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Architectural Review Board Staff Report

Project Type: Amended Site Development Section Plan

Meeting Date: July 14, 2016

From: Justin Wyse
Senior Planner

CC: Aimee Nassif, Planning & Development Services Director

Location: South side of Chesterfield Airport Rd., east of Boone's Crossing

Applicant: Clockwork Architecture + Design

Description: **Chesterfield Commons, Lot 107 (Rock & Brews) SDSP:** An Amended Site Development Section Plan, Amended Architectural Elevations and Architect's Statement of Design for a 1.89 acre tract of land zoned "C-8" Planned Commercial District located on the south side of Chesterfield Airport Rd., east of Boone's Crossing.

PROPOSAL SUMMARY

Clockwork Architecture + Design, on behalf of Kanbrews STL, LLC, has submitted a request to modify the existing improvements on Lot 107 of the Chesterfield Commons, which was most recently occupied by Estancias Mexican Restaurant. The applicant is proposing to renovate the existing restaurant building, by adding an enlarged enclosed patio area. The exterior building materials will include existing (EIFS, brick, and glass) and new materials (stucco, metal r-panel, and glass / aluminum frames) into the design. The enclosed patio area proposes materials including laminated glass and aluminum framing with a mill finish with a CMU stem wall.

HISTORY OF SUBJECT SITE

On November 17, 1997 the City of Chesterfield approved Ordinance 1344, which permitted the development of Chesterfield Commons. On January 4, 1999 the City approved the Concept Plan for the portion of the development located on the south side of Chesterfield Airport Road. The approved plan included both the strip retail center and 15 Outlots. The Site Development Section Plan for the strip retail development was approved at the same time as the Site

Development Concept Plan. In February 2000, the Site Development Section Plan for Outlot 7, also known as the Old Country Buffet site, was approved.

The original governing ordinance for The Commons was amended by Ordinances 1600 and 1627. In 2004, the City of Chesterfield approved Ordinance 2081, which repealed 1600 and 1627 and consolidated the governing conditions for The Commons into one ordinance.

The subject site has been different restaurants (Old Country Buffet, Tahoe Joe's, and Estancias Mexican Restaurant) over the years and several amendments to the building and site have been reviewed and approved by the City of Chesterfield to accommodate the new users.



Figure 1: Aerial of Subject Site

STAFF ANALYSIS

General Requirements for Site Design:

A. Site Relationships

The subject site is located between Chesterfield Airport Rd. and THF Blvd., west of Boone's Crossing. Changes to the site include addition of a new patio addition. This addition will remove the existing outdoor patio area on the site and eight (8) parking stalls. Changes to the elevations will not change primary orientation of the building (i.e. entrance facing Chesterfield Airport Rd.).

B. Circulation System and Access

No changes to the circulation and access are proposed.

C. Topography

The existing grade of the property is generally flat. Minimal changes to the existing topography are planned to accommodate the new patio area.

D. Retaining Walls

No new retaining walls are proposed on the site.

General Requirements for Building Design:



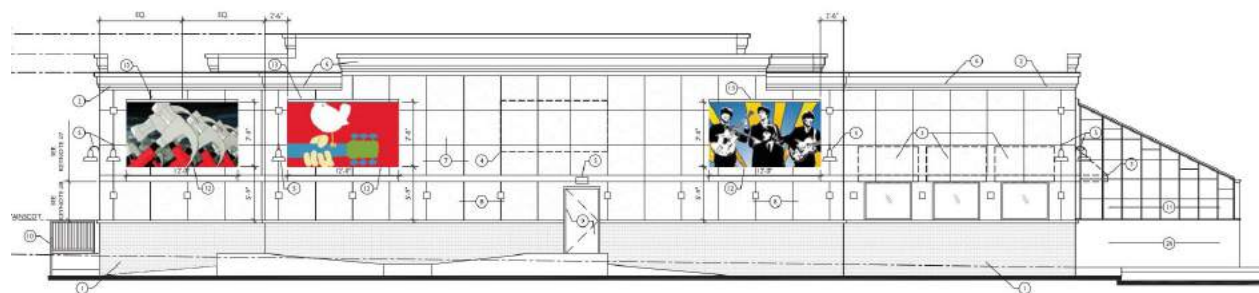
A. Scale

Changes to scale are primarily affected by the addition of the outdoor patio area on the northeast side of the building. The proposed addition includes a sloped roof, similar to the sloped roof element on the other side of the main entrance.

B. Design

The design includes existing elements of the building that are common within the Chesterfield Commons development. Most notably, the existing brick utilized throughout the development will remain on the building. Existing landscaping will remain for the site.

Artistic murals are included on the building (south and west facades) and are proposed as part of the architectural design of the building.



C. Materials and Color

The proposed color palette for the building includes a deep rose contrasted by grizzle gray. The proposed patio addition will be constructed of laminated glass and aluminum framing with a mill finish. The patio includes a CMU stem wall finished with 3-coat Portland cement-based plaster in the same deep rose color as utilized on other areas of the building.



D. Landscape Design and Screening

No changes to the landscaping, dumpster enclosure, or mechanical equipment screening are proposed.

The proposed addition will not reduce open space as the impacted areas were previously utilized as a covered patio area and parking spaces.

E. Lighting

The only changes to existing lighting includes replacing fixtures, as needed, with similar fixtures.

DEPARTMENTAL INPUT

Staff has reviewed the Amended Site Development Section Plan, Amended Architectural Elevations and Architect's Statement of Design. Be advised, this project is still going through development review by City Staff and will not proceed to the Planning Commission until all outstanding items have been addressed. All recommendations made by the ARB will be included in Staff's report to the Planning Commission.

Staff requests review and recommendation on this submittal for Chesterfield Commons, Lot 107 (Rock & Brews).

MOTION

The following options are provided to the Architectural Review Board for consideration relative to this application:

- 1) "I move to forward the Amended Site Development Section Plan, Amended Architectural Elevations and Architect's Statement of Design for Chesterfield Commons, Lot 107 (Rock & Brews) as presented, with a recommendation for approval (or denial) to the Planning Commission."

- 2) "I move to forward the Amended Site Development Section Plan, Amended Architectural Elevations and Architect's Statement of Design for Chesterfield Commons, Lot 107 (Rock & Brews) to the Planning Commission with a recommendation for approval with the following conditions..."

Attachments

1. Architectural Review Packet Submittal



ARCHITECTURAL REVIEW BOARD
Project Statistics and Checklist

Date of First Comment Letter Received from the City of Chesterfield _____

Project Title: Rock and Brews Location: 17528 Chesterfield Airport Road

Developer: Core Investment Prop. Architect: Clockwork Engineer: Olsson Associates

PROJECT STATISTICS:

Size of site (in acres): 1.89 Acres Total Square Footage: 10,313 SF Building Height: 23'-8"

Proposed Usage: Restaurant (sit down)

Exterior Building Materials: Existing EIFS, brick wainscot & glass. New stucco, metal r-panel, glass & alum. frames

Roof Material & Design: Existing rolled asphalt roofing to remain

Screening Material & Design: Existing parapet to remain

Description of art or architecturally significant features (if any): Building art is included and shown on the south and west elevations and is important aspect to Rock & Brews business and branding.

