



VII. A.

690 Chesterfield Pkwy W • Chesterfield MO 63017-0760
Phone: 636-537-4000 • Fax 636-537-4798 • www.chesterfield.mo.us

Planning Commission Staff Report

Project Type:	Site Development Plan
Meeting Date:	June 27, 2016
From:	Jessica Henry, Project Planner
Location:	South of Wild Horse Creek Road west of its intersection of Long Road and east of its intersection with Arbor Grove Court.
Applicant:	Wilmas Farm, LLC
Description:	<u>Arbors at Wilmas Farms SDP:</u> A Site Development Plan, Landscape Plan, Tree Stand Delineation, Tree Preservation Plan, and Architectural Elevations for a 50.5 acre tract of land zoned “PUD” Planned Unit Development located south of Wild Horse Creek Road west of its intersection of Long Road and east of its intersection with Arbor Grove Court.

PROPOSAL SUMMARY

This project was reviewed at the June 15, 2016 Planning Commission Meeting, where a motion to hold the project until revised Architectural Elevations are received from the developer regarding, but not limited to, the lots along Deep Forest Drive and Wild Horse Creek Road was passed by a vote of 5-0.

Article 4-01 of the Unified Development Code authorizes the Planning and Development Services Director to require Planning Commission review of any architectural submittal. The Applicant has submitted revised Architectural Elevations, and those are attached for the Planning Commission’s consideration. These elevations represent the architectural standard for this development and portray a range of the proposed home models. This will permit for customization of each home, which occurs at the time of sale of the lot and subsequent Building Permit/MZA application.

Also attached is the June 15th Staff Report and Site Development Plan packet and a letter from the Applicant received on June 21, 2016.

MOTION

The following options are provided to the Planning Commission for consideration relative to this application:

- 1) "I move to approve (or deny) the Site Development Plan, Landscape Plan, Tree Preservation Plan, Tree Stand Delineation, and Architectural Elevations for the Arbors at Wilmas Farm subdivision.
- 2) "I move to approve the Site Development Plan, Landscape Plan, Tree Preservation Plan, Tree Stand Delineation, and Architectural Elevations for the Arbors at Wilmas Farm subdivision, with the following conditions..." (Conditions may be added, eliminated, altered or modified)

CC: Aimee Nassif, Planning and Development Services Director

Attachments: Applicant's Letter
Revised Architectural Elevations
June 15th Staff Report
Site Development Plan Packet



VII. A.

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Phone: 636-537-4000 • Fax 636-537-4798 • www.chesterfield.mo.us

Planning Commission Staff Report

Project Type: Site Development Plan

Meeting Date: June 15, 2016

From: Jessica Henry, Project Planner

Location: South of Wild Horse Creek Road west of its intersection of Long Road and east of its intersection with Arbor Grove Court.

Applicant: Wilmas Farm, LLC

Description: **Arbors at Wilmas Farms SDP:** A Site Development Plan, Landscape Plan, Tree Stand Delineation, Tree Preservation Plan, and Architectural Elevations for a 50.5 acre tract of land zoned “PUD” Planned Unit Development located south of Wild Horse Creek Road west of its intersection of Long Road and east of its intersection with Arbor Grove Court.

PROPOSAL SUMMARY

Sterling Engineering, Inc., on behalf of Wilmas Farm, LLC, has submitted a Site Development Plan, Landscape Plan, Tree Stand Delineation, Tree Preservation Plan, and Architectural Elevations for a 50.5 acre single family detached residential development to be known as Arbors at Wilmas Farm. The plans would permit the development of forty-seven (47) detached single family homes. Two access points are being proposed for the development; the main entrance off Wild Horse Creek Road and a secondary access off of Deep Forest Drive. Development characteristics of this proposal also include a recreation area, a children’s playground, and a sports field. Each of these amenities will be connected via a walking trail. Common open space is dispersed throughout the site and landscape buffers are provided along each site perimeter.

HISTORY OF SUBJECT SITE

The subject property was zoned “NU” Non-Urban District and “FPNU” Flood Plain Non-Urban District by St. Louis County prior to the incorporation of the City of Chesterfield. The property is currently utilized for agricultural purposes and has been in the past as well. Additionally, there have been no known structures on this site.

On September 9, 2015, the City of Chesterfield approved Ordinances 2868 and 2869, which zoned the subject site from an “NU” Non-Urban District to an “E-1 AC” Estate District and “PUD” Planned Unit Development, respectively, as part of a two-step zoning process in order to obtain entitlements to develop this tract of land as a single-family residential subdivision. In conjunction with the “PUD” Planned Unit Development zoning request, a preliminary plan was prepared and approved during the zoning process and the proposed Site Development Plan is found to substantially conform to the approved preliminary plan.



Figure 1: Subject Site Aerial

Surrounding Land Uses

The land use and zoning for the properties surrounding this parcel are as follows:

- North:** The land uses of the properties to the north are single family residential and are zoned “NU” Non-Urban District and “E-1” Estate One-Acre District.
- South:** The property to the south is Wildhorse subdivision containing single family residential units zoned “R-1/PEU” Residence District with a Planned Environmental Unit.
- East:** Properties east of the site are single family residential as well within the Windridge Estates, Country Lake Estates, and Deepwood subdivisions. Windridge Estates and Country Lake Estates subdivisions are zoned “R-1/PEU” Residence District with a Planned Environmental Unit and the Deepwood subdivision is zoned “NU” Non-Urban District.
- West:** The properties to the west are single-family attached dwellings within the Arbors at Wildhorse subdivision which is zoned “PUD” Planned Unit Development and a church zoned “NU” Non-Urban District.

STAFF ANALYSIS

The subject site is located within Ward 4 of the City of Chesterfield. The City of Chesterfield Land Use Plan indicates this parcel is within the Residential Single-Family land use designation and has a minimum one (1) acre density requirement. Proposed uses and density of the development are therefore compliant with the Land Use Plan. This subject site is not located in any sub-area identified by the Comprehensive Plan; therefore there are no additional development guidelines for this site.

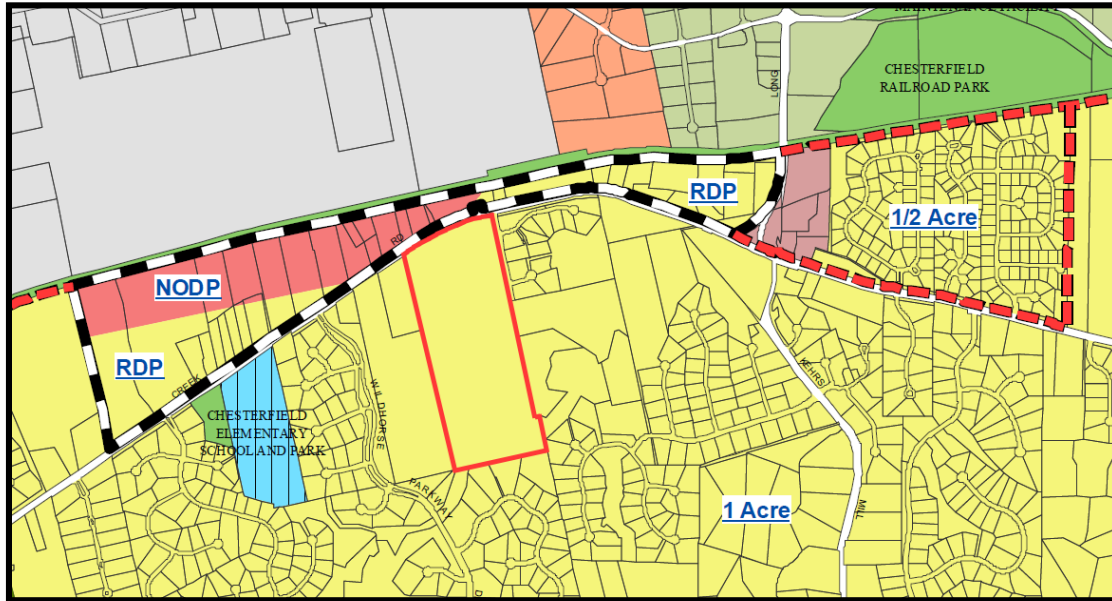


Figure 2: Comprehensive Land Use Plan

In addition to complying with the Residential Single-Family land use designation, a proposed development should be in general compliance with the Residential Development Policies. The following is a list of relevant policies within the Comprehensive Plan:

- **2.1.5 Provide Buffer for Existing Residential Development** - New higher density residential development and non-residential development adjacent to existing residential subdivisions should provide for a substantial landscape buffer and landscaped area between the uses so as not to alter the conditions and environment of existing residential neighborhoods.
- **2.1.6 Reinforce Existing Residential Development Pattern** - New residential development should reinforce existing residential neighborhood patterns by continuing to enforce high quality site and subdivision design, layout, and planning practices.
- **2.1.9 Encourage Planned Residential Development** - Planned residential developments that allow for innovative and flexible site planning, preservation of open space, and a variety of housing opportunities should be encouraged.

- **2.1.12 Residential Subdivision Access** - Residential developments should have more than one (1) access route into and out of the development site or subdivision in order to provide adequate service ability to emergency vehicles. ‘Cut-through’ of non-residential traffic should be discouraged.
- **2.3 Homes in West Sub-Area** - New residential development west of Wilson Road generally should consist of single-family homes.

Zoning

As previously mentioned, the subject site is zoned “PUD” Planned Unit Development and is governed by Ordinance 2869. The proposed plans comply with the development criteria contained within the site-specific ordinance by providing forty-seven (47) single family detached homes. The proposed lots vary between the established minimum of 22,000 square feet and 28,511 square feet in size. The “PUD” district also includes the following two requirements:

- ***Provision of thirty (30) percent Common Open Space to be displaced throughout the site and not concentrated in one (1) area or contain only that portion of the site that would be considered undevelopable.***

The Petitioner is proposing to provide 20.29 acres of Common Open Space, which represents just over 40% of the site; this significantly exceeds the 30% minimum requirement for Common Open Space. The Common Open Space areas are dispersed throughout the site.

- ***Provision of perimeter buffer of at least thirty (30) feet in width.***

The northern landscape buffer, which fronts along Wild Horse Creek Road, will be 50 feet in width. The eastern and western landscape buffers are to be 30’ in width; all of these buffers are located within common ground areas outside of individual lots. The southern landscape buffer is provided via the existing natural wooded area that will remain as a 7.82 acre greenspace preservation area.

Traffic Access and Circulation

There are two access points proposed for the development; the main entrance off Wild Horse Creek Road and a secondary access off of Deep Forest Drive. Deep Forest Drive is a local public road maintained by the City of Chesterfield and Wild Horse Creek Road is a major arterial maintained by the Missouri Department of Transportation. Three new streets that terminate in two cul-de-sacs are proposed within the subdivision. This project was reviewed by the Missouri Department of Transportation, and although a fifteen (15) foot right-of-way dedication strip is provided for future roadway improvements, no additional improvements were required in conjunction with this Site Development Plan.

The Gateway 61 church abuts a portion of the northwestern perimeter of the proposed development. A direct access to the Gateway 61 church property is currently provided from Wild Horse Creek Road; however, as shown on the Site Development Plan for the Arbors at Wilmas Farm development, a 30 foot wide access easement to the Gateway 61 property is being provided. This will permit for a singular shared access point from Wild Horse Creek Road if the Gateway 61 church pursues a zoning map amendment at a future point in time.

Landscaping

A Landscape Plan has been submitted showing the proposed street trees, landscape buffers, and landscape islands to be installed throughout the site. The site specific "PUD" ordinance for this site requires a 50' wide landscape buffer along Wild Horse Creek Road. A 30' wide landscape buffer is required along the eastern, western, and southern perimeters of the site, with the southern landscape buffer requirement being satisfied by the greenspace preservation area. The 30' wide eastern and western landscape buffers are outside of the lots; however, the Metropolitan Sewer District is requiring that these buffers be expanded to 50' in width in order to meet water quality requirements. As such, a portion of this buffer is located within an easement on private lots; however, no portion of this required landscape buffer is located within the buildable area of the lots. As noted on the plans, the HOA is required to maintain this area, and the subdivision indentures will contain maintenance information and requirements.

The proposal also features plantings located throughout the centralized common ground area, cul-de-sacs, and entrance median. The street trees provided along the internal road and Wild Horse Creek Road also meet all City requirements.

Tree and Natural Area Preservation

The City requires that 30% of the existing tree canopy be preserved. Of the 10.9 acres of existing tree canopy, the developer is proposing to preserve 9.6 acres which represents 88% of the existing canopy. This greatly exceeds the City's minimum tree preservation requirements. The majority of the preserved trees are located in the southern woodland area with additional trees being preserved along the western property line as well as a small grouping in the northeastern portion of the site.

As mentioned previously, the southern portion of the site is being maintained in its natural state as a 7.82 acre greenspace preservation area, which will preserve the natural slopes and creek.

Lighting

The plan proposes street lights along the internal drives and within cul-de-sacs as required by City Code. The proposed street lights are the Early American style Ameren UE approved light fixture which meet all City Code requirements. The light will not be less than 16' above grade.

Three dusk-to-dawn street lights are proposed to be mounted on existing utility poles along Wild Horse Creek Road. These fixtures are also Ameren UE approved.

Architectural Elevations

Two separate developers, McBride & Sons Homes and Claymont Estates, LLC, will be constructing homes within the Arbors at Wilmas Farm development. Each developer has submitted two different floor plan models each for a total of four architectural elevations. Staff has reviewed each of the proposed elevations for compliance with the Architectural Review Standards and found that the elevations feature a variety of architectural styles and all utilize durable, high quality materials. The primary exterior materials proposed include brick, stone, architectural shingles, and siding (vinyl and hardie board siding).

The principal façade includes the most variation through materials and the use of architectural elements that offer various setbacks to avoid a monotonous, flat elevation. However, a note has been added to the architectural elevations specifying that the homes on lots visible from roadways will feature rear and side façades that have been designed to include multiple materials in order to be compatible with the principal façade. Four architectural elevations are included in the packet for Planning Review and approval; these elevations represent the architectural standard for this development and portray a range from a base model to an enhanced model. This will permit for customization of each home, which occurs at the time of sale of the lot and subsequent MZA application.

Community Amenities

The Common Open Space areas which are dispersed throughout the site include amenities such as a recreation area, a children’s playground, and a sports field. Each of these amenities will be connected via a walking trail. The trail features multiple linkages to the sidewalks within the proposed development, allowing easy access for homeowners throughout the subdivision.

DEPARTMENT INPUT

Staff has reviewed the Site Development Plan, Landscape Plan, Tree Preservation Plan, Tree Stand Delineation, and Architectural Elevations and has found the proposal to be in compliance with the site specific ordinance, the Comprehensive Plan, and all City Code requirements. Staff recommends approval of the proposal as presented.

MOTION

The following options are provided to the Planning Commission for consideration relative to this application:

- 1) “I move to approve (or deny) the Site Development Plan, Landscape Plan, Tree Preservation Plan, Tree Stand Delineation, and Architectural Elevations for the Arbors at Wilmas Farm subdivision.

- 2) “I move to approve the Site Development Plan, Landscape Plan, Tree Preservation Plan, Tree Stand Delineation, and Architectural Elevations for the Arbors at Wilmas Farm subdivision, with the following conditions...” (Conditions may be added, eliminated, altered or modified)

CC: Aimee Nassif, Planning and Development Services Director

Attachments: Site Development Plan
Landscape Plan
Tree Preservation Plan
Tree Stand Delineation
Architectural Elevations

City of Chesterfield Planning Commission
690 Chesterfield Parkway W
Chesterfield, MO 63017-0760



Re: Arbors at Wilmas Farm-Site Development Plan

Dear Chairman Proctor and Commissioners:

At the Site Plan Committee meeting on June 15, by a vote of 2-0, the Committee indicated its disapproval of McBride's minimum standard architectural elevations ("Original Elevations") by directing McBride to submit revised elevations. Revised elevations are submitted with this letter ("Revised Elevations").

