



VII.A.

690 Chesterfield Pkwy W • Chesterfield MO 63017-0760
Phone: 636-537-4000 • Fax 636-537-4798 • www.chesterfield.mo.us

Planning Commission Staff Report

Project Type: Amended Site Development Section Plan

Meeting Date: July 25, 2016

From: Justin Wyse
Senior Planner

CC: Aimee Nassif, Planning & Development Services Director

Location: South side of Chesterfield Airport Rd., east of Boone's Crossing

Applicant: Clockwork Architecture + Design

Description: **Chesterfield Commons, Lot 107 (Rock & Brews) SDSP:** An Amended Site Development Section Plan, Amended Architectural Elevations and Architect's Statement of Design for a 1.89 acre tract of land zoned "C-8" Planned Commercial District located on the south side of Chesterfield Airport Rd., east of Boone's Crossing.

PROPOSAL SUMMARY

The request is for an Amended Site Development Section Plan and Amended Architectural Elevations for an addition and renovation of 17258 Chesterfield Airport Rd. The proposed design will incorporate the existing brick and EIFS elements of the building, add metal panels above the primary façade and add a new glass patio enclosure. The new patio area is currently utilized for a covered patio and existing parking spaces.

LAND USE AND ZONING HISTORY OF THE SUBJECT SITE

On November 17, 1997 the City of Chesterfield approved Ordinance 1344, which permitted the development of Chesterfield Commons. On January 4, 1999 the City approved the Concept Plan for the portion of the development located on the south side of Chesterfield Airport Road. The approved plan included the strip retail center and 15 outlots. In May 2000, the Site Development Section Plan for Outlot 7 (Old Country Buffet) was approved. An amended site plan was approved in July 2011 for conversion of the space to a new user, Tahoe Joe's. Finally, a permit was approved in January 2014 for Estancia Mexican Restaurant.

The original governing ordinance for the Chesterfield Commons was later amended by Ordinances 1600 and 1627. In 2004, the City of Chesterfield approved Ordinance 2081, which repealed 1600 and 1627 and consolidated the development requirements for the Chesterfield Commons into one ordinance.

Land Use and Zoning of Surrounding Properties:

Direction	Land Use	Zoning
North	Chesterfield Commons North	"C8" Planned Commercial District
South-East-West	Chesterfield Commons	"C8" Planned Commercial District



STAFF ANALYSIS

Parking

As proposed, total floor area for the new restaurant would be 10,313 square feet (8,583 square feet existing, 1,730 square foot patio proposed). The City Council approved a parking reduction of 10% for the Chesterfield Commons, including all outlots, in 2009. This results in a minimum parking requirement of 111 stalls. The proposal provides 112 parking stalls and meets the minimum requirement for parking. With the exception of the removal of several parking stalls to accommodate the new addition, no changes to the parking area are proposed.

Landscaping

The initial proposal for the site did not include a landscape plan as no changes were being proposed. Following staff review of the existing conditions of the site and recommendation from

the Architectural Review Board (see below), the site has been found to be out of compliance with the approved landscape plan for the site. In order to address the comments from staff and ARB, the applicant has included a note on their site plan that the site will be brought into compliance with the approved landscape plan. This will result in numerous trees and shrubs being planted within the parking area, around the building, and around the perimeter of the site. In addition to the addition of new landscaping, the applicant will be properly maintaining the existing vegetation on the site. The result of this will be landscaping that is compliant with the approved landscape plan and a more cohesive landscape plan between adjacent parcels.

Open Space

The work being completed is currently a covered patio area and parking stalls. No changes to open space are proposed.

Architectural Elevations

Primary changes to the building elevations include replacing the tall entry element of the building with metal panels, changing building colors (deep rose and grizzle gray), and the addition of the patio made from laminated glass and aluminum frames. The proposed patio addition includes a CMU stem wall around the base of the structure and doors are included on the structure to allow an open air environment.

Large portions of the existing EIFS building will remain and the brick wainscoting around the building will remain. This brick is a common element for buildings within the Chesterfield Commons and helps tie the architecture of all of the buildings together. The existing building includes stone columns on the front (north) side of the building. All stone elements will be removed and brick, matching the existing brick on the building and buildings within the Commons, will be utilized in the proposed design.

The proposal includes incorporating album cover art pieces on two facades of the building (north, facing THF Blvd. and west, facing an adjacent restaurant user). These items are not considered signage under the City's sign regulations and are included as architectural elements. ARB discussed these items in detail at the meeting to ensure that the materials and methods result in a durable and professional appearance.

Staff and ARB requested additional information on the proposed tempest torches that are proposed on the sides of the main entrance to the building. Additional information is included on the decorative gas lamps.

The project was reviewed by the Architectural Review Board on July 14, 2016 and received a recommendation for approval with the condition that staff work with the applicant for areas to increase landscaping on the site. After review, it was discovered the site does not currently comply with the approved landscape plan for the site. If this project is approved, the applicant will be required to add the required landscaping as shown on the approved landscape plan. This will result in a significant increase in landscaping on the property and fulfill the recommendation of the Architectural Review Board.

Lighting

In addition to the torches noted in the previous page, new light fixtures are proposed to be incorporated into the building above the proposed album artwork pieces. These fixtures are wall mounted, recessed LED fixtures that would be installed on the north and west facades. These fixtures comply with the lighting regulations of the Unified Development Code.

RECOMMENDATION

Staff has reviewed the Amended Site Development Plan and Amended Architectural Elevations and the proposed changes comply with the UDC requirements for site design and architectural design. The project was reviewed by the Architectural Review Board and received a recommendation for approval with the condition that the applicant work with staff to determine opportunities to enhance landscaping. The proposed solution to bring the property into compliance fulfills this recommendation. Staff recommends approval of the proposed Amended Site Development Section Plan and Amended Architectural Elevations as all City Code requirements have been satisfied.

MOTION

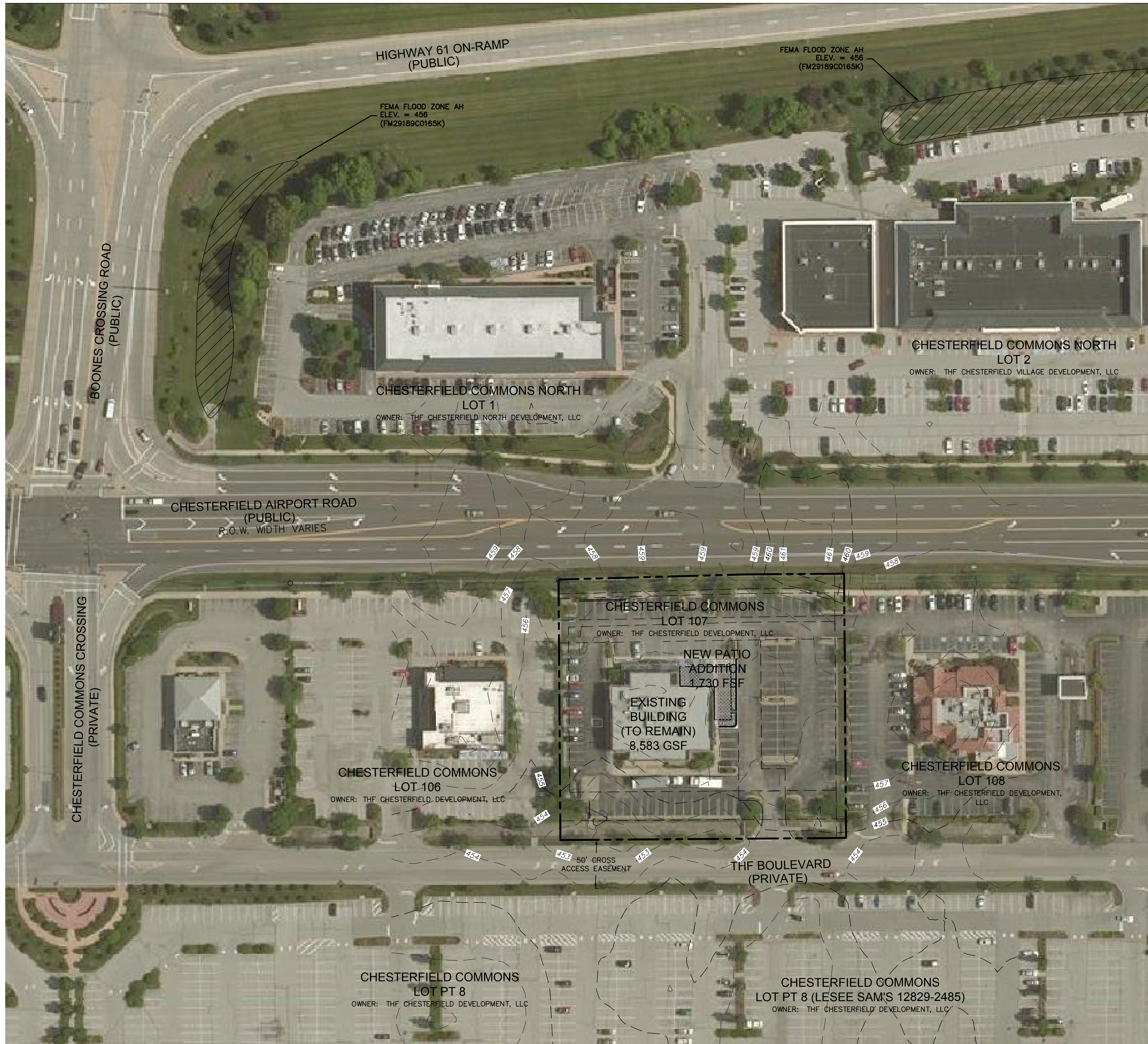
The following options are provided to the Planning Commission for consideration relative to this application:

- 1) "I move to approve (or deny) the Amended Site Development Section Plan, Architectural Elevations, and Architect's Statement of Design for Chesterfield Commons, Outlot 7 as presented.
- 2) "I move to approve the Amended Site Development Section Plan, Architectural Elevations, and Architect's Statement of Design for Chesterfield Commons, Outlot 7 with the following conditions (Conditions may be added, eliminated, altered or modified):

cc: Aimee Nassif, Planning and Development Services Director

Attachments: Amended Site Development Section Plan
Amended Architectural Elevations
Architect's Statement of Design

DWG: F:\2016\1001-1500\016-1233\40-Design\AutoCAD\Drawings\Sheets\016-1233.dwg USER: jrbtlr
 DATE: Jul 18, 2016 4:38pm REF: C:\PLAT_01233 C:\BASE_61233 C:\SURF_61233



LEGEND

	EXISTING GRADE MAJOR CONTOUR
	EXISTING GRADE MINOR CONTOUR
	PROPERTY LINE
	EASEMENT LINE
	FEMA FLOOD ZONE (1% CHANCE)