ADDITIONAL PROJECT INFORMATION:

Checklist: Items to be provided in an 11" x 17" format

- Color Site Plan with contours, site location map, and identification of adjacent uses.
- Color elevations for all building faces.
- Color rendering or model reflecting proposed topography.
- Photos reflecting all views of adjacent uses and sites.
- N/A Details of screening, retaining walls, etc. **Existing parapet to remain. No new screening required**
- Section plans highlighting any building off-sets, etc. (as applicable)
- Architect's Statement of Design which clearly identifies how each section in the Standards has been addressed and the intent of the project.
- N/A Landscape Plan. **All existing landscaping to remain. No new landscaping.**
- Lighting cut sheets for any proposed building lighting fixtures. (as applicable)
- Large exterior material samples. (to be brought to the ARB meeting)
- N/A Any other exhibits which would aid understanding of the design proposal. (as applicable)
- Pdf files of each document required.



July 1, 2016

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City of Chesterfield Planning
Architectural Review Board

RE: Rock and Brews St Louis
17258 Chesterfield Airport Road
Chesterfield, MO 63005

Architect's Statement:

The following list of items identify how the Architectural Review Design Standards are being addressed for the above mentioned project.

Introduction

Rock and Brews restaurants will remodel and occupy an existing building located at 17258 Chesterfield Airport Road, Chesterfield, MO 63005, previously occupied by the Estancia Mexican Restaurant. The structure of the building will remain intact however an additional patio space will be added and/or extended on the west and north elevation in connection with the Rock and Brews standard design elements.

Rock and Brews is a vibrant and unique experience for customers. They strive to include architectural elements and designs that continue to push the world of entertainment restaurants into the future. One of the most important aspects they strive to include in every location is a patio/lounge space to create a beer garden/lounge experience. Every rock and Brews location has a 1,700sf or greater patio space.

Incorporated into every rock and Brews is also a children's play area. As a family friendly and family centered restaurant, this low profile play area typically takes a significant portion of the patio area which is used to create a relaxing environment for parents to continue a dinner experience while providing an outlet for kids.

General Requirements for Site Design

A. Site Relationships

The site consists of 1.89 acres, which is relatively flat. Following the building remodel, there will be no significant change in elevation on the site. The building is situated facing its major arterial road, Chesterfield Airport Road, the property's northern boundary. Existing and mature landscaping will be utilized as focal points for building elements as well as screening existing trash enclosures from neighboring roadways. Concrete walks which are either currently provided or to be constructed will provide safe and convenient pedestrian access to the entry doors.

B. Circulation System and Access

Access to the site will be from THF Boulevard via cross access with the adjacent MiMi's Café to the East and Buffalo Wild Wings to the west. The building will remain situated on the west/central portion of the site with parking on all sides, however predominantly on the east. Existing striping for pedestrian access and vehicular parking to remain however resealed and striped to match. Designated striped paths are provided for pedestrian access to the walkways at the building. Existing pavement radii for waste and emergency vehicles

to remain for ease of access and circulation around the site. New bike racks are proposed at the main entrance for customers and existing bike racks will remain along the northwest corner for employees.

C. Topography

The site is relatively flat and will remain as it currently exists prior to the building remodel. An existing draining swale on the south side of the site remains.

D. Retaining Walls

No new retaining walls are proposed for this site.

General Requirements for Building Design

A. Scale

Building elements are highly compatible in scale and general conformance with neighboring buildings and existing development restrictions. The objective of the exterior building remodel is to capitalize on highly tasteful and visually appealing existing elements while adding unique and modern approaches to the overall restaurant experience. This objective comes to fruition through the incorporation of a visually appealing and refined selection of building materials which create an overall inviting and desired experience. All changes to building materials are proportional and elegant.

B. Design

1. The building incorporates a combination of masonry, stucco, metal and glass to create a variety in the design's composition, while maintaining architectural rhythm horizontally and vertically across the building on all facades.
2. Existing mature landscaping will be utilized to continue the overall appearance of the building as it relates to the surrounding uses. No new landscaping is proposed.
3. The utility incorporates its signature colors with the materials required by Chesterfield Commons.
4. The building elevations constitute similar architectural quality to the surrounding buildings while architecturally maintaining Rock and Brew's signature design standards utilized nationally.
5. Artistic murals are to be utilized on two building facades (south and west) to create a visually appealing and cultural experience for the development and surrounding uses.
6. Existing entry recesses and overhangs to be utilized to create a visually attractive and easily identifiable entrance.
7. Existing parapet walls and equipment to remain screened by use of building facades.

C. Materials and Color

The design, general scale and orientation of the building will continue a visual relationship between the neighboring Chesterfield Commons development. The building is composed using a variety of existing and new materials such as masonry, glass, stucco and metal for a variety of elements that work together as a composition. Vertical and horizontal material proportion integrates seamlessly with regards to human scale and pronounced entries for general ease of access to building entrances.

D. Landscaping Design and Screening

Mature and existing landscaping design to remain in tact for the building. By utilizing the mature landscaping, the building and surrounding parking lot will benefit from shade and visually appealing established landscaping for year round interest. No new landscaping is being proposed.

E. Signage

Building signage is not currently shown. Building signage will comply with the approved sign package for the development.

F. Lighting

Lighting will be situated as not to cast directly on adjoining properties or roadways while providing a visually appealing and definable design. All existing parking lot and building lighting is existing to remain. New building mounted linear LED wall wash grazers are being added to illuminate the new building artwork on the south and west elevations. The lights are fully cut off at 30 degrees and above with no uplighting towards the sky. A cut sheet with photometric data is included for review.

Respectfully,

A handwritten signature in cursive script that reads "Todd Howard". The signature is written in black ink on a white background.

Todd Howard, AIA, LEED BD+C
Clockwork

Site Photos:



View from Chesterfield Airport Road looking north



View from Chesterfield Airport Road looking east



View from Chesterfield Airport Road looking west



View from Chesterfield Airport Road looking south at Buffalo Wild Wings



View from Chesterfield Airport Road looking south at Mimi's Café



View from THF Boulevard looking south



View from THF Boulevard looking east



View from THF Boulevard looking west



Aerial image of site with adjacent uses shown



View of existing north façade



View of existing east façade



View of existing west façade



View of existing west façade

VANESSA LED

Wall Graze
Wet Location Luminaire

Wall Mount | Recessed



VANESSA combines high-end architectural styling with precision engineering to create a strong, elegant wet-location luminaire designed to complement wet exterior or interior installations.

The IP65 rated VANESSA Wall Graze delivers smooth and even illumination that reveals and accentuates texture with highlights and shadows to the desired space. Weather-sealing prevents water and moisture from entering the lens, power entry points and end-caps. Constructed of heavy gauge extruded aluminum, precision machined smooth end-caps and extruded acrylic lenses, VANESSA Wall Graze is built to last while withstanding elements associated with wet-location applications.