McBride is submitting the Revised Elevations in the spirit of cooperation, but for the record I am compelled to point out that the Planning Commission does not have authority to review these elevations under the City's Unified Development Code. In the Architectural Review Design Standards Section 04-01. A.2. it provides that "new single family residential subdivisions shall be reviewed by the Department of Public Services . . . during site plan, site development or site development section plan review." Further, the Original Elevations were submitted as one of the **suggested** but not mandatory "design features" justifying the PUD that the City ultimately approved. We believe it is inappropriate to evaluate the elevations at this stage under the PUD design features that were reviewed during the PUD review process.

McBride respectfully requests approval of the Revised Elevations by the Department of Public Services in accordance with Section 04-01 Architectural Review Design Standards of the City's Unified Development Code. The Revised Elevations reflect McBride's economic model and knowledge of the market in Chesterfield. The minimum standard elevations must fit that model and the market if the project is to be successful. Thank you for your consideration and cooperation.

Sincerely,

A handwritten signature in blue ink, appearing to read "Aaron Windholz".

Aaron Windholz

Senior Project Manager

McBride & Son Homes

06-21-16 10:15 AM

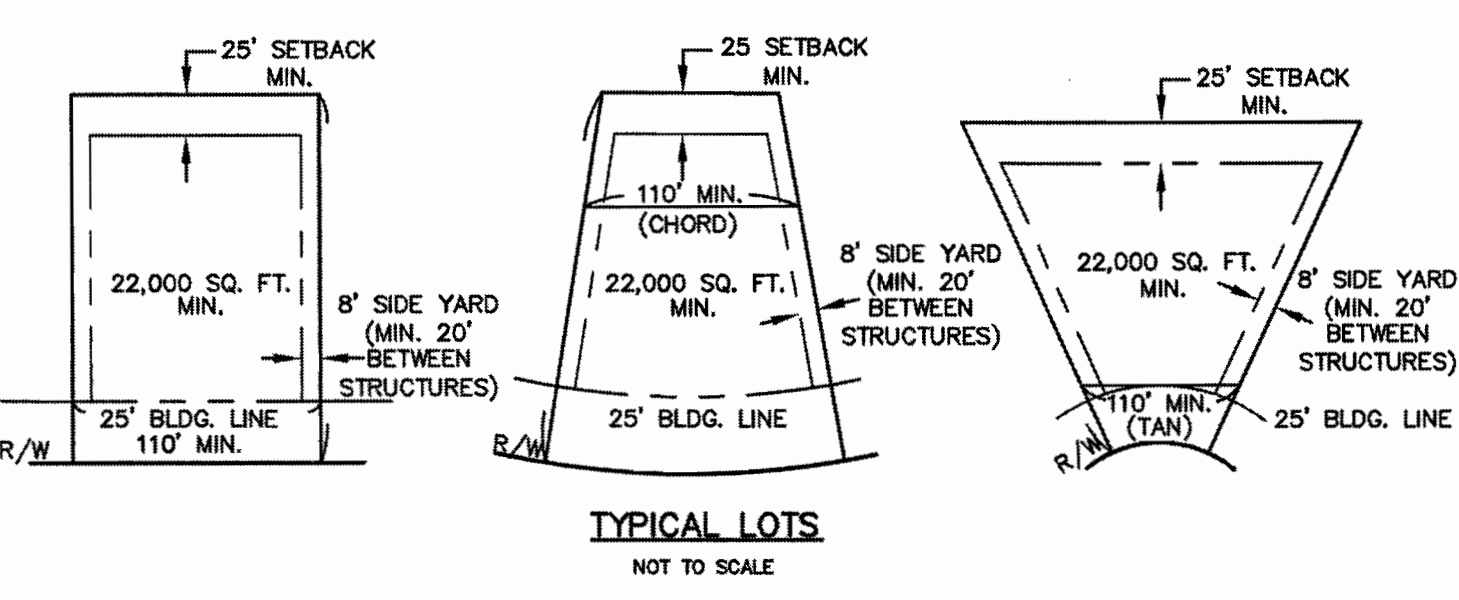
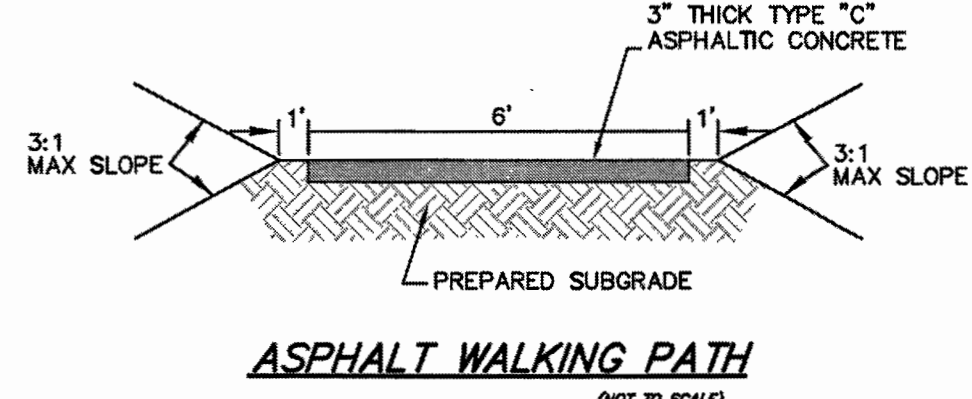
GENERAL NOTES:

- THIS SITE IS IN THE FOLLOWING DISTRICTS:
METROPOLITAN ST. LOUIS SEWER DISTRICT
MONARCH FIRE PROTECTION DISTRICT
ROCKWOOD R-6 SCHOOL DISTRICT
- THIS SITE IS IN THE FOLLOWING UTILITY SERVICE AREAS:
MISSOURI AMERICAN WATER COMPANY
AMEREN UE
AT&T
LACLEDE GAS COMPANY
CHARTER COMMUNICATIONS
- SANITARY SEWER CONSTRUCTION AND CONNECTIONS SHALL BE AS APPROVED BY THE METROPOLITAN ST. LOUIS SEWER DISTRICT AND IN ACCORDANCE WITH THE STANDARD CONSTRUCTION SPECIFICATIONS FOR SEWERS AND DRAINAGE FACILITIES.
- STORM WATER SYSTEM SHALL BE DESIGNED PURSUANT TO THE CITY OF CHESTERFIELD AND METROPOLITAN ST. LOUIS SEWER DISTRICT REQUIREMENTS AND DISCHARGE AT AN ADEQUATE NATURAL DISCHARGE POINT.
- NO SLOPES SHALL EXCEED 3 (HORIZONTAL) TO 1 (VERTICAL), UNLESS JUSTIFIED BY GEOTECHNICAL REPORT WHICH HAS BEEN ACCEPTED/APPROVED BY THE CITY OF CHESTERFIELD. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE APPROVAL OF SLOPES IN EXCESS OF 3:1. STEEP SLOPES ARE SUBJECT TO THE REVIEW AND APPROVAL OF THE CITY OF CHESTERFIELD. REVIEW OF THE PROPOSED STEEP SLOPE WILL BE CONCURRENT WITH THE REVIEW OF THE GRADING PERMIT OR IMPROVEMENT PLANS FOR THE PROJECT.
- THE LOCATION OF STORM AND SANITARY SEWER IMPROVEMENTS ARE APPROXIMATE ONLY. ACTUAL LOCATION SHALL BE DETERMINED BY FIELD CONDITIONS AND SHALL BE INDICATED ON THE IMPROVEMENT PLANS.
- GRADING SHALL BE PER CITY OF CHESTERFIELD STANDARDS. SOURCE OF TOPOGRAPHY FIELD SURVEY AND LIDAR TOPOGRAPHIC DATA.
- STREET TREES AND STREET LIGHTS (UNLESS OTHERWISE DEPICTED) SHALL BE PER CITY OF CHESTERFIELD STANDARDS.
- NEAREST MAJOR INTERSECTION IS WILDHORSE CREEK ROAD AND LONG ROAD.
- ALL SIDEWALKS SHALL BE CONSTRUCTED TO ADA AND THE CITY OF CHESTERFIELD STANDARDS.
- EXISTING OWNERS: WILD HORSE CREEK FARMS INVESTMENTS, LP
129 WINDY ACRES ESTATES DRIVE
BALLWIN, MO 63021
- SITE TO CONFORM TO THE CITY OF CHESTERFIELD TREE REQUIREMENTS.
- MAXIMUM HEIGHT OF THE RESIDENCES WILL NOT EXCEED 50 FEET.
- SITE PLAN WILL MEET ALL CITY OF CHESTERFIELD REQUIREMENTS.
- LANDSCAPE EASEMENTS ARE ESTABLISHED AS A PROTECTED AREA FOR VEGETATIVE LANDSCAPING ONLY. STRUCTURES OF ANY SIZE, WHETHER TEMPORARY OR PERMANENT, ARE NOT PERMITTED WITHIN LANDSCAPE EASEMENTS. TRAILS SHALL BE ALLOWED WITHIN THE LANDSCAPE EASEMENTS. LANDSCAPING AS APPROVED BY THE CITY OF CHESTERFIELD DURING SITE PLAN REVIEW IS REQUIRED TO BE MAINTAINED AND PRESERVED INDEFINITELY BY THE RESIDENT OR A HOME OWNERS ASSOCIATION. FAILURE TO MAINTAIN OR PRESERVE LANDSCAPE EASEMENTS MAY RESULT IN INSPECTION AND ISSUANCE OF FINES BY THE CITY OF CHESTERFIELD. THIS LANGUAGE SHALL BE INCLUDED ON ALL PLANS, PLATS, ORDINANCES, SUBDIVISION INDENTURES, AND OTHER APPROPRIATE (WRITTEN) DOCUMENTS FOR THIS DEVELOPMENT.
- THIS PROJECT IS APPROXIMATELY 2,000 FEET AWAY FROM SPIRIT'S RUNWAY 28L AND THEREFORE AIRCRAFT NOISE WILL BE NOTICEABLE AT THE SITE ON A DAILY BASIS.
- ALL PROPOSED UTILITIES SHALL BE INSTALLED UNDERGROUND.
- ANY MONUMENT SIGNS PROPOSED FOR THE DEVELOPMENT REQUIRES A SEPARATE APPROVAL PROCESS THRU THE CITY.
- STREETS SHALL BE PUBLIC 26' WIDE PAVEMENT IN 50' WIDE R.O.W.
- THE DEVELOPER IS RESPONSIBLE FOR MAINTAINING THE TEMPORARY WALK-OUT TERRACES FOR WEED AND EROSION CONTROL PRIOR TO FINAL HOME CONSTRUCTION.
- THE BUFFER/PRESERVATION AREA SHOWN HEREON AS REQUIRED BY MSD WILL BE MAINTAINED BY THE ARBORS AT WILMAS FARMS HOMEOWNER ASSOCIATION.

SITE INFORMATION

LOCATOR NUMBERS: 18V330035
 EXISTING ZONING: PUD (PLANNED UNIT DEVELOPMENT)
 GROSS AREA OF SITE: 50.5 ACRES
 DENSITY CALCULATIONS: 50.5 AC X 43,560 SQ.FT./AC. = 50 LOTS ALLOWED
 (43,560 SQ.FT./LOT)
 AVERAGE LOT SIZE: 23,012 S.F.
 MAXIMUM NUMBER OF UNITS ALLOWED: 50
 NUMBER OF UNITS PROPOSED: 47
 LOT DEVELOPMENT REQUIREMENTS:

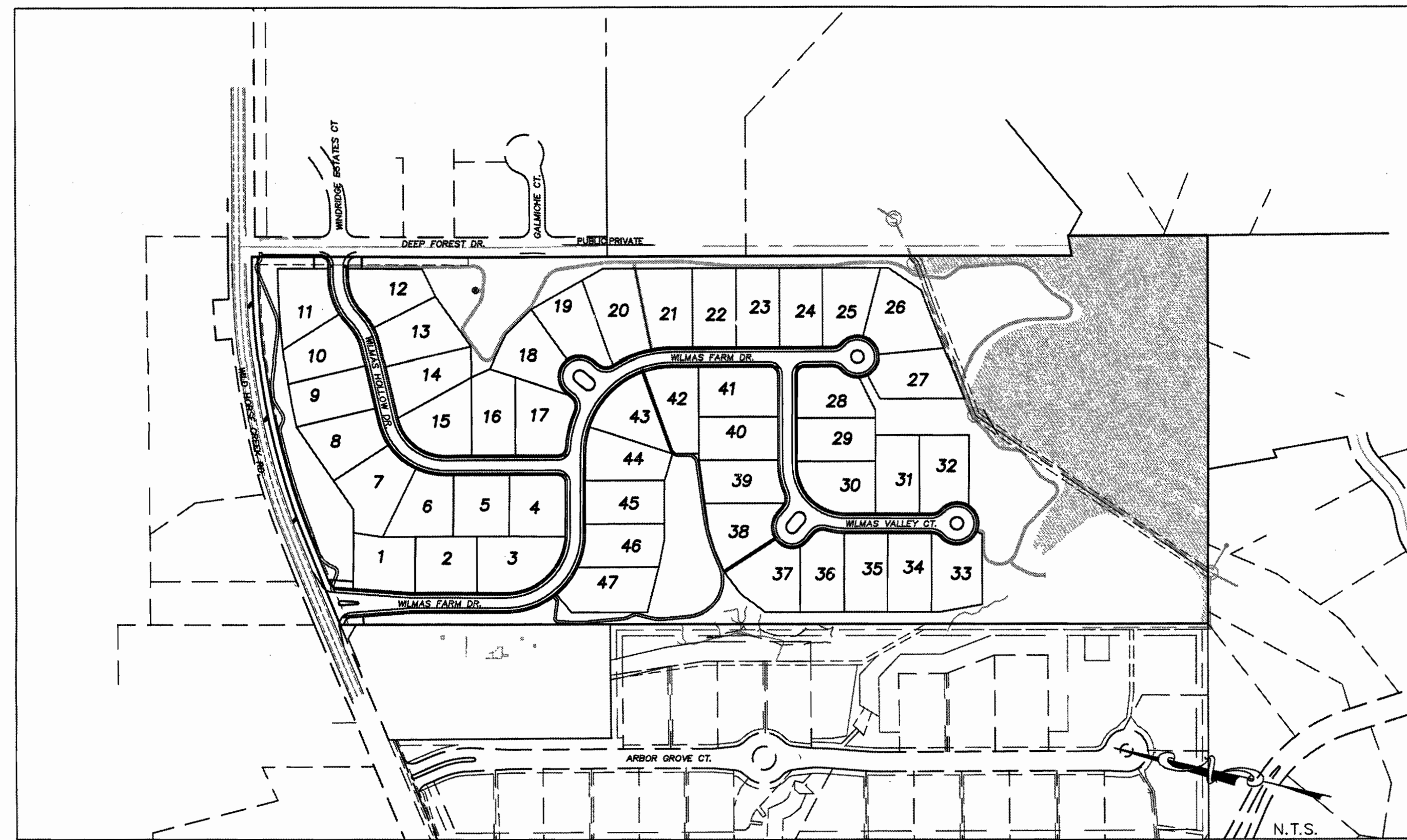
FRONT YARD SETBACK: 25'
 SIDE YARD SETBACK: 8' (MIN. 20' BETWEEN STRUCTURES)
 REAR YARD SETBACK: 25'
 MIN. LOTS SIZE: 22,000 SQ. FT.
 NUMBER OF PARKING SPACES REQUIRED: TWO PER UNIT = 94 SPACES
 NUMBER OF PARKING SPACES PROVIDED: 94
 PROPOSED STREETS SHALL BE PUBLIC 50' W. R.O.W. WITH 26' W. P.V.M. AND BUILT TO THE CITY OF CHESTERFIELD STANDARDS.
 RIGHT OF WAY AREA = 4.64 ACRES
 MOODY R/W DEDICATION = 0.34 ACRES
 COMMON GROUND = 0.25 ACRES WHICH EQUALS 0.5% OF THE SITE
 COMMON OPEN SPACE = 20.29 ACRES WHICH EQUALS 40.2% OF THE SITE
 FLOOD MAP: FEMA PANEL 29189C0145K DATED: FEB. 4, 2015
 TOTAL EX TREE AREA = 10.9 ACRES
 TOTAL TREE AREA TO REMAIN = 9.6 ACRES WHICH EQUALS 88% OF EXISTING TREE MASS



