>RAFAEL VIÑOLY ARCHITECTS</p> <p>PROJECT PHASE</p> <p>CHANGE OF ZONING APPLICATION</p> <p>PROJECT NUMBER</p> <p>680.100</p> <p>DRAWING SCALE</p> <p>AS SHOWN</p> <p>DRAWING NUMBER</p> <p>ESR-1</p>	<p>DRAWING TITLE</p> <p>EXISTING SITE RESOURCES MAP</p>
REV	DATE	DESCRIPTION													
05-20-2016	REZONING SUBMISSION														