2 - 4 foot nominal lengths standard, continuous runs are available.



UL and c-UL listed for wet locations.



Made in the USA

FIXTURE SPECIFICATIONS

Construction

Heavy gauge square extruded aluminum housing. Precision-machined aluminum end-caps. Extruded acrylic clear lens. Stainless steel hardware. Concealed weather-seal gaskets at end caps, lens and power entry on all stand-alone or continuous run fixtures with an IP65 rating. Feed points accept 1/2" trade size threaded wet location conduit fittings.

Mounting

(WM) Wall Mount, (REC) Recessed.

Finishes

(SMT) Silver Matte Texture, (MW) Matte White, or (FB) Flat Black. Other powder coat finishes available. Consult factory for details.

LED Light Engine System

LED Light Engines are available as HLO (High Lumen Output) and SLO (Standard Lumen Output) providing efficient illumination. CLO (Custom Lumen Output) allows for end user specified lumen output or tailored wattage consumption for certain models. Consult factory for details.

Dimming

Dimming is available with a variety of control protocols and options. Consult factory for availability and specifications.

Acrylic Lens

Clear impact resistant extruded lens.

Fixture Length

Fixtures are available in 2' - 4' nominal lengths. Continuous run mounting available featuring water-sealed gaskets within knock-outs for maintaining WL rating. See installation section for more details.

Custom and Mods

We proudly specialize in manufacturing custom and modified luminaires and have the ability to modify most of our standard fixtures. Please contact factory with any inquiries.



VANESSA LED

Wall Graze
Wet Location Luminaire

Type: Job Name:

Wall Mount | Recessed

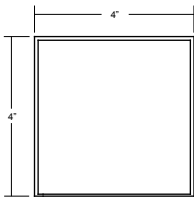
SPECIFICATION CODE

VAN-LED-WG-400 HLO 3500K 4 wm SMT
 model light engine color temp length mounting feed finish voltage driver option option

Model	Light Engine	Color Temp	Nominal Length	Mounting	Feed	Finish	Voltage	Driver	Options
VAN-LED-WG-400	SLO - Standard Lumen Output HLO - High Lumen Output CLO ³ - Custom Lumen Output	27 - 2700K 30 - 3000K 35 - 3500K 40 - 4000K	2 - 2' 3 - 3' 4 - 4' 6 - 6' ⁵ 8 - 8' ⁵ CR ¹ - Continuous Run	WM - Wall Mount REC - Recessed	STND - Standard EFL - End Feed Left EFR - End Feed Right EF2 - End Feed (both ends) JBE - J-box extender	Powder Coat SMT - Silver Matte Texture MW - Matte White FB - Flat Black CUP - Custom ²	120 277	EB - Electronic (standard) Dimming D1 - 1% (nom) 0-10V D10 - 10% 0-10V	EM ⁴ - Emergency Battery Pack HAT - High Ambient Temperature

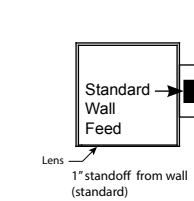
[CLO Calculator](#)

Dimensions

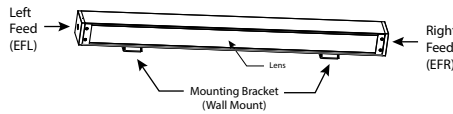
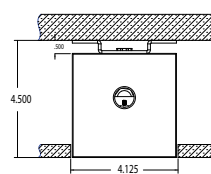


Mounting

WM - Wall Mount



REC - Recessed



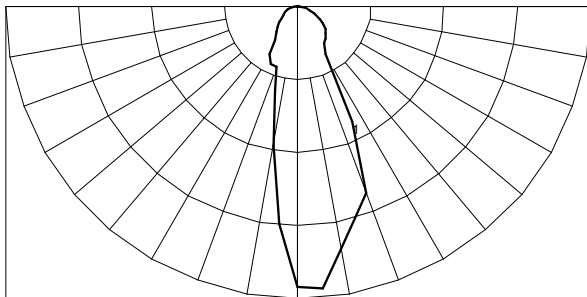
NOTES

- 1 specify length in nominal feet
- 2 contact factory for custom finish
- 3 refer to CLO Calculator for code selection
CLO available for EB, D1, D10 drivers only
- 4 EM's are remote mounted along with the driver(s) and test switch, consult factory for more info
- 5 6' & 8' lengths are made up with (2) 3' fixtures or (2) 4' fixtures respectively

VANESSA is rated for operation with ambient temperatures not to exceed 40°C. Use specification code "HAT" for applications where ambient will be between 40° and 45°C. The "HAT" option is a thermistor which will control internal temperatures so as not to exceed internal device maximum temperature. At certain temperature thresholds, fixture will dim light output to keep internal temperatures within the acceptable range. Available for EB, D1 and D10 drivers only, consult factory for more details.

*see [option sheet](#) for details

Photometrics



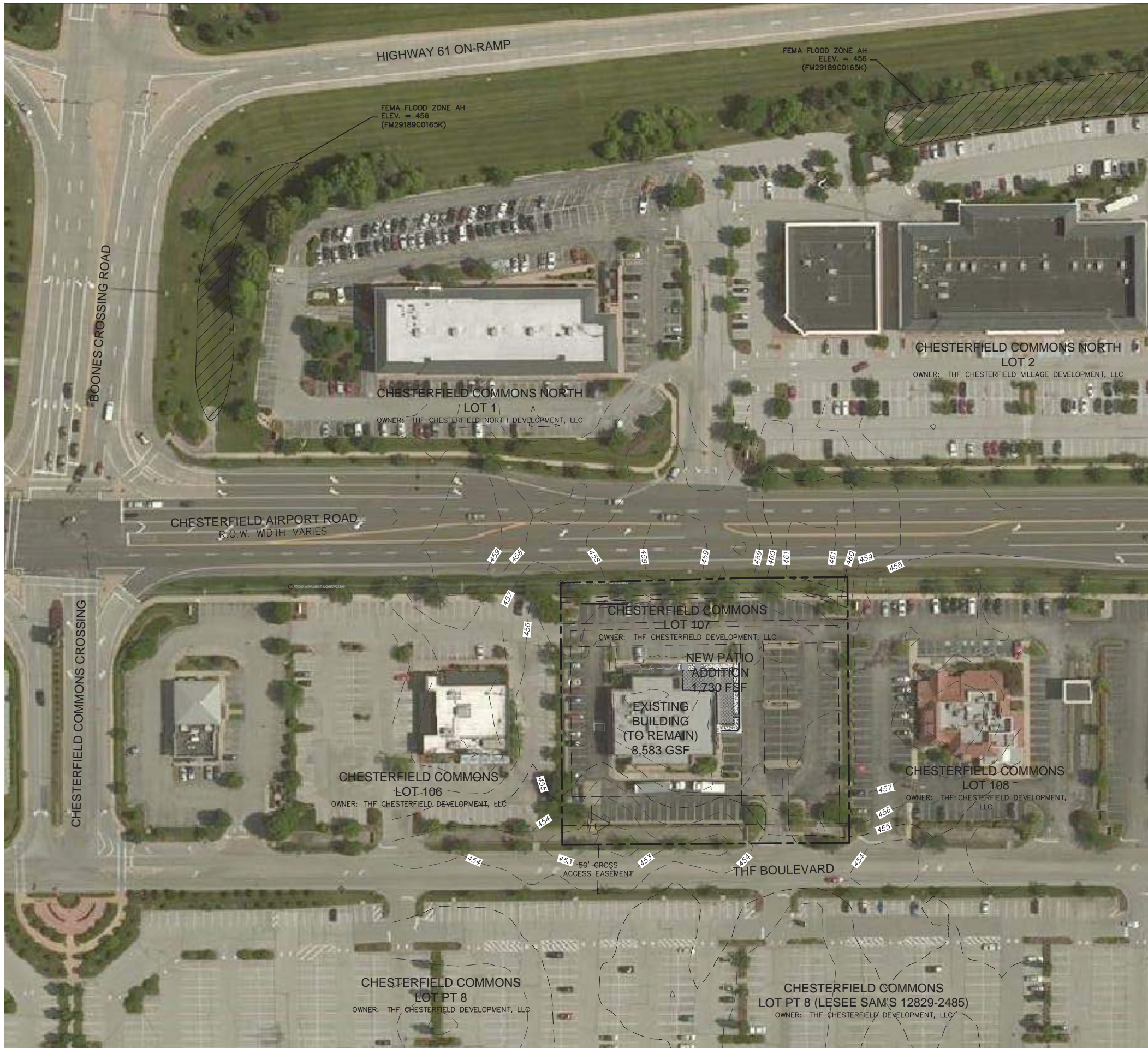
Maximum Candela = 2469.89 Located At Horizontal Angle = 70, Vertical Angle = 5
 # 1 - Vertical Plane Through Horizontal Angles (0 - 180)