The Arbors at Wilmas Farm

A TRACT OF LAND BEING PART OF LOT 21 OF R.H. STEVENS FARM
 RECORDED IN PLAT BOOK 7 PAGE 37 OF THE ST. LOUIS CITY (FORMER COUNTY) RECORDS,
 LOCATED IN U.S. SURVEYS 122, 150, 102 AND 419, TOWNSHIP 45 NORTH, RANGE 3 EAST,
 CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI

SITE DEVELOPMENT PLAN



KEY MAP

PROPERTY DESCRIPTION

A TRACT OF LAND BEING PART OF LOT 21 OF R.H. STEVENS FARM RECORDED IN PLAT BOOK 7 PAGE 37 OF THE ST. LOUIS CITY (FORMER COUNTY) RECORDS, LOCATED IN U.S. SURVEYS 122, 150, 102 AND 419, TOWNSHIP 45 NORTH, RANGE 3 EAST, CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING AT AN IRON PIPE FOUND FOR THE NORTHEAST CORNER OF LOT 2 MARY SCHAEFFER ESTATE ADJUSTMENT AS RECORDED IN PLAT BOOK 352 PAGE 809 OF THE ABOVE MENTIONED RECORDER'S OFFICE, ALSO BEING ON THE SOUTH RIGHT OF WAY LINE OF WILDHORSE CREEK (60' W.) ROAD; THENCE ALONG THE SOUTH LINE OF SAID WILDHORSE CREEK ROAD THE FOLLOWING COURSES AND DISTANCES: NORTH 55°15'36" EAST, 205.89 FEET; ALONG AN ARC TO THE RIGHT HAVING A RADIUS OF 1880.08 FEET, AN ARC LENGTH OF 730.84 FEET AND A CHORD BEARING AND DISTANCE OF NORTH 68°23'46" EAST, 728.25 FEET; NORTH 77°32'38" EAST, 33.09 FEET TO THE INTERSECTION OF THE SOUTH RIGHT OF WAY LINE OF WILDHORSE CREEK ROAD AND THE WEST RIGHT OF WAY LINE OF DEEP FOREST (50' W.) DRIVE; THENCE ALONG THE WEST RIGHT OF WAY LINE OF SAID DEEP FOREST DRIVE, SOUTH 12°02'02" EAST, 544.62 FEET; THENCE CONTINUING ALONG SAID WEST RIGHT OF WAY LINE AND THE WEST LINE OF LOTS 2 AND 3 OF DEEP WOOD AS RECORDED IN PLAT BOOK 170 PAGE 24 OF THE ABOVE MENTIONED RECORDER'S OFFICE, SOUTH 12°28'58" EAST, 1524.13 FEET TO THE SOUTHWEST CORNER OF SAID LOT 3; THENCE ALONG THE SOUTH LINE OF SAID LOT 3, NORTH 67°20'48" EAST, 50.80 FEET TO THE NORTHWEST CORNER OF COMMON GROUND OF COUNTRY LAKE ESTATES AS RECORDED IN PLAT BOOK 345 PAGE 41 OF THE ABOVE MENTIONED RECORDER'S OFFICE; THENCE ALONG THE WEST LINE OF SAID COMMON GROUND AND THE WEST LINE OF LOT 37, SOUTH 12°28'58" EAST, 351.06 FEET TO AN OLD STONE FOUND FOR THE SOUTHEAST CORNER OF U.S. SURVEY 150 ALSO BEING THE NORTHEAST CORNER OF COMMON GROUND OF WILDHORSE VILLAGE B LOT 1 BOUNDARY ADJUSTMENT PLAT AS RECORDED IN PLAT BOOK 352 PAGE 879 OF THE ABOVE MENTIONED RECORDER'S OFFICE; THENCE ALONG THE NORTH LINE OF SAID COMMON GROUND, AND THE NORTH LINE OF ADJUSTED LOT 1 AND THE NORTH LINE OF LOT 603, COMMON GROUND AND LOT 347 OF WILDHORSE VILLAGE A AS RECORDED IN PLAT BOOK 310 PAGE 14 OF THE ABOVE MENTIONED RECORDER'S OFFICE, SOUTH 77°40'33" WEST, 985.34 FEET TO AN IRON PIPE FOUND FOR THE SOUTHEAST CORNER OF COMMON GROUND OF THE ARBORS AT WILDHORSE CREEK AS RECORDED IN PLAT BOOK 360 PAGE 220 OF THE ABOVE MENTIONED RECORDER'S OFFICE; THENCE ALONG THE EAST LINE OF SAID COMMON GROUND AND THE EAST LINE OF THE ABOVE MENTIONED LOT 2 OF MARY SCHAEFFER ESTATE ADJUSTMENT, NORTH 12°22'00" WEST, 2190.06 FEET TO THE POINT OF BEGINNING AND CONTAINING 2,200,997 SQUARE FEET (50,527.9 ACRES), MORE OR LESS, ACCORDING TO A SURVEY BY THE STERLING COMPANY DURING THE MONTH OF OCTOBER, 2013 UNDER ORDER NUMBER 13-08-285
 WILD HORSE CREEK FARMS INVESTMENTS, L.P., THE OWNERS OF THE PROPERTY SHOWN ON THIS PLAN FOR AND IN CONSIDERATION OF BEING GRANTED A PERMIT TO DEVELOP PROPERTY UNDER THE PROVISIONS OF THE CITY OF CHESTERFIELD UNIFIED DEVELOPMENT CODE SECTION 03-04, FOR P.U.D.'S OF THE CITY OF CHESTERFIELD ORDINANCE #2869, DO HEREBY AGREE AND DECLARE THAT SAID PROPERTY FROM THE DATE OF RECORDING THIS PLAN SHALL BE DEVELOPED ONLY AS SHOWN THEREON, UNLESS SAID PLAN IS AMENDED BY THE PLANNING COMMISSION, OR VOIDED OR VACATED BY ORDER OF ORDINANCE OF THE CITY OF CHESTERFIELD COUNCIL.

STATE OF MISSOURI
 COUNTY OF ST. LOUIS

ON THIS _____ DAY OF _____ A.D., 20____, BEFORE ME PERSONALLY APPEARED _____ TO ME KNOWN, WHO, BEING BY ME SWORN IN, DID SAY THAT HE/SHE IS THE _____ OF WILD HORSE CREEK FARMS INVESTMENTS, L.P., A CORPORATION IN THE STATE OF MISSOURI, AND THAT THE SEAL AFFIXED TO THE FOREGOING INSTRUMENTS IS THE CORPORATE SEAL OF SAID CORPORATION, AND THAT SAID INSTRUMENT WAS SIGNED ON BEHALF OF SAID CORPORATION BY AUTHORITY OF ITS BOARD OF DIRECTORS, AND THE SAID _____ ACKNOWLEDGED SAID INSTRUMENT TO BE THE FREE ACT AND DEED OF SAID CORPORATION.

IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY NOTARIAL SEAL, THE DAY AND YEAR FIRST ABOVE WRITTEN.

MY COMMISSION EXPIRES _____

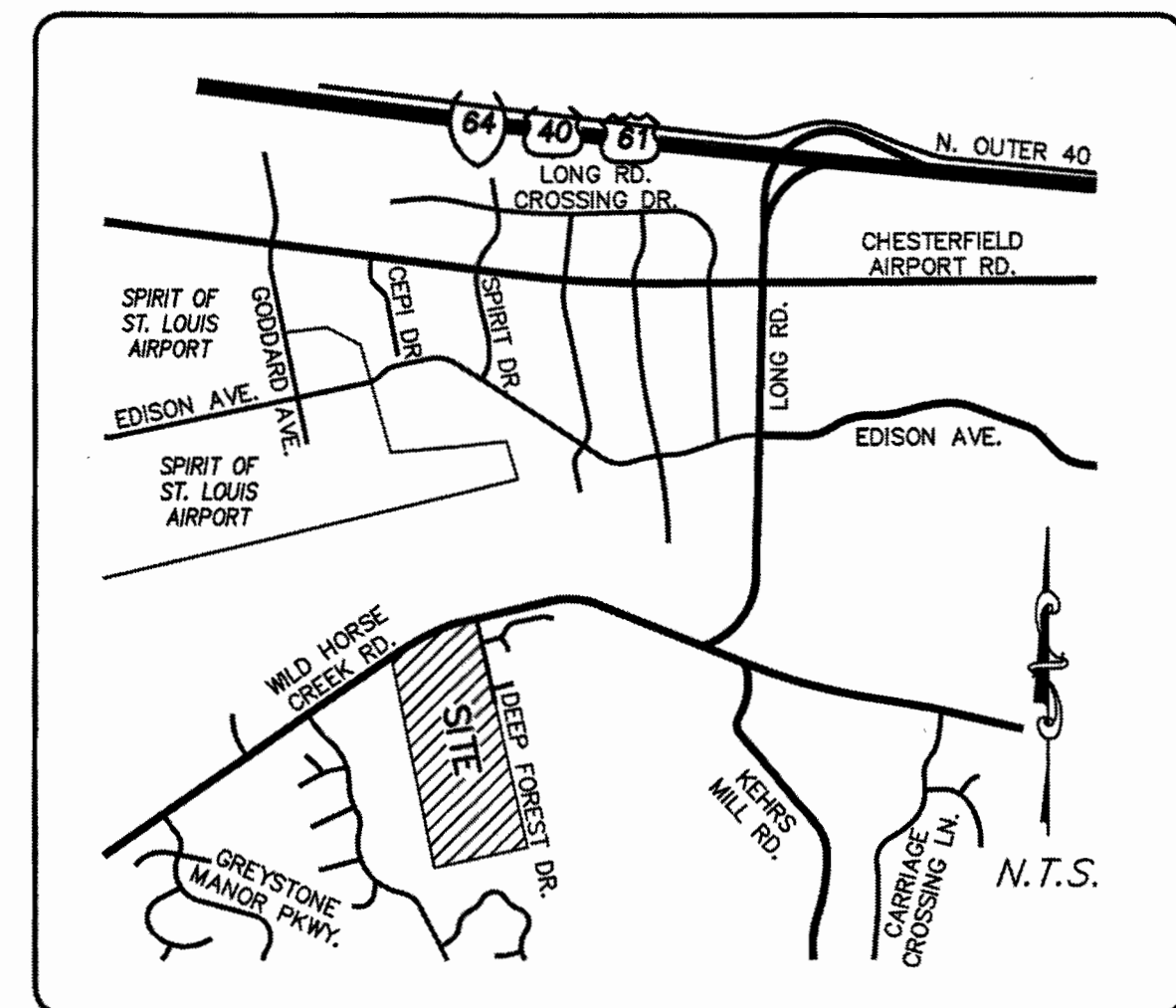
OWNER SIGNATURE _____
 OWNER PRINTED NAME _____

NOTARY PUBLIC

THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE CITY OF CHESTERFIELD PLANNING COMMISSION AND DULY VERIFIED ON THE _____ DAY OF _____ 20____ BY THE CHAIRPERSON OF SAID COMMISSION, AUTHORIZING THE RECORDING OF THIS SITE PLAN PURSUANT TO CHESTERFIELD ORDINANCE NUMBER 2869, AS ATTESTED TO BY THE PLANNING AND DEVELOPMENT SERVICES DIRECTOR AND THE CITY CLERK.

PLANNING AND DEVELOPMENT SERVICES DIRECTOR _____

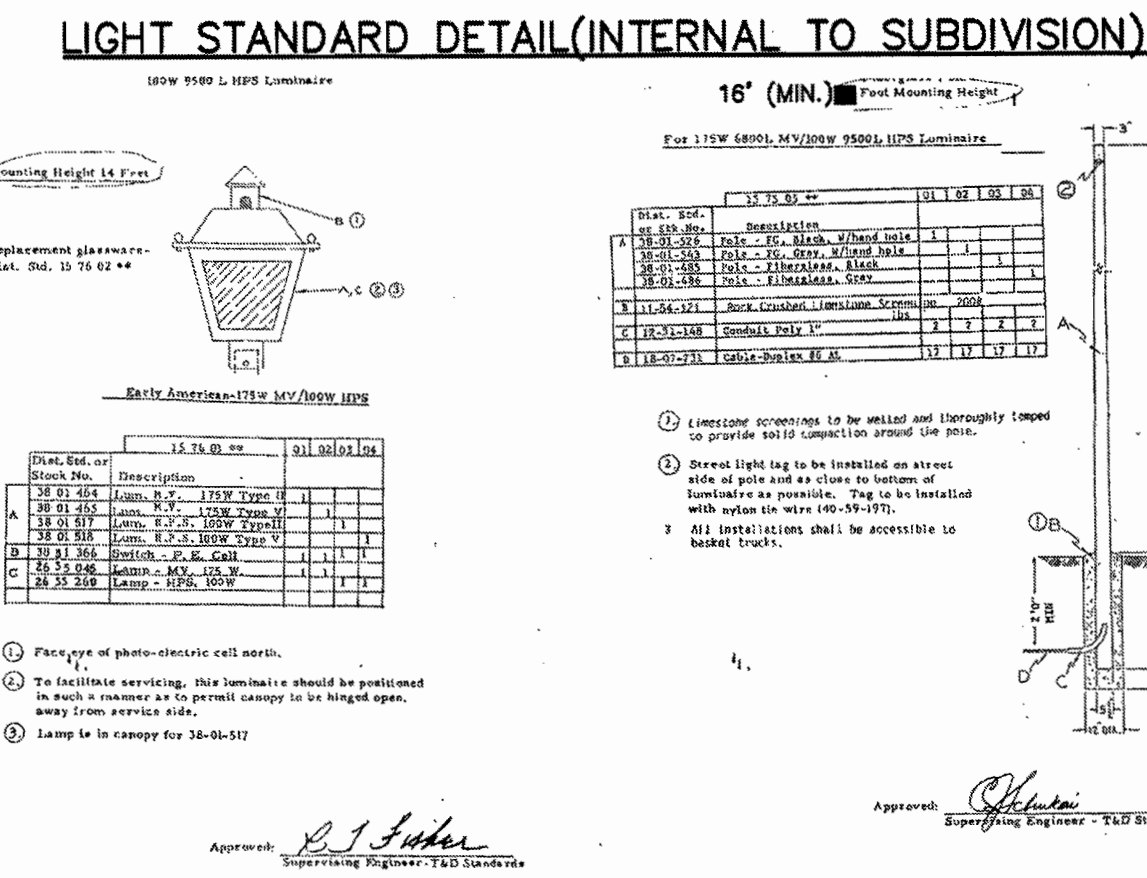
CITY CLERK _____



LOCATION MAP
 N.T.S.