OLSSON ASSOCIATES
 7201 West 133rd Street, Suite 200
 Overland Park, KS 66213-4750
 TEL: 913.381.1170
 FAX: 913.381.1174
 www.olssonassociates.com

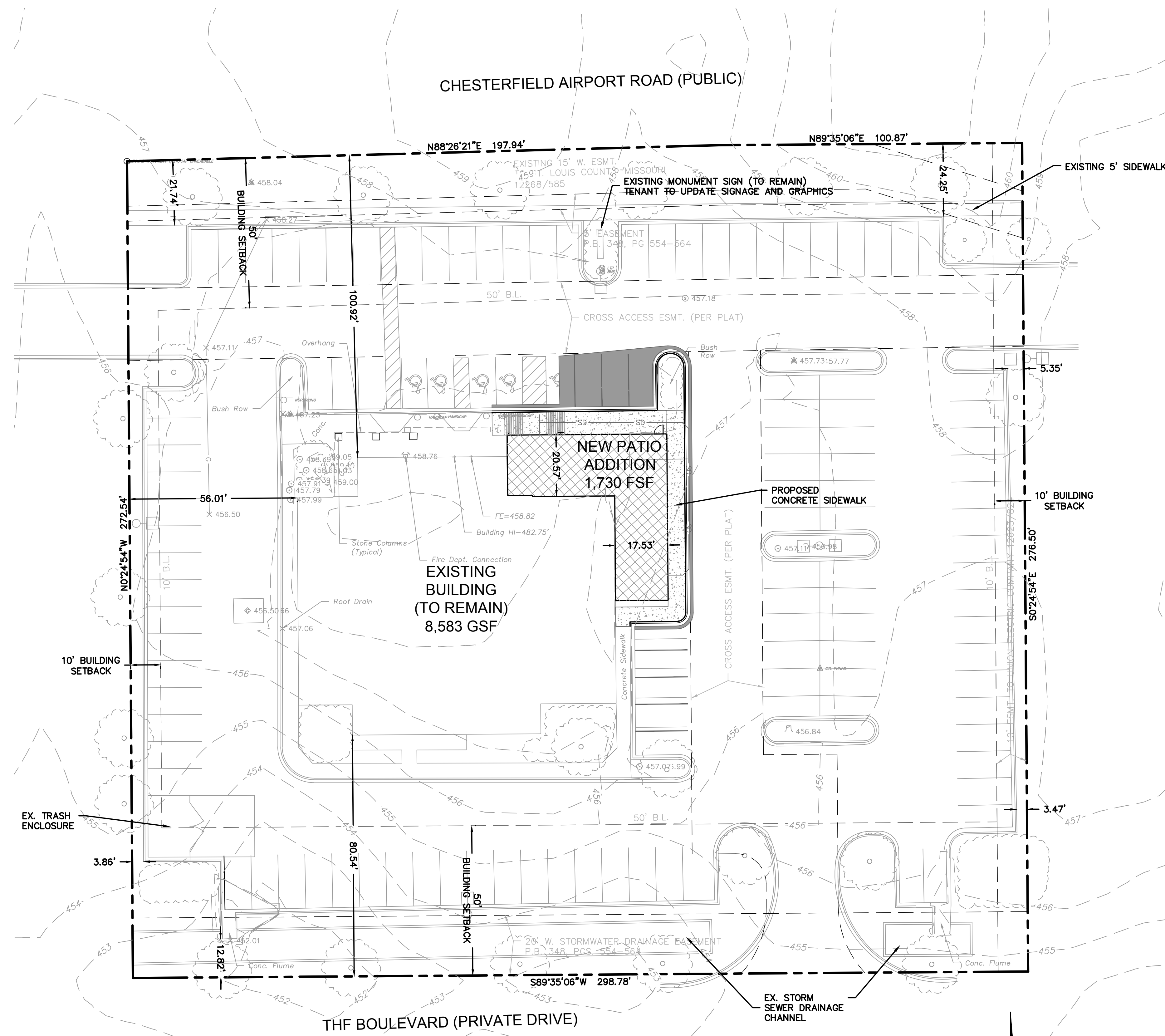


REV. NO.	DATE	REVISIONS DESCRIPTION
1	07.18.2016	ARCHITECTURAL REVIEW BOARD COMMENTS

CONTEXT PLAN
 ARCHITECTURAL REVIEW BOARD
 ROCK & BREWS ST. LOUIS
 17258 CHESTERFIELD AIRPORT ROAD
 CHESTERFIELD, MISSOURI

drawn by: RJK
 checked by: BS
 approved by: BS
 QA/QC by: BS
 project no.: 016-1233
 drawing no.: ABC-DWG
 date: 07.01.2016

DWG: F:\2016\1001-1500\016-1233\40-Design\AutoCAD\Pre\Drawings\Sheets\DWG\C_SIT_61233.dwg USER: jkabler
 DATE: Jul 18, 2016 4:36pm REF: C:\BASE_61233 C:\SURF_61233 C:\TIL_61233

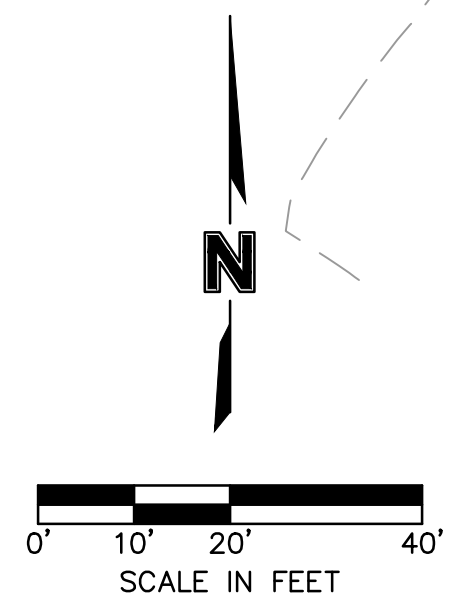


- NOTES:**
- ALL EXISTING ROOFTOP EQUIPMENT, PARAPETS AND ROOFTOP SCREENING ARE TO REMAIN UNCHANGED. ALL ROOFTOP MECHANICAL EQUIPMENT WILL REMAIN SCREENED FROM ALL SIDES
 - EX. LANDSCAPING TO BE BROUGHT INTO CONFORMANCE WITH APPROVED LANDSCAPE PLAN FOR OLD COUNTRY BUFFET.
 - THERE WILL BE NO PROPOSED STORM SEWER IMPROVEMENTS W/PATIO ADDITION.
 - EX. SANITARY SEWER SERVICE TO THE EX. BUILDING TO REMAIN IN PLACE.

PREPARED BY
 OLSSON ASSOCIATES
 7301 W 133RD STREET SUITE 200
 OVERLAND PARK, KS 66213
 PH. 913.381.1170
 FAX 913.381.1174

DEVELOPER
 KANBREWS STL, LLC DBA "ROCK AND BREWS"
 4100 SW SOUTHGATE DRIVE
 TOPEKA, KS 66609
 PH. 913.908.0341

OWNER
 THF CHESTERFIELD DEVELOPMENT, LLC
 2127 INNERBELT BUSINESS CENTER DRIVE, SUIT 200
 ST. LOUIS, MISSOURI 63114
 PH. 314.429.0900
 FAX 314.429.0999



PROPOSED PROPERTY DESCRIPTION
 ALL OF LOT 107, RESUBDIVISION OF LOTS 1, 2, 3, 4, 5, & 7 OF CHESTERFIELD COMMONS, A SUBDIVISION IN THE CITY OF CHESTERFIELD, ST. LOUIS, COUNTY MISSOURI.

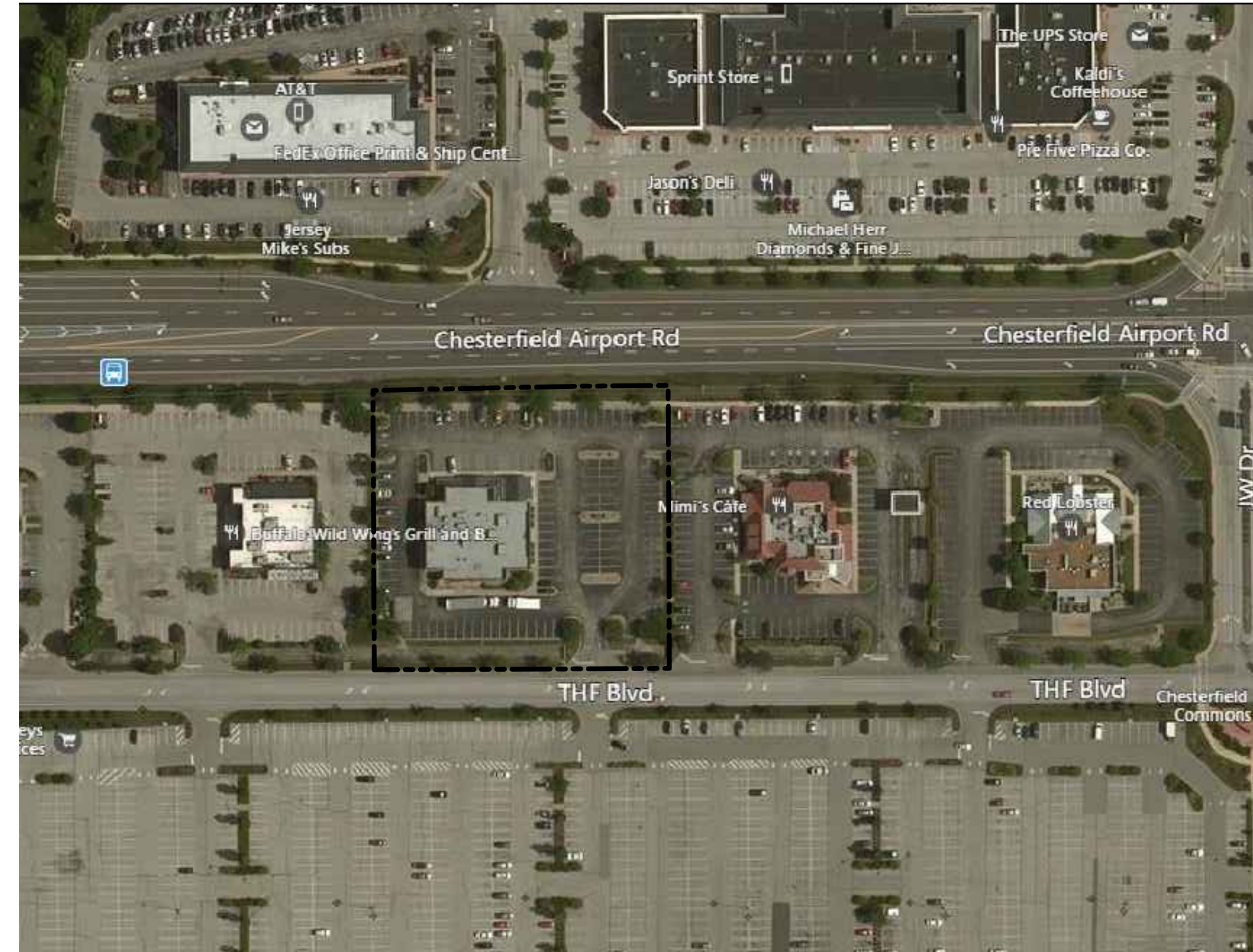
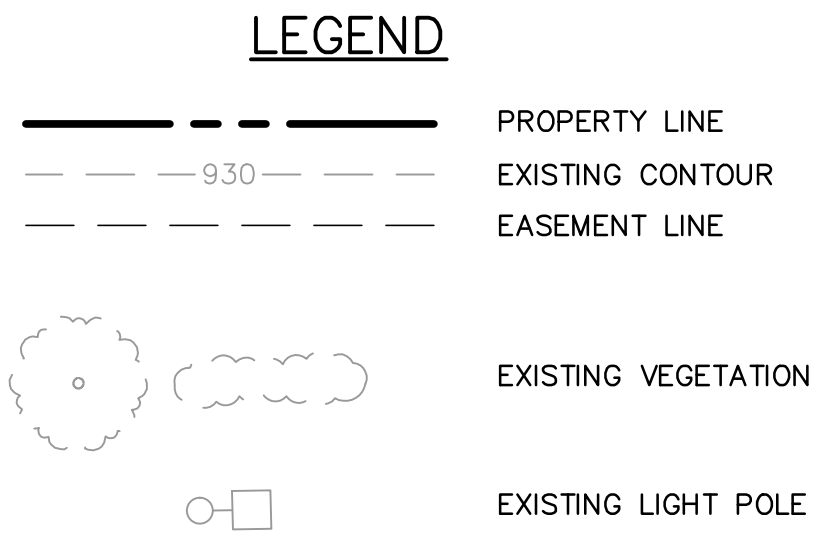
SITE DATA:
 LOT AREA: 1.89 ACRES
 ZONING: C-8 PLANNED COMMERCIAL DISTRICT