LED


VAN-LED-WG-400 (4000K FW lens)

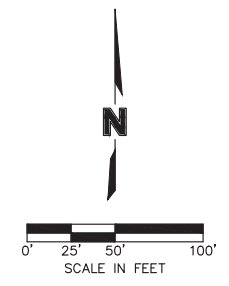
SLO - 85 lm/watt delivered @ 4.4 w/ft consumed watts, 374 lm/ft.
 HLO - 79.9 lm/watt delivered @ 9 w/ft consumed watts, 719 lm/ft.
 CLO - refer to [CLO Calculator](#)
 LED [supplement info](#)

DWG: F:\2016\1001-1500\016-1233\40-Design\AutoCAD\Preliminary_Plans\Sheets\LDVP\C.CONTEXT_61233.dwg USER: jkabler
 DATE: Jun 30, 2016 3:13pm XREFS: C:\PLAT_61233 C:\TTL_61233 C:\PBASE_61233 C:\XBASE_61233 C:\XSURF_61233



LEGEND

---	EXISTING GRADE MAJOR CONTOUR
- - -	EXISTING GRADE MINOR CONTOUR
---	PROPERTY LINE
- - -	EASEMENT LINE
	FEMA FLOOD ZONE (1% CHANCE)



MOLSSON ASSOCIATES
 7901 West 138th Street, Suite 200
 Overland Park, KS 66213-4726
 TEL: 913.381.1170
 FAX: 913.381.1174
 www.molssonassociates.com



REV. NO.	DATE	REVISIONS DESCRIPTION

CONTEXT PLAN
 ARCHITECTURAL REVIEW BOARD
 ROCK & BREWS ST. LOUIS
 17258 CHESTERFIELD AIRPORT ROAD
 CHESTERFIELD, MISSOURI

2016

SHEET
 1 of 2

EXTERIOR ELEVATIONS GENERAL NOTES:

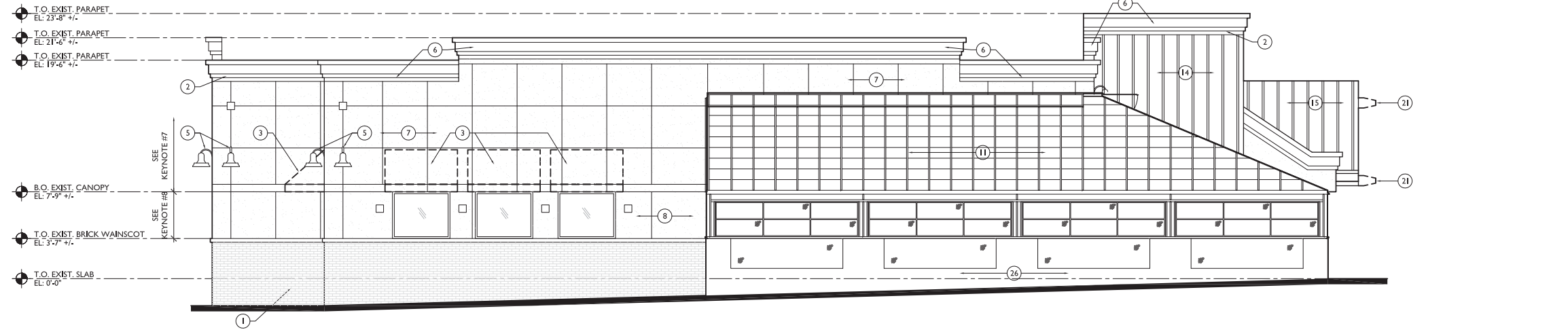
- REFER TO CIVIL FOR ALL SITE RELATED FILL AND GRADING REQUIREMENTS.
- CAULK AROUND PERIMETER OF ALL NEW EXTERIOR OPENINGS.
- PROVIDE HEAD FLASHING AT ALL NEW DOOR OPENINGS AND CAP TRIMS. RUN UP BENEATH WALL FINISH SYSTEM MIN. 8" (WHERE PRESENT). USE NON-GALVANETIC MECHANICAL ATTACHMENTS.
- PROVIDE NEW GUTTERS AND DOWNSPOUTS AT NEW PATIO ADDITION. REFER TO CONSULTANT DRAWINGS. COORDINATE WITH CIVIL.
- REFER TO ARCHITECTURAL SITE / ROOF PLAN AS100 FOR ADDITIONAL EXTERIOR SCOPE SPECIFICATIONS.
- ALL EXPOSED EXTERIOR STEEL TO BE PRIMED PRIOR TO PAINTING.
- ALL NEW METAL EDGE FASCIA, SOFFIT WRAP, GUTTER AND DOWNSPOUT SHEET METAL SHALL BE MIN. 24 GAUGE AND COATED WITH A KYNAR 500 FINISH. USE PRESSURE TREATED LUMBER WHERE WOOD FRAMING IS IN CONTACT WITH CONCRETE OR MASONRY.
- ADDRESS NUMBERS SHALL BE VISIBLE FROM THE STREET AND ON THE FRONT AND REAR OF THE STRUCTURE. PROVIDE A MINIMUM OF 5" ADDRESS NUMBERS.
- REMOVE EXISTING PATIO STRUCTURE AND WOOD LOGS AS REQUIRED TO ACHIEVE NEW ELEVATIONS. REFER TO AD100 FOR ADDITIONAL DEMOLITION REQUIREMENTS.