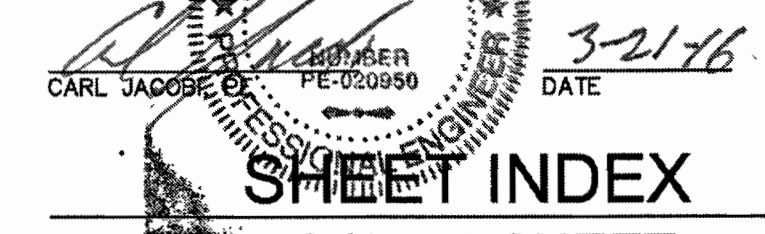
PROJECT ZIP CODE: 63005

EXISTING		PROPOSED	
542	CONTOURS	(-40)	
X536	SPOT ELEVATIONS	338.0	
---	CENTER LINE	---	
---	BUILDINGS, ETC.	---	
---	TREE LINE	---	
x	FENCE	---	
---	STORM SEWERS	---	
---	SANITARY SEWERS	---	
CB	CATCH BASIN	CB	
AI	AREA INLET	AI	
GI	GRATED INLET	GI	
SM	STORM MANHOLE	SM	
SM	SANITARY MANHOLE	SM	
FE	FLARED END SECTION	FE	
---	CLEANOUT	---	
---	LATERAL CONNECTION	---	
---	UTILITY OR POWER POLE	---	
---	FIRE HYDRANT	---	
---	TEST HOLE	---	
---	PAVEMENT	---	
2" G	GAS MAIN & SIZE	(2" G)	
6" W	WATER MAIN & SIZE	(6" W)	
T	TELEPHONE	(T)	
E	ELECTRIC (U) UNDERGROUND	(E)	
OHW	ELECTRIC (O) OVERHEAD	(OHW)	
E	FLOW LINE	(E)	
---	TO BE REMOVED	TBR	
TC	TOP OF CURB	(TC)	
---	SWALE	---	
LS	LIGHT STANDARD	LS	



GEOTECHNICAL STATEMENT

JACOBI GEOTECHNICAL HAS PROVIDED GEOTECHNICAL SERVICES FOR THE PROJECT PROPOSED HEREON. A GEOTECHNICAL INVESTIGATION WAS CONDUCTED DURING SEPTEMBER, 2015. THE DEVELOPMENT PROPOSED HEREON, OUR FINDINGS INDICATE THAT THE EARLY RELATED ASPECTS ARE SUITABLE FOR THE DEVELOPMENT PROPOSED PURSUANT TO THE GEOTECHNICAL RECOMMENDATIONS SET FORTH IN OUR GEOTECHNICAL REPORT DATED SEPTEMBER, 2015.

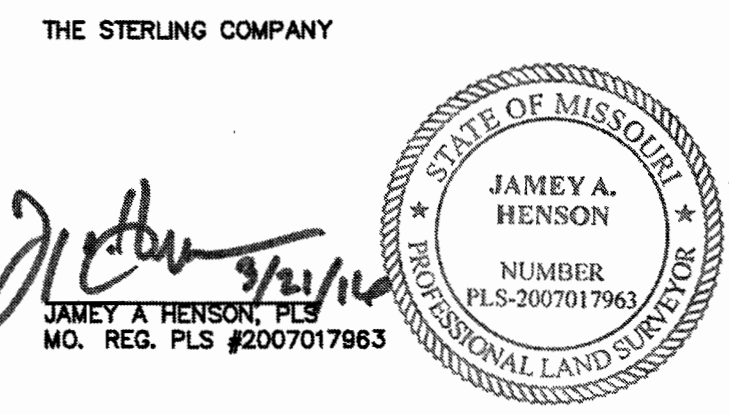


BENCHMARK INFORMATION

COUNTY BENCHMARK: 11-1 ELEVATION = 541.50' (NAVD 88)
 "STANDARD TABLE" STAMPED 96-75 S.L.C. SET IN WEST END OF NORTH HEADWALL OF SMALL DRAIN CROSSING UNDER WILD HORSE CREEK ROAD; 0.4 MILE EAST OF THE CHESTERFIELD SCHOOL, 75' EAST OF GRAVEL DRIVE AT #17531 WILD HORSE CREEK ROAD.
 SITE BENCHMARK: ELEVATION = 542.81' (NAVD 88)
 FOUND IRON PIPE WITH CAP FOUND AT THE NORTHWEST CORNER OF THE SUBJECT TRACT.

SURVEYORS CERTIFICATION

THIS IS TO CERTIFY THAT WE HAVE, DURING THE MONTH OF MAY, 2015, AT THE REQUEST OF WILMAS FARM, L.L.C., PREPARED A PRELIMINARY DEVELOPMENT PLAN OF THE ARBORS AT WILMAS FARM, A TRACT OF LAND BEING PART OF LOT 21 OF R.H. STEVENS FARM RECORDED IN PLAT BOOK 7 PAGE 37 OF THE ST. LOUIS CITY (FORMER COUNTY) RECORDS, LOCATED IN U.S. SURVEYS 122, 150, 102 AND 419, TOWNSHIP 45 NORTH, RANGE 3 EAST, CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI. THIS PLAN IS NOT A SURVEY AND DOES NOT MEET THE "MISSOURI MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS" (10 CSR 30-2 AND 4 CSR 30-16 EFFECTIVE DATE DECEMBER 30, 1994).



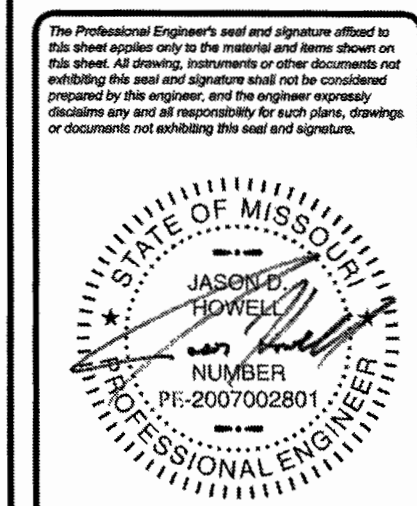
RECEIVED
 JUN - 2 2016
 City of Chesterfield
 Department of Public Services

ISSUE	REMARKS/DATE
1	9-14-15 Initial Submittal
2	10-23-15 Rev. per Monarch Fire & MSD
3	11-3-15 Rev. per City Comments
4	12-23-15 Rev. per City Comments
5	1-20-16 Rev. per City Comments
6	2-05-16 Rev. per City Comments
7	3-07-16 Revised per City Comments
8	3-21-16 Revised per City Comments
9	

WILMAS FARM, L.L.C.
 5091 New Baumgartner Road
 St. Louis, Missouri 63129
 Ph: (314) 487-8617

THE STERLING CO.
 ENGINEERS & SURVEYORS
 5055 New Baumgartner Road
 St. Louis, Missouri 63129
 Ph: 314-487-0440 Fax: 314-487-8944
 www.sterling-eng-survey.com
 Corporate Certificate of Authority #001348

The Arbors at Wilmas Farm
 Chesterfield, Missouri
 SITE DEVELOPMENT PLAN



Date: 03/21/2016
 JASON D. HOWELL
 License No. 2007002801
 CIVIL ENGINEER
 Job Number: 15-03-091
 Date: 03/21/2016
 Designed: JH Sheet
 Drawn: PT 1.1
 Checked: JH SDP

MSD Base Map 18-V

Drawing name: V:\1503091 Land\Drawings\Engineering\Improvements\1503091 SDP.dwg Plotted on: Mar 21, 2016 - 8:00am Plotted by: jhowell

N/F
INVESTMENT CONSULTANT GROUP INC.
D.B. 14761 PG. 2492
LOC.# 18V63-0027
17455 WILD HORSE CREEK RD.

LOT 1
N/F
LOVELESS
JOHN F. & CHRISTINE E.
D.B. 12744 PG. 1528
LOC.# 18V62-0073
1500 (TITLE ITEM #6)
17437 GALMICHE CT.

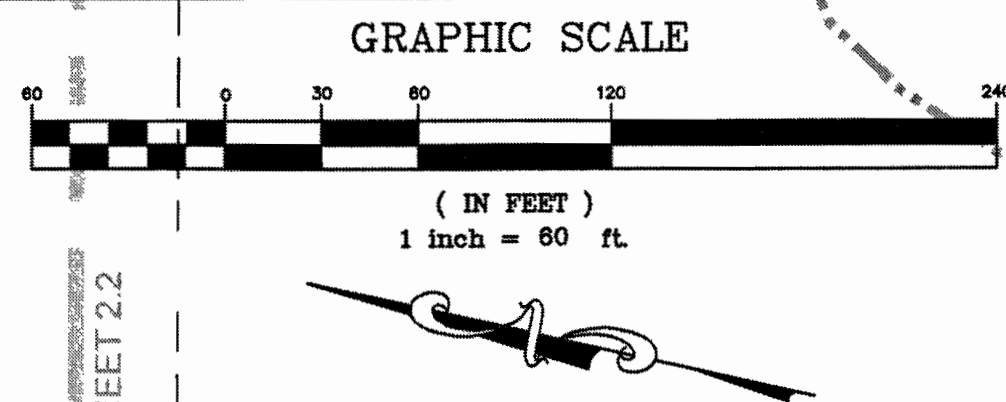
N/F
VESSELL
MICHAEL & CATHI
D.B. 12306 PG. 644
LOC.# 18V61-0062
17436 WINDRIDGE
ESTATES CT.

N/F
ANDERSON
ROBERT T.
D.B. 12402 PG. 1634
LOC.# 18V62-0172
1109 WINDRIDGE
ESTATES LN.

LOT 12
N/F
GALMICHE
JEFFREY V. & DUANNE A.
D.B. 11043 PG. 1090
LOC.# 18V62-0183
17511 GALMICHE CT.

LOT 15
N/F
JONES
JOBIE B.
D.B. 21074 PG. 2206
LOC.# 18V62-0215
17510 GALMICHE CT.

LOT 2
N/F
KENNEDY, MICHAELA
D.B. 16623 PG. 2304
LOC.# 18V62-0051
1122 DEEP FOREST DRIVE

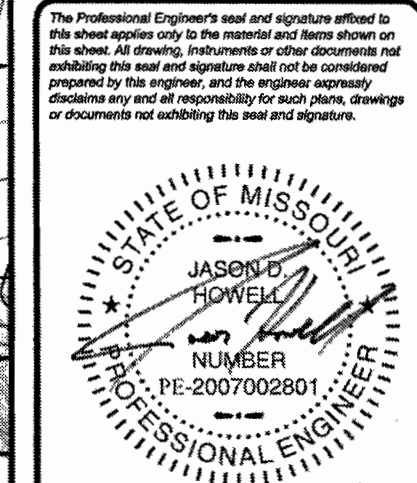


ISSUE	REMARKS/DATE
1	12-14-15 Initial Submittal
2	10-23-15 Rev. per Monarch Firm & MSD
3	11-15-15 Rev. per City Comments
4	12-23-15 Rev. per City Comments
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6	2-05-16 Rev. per City Comments
7	3-07-16 Rev. per City Comments
8	3-21-16 Rev. per City Comments
9	4-05-16 Rev. per City Comments

WILMAS FARM, L.L.C.
5091 New Baumgartner Road
St. Louis, Missouri 63129
Ph: (314) 487-1617

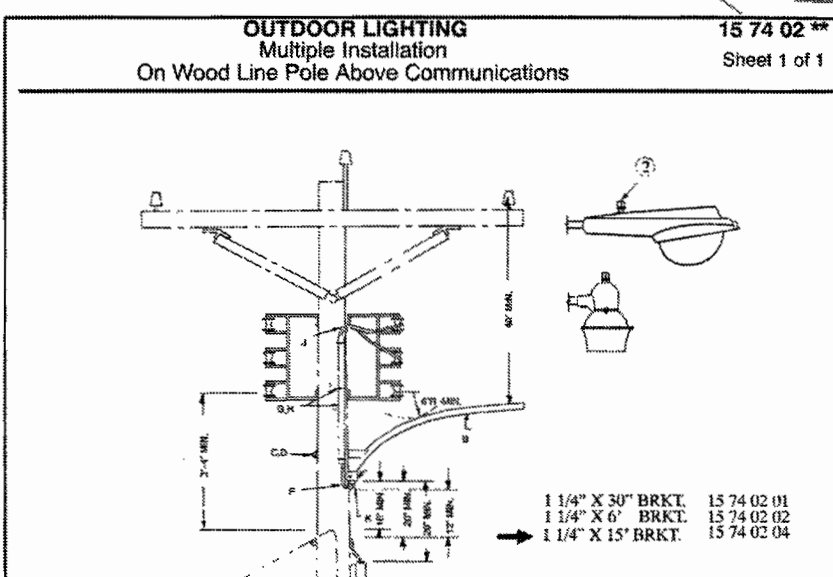
THE STERLING CO.
ENGINEERS & SURVEYORS
5055 New Baumgartner Road
St. Louis, Missouri 63129
Ph 314-487-0440 Fax 314-487-8944
www.sterling-eng-srv.com
Corporate Certificate of Authority #001048

The Arbors at Wilmas Farm
Chestertfield, Missouri
SITE DEVELOPMENT PLAN



Date: 04/05/2016
JASON D. HOWELL
License No. 2007002801
CIVIL ENGINEER

Job Number: 15-03-091
Date: 04/05/2016
Designed: JH Sheet: 2.1
Drawn: PT
Checked: JH SDP



Notes:
1. See Dist. Std. 15.00 01 01 for correct bracket to use.
2. Face eye of photograph north.

Sheet / Sck.	Description	15 74 02	01	02	04
B	30' 01' 417	1	1	1	1
C	30' 01' 249	1	1	1	1
D	30' 01' 700	1	1	1	1
E	30' 01' 063	1	1	1	1
F	30' 01' 027	1	1	1	1
G	30' 01' 027	1	1	1	1
H	30' 01' 104	1	1	1	1
I	30' 01' 104	1	1	1	1
J	30' 01' 027	1	1	1	1
K	30' 01' 027	1	1	1	1
L	30' 01' 027	1	1	1	1

DISTRIBUTION CONSTRUCTION STANDARDS Ameren ENG:WYV REV. NO. 3 REV. DATE: 01/21/10 Page 15 - 20

DUSK TO DAWN LIGHT DETAIL

N/F
DONALD R. BOWERS
TRUSTEE
D.B. 17925 PG. 1132
LOC.# 18V61-0098
17529 WILD HORSE CREEK RD.