PARKING REQUIRED:
 BUILDING AND PATIO AREA = 10,313 SQ.FT.
 PARKING REQUIREMENT = 12 SPACES / 1,000 SQ. FT. GFA
 PARKING REQUIRED = 123 SPACES
 10% PARKING REDUCTION = (11 SPACES)
 TOTAL PARKING REQUIRED W/APPROVED REDUCTION = 111 SPACES

EXISTING PARKING:
 STANDARD = 120 STALLS
 STANDARD ACCESSIBLE = 3 STALLS
 VAN ACCESSIBLE = 2 STALLS
 TOTAL = 125 STALLS

PARKING PROVIDED:
 STANDARD = 112 STALLS
 STANDARD ACCESSIBLE = 3 STALLS
 VAN ACCESSIBLE = 2 STALLS
 TOTAL = 117 STALLS

FLOOR AREA RATIO = 13%



VICINITY MAP
 NOT TO SCALE

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REV. NO.	DATE	REVISIONS DESCRIPTION
1	07.18.2016	ARCHITECTURAL REVIEW BOARD COMMENTS

AMMENDED SITE DEVELOPMENT SECTION PLAN
 FOR CHESTERFIELD COMMONS, LOT 7
 ARCHITECTURAL REVIEW BOARD

ROCK & BREWS ST. LOUIS
 17258 CHESTERFIELD AIRPORT ROAD
 CHESTERFIELD, MISSOURI

2016

drawn by: RJK
 checked by: BS
 approved by: BS
 QA/QC by: BS
 project no.: 016-1233
 drawing no.: ABC-DWG
 date: 07.01.2016

SHEET
 2 of 2



July 1, 2016
Revised July 18, 2016

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f . 816.222.0491
www.clockwork-ad.com

City of Chesterfield Planning
Architectural Review Board

RE: Rock and Brews St Louis
17258 Chesterfield Airport Road
Chesterfield, MO 63005

Architect's Statement:

The following list of items identify how the Architectural Review Design Standards are being addressed for the above mentioned project.

Introduction

Rock and Brews restaurants will remodel and occupy an existing building located at 17258 Chesterfield Airport Road, Chesterfield, MO 63005, previously occupied by the Estancia Mexican Restaurant. The structure of the building will remain intact however an additional patio space will be added and/or extended on the west and north elevation in connection with the Rock and Brews standard design elements.

Rock and brews is a vibrant and unique experience for customers. They strive to include architectural elements and designs that continue to push the world of entertainment restaurants into the future. One of the most important aspects they strive to include in every location is a patio/lounge space to create a beer garden/lounge experience. Every rock and brews location has a 1,700sf or greater patio space.

Incorporated into every rock and brews is also a children's play area. As a family friendly and family centered restaurant, this low profile play area typically takes a significant portion of the patio area which is used to create a relaxing environment for parents to continue a dinner experience while providing an outlet for kids.

General Requirements for Site Design

A. Site Relationships

The site consists of 1.89 acres, which is relatively flat. Following the building remodel, there will be no significant change in elevation on the site. The building is situated facing its major arterial road, Chesterfield Airport Road, the property's northern boundary. Existing and mature landscaping will be utilized as focal points for building elements as well as screening existing trash enclosures from neighboring roadways. Concrete walks which are either currently provided or to be constructed will provide safe and convenient pedestrian access to the entry doors.

B. Circulation System and Access

Access to the site will be from THF Boulevard via cross access with the adjacent MiMi's Café to the East and Buffalo Wild Wings to the west. The building will remain situated on the west/central portion of the site with parking on all sides, however predominantly on the east. Existing striping for pedestrian access and vehicular parking to remain however resealed and striped to match. Designated striped paths are provided for pedestrian access to the walkways at the building. Existing pavement radii for waste and emergency vehicles

to remain for ease of access and circulation around the site. New bike racks are proposed at the main entrance for customers and existing bike racks will remain along the northwest corner for employees.

C. Topography

The site is relatively flat and will remain as it currently exists prior to the building remodel. An existing draining swale on the south side of the site remains.

D. Retaining Walls

No new retaining walls are proposed for this site.

General Requirements for Building Design

A. Scale

Building elements are highly compatible in scale and general conformance with neighboring buildings and existing development restrictions. The objective of the exterior building remodel is to capitalize on highly tasteful and visually appealing existing elements while adding unique and modern approaches to the overall restaurant experience. This objective comes to fruition through the incorporation of a visually appealing and refined selection of building materials which create an overall inviting and desired experience. All changes to building materials are proportional and elegant.

B. Design

1. The building incorporates a combination of masonry, stucco, metal and glass to create a variety in the design's composition, while maintaining architectural rhythm horizontally and vertically across the building on all facades.
2. Existing mature landscaping will be utilized to continue the overall appearance of the building as it relates to the surrounding uses. No new landscaping is proposed.
3. The utility incorporates its signature colors with the materials required by Chesterfield Commons.
4. The building elevations constitute similar architectural quality to the surrounding buildings while architecturally maintaining Rock and Brew's signature design standards utilized nationally.
5. Artistic murals are to be utilized on two building facades (south and west) to create a visually appealing and cultural experience for the development and surrounding uses.
6. Existing entry recesses and overhangs to be utilized to create a visually attractive and easily identifiable entrance.
7. Existing parapet walls and equipment to remain screened by use of building facades.

C. Materials and Color

The design, general scale and orientation of the building will continue a visual relationship between the neighboring Chesterfield Commons development. The building is composed using a variety of existing and new materials such as masonry, glass, stucco and metal for a variety of elements that work together as a composition. Vertical and horizontal material proportion integrates seamlessly with regards to human scale and pronounced entries for general ease of access to building entrances.

D. Landscaping Design and Screening

Mature and existing landscaping design to remain in tact for the building. By utilizing the mature landscaping, the building and surrounding parking lot will benefit from shade and visually appealing established landscaping for year round interest. No new landscaping is being proposed.

E. Signage

Building signage is not currently shown. Building signage will comply with the approved sign package for the development.

F. Lighting

Lighting will be situated as not to cast directly on adjoining properties or roadways while providing a visually appealing and definable design. All existing parking lot and building lighting is existing to remain. New building mounted linear LED wall wash grazers are being added to illuminate the new building artwork on the south and west elevations. The lights are fully cut off at 30 degrees and above with no uplighting towards the sky. A cut sheet with photometric data is included for review.

Respectfully,

A handwritten signature in cursive script that reads "Todd Howard". The signature is written in black ink on a white background.

Todd Howard, AIA, LEED BD+C
Clockwork

Site Photos:



View from Chesterfield Airport Road looking north



View from Chesterfield Airport Road looking east



View from Chesterfield Airport Road looking west



View from Chesterfield Airport Road looking south at Buffalo Wild Wings



View from Chesterfield Airport Road looking south at Mimi's Café



View from THF Boulevard looking south



View from THF Boulevard looking east



View from THF Boulevard looking west



Aerial image of site with adjacent uses shown



View of existing north façade



View of existing east façade



View of existing west façade



View of existing west façade

VANESSA LED

Wall Graze
Wet Location Luminaire

Wall Mount | Recessed



VANESSA combines high-end architectural styling with precision engineering to create a strong, elegant wet-location luminaire designed to complement wet exterior or interior installations.

The IP65 rated VANESSA Wall Graze delivers smooth and even illumination that reveals and accentuates texture with highlights and shadows to the desired space. Weather-sealing prevents water and moisture from entering the lens, power entry points and end-caps. Constructed of heavy gauge extruded aluminum, precision machined smooth end-caps and extruded acrylic lenses, VANESSA Wall Graze is built to last while withstanding elements associated with wet-location applications.

2 - 4 foot nominal lengths standard, continuous runs are available.



UL and c-UL listed for wet locations.



Made in the USA

FIXTURE SPECIFICATIONS

Construction

Heavy gauge square extruded aluminum housing. Precision-machined aluminum end-caps. Extruded acrylic clear lens. Stainless steel hardware. Concealed weather-seal gaskets at end caps, lens and power entry on all stand-alone or continuous run fixtures with an IP65 rating. Feed points accept 1/2" trade size threaded wet location conduit fittings.

Mounting

(WM) Wall Mount, (REC) Recessed.

Finishes

(SMT) Silver Matte Texture, (MW) Matte White, or (FB) Flat Black. Other powder coat finishes available. Consult factory for details.

LED Light Engine System

LED Light Engines are available as HLO (High Lumen Output) and SLO (Standard Lumen Output) providing efficient illumination. CLO (Custom Lumen Output) allows for end user specified lumen output or tailored wattage consumption for certain models. Consult factory for details.