SHEET METAL GENERAL NOTES:

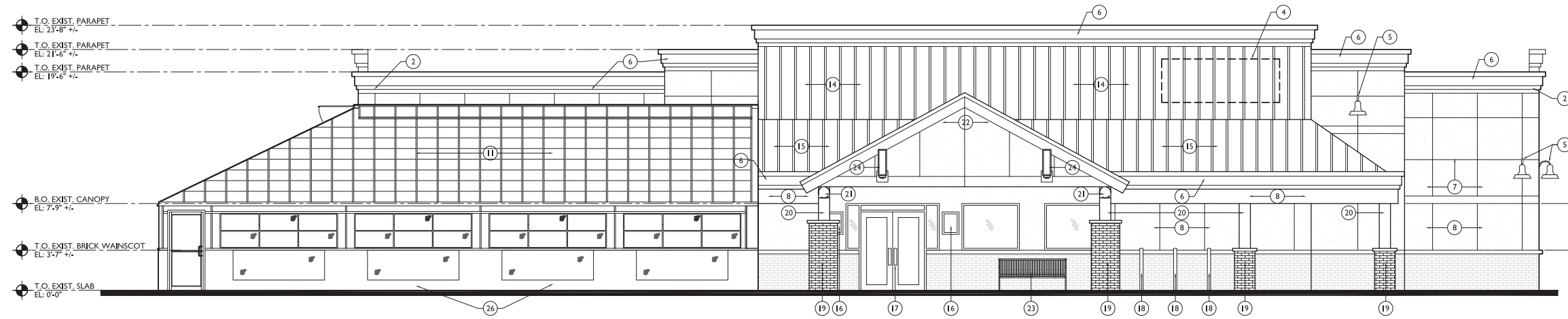
- WHERE DISSIMILAR METALS WILL CONTACT EACH OTHER OR CORROSIVE SUBSTRATES, PROTECT AGAINST GALVANIC REACTION BY PAINTING CONTACT SURFACES WITH BITUMINOUS COATING OR BY OTHER PERMANENT SEPARATION AS RECOMMENDED BY FABRICATOR OR MANUFACTURER OF DISSIMILAR METALS.
- WHERE INSTALLING METAL FLASHING DIRECTLY ON CEMENTIOUS OR WOOD SUBSTRATES, INSTALL A COURSE OF FELT UNDERLAYMENT AND COVER WITH A SLP SHEET OR INSTALL A POLYETHYLENE UNDERLAYMENT.
- INSTALL SHEET METAL TRIM WITHOUT EXCESSIVE OIL CANNING, BUCKLING AND TOOL MARKS.
- INSTALL SHEET METAL FLASHING AND TRIM TRUE TO LINE AND LEVELS INDICATED. PROVIDE UNIFORM, NEAT SEAMS WITH MINIMUM EXPOSURE OF SOLDER, WELDS AND ELASTOMETRIC SEALANT.
- INSTALL SHEET METAL FLASHING AND TRIM TO FIT SUBSTRATES AND TO RESULT IN WATERTIGHT PERFORMANCE. VERIFY SHAPES AND DIMENSIONS OF SURFACES TO BE COVERED BEFORE FABRICATING SHEET METAL.

EXTERIOR ELEVATIONS KEYED NOTES:

- EXISTING BRICK WAJNSCOT TO REMAIN. DO NOT DISTURB.
- REMOVE EXISTING RED LIGHTING ACCENT STRIP AT EXISTING PARAPET CORNICE. TERMINATE POWER FEED AND REPAIR CORNICE AS REQUIRED.
- REMOVE ALL EXISTING AWNINGS (SHOWN DASHED) AND REPAIR EIFS AS REQUIRED.
- REMOVE EXISTING BUILDING SIGNAGE (SHOWN SHADED). TERMINATE POWER FEED AND REPAIR EIFS AS REQUIRED.
- EXISTING EXTERIOR LIGHT FIXTURE TO REMAIN. RE-LAMP AS REQUIRED.
- PAINT EXISTING PARAPET CAP AND CORNICE TRIM SHERWIN WILLIAMS SW7068 GRIZZLE GRAY.
- PAINT EXISTING EIFS BENJAMIN MOORE 2004-10 DEEP ROSE.
- PAINT EXISTING GUARDRAIL SHERWIN WILLIAMS SW 7068 GRIZZLE GRAY.
- PAINT EXISTING HOLLOW METAL DOOR AND FRAME SHERWIN WILLIAMS SW 7068 GRIZZLE GRAY.
- PAINT EXISTING GUARDRAIL SHERWIN WILLIAMS SW 7068 GRIZZLE GRAY.
- NEW PATIO GREENHOUSE ADDITION DESIGN BY OTHERS. CONTRACTOR TO COORDINATE REQUIREMENTS AND PROVIDE NEW SLAB, FOOTINGS, CMU STEM WALL AND FINISH. REFER TO CONSULTANT DRAWINGS FOR SCOPE.
- NEW TENANT PROVIDED, CONTRACTOR INSTALLED VINYL BANNER BUILDING ARTWORK. PROVIDE BLADE PLATES ANCHORED TO EXISTING CMU. COORDINATE WITH TENANT.
- NEW 8'0" LONG EXTERIOR GRADE LED WALL WASH LIGHT FIXTURE TO ILLUMINATE ARTWORK (SPECIFICATION T.B.D.) PROVIDE POWER AND TIMER AS REQUIRED.
- NEW MCELROY METAL 26 GAUGE R-PANEL. COLOR TO BE KYNAR 500 BRIGHT RED. PROVIDE 1" X 4" FURRING STRIPS ANCHORED TO EXISTING CMU THROUGH EXISTING EIFS AND 3/4" RIGID INSULATION BETWEEN FURRING STRIPS. OVERLAY FURRING AND INSULATION WITH 30# BUILDING FELT PRIOR TO INSTALLING R-PANEL. PROVIDE ALL FLASHING, HEAD, BASE AND CORNER TRIM AS REQUIRED FOR A WATERTIGHT INSTALLATION.
- REMOVE EXISTING ROOF SHINGLES AND FELT DOWN TO EXISTING DECK SUBSTRATE. PROVIDE NEW MCELROY METAL 26 GAUGE R-PANEL OVER 30# BUILDING FELT. COLOR TO BE KYNAR 500 CHARCOAL. PROVIDE ALL FLASHING, RIDGE, RAKE AND EAVE TRIM AS REQUIRED FOR A WATERTIGHT INSTALLATION.
- NEW ALPHABET SIGNS 18" X 24" LIGHTED MENU BOARD (B80841) WITH BLACK FRAME FINISH AND STONE VINYL BOARD. PROVIDE POWER AS REQUIRED. CONFIRM MOUNTING LOCATION WITH TENANT.
- REMOVE EXISTING DOOR PULLS. INSTALL NEW TENANT PROVIDED CUSTOM GUITAR NECK PULLS. COORDINATE WITH TENANT.
- NEW TENANT PROVIDED, CONTRACTOR INSTALLED CUSTOM STEEL BIKE RACK (QTY. 3). SAW CUT AND PATCH SIDEWALK AS REQUIRED FOR FOOTING INSTALLATION. REFER TO DETAIL "A" FOR INFO.
- REMOVE EXISTING STONE CLADDING FROM BASE OF COLUMNS. INSTALL NEW BRICK TO MATCH ADJACENT WAJNSCOT BRICK. EXISTING CAST CONCRETE CAP TO OVERHANG NEW BRICK BY 1" MIN.
- REMOVE EXISTING WOOD TIMBER COLUMN WRAPS. FURR OUT AROUND EXISTING POSTS WITH METAL FRAMING AS REQUIRED FOR A 12" X 12" FINISHED BOX OUT. PROVIDE NEW EIFS FINISH TO MATCH EXISTING OVER 1" OF RIGID INSULATION ON TREATED 1/2" PLYWOOD SHEATHING. PAINT EIFS SHERWIN WILLIAMS SW 7068 GRIZZLE GRAY.
- CUT BACK AND REMOVE EXISTING TIMBER POINTED TIPS BACK TO EXISTING TRUSS. FURR OUT THE (2) LOWER TIMBER BEAMS WITH MINIMUM METAL FRAMING AS REQUIRED TO BOX OUT EXISTING BEAM BACK TO BUILDING. PROVIDE NEW EIFS FINISH TO MATCH EXISTING OVER 1" OF RIGID INSULATION ON TREATED 1/2" PLYWOOD SHEATHING. REFER TO RCP A150 FOR ADDITIONAL INFORMATION.
- FURR OUT FACE OF EXISTING TRUSS WITH 1"x2" FURRING STRIPS AT 16" O.C. PROVIDE NEW EIFS FINISH TO MATCH EXISTING OVER 1" OF RIGID INSULATION ON TREATED 1/2" PLYWOOD SHEATHING. PAINT EIFS SHERWIN WILLIAMS SW 7068 GRIZZLE GRAY. WRAP EIFS TO UNDERSIDE OF TRUSS. PROVIDE CONTROL JOINTS AS SHOWN.
- NEW TENANT PROVIDED, CONTRACTOR INSTALLED BENCH. ANCHOR TO SIDEWALK.
- TEMPEST TORCH, WALL MOUNT, GAS FIRED. PROVIDE GAS AS REQUIRED AND TIE INTO TIMER FOR BUILDING SIGNAGE. COORDINATE WITH PLUMBING.
- TEMPEST TORCH, WALL MOUNT, GAS FIRED. PROVIDE GAS AS REQUIRED AND TIE INTO TIMER FOR BUILDING SIGNAGE. COORDINATE WITH PLUMBING.
- FINISH WALL WITH 3-COAT PORTLAND CEMENT-BASED PLASTER WITH INTEGRAL COLORED FINISH COAT ON METAL LATH, APPLIED IN ACCORDANCE WITH ASTM C926-06 STANDARD SPECIFICATION FOR APPLICATION OF PORTLAND CEMENT-BASED PLASTER. COLOR TO BE BENJAMIN MOORE 2004-10 DEEP ROSE.