R.H. STEVENS FARM
PART OF LOT 21
BOUNDARY ADJUSTMENT PLAT
(P.B. 353 PG. 955)

5' W. MEANDERING SIDEWALK, WITHIN 6' W. SIDEWALK, MAINTENANCE AND UTILITY EASEMENT DEDICATED TO THE CITY OF CHESTERFIELD FOR PUBLIC USE

R.O.W. DEDICATION
D.B. 1191 PG. 245
D.B. 1259 PG. 67

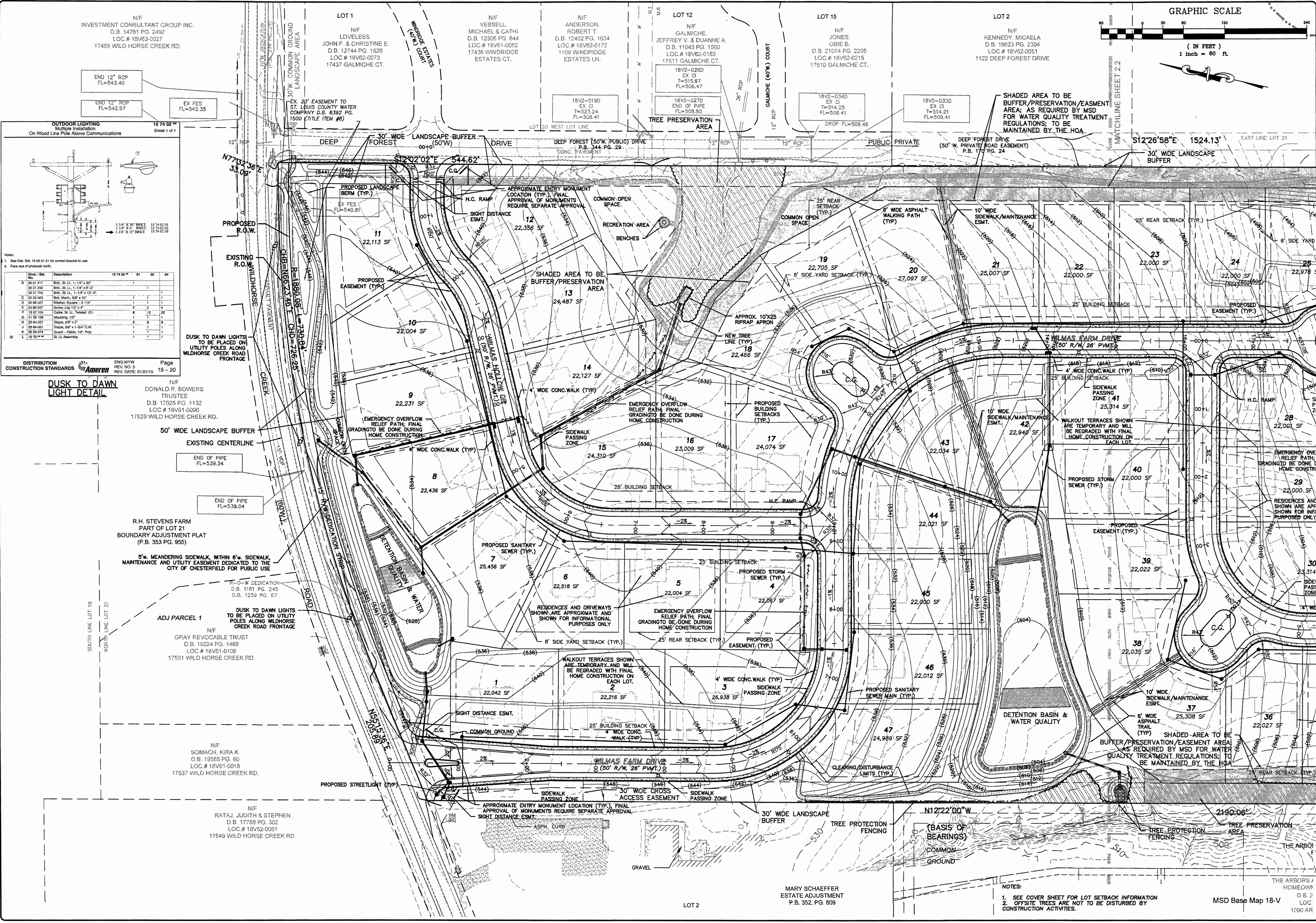
ADJ PARCEL 1

N/F
GRAY REVOCABLE TRUST
D.B. 19224 PG. 1489
LOC.# 18V61-0106
17531 WILD HORSE CREEK RD.

N/F
SOMACH, KIRA K.
D.B. 19555 PG. 60
LOC.# 18V61-0018
17537 WILD HORSE CREEK RD.

N/F
RATAJ, JUDITH & STEPHEN
D.B. 17759 PG. 302
LOC.# 18V62-0061
17549 WILD HORSE CREEK RD.

Drawing name: C:\Users\jhowell\appdata\local\temp\1274816150391_SDP.dwg Plotted on: May 28, 2016 - 1:50pm Plotted by: jhowell

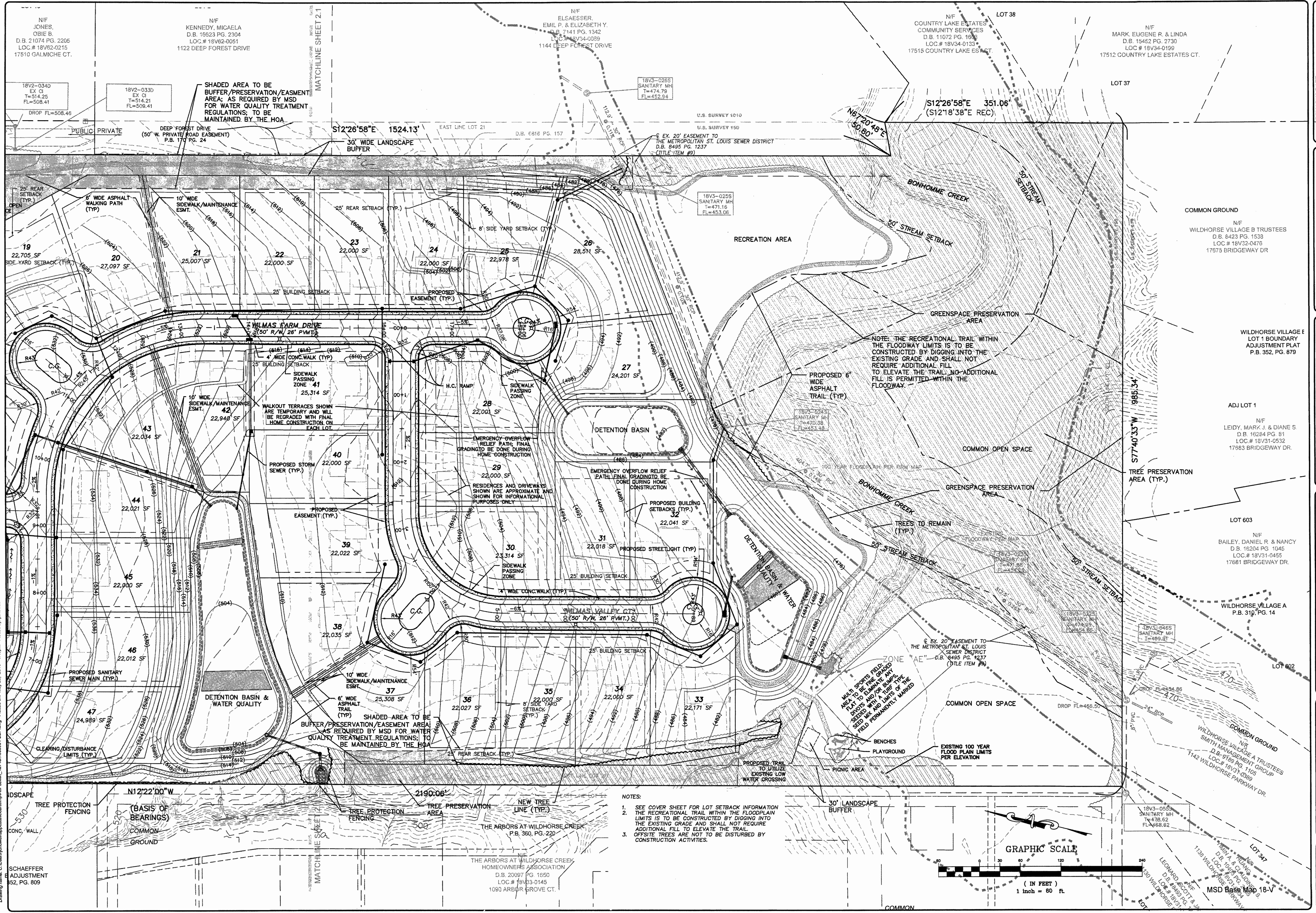


NOTES:
1. SEE COVER SHEET FOR LOT SETBACK INFORMATION
2. OFFSITE TREES ARE NOT TO BE DISTURBED BY CONSTRUCTION ACTIVITIES.

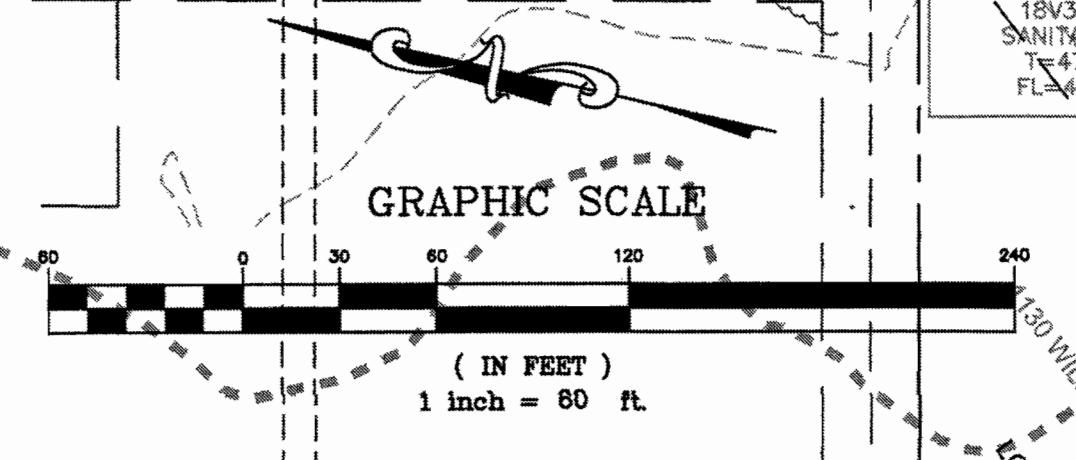
MSD Base Map 18-V
1090 AR

MARY SCHAEFFER
ESTATE ADJUSTMENT
P.B. 352, PG. 809

THE ARBORS /
HOMEOWN
D.B. 2
LOC.
1090 AR



- NOTES:
- SEE COVER SHEET FOR LOT SETBACK INFORMATION
 - THE RECREATIONAL TRAIL WITHIN THE FLOODPLAIN LIMITS IS TO BE CONSTRUCTED BY DIGGING INTO THE EXISTING GRADE AND SHALL NOT REQUIRE ADDITIONAL FILL TO ELEVATE THE TRAIL.
 - OFFSITE TREES ARE NOT TO BE DISTURBED BY CONSTRUCTION ACTIVITIES.



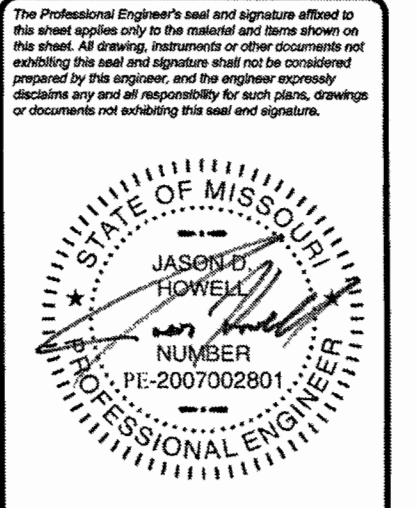
ISSUE REMARKS/DATE

1	12-14-15 Initial Submittal
2	10-23-15 Rev. per Monarch, Fire & MSD
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4	12-23-15 Rev. per City Comments
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 www.sterling-eng-sur.com
 Corporate Certificate of Authority #001946

The Arbors at Wilmas Farm
 CHESTERFIELD, MISSOURI
 SITE DEVELOPMENT PLAN



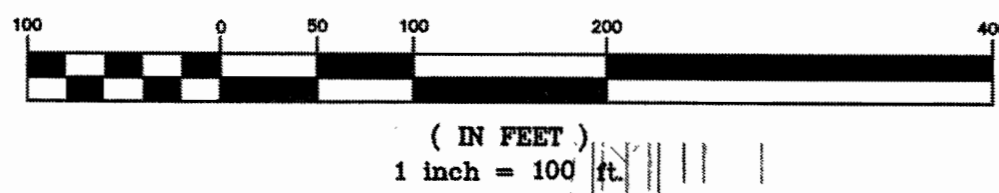
Date: 04/05/2016
 JASON D. HOWELL
 License No. 2007002801
 CIVIL ENGINEER

Job Number: 15-03-091
 Date: 04/05/2016
 Designed: JH Sheet: 2.2
 Drawn: PT
 Checked: JH SDP



AERIAL PHOTO
N.T.S.

GRAPHIC SCALE



The Arbors at Wilmas Farm

A TRACT OF LAND BEING PART OF LOT 21 OF R.H. STEVENS FARM
RECORDED IN PLAT BOOK 7 PAGE 37 OF THE ST. LOUIS CITY (FORMER COUNTY) RECORDS,
LOCATED IN U.S. SURVEYS 122, 150, 102 AND 419, TOWNSHIP 45 NORTH, RANGE 3 EAST,
CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI

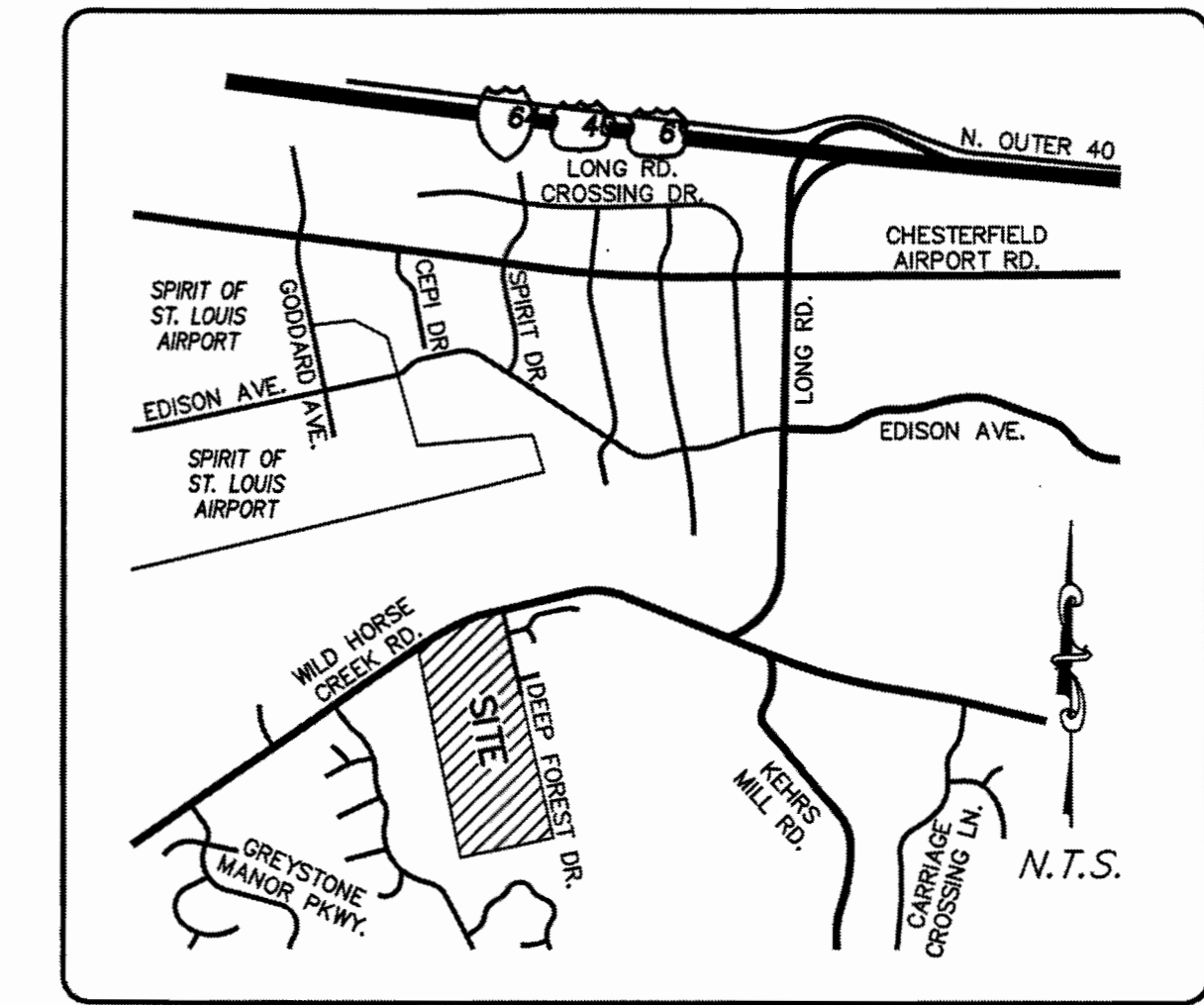
Natural Resource Map

	Existing Tree Mass
	Hydrologic Group "C/D" Soils
	Hydrologic Group "C" Soils
	Areas of Slopes in Excess of 20%
	Regulated Waters