Dimming

Dimming is available with a variety of control protocols and options. Consult factory for availability and specifications.

Acrylic Lens

Clear impact resistant extruded lens.

Fixture Length

Fixtures are available in 2' - 4' nominal lengths. Continuous run mounting available featuring water-sealed gaskets within knock-outs for maintaining WL rating. See installation section for more details.

Custom and Mods

We proudly specialize in manufacturing custom and modified luminaires and have the ability to modify most of our standard fixtures. Please contact factory with any inquiries.



VANESSA LED

Wall Graze
Wet Location Luminaire

Type: _____ Job Name: _____

Wall Mount | Recessed

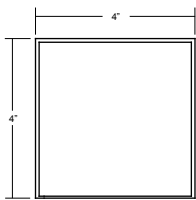
SPECIFICATION CODE

VAN-LED-WG-400 HLO 3500K 4 wm _____ SMT _____
 model light engine color temp length mounting feed finish voltage driver option option

Model	Light Engine	Color Temp	Nominal Length	Mounting	Feed	Finish	Voltage	Driver	Options
VAN-LED-WG-400	SLO - Standard	27 - 2700K	2 - 2'	WM - Wall Mount	STND - Standard	Powder Coat	120	EB - Electronic (standard)	EM ⁴ - Emergency Battery Pack
	Lumen Output	30 - 3000K	3 - 3'						
HLO - High Lumen Output	HLO - High Lumen Output	35 - 3500K	4 - 4'	REC - Recessed	EFL - End Feed Left	Matte Texture	277	Dimming	HAT - High Ambient Temperature
		40 - 4000K	6 - 6' ⁵						
CLO ³ - Custom Lumen Output			8 - 8' ⁵		EFR - End Feed Right	MW - Matte White		D1 - 1% (nom) 0-10V	
			CR ¹ - Continuous Run		EF2 - End Feed (both ends)	FB - Flat Black		D10 - 10% 0-10V	
					JBE - J-box extender	CUP - Custom ²			

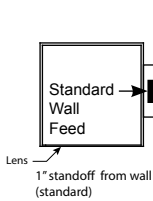
[CLO Calculator](#)

Dimensions

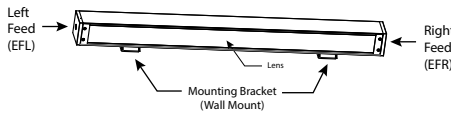
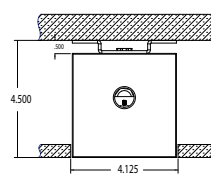


Mounting

WM - Wall Mount



REC - Recessed



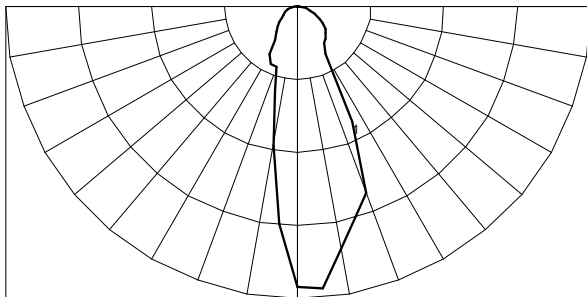
NOTES

- 1 specify length in nominal feet
- 2 contact factory for custom finish
- 3 refer to CLO Calculator for code selection
CLO available for EB, D1, D10 drivers only
- 4 EM's are remote mounted along with the driver(s) and test switch, consult factory for more info
- 5 6' & 8' lengths are made up with (2) 3' fixtures or (2) 4' fixtures respectively

VANESSA is rated for operation with ambient temperatures not to exceed 40°C. Use specification code "HAT" for applications where ambient will be between 40° and 45°C. The "HAT" option is a thermistor which will control internal temperatures so as not to exceed internal device maximum temperature. At certain temperature thresholds, fixture will dim light output to keep internal temperatures within the acceptable range. Available for EB, D1 and D10 drivers only, consult factory for more details.

*see [option sheet](#) for details

Photometrics



Maximum Candela = 2469.89 Located At Horizontal Angle = 70, Vertical Angle = 5
 # 1 - Vertical Plane Through Horizontal Angles (0 - 180)

LED

VAN-LED-WG-400 (4000K FW lens)

SLO - 85 lm/watt delivered @ 4.4 w/ft consumed watts, 374 lm/ft.
 HLO - 79.9 lm/watt delivered @ 9 w/ft consumed watts, 719 lm/ft.
 CLO - refer to [CLO Calculator](#)
 LED [supplement info](#)

THE AWARD WINNING
TEMPEST TORCH™

Gas Lamp by Travis Industries



**BUILT IN
AMERICA**



TRAVIS INDUSTRIES



THE AWARD WINNING TEMPEST TORCH™

Gas Lamps By Travis Industries



Post Mount Installation

Breaking the barriers of standard torch design, Travis Industries proudly unveils the Tempest Torch™ - a dramatic decorative outdoor gas lamp. The patent pending Tempest Torch creates a natural venturi without the use of electricity or a fan. This natural venturi effect causes the flame to spiral and dance within the tempered glass walls.

Created as a decorative outdoor furnishing for a wide array of exterior settings and applications, the Tempest Torch is designed to be the ultimate in lighting enhancement. The display possibilities are nearly endless: outdoor living spaces, retail or business store fronts, front walkways and lighting pool areas. They can be mounted onto movable bases, permanent post, pillars or on an exterior wall by an entry.

The Tempest Torch is available in both manual light or IPI electric ignition models. The manual light model works with a built-in Piezo igniter. The electric IPI model allows you to install up to 25 torches on a single 15 amp circuit. Electric IPI torches can be used with remote control, programmable timers or wired into a SmartHome system.

Installation Options

The Tempest Torch include a gas valve, burner, igniter, glass panels and frame and are available in NG or LP.

You have the option to install the Tempest Torch as:

- Wall Mount, for entry ways and sides on building
- Deck Mount Post, for installation on decks (94" tall)
- In Ground Post, for installation in ground (buried)
- Pillar Mount, for columns or pedestals (6" tall)



Easy access control panel with Piezo igniter for easy lighting and high to low flame control. IPI version does not have the control panel.

- Tempered glass (easily removed for cleaning)
- Durable stainless steel frame and burner
- Automatic gas shut off if flame goes out
- Easy access control panel
- Electric IPI or Piezo igniter models
- Wet weather lighting port
- Single On/Off and flame height control
- Natural Gas or Propane models
- Automatic tip-switch shut-off on Portable Model
- Rain Cap (optional to use)
- Optional Cast Post Cover
- Optional All Weather Cover



WALL MOUNT INSTALLATION



DECK INSTALLATION
Shown with Cast Post Cover

POST & WALL MOUNT INSTALLATIONS

Eddie V's Prime Seafood Restaurant in Orlando, Florida

Installation by Southeast Steel Appliance Sales



PILLAR MOUNT INSTALLATION

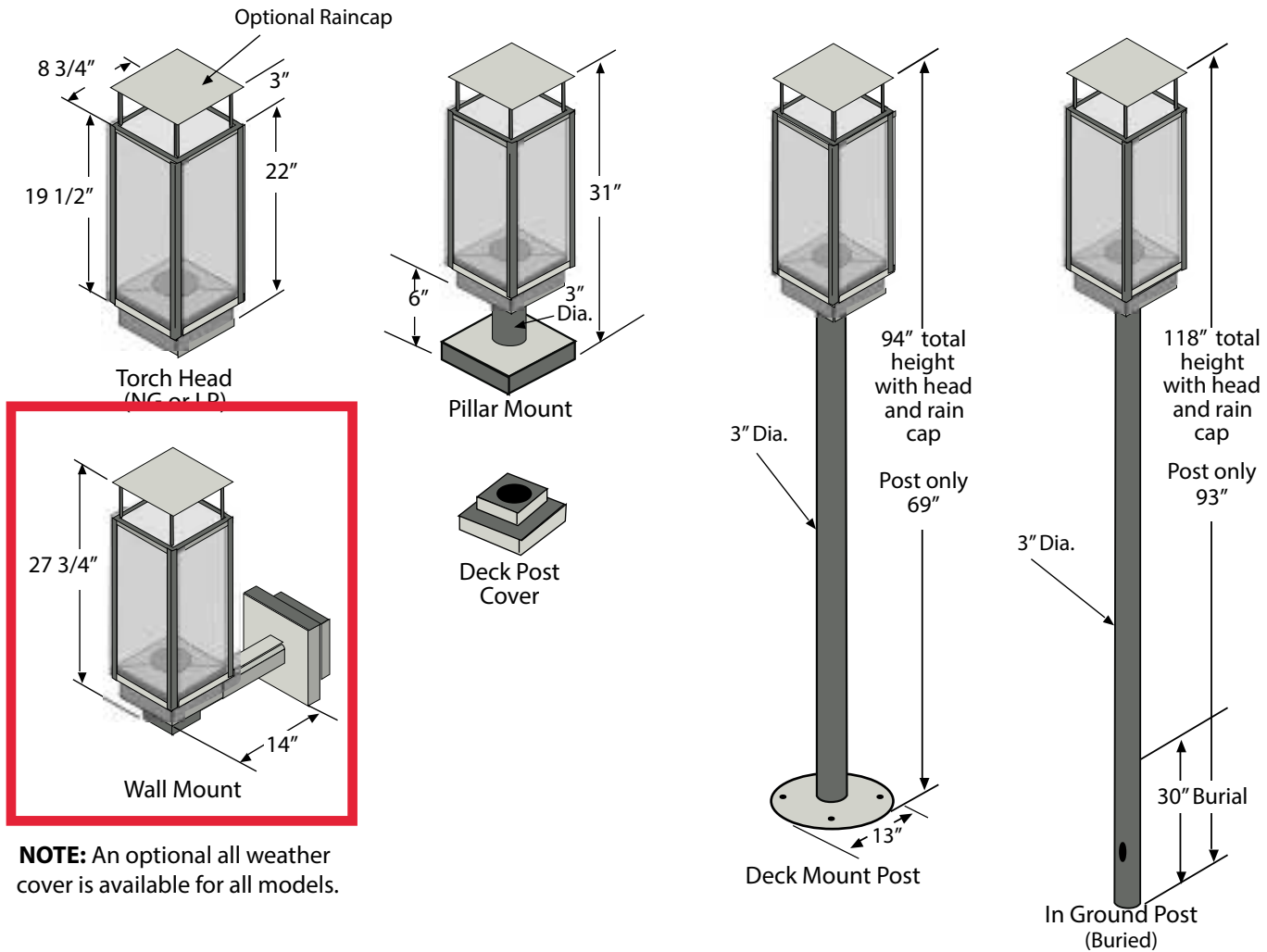
Installation at Lake Okanagan, BC waterfront home

by Okanagan Fireplace Den



THE AWARD WINNING
TEMPEST TORCH™

Gas Lamps By Travis Industries



NOTE: An optional all weather cover is available for all models.