02 East Elevation
Scale 3/16" = 1'-0"



01 North Elevation
Scale 3/16" = 1'-0"



Rock & Brews St. Louis
17258 Chesterfield Airport Road
Chesterfield, MO 63005

rev	Issue	date
	PARKING MODIFICATION REQUEST	05.19.2016
	OWNER REVIEW	06.03.2016
	LANDLORD REVIEW	06.09.2016
	PRELIMINARY PRICING SET	06.10.2016
	PRELIMINARY PRICING SET	06.15.2016
	CHESTERFIELD SITE PLAN REVIEW	06.17.2016
	ARCHITECTURAL REVIEW BOARD	07.01.2016

16.04.Rock & Brews Chestfield

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EXTERIOR ELEVATIONS

EXTERIOR ELEVATIONS GENERAL NOTES:

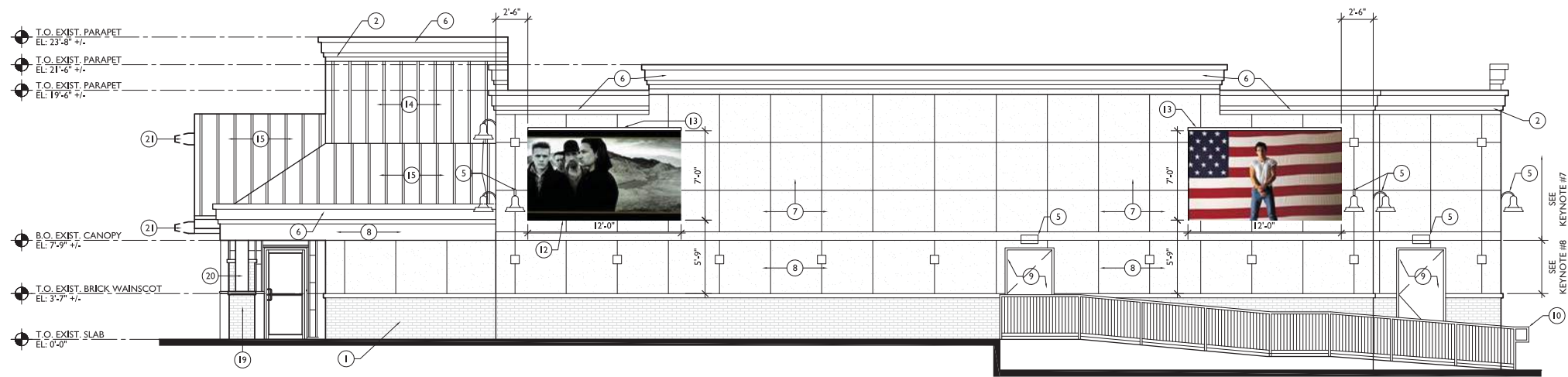
- REFER TO CIVIL FOR ALL SITE RELATED HLL AND GRADING REQUIREMENTS.
- CAULK AROUND PERIMETER OF ALL NEW EXTERIOR OPENINGS.
- PROVIDE HEAD FLASHING AT ALL NEW DOOR OPENINGS AND CAP TRIMS. RUN UP BENEATH WALL FINISH SYSTEM MIN. 8" (WHERE PRESENT). USE NON-GALVANETIC MECHANICAL ATTACHMENTS.
- PROVIDE NEW GUTTERS AND DOWNSPOUTS AT NEW PATIO ADDITION. REFER TO CONSULTANT DRAWINGS. COORDINATE WITH CIVIL.
- REFER TO ARCHITECTURAL SITE / ROOF PLAN AS100 FOR ADDITIONAL EXTERIOR SCOPE SPECIFICATIONS.
- ALL EXPOSED EXTERIOR STEEL TO BE PRIMED PRIOR TO PAINTING.
- ALL NEW METAL EDGE FASCIA, SOFFIT WRAP, GUTTER AND DOWNSPOUT SHEET METAL SHALL BE MIN. 24 GAUGE AND COATED WITH A KYNAR 500 FINISH. USE PRESSURE TREATED LUMBER WHERE WOOD FRAMING IS IN CONTACT WITH CONCRETE OR MASONRY.
- ADDRESS NUMBERS SHALL BE VISIBLE FROM THE STREET AND ON THE FRONT AND REAR OF THE STRUCTURE. PROVIDE A MINIMUM OF 5" ADDRESS NUMBERS.
- REMOVE EXISTING PATIO STRUCTURE AND WOOD LOGS AS REQUIRED TO ACHIEVE NEW ELEVATIONS. REFER TO AD100 FOR ADDITIONAL DEMOLITION REQUIREMENTS.