NATURAL RESOURCE	PRESENCE	ADDITIONAL INFORMATION
Wetlands	Yes	Southwest corner of site.
Streams and Floodplains	Yes	Bonhomme Creek tributaries flow through site. Southern portion of site is located in the 100 year floodplain. Stream buffer requirements apply.
Karst	No	
Ponds	No	

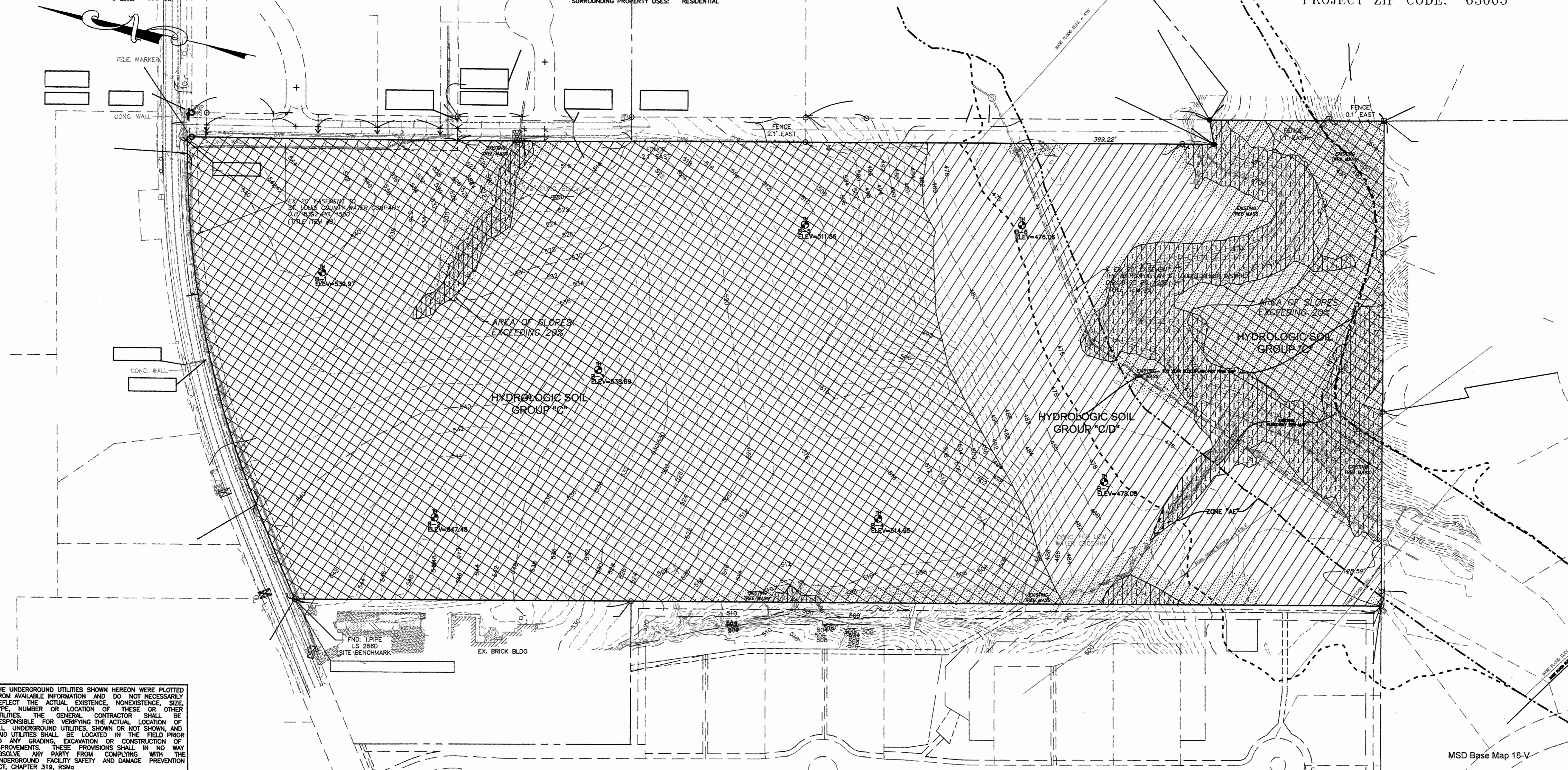
SITE INFORMATION:

EXISTING USE: VACANT
SURROUNDING PROPERTY USES: RESIDENTIAL



LOCATION MAP
N.T.S.

PROJECT ZIP CODE: 63005



THE UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NONEXISTENCE, SIZE, TYPE, NUMBER OR LOCATION OF THESE OR OTHER UTILITIES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND UTILITIES, SHOWN OR NOT SHOWN, AND SAID UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319, RSMo

ISSUE	REMARKS/DATE
1	INITIAL SUBMITTAL 05-01-15
2	Revised Per Chesterfield Comments 6-30-15
3	Revised Per Verbal City Comments 7-21-15
4	
5	
6	
7	
8	
9	

Wilmas Farm, LLC
5091 New Baumgartner Road
St. Louis, Missouri 63129
Ph: (314) 487-5617

THE STERLING CO.
ENGINEERS & SURVEYORS
5055 New Baumgartner Road
St. Louis, Missouri 63129
Ph 314-487-8440 Fax 314-487-8844
Corporate Certificate of Authority #001348

The Arbors at Wilmas Farm
Chesterfield, Missouri
PRELIMINARY DEVELOPMENT PLAN
NATURAL RESOURCE MAP

THE PROFESSIONAL ENGINEER'S SEAL AND SIGNATURE AFFIXED TO THIS DRAWING IS VALID ONLY FOR THE WORK AND DATE SHOWN ON THE SEAL. ALL DRAWING, INSTRUMENTS OR OTHER DOCUMENTS NOT ENDORSED BY THE ENGINEER AND HIS SIGNATURE SHALL BE CONSIDERED UNAUTHORIZED BY THE ENGINEER, AND THE ENGINEER ACCEPTS NO LIABILITY FOR ANY ERRORS OR OMISSIONS NOT ENDORSED BY THE SEAL AND SIGNATURE.

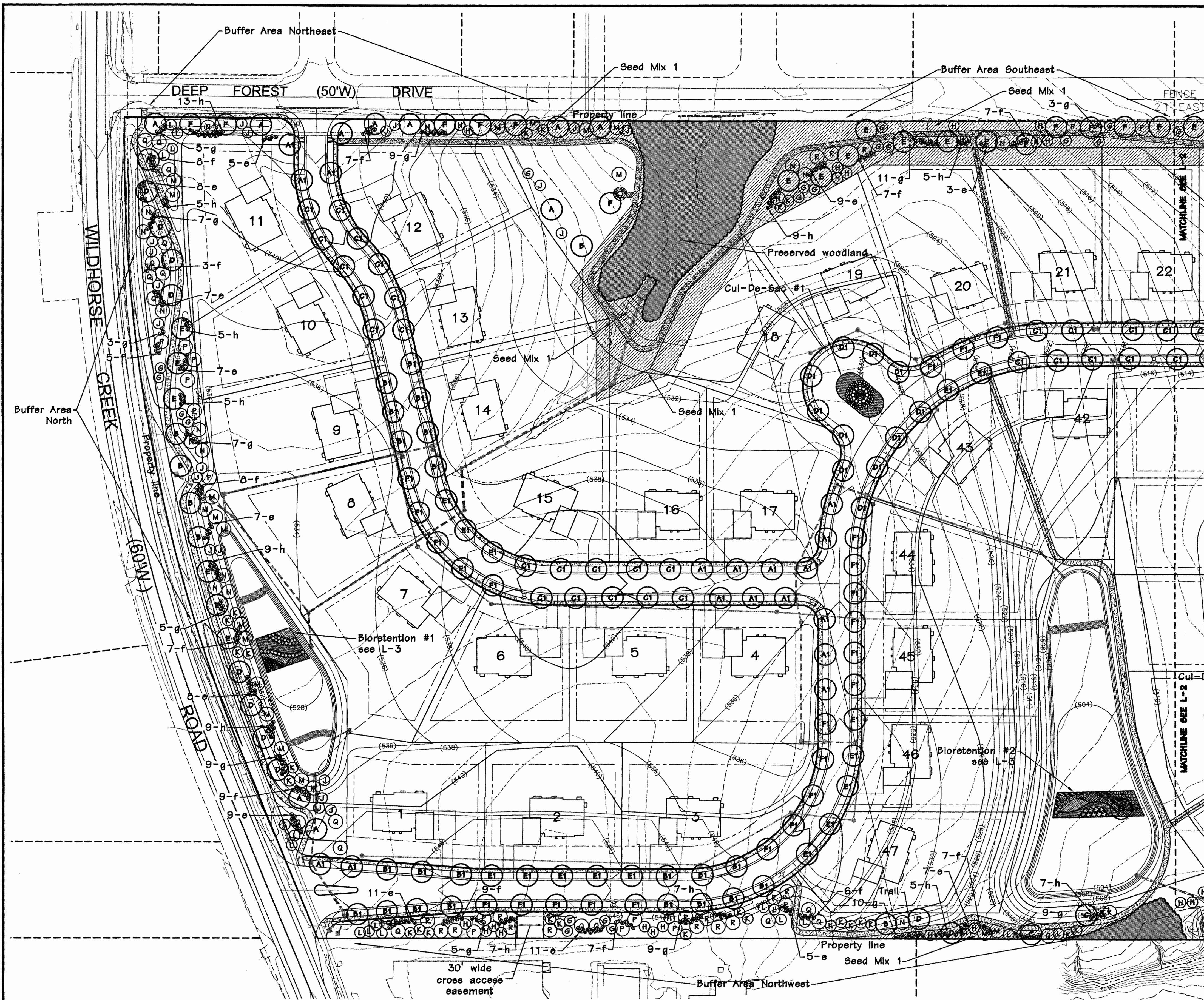
STATE OF MISSOURI
JASON D. HOWELL
NUMBER
PE-200702801
PROFESSIONAL ENGINEER

Date: 03-21-16
Jason D. Howell
License No. 200702801
Civil Engineer

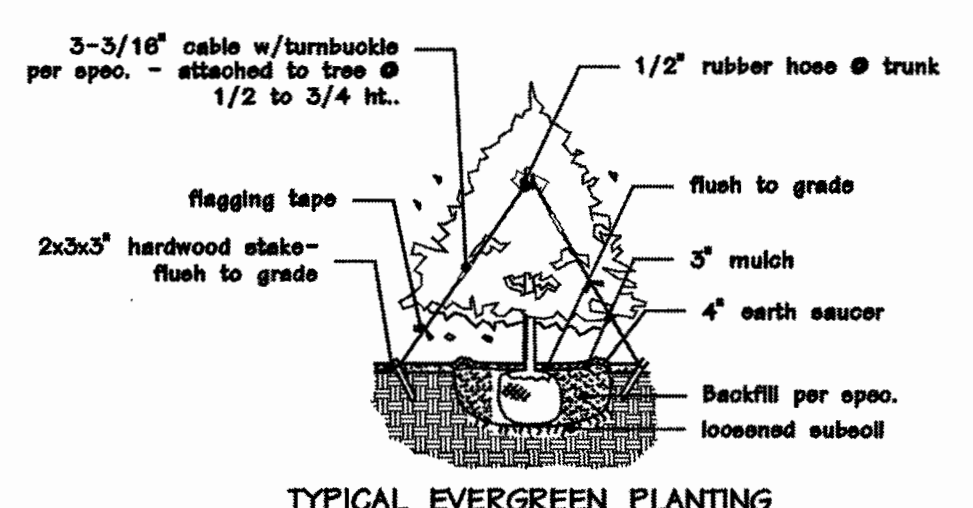
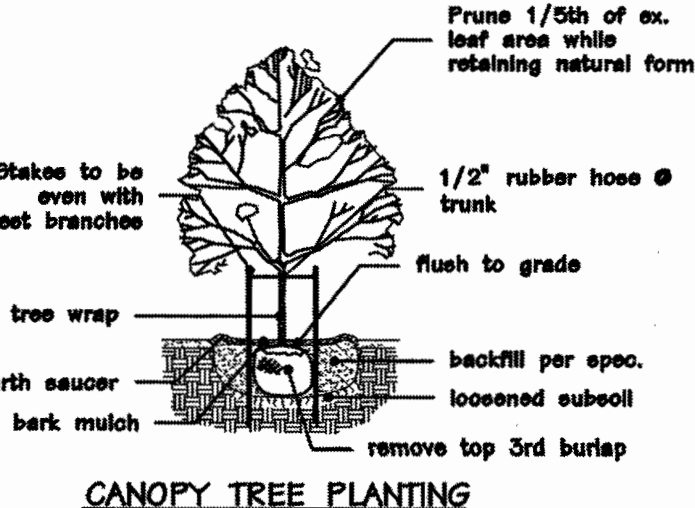
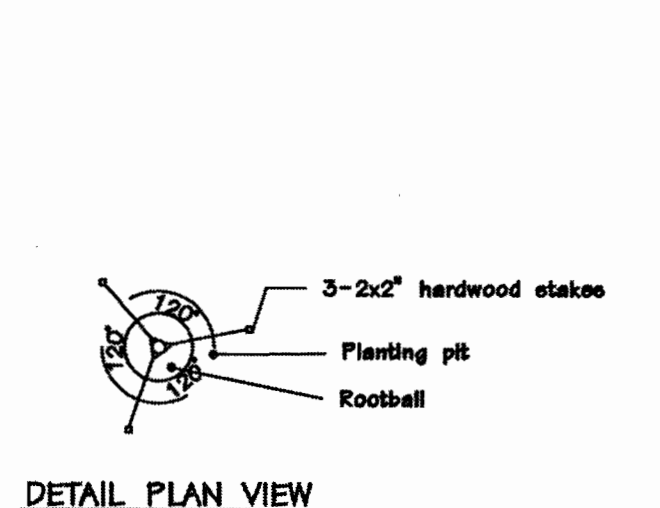
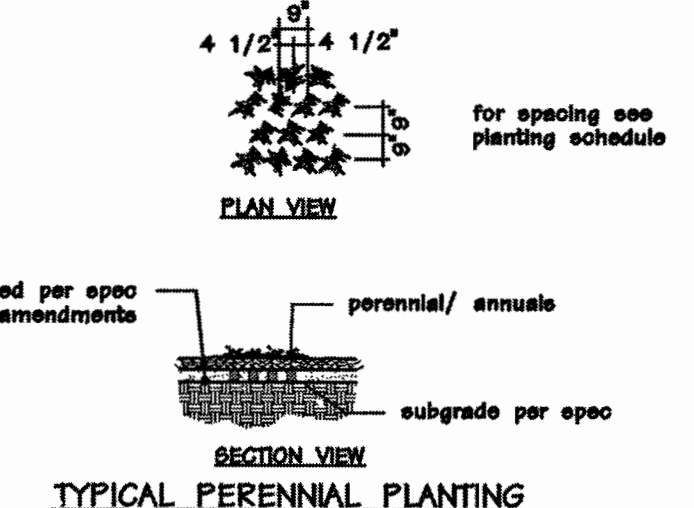
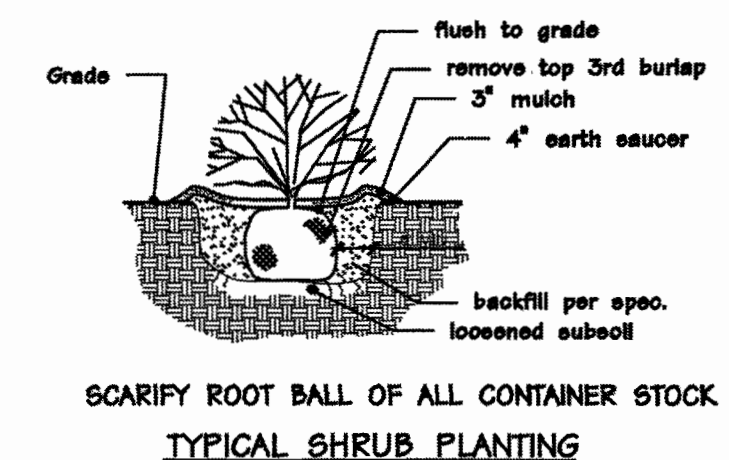
Job Number
15-03-091
Date
March 21, 2016
Designed: MF Sheet
Drawn: LG **4.1**
Checked: SDP