Minimum Clearances To Combustibles

Floor: 2.5" combustible floor to bottom (base) of torch
Walls: 8" measured from glass surface
Ceiling: 26" measured from the torch top (glass frame) with or without the raincap. (Refer to the Owner's Manual for further details)

Gas Rating	NG	LP
Input Rating (Btu/hr)	20,000 High 14,000 Low	20,000 High 17,000 Low

Testing

Applicable portions of ANSI Z21.42a-2004 "Illuminating Appliances", CAN 1-2.15, CSA 4.96 U.S. (3rd Ed) "Outdoor Gas Fireplace", and AGA 8-96, "Requirement for Gas-Fired Decorative Illuminating Appliances for Outdoor Installation."

FOR YOUR SAFETY:

Do not store or use gasoline or other flammable vapors and liquids in the vicinity of this or any other appliance.

WARNING:

Improper installation, adjustment, alteration, service or maintenance can cause injury or property damage. Refer to the owner's information manual provided with this appliance. For assistance or additional information consult a qualified installer, service agency or the gas supplier.



TRAVIS INDUSTRIES
HOUSE OF FIRE

Mukilteo, WA 98275
www.tempesttorch.com



03 Perspective Rendering
Scale: N.T.S.



02 Colored East Elevation
Scale: 3/16" = 1'-0"



01 Colored North Elevation
Scale: 3/16" = 1'-0"



Rock & Brews St. Louis

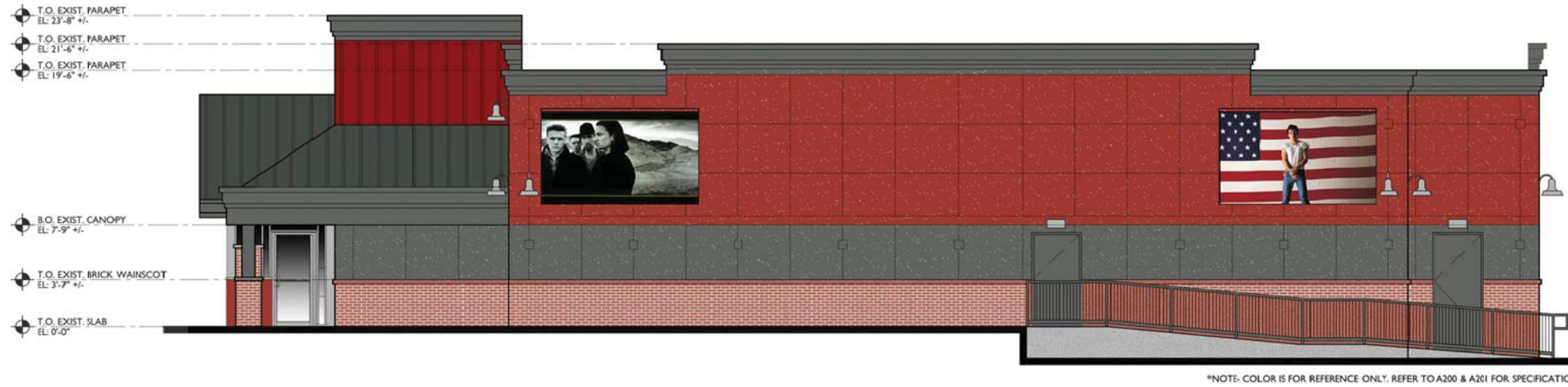
17258 Chesterfield Airport Road
Chesterfield, MO 63005

rev	issue	date
	PARKING MODIFICATION REQUEST	05.19.2016
	OWNER REVIEW	06.03.2016
	LANDLORD REVIEW	06.09.2016
	PRELIMINARY PRICING SET	06.10.2016
	PRELIMINARY PRICING SET	06.15.2016
	CHESTERFIELD SITE PLAN REVIEW	06.17.2016
	ARCHITECTURAL REVIEW BOARD	07.01.2016

16.04.Rock & Brews Chestfield

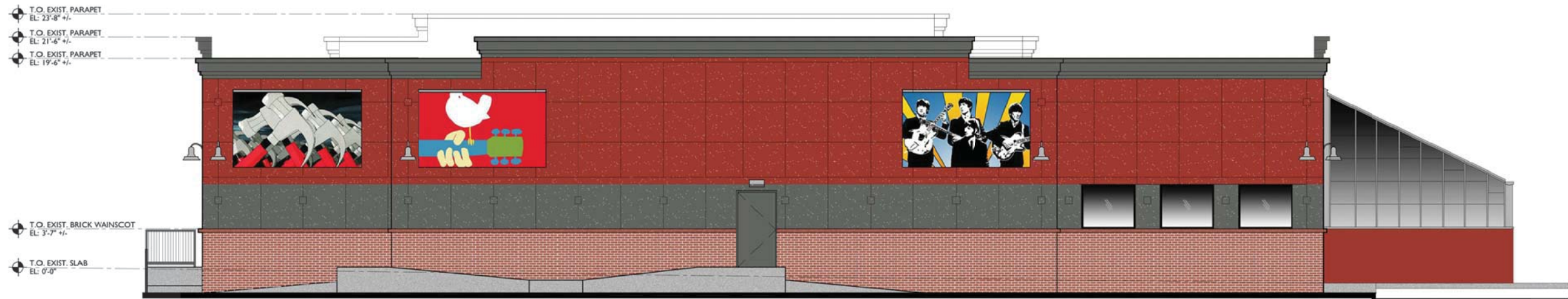
A202

COLORED EXTERIOR ELEVATIONS



*NOTE: COLOR IS FOR REFERENCE ONLY. REFER TO A200 & A201 FOR SPECIFICATIONS

02 Colored West Elevation
 Scale 3/16" = 1'-0"



*NOTE: COLOR IS FOR REFERENCE ONLY. REFER TO A200 & A201 FOR SPECIFICATIONS

01 Colored South Elevation
 Scale 3/16" = 1'-0"

Rock & Brews St. Louis

17258 Chesterfield Airport Road
 Chesterfield, MO 63005

rev	issue	date
	PARKING MODIFICATION REQUEST	05.19.2016
	OWNER REVIEW	06.03.2016
	LANDLORD REVIEW	06.09.2016
	PRELIMINARY PRICING SET	06.10.2016
	PRELIMINARY PRICING SET	06.15.2016
	CHESTERFIELD SITE PLAN REVIEW	06.17.2016
	ARCHITECTURAL REVIEW BOARD	07.01.2016

16.04.Rock & Brews Chestfield

A203

COLORED EXTERIOR ELEVATIONS

EXTERIOR ELEVATIONS GENERAL NOTES:

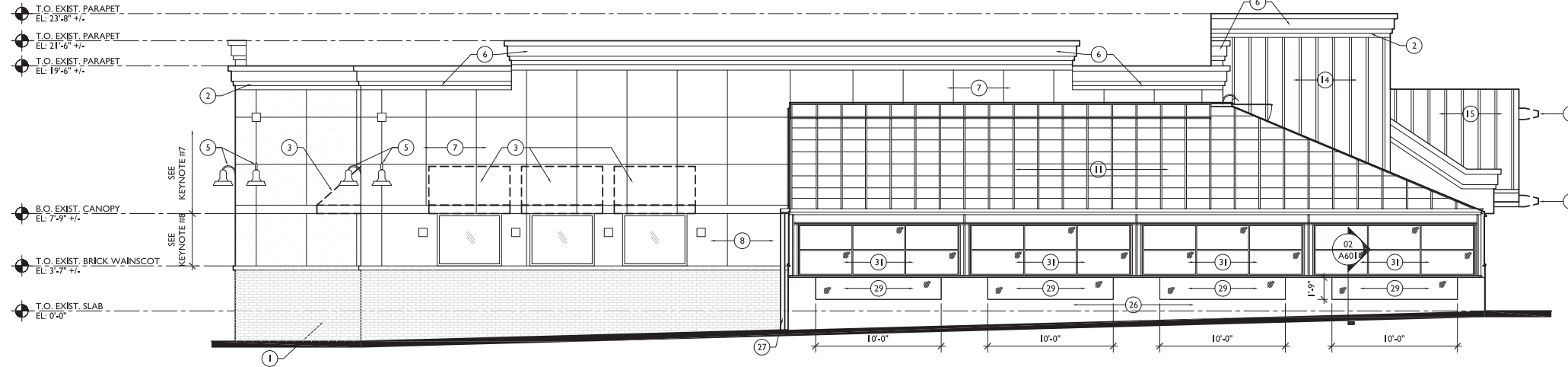
- REFER TO CIVIL FOR ALL SITE RELATED FILL AND GRADING REQUIREMENTS.
- CAULK AROUND PERIMETER OF ALL NEW EXTERIOR OPENINGS.
- PROVIDE HEAD FLASHING AT ALL NEW DOOR OPENINGS AND CAP TRIMS. RUN UP BENEATH WALL FINISH SYSTEM MIN. 8" (WHERE PRESENT). USE NON-GALVANETIC MECHANICAL ATTACHMENTS.
- PROVIDE NEW GUTTERS AND DOWNSPOUTS AT NEW PATIO ADDITION. REFER TO CONSULTANT DRAWINGS. COORDINATE WITH CIVIL.
- REFER TO ARCHITECTURAL SITE / ROOF PLAN AS100 FOR ADDITIONAL EXTERIOR SCOPE SPECIFICATIONS.
- ALL EXPOSED EXTERIOR STEEL TO BE PRIMED PRIOR TO PAINTING.
- ALL NEW METAL EDGE FASCIA, SOFFIT WRAP, GUTTER AND DOWNSPOUT SHEET METAL SHALL BE MIN. 24 GAUGE AND COATED WITH A KYNAR 500 FINISH. USE PRESSURE TREATED LUMBER WHERE WOOD FRAMING IS IN CONTACT WITH CONCRETE OR MASONRY.
- ADDRESS NUMBERS SHALL BE VISIBLE FROM THE STREET AND ON THE FRONT AND REAR OF THE STRUCTURE. PROVIDE A MINIMUM OF 5" ADDRESS NUMBERS.
- REMOVE EXISTING PATIO STRUCTURE AND WOOD LOGS AS REQUIRED TO ACHIEVE NEW ELEVATIONS. REFER TO AD100 FOR ADDITIONAL DEMOLITION REQUIREMENTS.
- NO CHANGES ARE TO BE MADE TO THE EXISTING RTUS AND EXISTING PARAPETS. ROOFTOP MECHANICAL EQUIPMENT WILL BE FULLY SCREENED ON ALL SIDES OF THE BUILDING.
- EXISTING LANDSCAPING TO REMAIN AND BE BROUGHT BACK INTO COMPLIANCE WITH THE APPROVED PLAN.