SHEET METAL GENERAL NOTES:

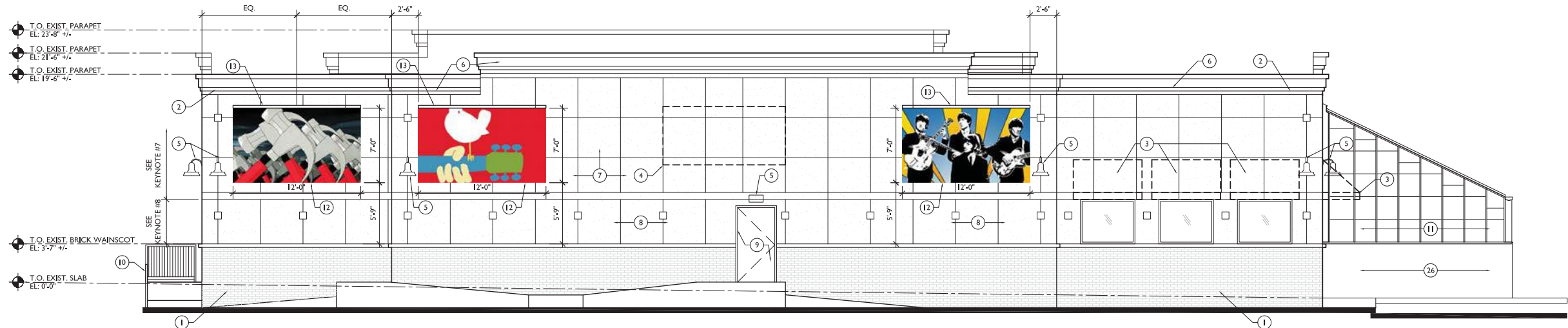
- WHERE DISSIMILAR METALS WILL CONTACT EACH OTHER OR CORROSIVE SUBSTRATES, PROTECT AGAINST GALVANIC REACTION BY PAINTING CONTACT SURFACES WITH BITUMINOUS COATING OR BY OTHER PERMANENT SEPARATION AS RECOMMENDED BY FABRICATOR OR MANUFACTURER OF DISSIMILAR METALS.
- WHERE INSTALLING METAL FLASHING DIRECTLY ON CEMENTIOUS OR WOOD SUBSTRATES, INSTALL A COURSE OF FELT UNDERLAYMENT AND COVER WITH A SLP SHEET OR INSTALL A POLYETHYLENE UNDERLAYMENT.
- INSTALL SHEET METAL TRIM WITHOUT EXCESSIVE OIL CANNING, BUCKLING AND TOOL MARKS.
- INSTALL SHEET METAL FLASHING AND TRIM TRUE TO LINE AND LEVELS INDICATED. PROVIDE UNIFORM, NEAT SEAMS WITH MINIMUM EXPOSURE OF SOLDER, WELDS AND ELASTOMETRIC SEALANT.
- INSTALL SHEET METAL FLASHING AND TRIM TO FIT SUBSTRATES AND TO RESULT IN WATERTIGHT PERFORMANCE. VERIFY SHAPES AND DIMENSIONS OF SURFACES TO BE COVERED BEFORE FABRICATING SHEET METAL.

EXTERIOR ELEVATIONS KEYED NOTES:

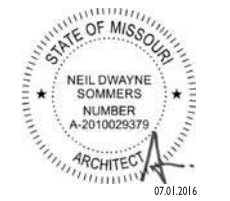
- EXISTING BRICK WAJNSCOT TO REMAIN. DO NOT DISTURB.
- REMOVE EXISTING RED LIGHTING ACCENT STRIP AT EXISTING PARAPET CORNICE. TERMINATE POWER FEED AND REPAIR CORNICE AS REQUIRED.
- REMOVE ALL EXISTING AWNINGS (SHOWN DASHED) AND REPAIR EIFS AS REQUIRED.
- REMOVE EXISTING BUILDING SIGNAGE (SHOWN SHADED). TERMINATE POWER FEED AND REPAIR EIFS AS REQUIRED.
- EXISTING EXTERIOR LIGHT FIXTURE TO REMAIN. RE-LAMP AS REQUIRED.
- PAINT EXISTING PARAPET CAP AND CORNICE TRIM SHERWIN WILLIAMS SW7068 GRIZZLE GRAY.
- PAINT EXISTING EIFS BENJAMIN MOORE 2004-10 DEEP ROSE.
- PAINT EXISTING HOLLOW METAL DOOR AND FRAME SHERWIN WILLIAMS SW 7068 GRIZZLE GRAY.
- PAINT EXISTING GUARDRAIL SHERWIN WILLIAMS SW 7068 GRIZZLE GRAY.
- NEW PATIO GREENHOUSE ADDITION DESIGN BY OTHERS. CONTRACTOR TO COORDINATE REQUIREMENTS AND PROVIDE NEW SLAB, FOOTINGS, CMU STEM WALL AND FINISH. REFER TO CONSULTANT DRAWINGS FOR SCOPE.
- NEW TENANT PROVIDED, CONTRACTOR INSTALLED VINYL BANNER BUILDING ARTWORK. PROVIDE BLADE PLATES ANCHORED TO EXISTING CMU. COORDIANTE WITH TENANT.
- NEW 8'-0" LONG EXTERIOR GRADE LED WALL WASH LIGHT FIXTURE TO ILLUMINATE ARTWORK (SPECIFICATION T.B.D.) PROVIDE POWER AND TIMER AS REQUIRED.
- NEW MCELROY METAL 26 GAUGE R-PANEL. COLOR TO BE KYNAR 500 BRIGHT RED. PROVIDE 1" X 4" FURRING STRIPS ANCHORED TO EXISTING CMU THROUGH EXISTING EIFS AND 3/4" RIGID INSULATION BETWEEN FURRING STRIPS. OVERLAY FURRING AND INSULATION WITH 30# BUILDING FELT PRIOR TO INSTALLING R-PANEL. PROVIDE ALL FLASHING, HEAD, BASE AND CORNER TRIM AS REQUIRED FOR A WATERTIGHT INSTALLATION.
- REMOVE EXISTING ROOF SHINGLES AND FELT DOWN TO EXISTING DECK SUBSTRATE. PROVIDE NEW MCELROY METAL 26 GAUGE R-PANEL OVER 30# BUILDING FELT. COLOR TO BE KYNAR 500 CHARCOAL. PROVIDE ALL FLASHING, RIDGE, RAKE AND EAVE TRIM AS REQUIRED FOR A WATERTIGHT INSTALLATION.
- NEW ALPHABET SIGNS 18" X 24" LIGHTED MENU BOARD (B8084H) WITH BLACK FRAME FINISH AND STONE VINYL BOARD. PROVIDE POWER AS REQUIRED. CONFIRM MOUNTING LOCATION WITH TENANT.
- REMOVE EXISTING DOOR PULLS. INSTALL NEW TENANT PROVIDED CUSTOM GUITAR NECK PULLS. COORDINATE WITH TENANT.
- NEW TENANT PROVIDED, CONTRACTOR INSTALLED CUSTOM STEEL BIKE RACK (QTY. 3). SAW CUT AND PATCH SIDEWALK AS REQUIRED FOR FOOTING INSTALLATION. REFER TO DETAIL "A" FOR
- REMOVE EXISTING STONE CLADDING FROM BASE OF COLUMNS. INSTALL NEW BRICK TO MATCH ADJACENT WAJNSCOT BRICK. EXISTING CAST CONCRETE CAP TO OVERHANG NEW BRICK BY 1" MIN.
- REMOVE EXISTING WOOD TIMBER COLUMN WRAPS. FURR OUT AROUND EXISTING POSTS WITH METAL FRAMING AS REQUIRED FOR A 12" X 12" FINISHED BOX OUT. PROVIDE NEW EIFS FINISH TO MATCH EXISTING OVER 1" OF RIGID INSULATION ON TREATED 1/2" PLYWOOD SHEATHING. PAINT EIFS SHERWIN WILLIAMS SW 7068 GRIZZLE GRAY.
- CUT BACK AND REMOVE EXISTING TIMBER POINTED TIPS BACK TO EXISTING TRUSS. FURR OUT THE (2) LOWER TIMBER BEAMS WITH MINIMUM METAL FRAMING AS REQUIRED TO BOX OUT EXISTING BEAM BACK TO BUILDING. PROVIDE NEW EIFS FINISH TO MATCH EXISTING OVER 1" OF RIGID INSULATION ON TREATED 1/2" PLYWOOD SHEATHING. REFER TO RCP A150 FOR ADDITIONAL INFORMATION.
- FURR OUT FACE OF EXISTING TRUSS WITH 1"x2" FURRING STRIPS AT 16" O.C. PROVIDE NEW EIFS FINISH TO MATCH EXISTING OVER 1" OF RIGID INSULATION ON TREATED 1/2" PLYWOOD SHEATHING. PAINT EIFS SHERWIN WILLIAMS SW 7068 GRIZZLE GRAY. WRAP EIFS TO UNDERSIDE OF TRUSS. PROVIDE CONTROL JOINTS AS SHOWN.
- NEW TENANT PROVIDED, CONTRACTOR INSTALLED BENCH. ANCHOR TO SIDEWALK.
- TEMPEST TORCH, WALL MOUNT, GAS FIRED. PROVIDE GAS AS REQUIRED AND TIE INTO TIMER FOR BUILDING SIGNAGE. COORDINATE WITH PLUMBING.
- TEMPEST TORCH, WALL MOUNT, GAS FIRED. PROVIDE GAS AS REQUIRED AND TIE INTO TIMER FOR BUILDING SIGNAGE. COORDINATE WITH PLUMBING.
- FINISH WALL WITH 3-COAT PORTLAND CEMENT-BASED PLASTER WITH INTEGRAL COLORED FINISH COAT ON METAL LATH, APPLIED IN ACCORDANCE WITH ASTM C926-06 STANDARD SPECIFICATION FOR APPLICATION OF PORTLAND CEMENT-BASED PLASTER. COLOR TO BE BENJAMIN MOORE 2004-10 DEEP ROSE.



02 West Elevation
Scale 3/16" = 1'-0"



01 South Elevation
Scale 3/16" = 1'-0"



Rock & Brews St. Louis
17258 Chesterfield Airport Road
Chesterfield, MO 63005

rev	Issue	date
	PARKING MODIFICATION REQUEST	05.19.2016
	OWNER REVIEW	06.03.2016
	LANDLORD REVIEW	06.09.2016
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	PRELIMINARY PRICING SET	06.15.2016
	CHESTERFIELD SITE PLAN REVIEW	06.17.2016
	ARCHITECTURAL REVIEW BOARD	07.01.2016

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EXTERIOR ELEVATIONS



03 Perspective Rendering
Scale N.T.S.



02 Colored East Elevation
Scale 3/16" = 1'-0"



01 Colored North Elevation
Scale 3/16" = 1'-0"



Rock & Brews St. Louis

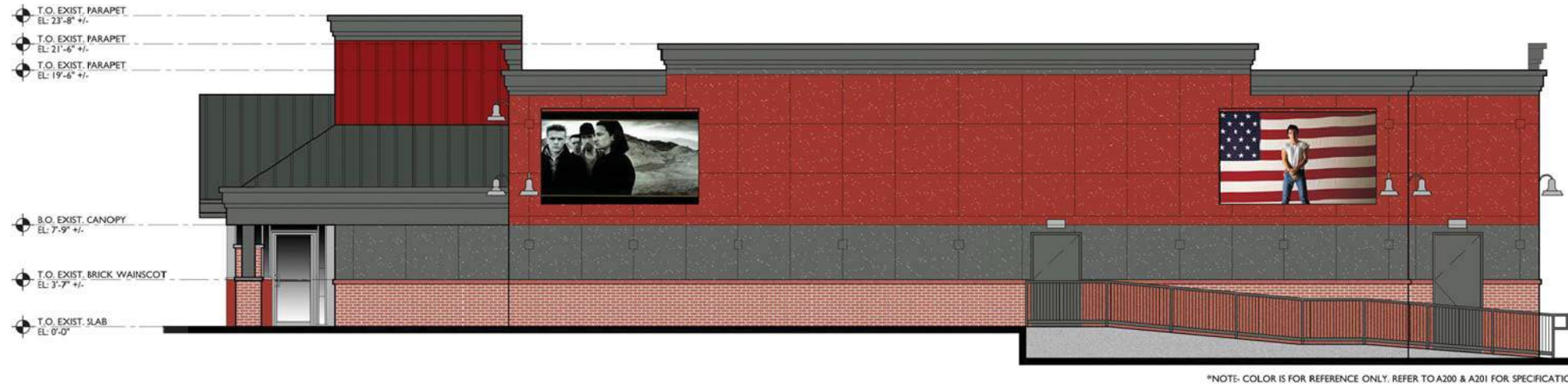
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COLORED EXTERIOR ELEVATIONS



02 Colored West Elevation
 Scale 3/16" = 1'-0"



01 Colored South Elevation
 Scale 3/16" = 1'-0"

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 17258 Chesterfield Airport Road
 Chesterfield, MO 63005

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COLORED
 EXTERIOR ELEVATIONS