MSD Base Map 18-V

Drawing name: V:\1503091\Landscaping\Drawings\Preliminary\3091 NRR1.dwg Plotted on: May 26, 2016 - 1:52pm Plotted by: jhowell



LANDSCAPE PLAN
SCALE 1"=60'



NATIVE PLANTING NOTES AND CONDITIONS:

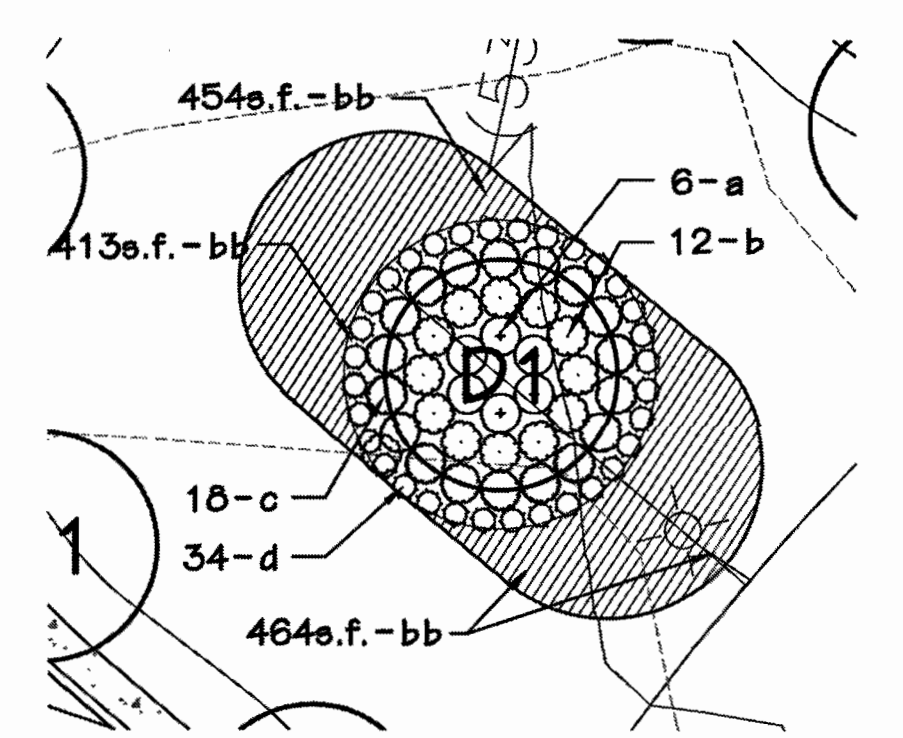
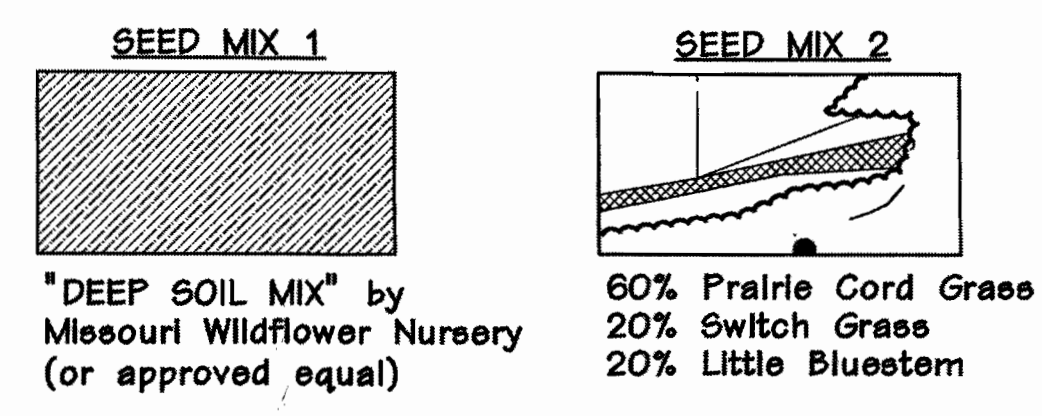
1. Contractor must submit shop drawings to MSD addressing soil prep. and erosion mat placement.
2. Contractor must provide Soil Testing to determine the necessary nutrients to provide optimal plant growth after grading is complete.
3. Contractor to state what herbicides will be used prior to seed placement.
4. Contractor shall provide anticipated schedule of work to be done.
5. When establishing the Native Grass Buffer the Contractor must provide straw on the flat areas, Coir blanket or straw mat on 3:1 slopes, and Exceelor Wood Fiber Mat or approved equal for the swale areas. Apply seed mix, then set the straw and Mat over the mix.

"DEEP SOIL MIX" by Missouri Wildflower Nursery Contains the Following Species:

Indian paintbrush, an aster species, white indigo, large-flowered coreopsis, pale purple coneflower, blue wild indigo, rattlesnake master, wingstem, prairie blazing star, shining blue star, wild quinine, foxglove beardtongue, purple prairie clover, gray-head coneflower, blackeyed susan, sweet coneflower, blue sage, lead plant, slender mountain mint, a milkweed species, false alo, prairie cord grass, switch grass, and little bluestem.

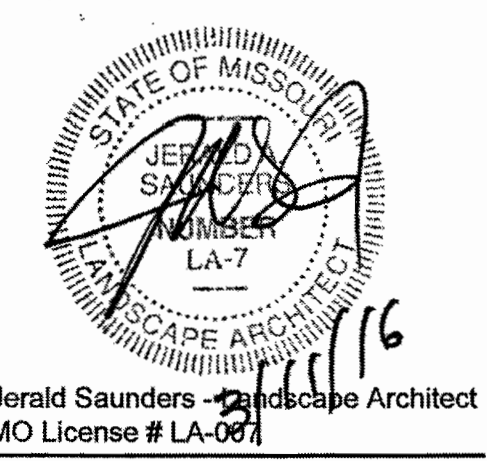
- * Seed Mix 1 to be seeded at a rate of 9 lbs per acre.
- * Seed Mix 2 to be seeded at a rate of 10 lbs per acre.

NOTE:
All non-preserved areas to be cleared and grubbed to allow for installation of new plantings.



CUL-DE-SAC #1
SCALE 1"=20'

NOTE:
Open Space: 20.29 Ac. or 40.2%



Consultants:

The Arbors at Wilmas Farm
Chesterfield, Missouri

Revisions:

Date	Description	No.
12/16/15	City Comments	1
12/24/15	Base Revision	2
1/19/16	City Comments	3
3/11/16	Base Revision	5

Drawn: LH
Checked: JG

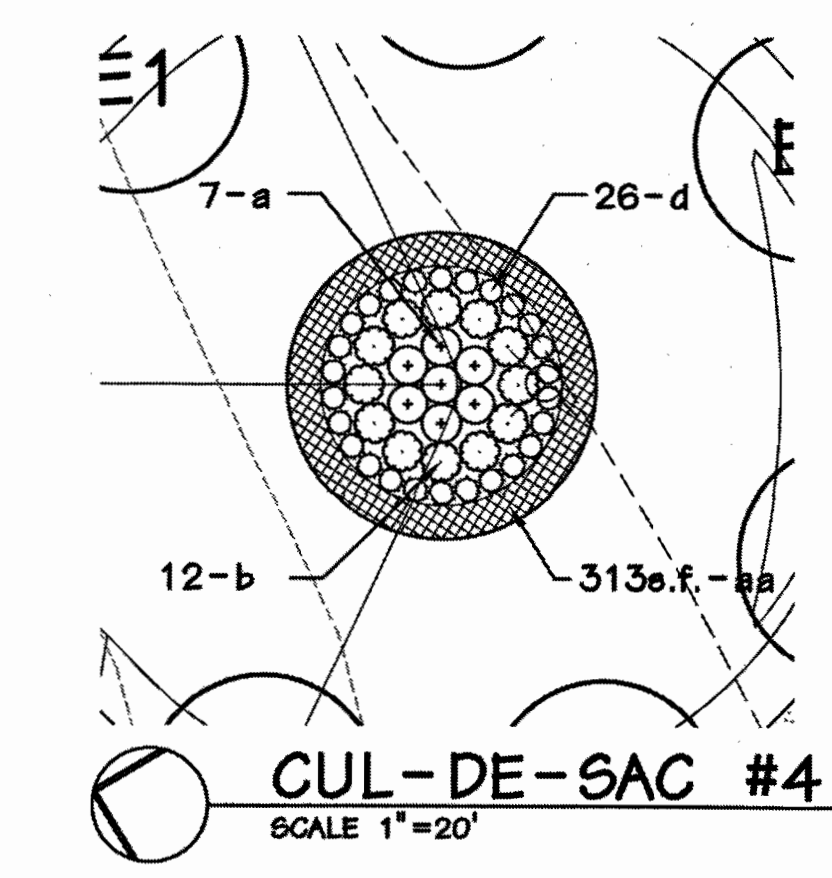
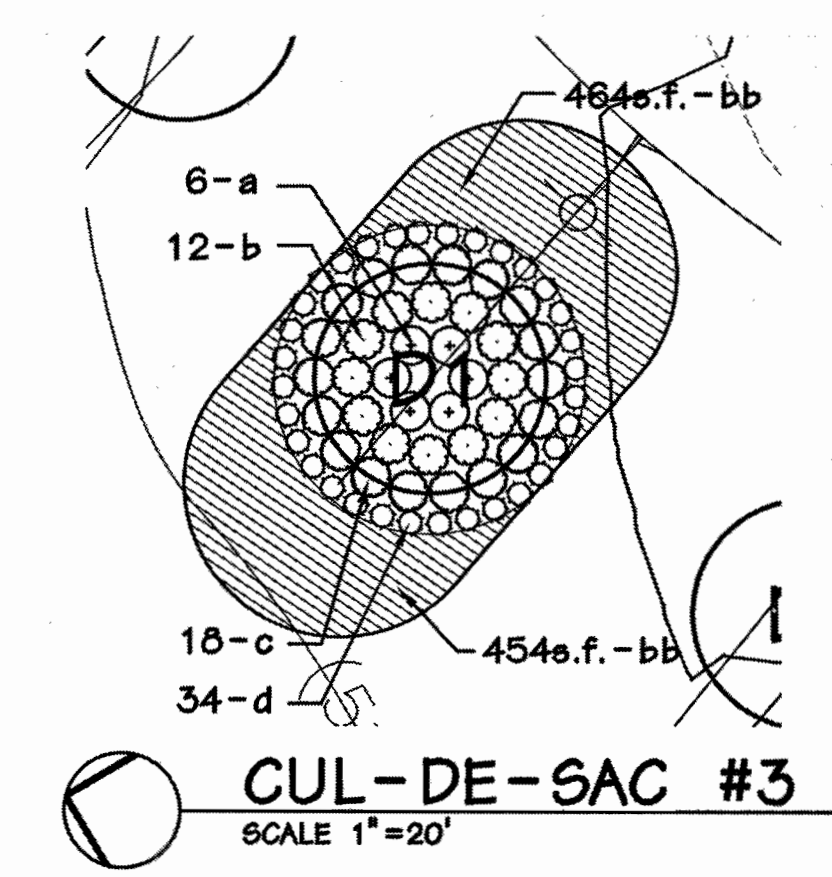
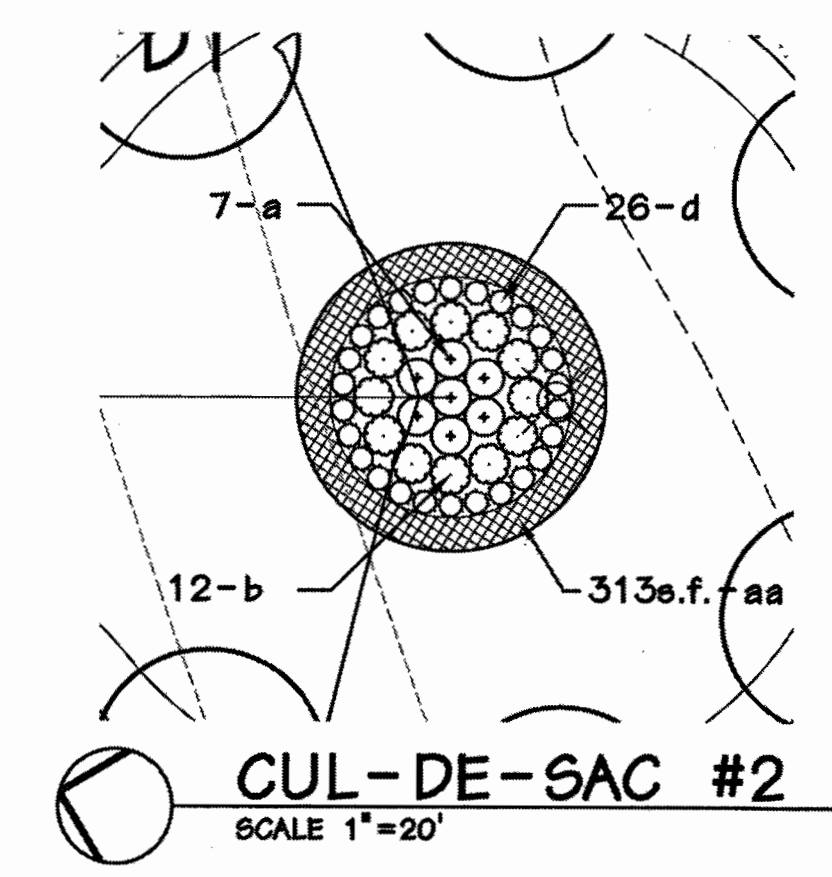
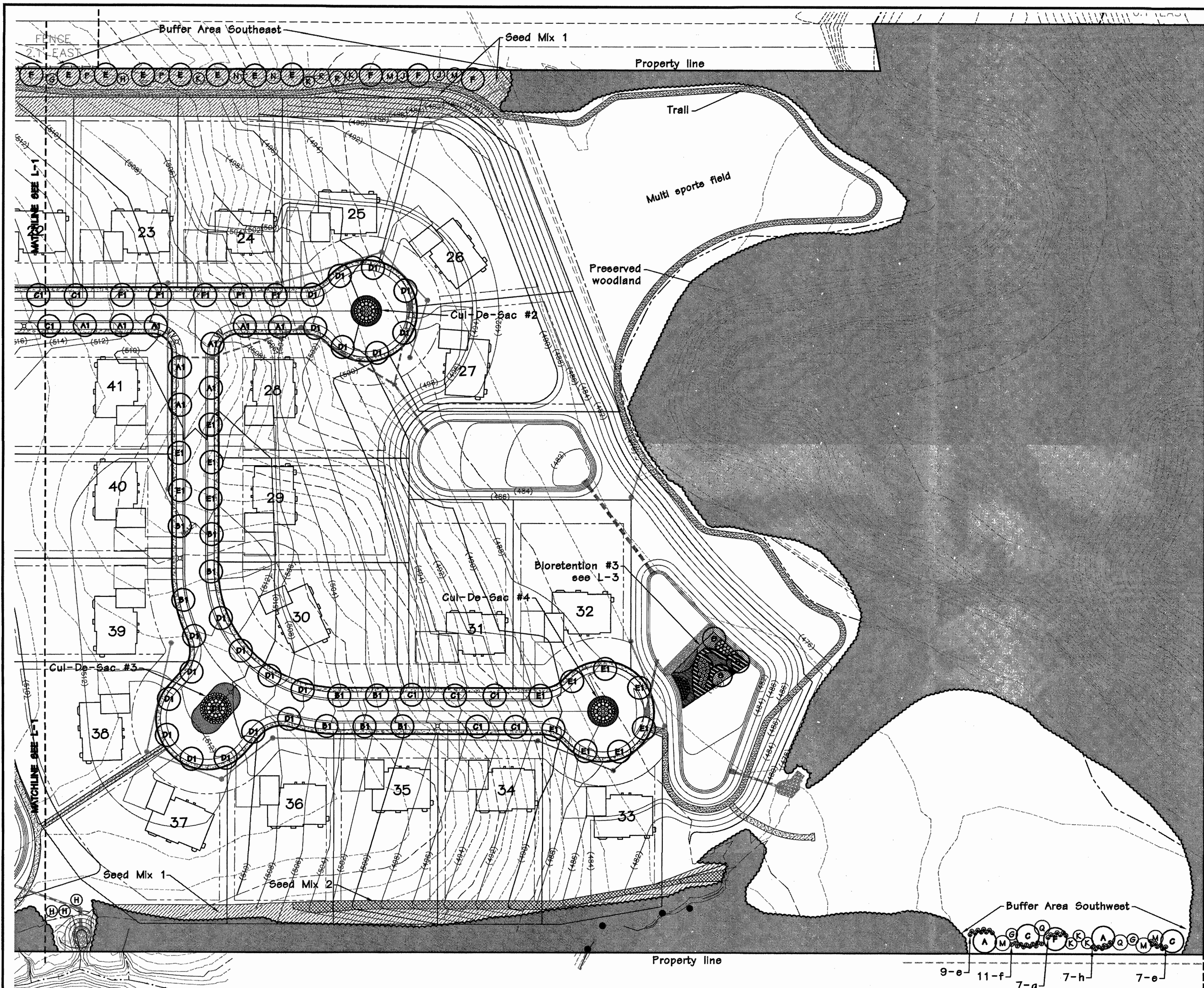
loomisAssociates
landscape architects/planners
207 Spirit of Park Drive, Suite 135
Chesterfield, MO 63051-3665
Tel: 636.519.0797
e-mail: info@loomis-associates.com