SHEET METAL GENERAL NOTES:

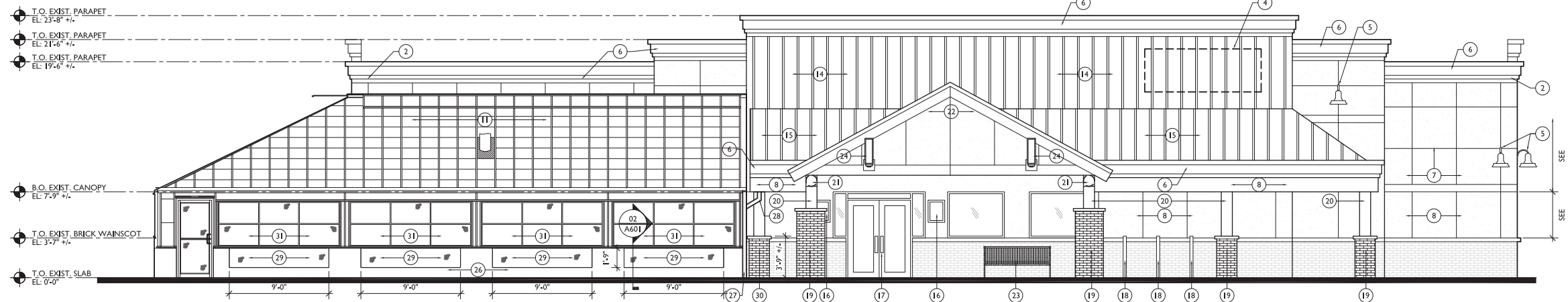
- WHERE DISSIMILAR METALS WILL CONTACT EACH OTHER OR CORROSIVE SUBSTRATES, PROTECT AGAINST GALVANIC REACTION BY PAINTING CONTACT SURFACES WITH BITUMINOUS COATING OR BY OTHER PERMANENT SEPARATION AS RECOMMENDED BY FABRICATOR OR MANUFACTURER OF DISSIMILAR METALS.
- WHERE INSTALLING METAL FLASHING DIRECTLY ON CEMENTIOUS OR WOOD SUBSTRATES, INSTALL A COURSE OF FELT UNDERLAYMENT AND COVER WITH A SLP SHEET OR INSTALL A POLYETHYLENE UNDERLAYMENT.
- INSTALL SHEET METAL TRIM WITHOUT EXCESSIVE OIL CANNING, BUCKLING AND TOOL MARKS.
- INSTALL SHEET METAL FLASHING AND TRIM TRUE TO LINE AND LEVELS INDICATED. PROVIDE UNIFORM, NEAT SEAMS WITH MINIMUM EXPOSURE OF SOLDER, WELDS AND ELASTOMETRIC SEALANT.
- INSTALL SHEET METAL FLASHING AND TRIM TO FIT SUBSTRATES AND TO RESULT IN WATERTIGHT PERFORMANCE. VERIFY SHAPES AND DIMENSIONS OF SURFACES TO BE COVERED BEFORE FABRICATING SHEET METAL.

EXTERIOR ELEVATIONS KEYED NOTES:

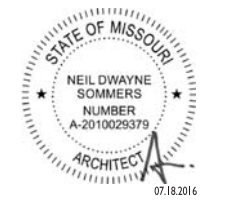
- EXISTING BRICK WAJNSCOT TO REMAIN. DO NOT DISTURB.
- REMOVE EXISTING RED LIGHTING ACCENT STRIP AT EXISTING PARAPET CORNICE. TERMINATE POWER FEED AND REPAIR CORNICE AS REQUIRED.
- REMOVE ALL EXISTING AWNINGS (SHOWN DASHED) AND REPAIR EIFS AS REQUIRED.
- REMOVE EXISTING BUILDING SIGNAGE (SHOWN SHADED). TERMINATE POWER FEED AND REPAIR EIFS AS REQUIRED.
- EXISTING EXTERIOR LIGHT FIXTURE TO REMAIN. RE-LAMP AS REQUIRED.
- PAINT EXISTING PARAPET CAP AND CORNICE TRIM SHERWIN WILLIAMS SW7068 GRIZZLE GRAY.
- PAINT EXISTING EIFS BENJAMIN MOORE 2004-10 DEEP ROSE.
- PAINT EXISTING SHERWIN WILLIAMS SW 7068 GRIZZLE GRAY.
- PAINT EXISTING HOLLOW METAL DOOR AND FRAME SHERWIN WILLIAMS SW 7068 GRIZZLE GRAY.
- PAINT EXISTING GUARDRAIL SHERWIN WILLIAMS SW 7068 GRIZZLE GRAY.
- NEW PATIO GREENHOUSE ADDITION (LAMINATED GLASS WITH MILL FINISH ALUMINUM FRAMING) DESIGNED BY OTHERS. CONTRACTOR TO COORDINATE REQUIREMENTS AND PROVIDE NEW SLAB, FOOTINGS, STEM WALL, GLAZING INSERTS AND STUCCO FINISH. REFER TO CONSULTANT DRAWINGS FOR SCOPE.
- NEW TENANT PROVIDED, CONTRACTOR INSTALLED VINYL BANNER BUILDING ARTWORK. PROVIDE BLADE PLATES ANCHORED TO EXISTING CMU. COORDIANTE WITH TENANT.
- NEW 12'-0" LONG EXTERIOR GRADE LED WALL WASH LIGHT FIXTURE TO ILLUMINATE ARTWORK PROVIDE POWER AND TIMER AS REQUIRED. REFER TO RCP A150 FOR SPEC.
- NEW MCELROY METAL 26 GAUGE R-PANEL COLOR TO BE KYNAR 500 BRIGHT RED. PROVIDE 1" X 4" FURRING STRIPS ANCHORED TO EXISTING CMU THROUGH EXISTING EIFS AND 3/4" RIGID INSULATION BETWEEN FURRING STRIPS. OVERLAY FURRING AND INSULATION WITH 30# BUILDING FELT PRIOR TO INSTALLING R-PANEL. PROVIDE ALL FLASHING, HEAD, BASE AND CORNER TRIM AS REQUIRED FOR A WATERTIGHT INSTALLATION.
- REMOVE EXISTING ROOF SHINGLES AND FELT DOWN TO EXISTING DECK SUBSTRATE. PROVIDE NEW MCELROY METAL 26 GAUGE R-PANEL OVER 30# BUILDING FELT. COLOR TO BE KYNAR 500 CHARCOAL. PROVIDE ALL FLASHING, RIDGE, RAKE AND EAVE TRIM AS REQUIRED FOR A WATERTIGHT INSTALLATION.
- NEW ALPHABET SIGNS 18" X 24" LIGHTED MENU BOARD (BB08414) WITH BLACK FRAME FINISH AND STONE VINYL BOARD. PROVIDE POWER AS REQUIRED. CONFIRM MOUNTING LOCATION WITH TENANT.
- REMOVE EXISTING DOOR PULLS. INSTALL NEW TENANT PROVIDED CUSTOM GUITAR NECK PULLS. COORDINATE WITH TENANT.
- NEW TENANT PROVIDED, CONTRACTOR INSTALLED CUSTOM STEEL BIKE RACK (QTY. 3). SAW CUT AND PATCH SIDEWALK AS REQUIRED FOR FOOTING INSTALLATION. REFER TO DETAIL 03/A601.
- REMOVE EXISTING STONE CLADDING FROM BASE OF COLUMNS. INSTALL NEW BRICK TO MATCH ADJACENT WAJNSCOT BRICK. EXISTING CAST CONCRETE CAP TO OVERHANG NEW BRICK BY 1" MIN.
- REMOVE EXISTING WOOD TIMBER COLUMN WRAPS. FURR OUT AROUND EXISTING POSTS WITH METAL FRAMING AS REQUIRED FOR A 12" X 12" FINISHED BOX OUT. PROVIDE NEW EIFS FINISH TO MATCH EXISTING OVER 1" OF RIGID INSULATION ON TREATED 1/2" PLYWOOD SHEATHING. PAINT EIFS SHERWIN WILLIAMS SW 7068 GRIZZLE GRAY.
- CUT BACK AND REMOVE EXISTING TIMBER POINTED TIPS BACK TO EXISTING TRUSS. FURR OUT THE (2) LOWER TIMBER BEAMS WITH MINIMUM METAL FRAMING AS REQUIRED TO BOX OUT EXISTING BEAM BACK TO BUILDING. PROVIDE NEW EIFS FINISH TO MATCH EXISTING OVER 1" OF RIGID INSULATION ON TREATED 1/2" PLYWOOD SHEATHING. REFER TO RCP A150 FOR ADDITIONAL INFORMATION.
- FURR OUT FACE OF EXISTING TRUSS WITH 1"x2" FURRING STRIPS AT 16" O.C. PROVIDE NEW EIFS FINISH TO MATCH EXISTING OVER 1" OF RIGID INSULATION ON TREATED 1/2" PLYWOOD SHEATHING. PAINT EIFS SHERWIN WILLIAMS SW 7068 GRIZZLE GRAY. PROVIDE CONTROL JOINTS AS SHOWN.
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- TEMPEST TORCH, WALL MOUNT, GAS FIRED. PROVIDE GAS AS REQUIRED AND TIE INTO TIMER FOR BUILDING SIGNAGE. COORDINATE WITH PLUMBING. REFER TO RCP A150 FOR SPECS.
- NOT USED.
- FINISH WALL WITH 3-COAT PORTLAND CEMENT-BASED PLASTER WITH INTEGRAL COLORED FINISH COAT ON METAL LATH, APPLIED IN ACCORDANCE WITH ASTM C926-06 STANDARD SPECIFICATION FOR APPLICATION OF PORTLAND CEMENT-BASED PLASTER. COLOR TO BE BENJAMIN MOORE 2004-10 DEEP ROSE.
- NEW DOWNSPOUT LOCATION. COORDINATE WITH CIVIL.
- ROUTE EXISTING GUTTER AND DOWNSPOUT TO NEW GREENHOUSE DOWNSPOUT. REUSE EXISTING SUBSURFACE DRAIN (VERIFY LOCATION IN THE FIELD).
- WRAP NEW STEEL COLUMN WITH BRICK BASE, PRECAST CONCRETE CAP AND EIFS TO MATCH ADJACENT COLUMNS.
- 1/2" LAMINATED GLASS INSERT IN 3/4" X 1 1/2" ANODIZED ALUMINIUM U-CHANNEL WITH NEOPRENE GASKETS. REFER TO DETAIL 02/A601
- EXTERIOR OVERHEAD DOORS ARE PART OF GREENHOUSE PACKAGE BY OTHERS. REFER TO CONSULTANT DRAWINGS.



02 East Elevation
Scale 3/16" = 1'-0"



01 North Elevation
Scale 3/16" = 1'-0"



Rock & Brews St. Louis
17258 Chesterfield Airport Road
Chesterfield, MO 63005

rev	Issue	date
	PARKING MODIFICATION REQUEST	05.19.2016
	TENANT REVIEW	06.03.2016
	LANDLORD REVIEW	06.09.2016
	PRELIMINARY PRICING SET	06.10.2016
	PRELIMINARY PRICING SET	06.15.2016
	CHESTERFIELD SITE PLAN REVIEW	06.17.2016
	ARCHITECTURAL REVIEW BOARD	07.01.2016
	TENANT REVIEW	07.15.2016
	ARB COMMENT RESPONSES	07.18.2016

16.04.Rock & Brews Chestfield

A200

EXTERIOR ELEVATIONS

EXTERIOR ELEVATIONS GENERAL NOTES:

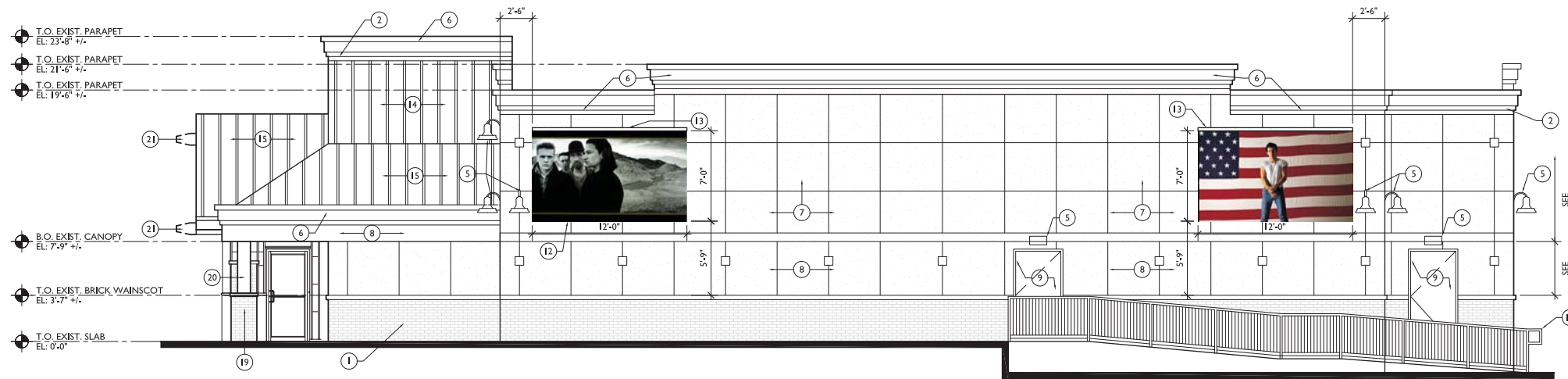
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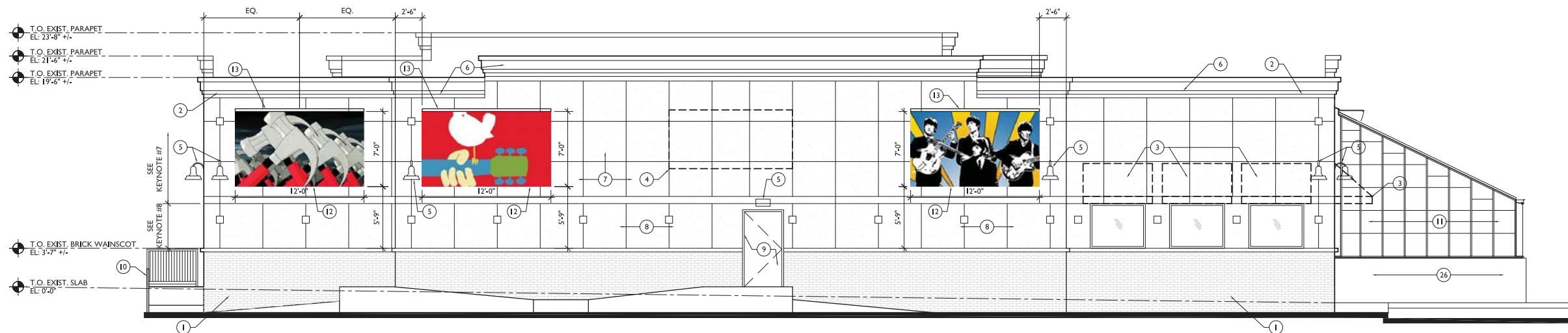
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- FINISH WALL WITH 3-COAT PORTLAND CEMENT-BASED PLASTER WITH INTEGRAL COLORED FINISH COAT ON METAL LATH, APPLIED IN ACCORDANCE WITH ASTM C926-06 STANDARD SPECIFICATION FOR APPLICATION OF PORTLAND CEMENT-BASED PLASTER. COLOR TO BE BENJAMIN MOORE 2004-10 DEEP ROSE.
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- EXTERIOR OVERHEAD DOORS ARE PART OF GREENHOUSE PACKAGE BY OTHERS. REFER TO CONSULTANT DRAWINGS.



02 West Elevation
Scale 3/16" = 1'-0"



01 South Elevation
Scale 3/16" = 1'-0"



Rock & Brews St. Louis

17258 Chesterfield Airport Road
Chesterfield, MO 63005

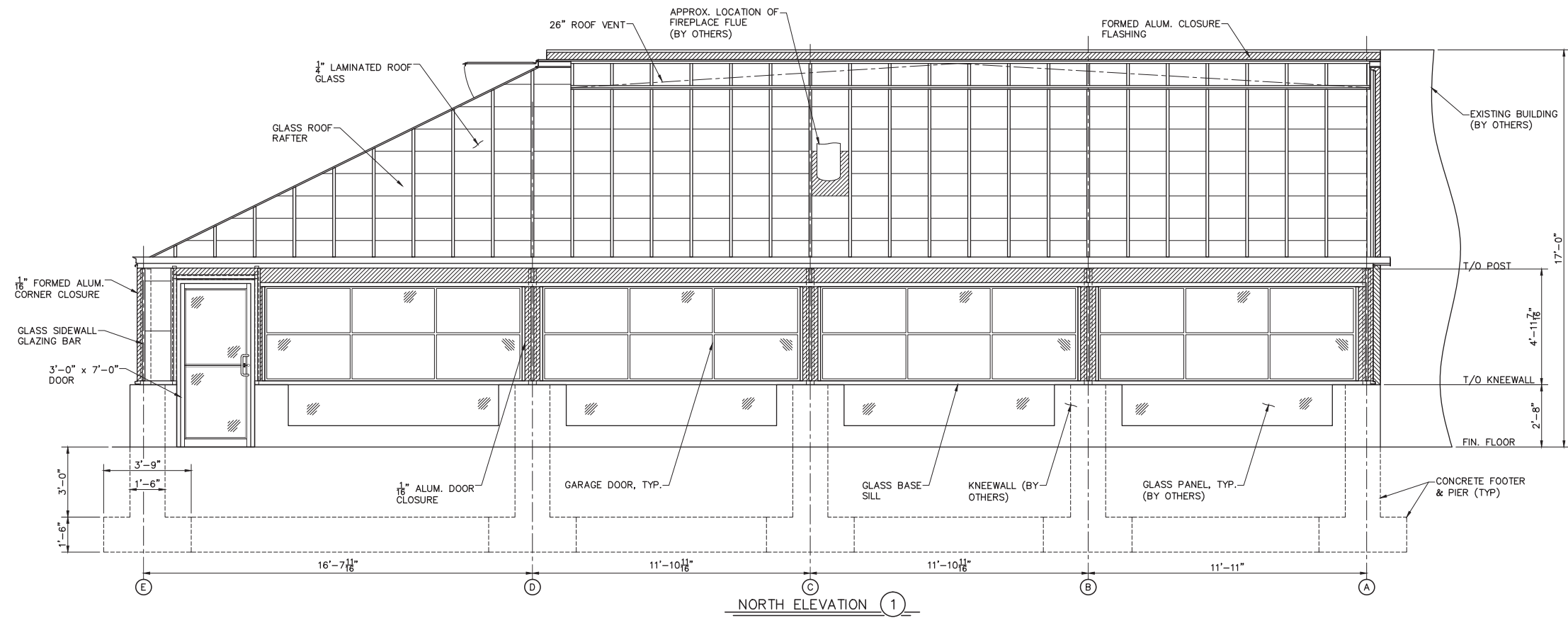
rev	issue	date
	PARKING MODIFICATION REQUEST	05.19.2016
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16.04.Rock & Brews Chestfield

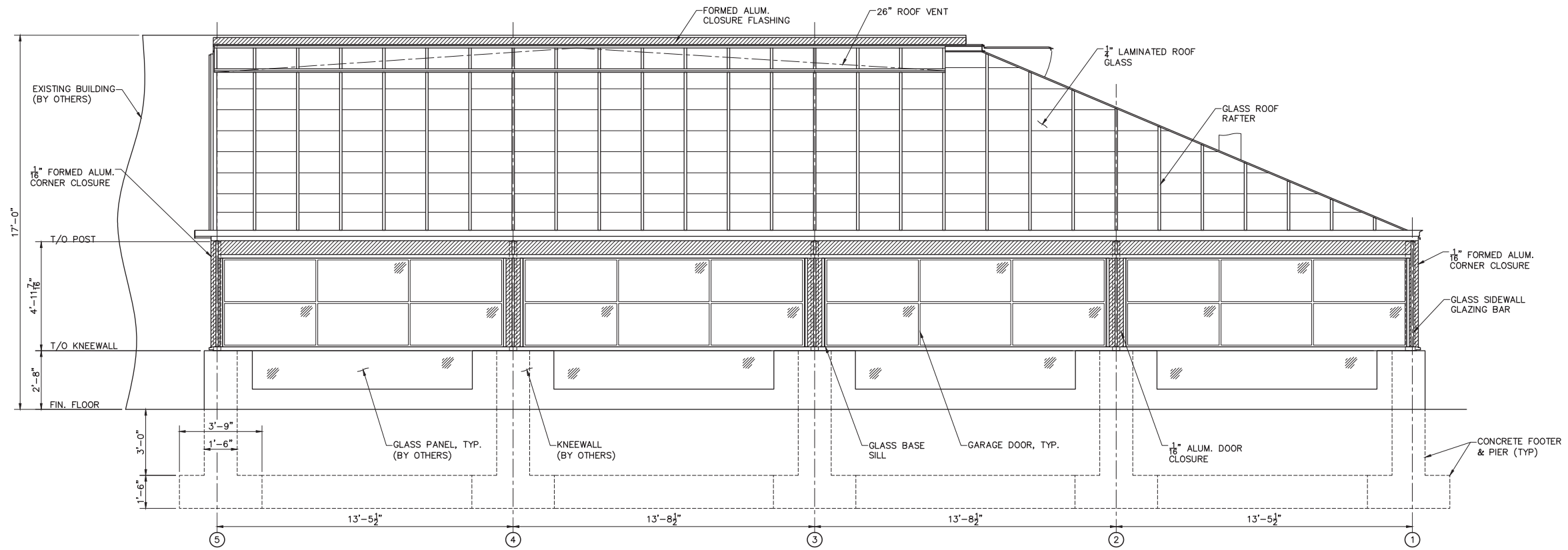
A201

EXTERIOR ELEVATIONS

FILE NAME: S:\INSTITUTIONAL\DESIGN\2016_JOB\DESIGN\162046-01_PRELIM PLANDWG
 MSULLIVAN
 SAVE DATE: 07-15-16




NORTH ELEVATION ①



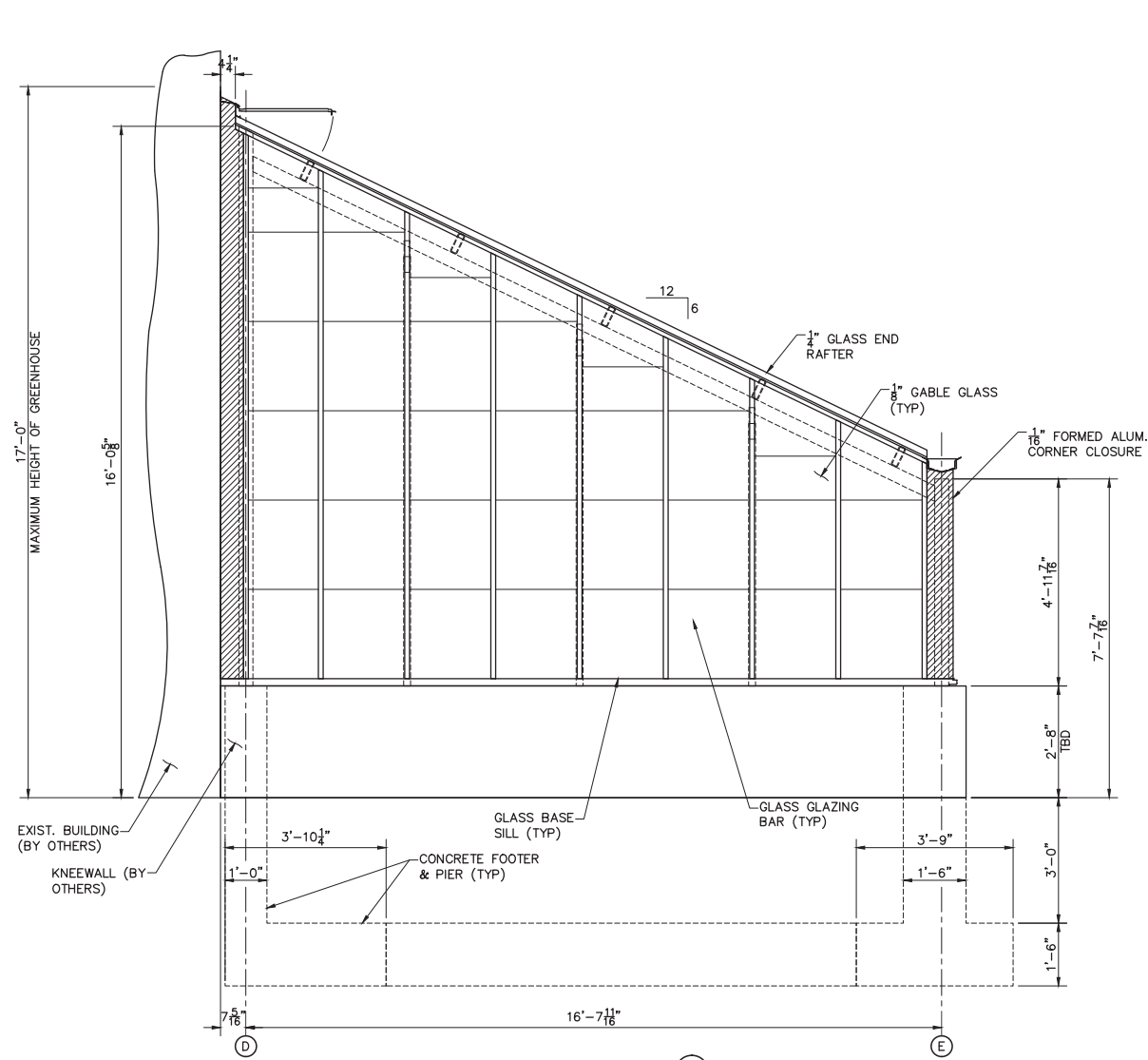
EAST ELEVATION ②

ENGINEERING NOTE:
 ENGINEER'S SEAL APPLIES TO DESIGN OF
 STRUCTURAL COMPONENTS ONLY

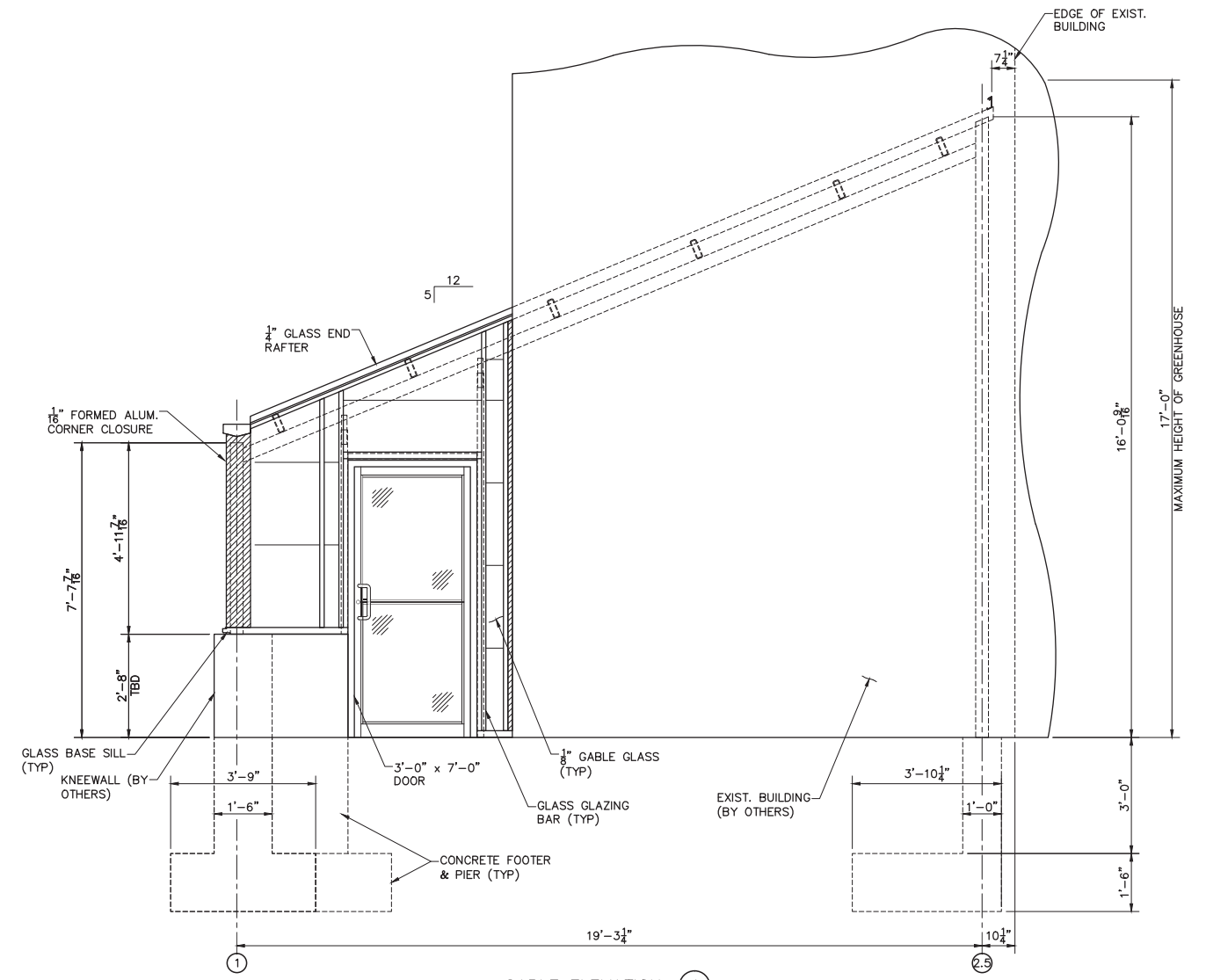
REVISIONS			Total Greenhouse Service: Design • Fabrication • Installation • Parts • Maintenance				
No.	By	Date					
1.							
2.							
3.							
4.							
Checked							
By	Date						

		PRELIMINARY SIDEWALL ELEVATIONS			
		GREENHOUSE FOR ROCK & BREWS 17258 CHESTERFIELD AIRPORT ROAD CHESTERFIELD, MO 63005			
SCALE	DATE	DRAWN BY	CONTRACT NO.	SHEET NO.	
1/4"=1'-0"	5-25-16	RFG	162046	2	

FILE NAME: S:\INSTITUTIONAL\DESIGN\2016_06\06\06\162046-01_07 PRELIM POST FLOORING
 MSULLIVAN
 SAVE DATE: 07-15-16



GABLE ELEVATION 3
SCALE: 1/2"=1'-0"



GABLE ELEVATION 4
SCALE: 1/2"=1'-0"

ENGINEERING NOTE:
ENGINEER'S SEAL APPLIES TO DESIGN OF
STRUCTURAL COMPONENTS ONLY

REVISIONS No. By Date 1. 2. 3. 4.			Total Greenhouse Service: Design • Fabrication • Installation • Parts • Maintenance		
Checked By Date			RBI ROUGH BROTHERS, INC. BUILDING THE GREATEST PLACES FOR PLANTS		
5513 VINE STREET CINCINNATI, OH 45217 (513)242-0310 WWW.ROUGHBROS.COM			PRELIMINARY GABLE ELEVATIONS GREENHOUSE FOR ROCK & BREWS 17258 CHESTERFIELD AIRPORT ROAD CHESTERFIELD, MO 63005		
SCALE 1/4"=1'-0"		DATE 5-25-16	DRAWN BY RFG	CONTRACT NO. 162046	SHEET NO. 3

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