Loomis Associates Inc.
Missouri State Certificate of Authority #: LAC #000019

Sheet Title: **Landscape Plan**

Sheet No: **L-1**

Date: 11/13/15
Job #: 955.002

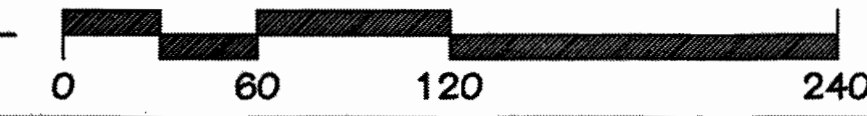


Provided Landscape:

- A) Street Trees**
 1. Street trees shall be installed a minimum of every 40 LF of proposed lot frontage. 7,001 LF ÷ 40 = 175 minimum street trees required at lot frontage (181 provided)
 2. A maximum of twenty percent (20%) of one (1) species may be utilized to meet planting requirements (6 street tree species provided)
 3. Street trees shall not be planted closer than three (3) feet to any curb
- B) Bufferyards**
 1. Minimum 30 foot wide buffer required along property line (2,565 LF total provided at northwest, southwest, northeast, and southeast property line)
 a) Buffer Area Northwest = 845 LF
 b) Buffer Area Southwest = 225 LF
 c) Buffer Area Northeast = 570 LF
 d) Buffer Area Southeast = 925 LF
 2. Minimum 50 foot wide buffer required along north property line.
 a) Buffer Area North = 947 LF
- C) Landscape Islands**
 1. Single islands require one (1) deciduous tree (2 provided as part of street tree total)
 *Two (2) islands contain street lights, limiting the landscaping to shrubs and perennials only.
- D) Total Landscape Tree Selection (471 total trees provided)**
 1. Minimum of thirty percent (30%) of total trees (141 trees) with slow to medium growth rate (338 provided)
 2. Minimum of twenty percent (20%) per tree type/species in three (3) categories:
 Deciduous Trees = 20% minimum (253 trees provided = 54%)
 Evergreen Trees = 20% minimum (117 trees provided = 25%)
 Ornamental Trees = 20% minimum (101 trees provided = 21%)

NOTE:
 All non-preserved areas to be cleared and grubbed to allow for installation of new plantings.

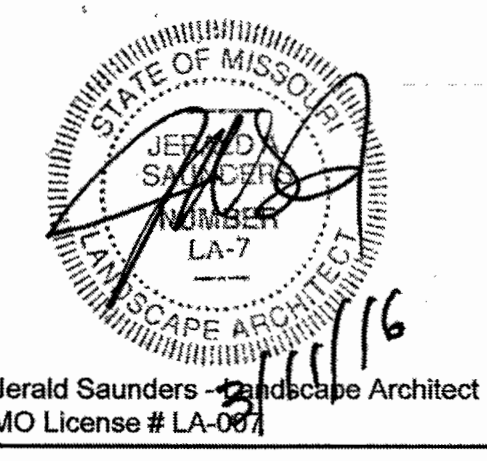
LANDSCAPE PLAN
 SCALE 1"=60'



PLANTING SCHEDULE								
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE	SIZE CLASSIFICATION	GROWTH RATE	
STREET TREES								
A1	26	Acer rubrum	Red Maple	2.5"	Deciduous	Large	Fast	
B1	30	Acer saccharum	Sugar Maple	2.5"	Deciduous	Large	Slow/Medium	
C1	35	Tilia cordata	Littleleaf Linden	2.5"	Deciduous	Large	Slow/Medium	
D1	33	Quercus bicolor	Swamp White Oak	2.5"	Deciduous	Large	Medium	
E1	28	Zelkova serrata 'Green Vase'	Green Vase Japanese Zelkova	2.5"	Deciduous	Large	Fast	
F1	29	Quercus acutisilma	Sawtooth Oak	2.5"	Deciduous	Large	Medium	
	161	TOTAL STREET TREES						100%

CUL-DE-SAC PLANTS			
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME
a	26	Juniperus x pfitzeriana 'Sea Green'	Sea Green Juniper
b	48	Weigela florida 'Alexandra'	Wine and Rose Weigela
c	36	Spiraea japonica 'Anthony Waterer'	Anthony Waterer Spiraea
d	120	Cornus sericea 'Keleyi'	Dwarf Red Twig Dogwood
aa	626 s.f.	Sporobolus heterolepis	Prairie Dropseed
bb	1636 s.f.	Perovskia atriplicifolia 'Little Spire'	Little Spire Russian Sage

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE	SIZE CLASSIFICATION	GROWTH RATE
BUFFERYARD/Common Ground Trees							
A	13	Acer rubrum	Red Maple	2.5"	Deciduous	Large	Fast
B	6	Acer saccharum	Sugar Maple	2.5"	Deciduous	Large	Slow/Medium
C	4	Tilia cordata	Littleleaf Linden	2.5"	Deciduous	Large	Slow/Medium
D	10	Quercus bicolor	Swamp White Oak	2.5"	Deciduous	Large	Medium
E	20	Zelkova serrata 'Green Vase'	Green Vase Japanese Zelkova	2.5"	Deciduous	Large	Fast
F	15	Quercus acutisilma	Sawtooth Oak	2.5"	Deciduous	Large	Medium
G	21	Pinus strobus	Eastern White Pine	6' Ht.	Evergreen	Large	Fast
H	25	Picea glauca	White Spruce	6' Ht.	Evergreen	Medium	Medium
J	22	Picea pungens	Colorado Blue Spruce	6' Ht.	Evergreen	Medium	Medium
K	31	Juniperus virginiana	Eastern Redcedar	6' Ht.	Evergreen	Medium	Medium
L	17	Platycladus orientalis	Oriental Arborvitae	6' Ht.	Evergreen	Medium	Slow
M	25	Cercis canadensis	Eastern Redbud	2.5"	Ornamental	Medium	Fast
N	19	Prunus cerasifera	Purpleleaf Plum	2.5"	Ornamental	Small	Medium
P	15	Crataegus phaenopyrum	Washington Hawthorn	2.5"	Ornamental	Small	Medium
Q	21	Carpinus caroliniana	American Hornbeam	2.5"	Ornamental	Small	Medium
R	20	Prunus sargentii 'Columnaris'	Columnar Sargent Cherry	2.5"	Ornamental	Medium	Medium
S	4	Taxodium distichum	Bald Cypress	2.5"	Deciduous	Large	Medium
BUFFERYARD SHRUBS							
e	113	Viburnum x burkwoodii	Burkwood Viburnum	24"	Deciduous		
f	101	Viburnum rhytidophyllum	Leatherleaf Viburnum	24"	Semi-Evergreen		
g	99	Hamamelis vernalis	Ozark Witchhazel	24"	Deciduous		
h	93	Juniperus virginiana 'Grey Owl'	Grey Owl Juniper	24"	Evergreen		



Consultants:

The Arbors at Wilmas Farm

Chesterfield, Missouri

Revisions:		
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12/16/15	City Comments	1
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3/11/16	Base Revision	5

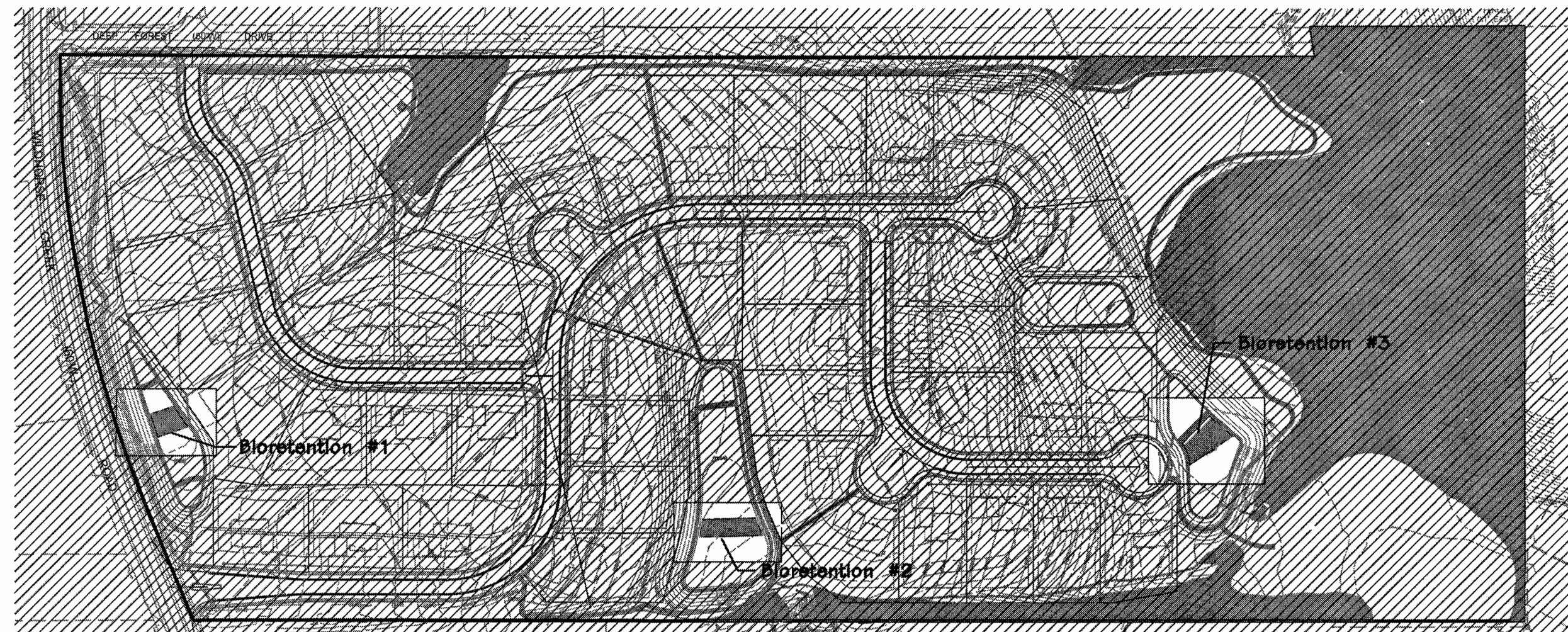
Drawn: LH
 Checked: JG

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Sheet Title: **Landscape Plan**

Sheet No: **L-2**

Date: 11/13/15
 Job #: 955.002

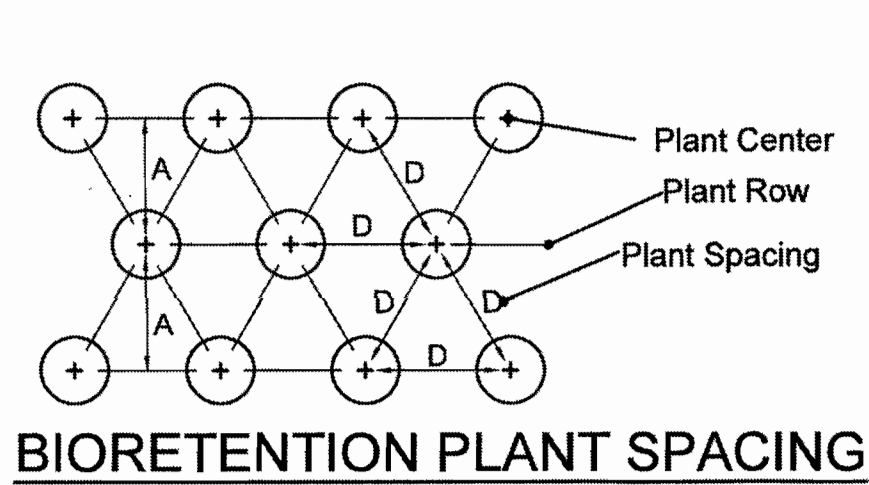


KEY MAP
N.T.S.

TABLE 1: PLANTING, WATER, AND MULCH REQUIREMENTS

WATER AVAILABILITY	REQUIRED PLANTING PERIOD	MINIMUM CONTAINER SIZE	WATER REQUIREMENT FIRST 3 WEEKS	WATER REQUIREMENT AFTER 3 WEEKS*	MAXIMUM MULCH DEPTH****
No ability to water after initial planting	Late Feb.-April only	2.25"x3.75" or larger (plug)	Water each plug immediately after planting		1.5" for plugs
Manual watering with standard eprinkler	Late Feb.-Early June Sept.-October	4.5"x5" (quart) or larger in summer and fall	1" (60 min) every 4 days	1" (60 min) every 7 days until plants established***	1.5" for plugs 2.5" for quarts
Automatic Irrigation (set to water more frequently than normal during first two months after planting)	Late Feb.-Early Oct.	2.25"x3.75" (plug) or larger in spring 4.5"x5" (quart) or larger in summer and fall	1" (60 min) every 4 days in spring and fall 1" (60 min) every 3 days in summer	1" (60 min) every 7 days until plants established***	1.5" for plugs 2.5" for quarts

*This water amount includes natural rainfall. If you get a 1/2 inch of natural rain, then you will need to add a 1/2 inch of water to meet the 1 inch requirement.
 **Requires transport of water to the planting site in large containers and pouring enough water onto each plant (after planting) to moisten the entire planting pit.
 ***Plants are established when roots have grown out of the container soil and into the native soil by 3-5 inches. This normally takes 3-4 months for most perennials and grasses and up to 6-7 months for trees and shrubs.
 ****Shredded leaf compost is recommended for use with perennials and grasses. Shredded bark mulch is recommended for tree and shrub plantings at a depth of 3 inches.



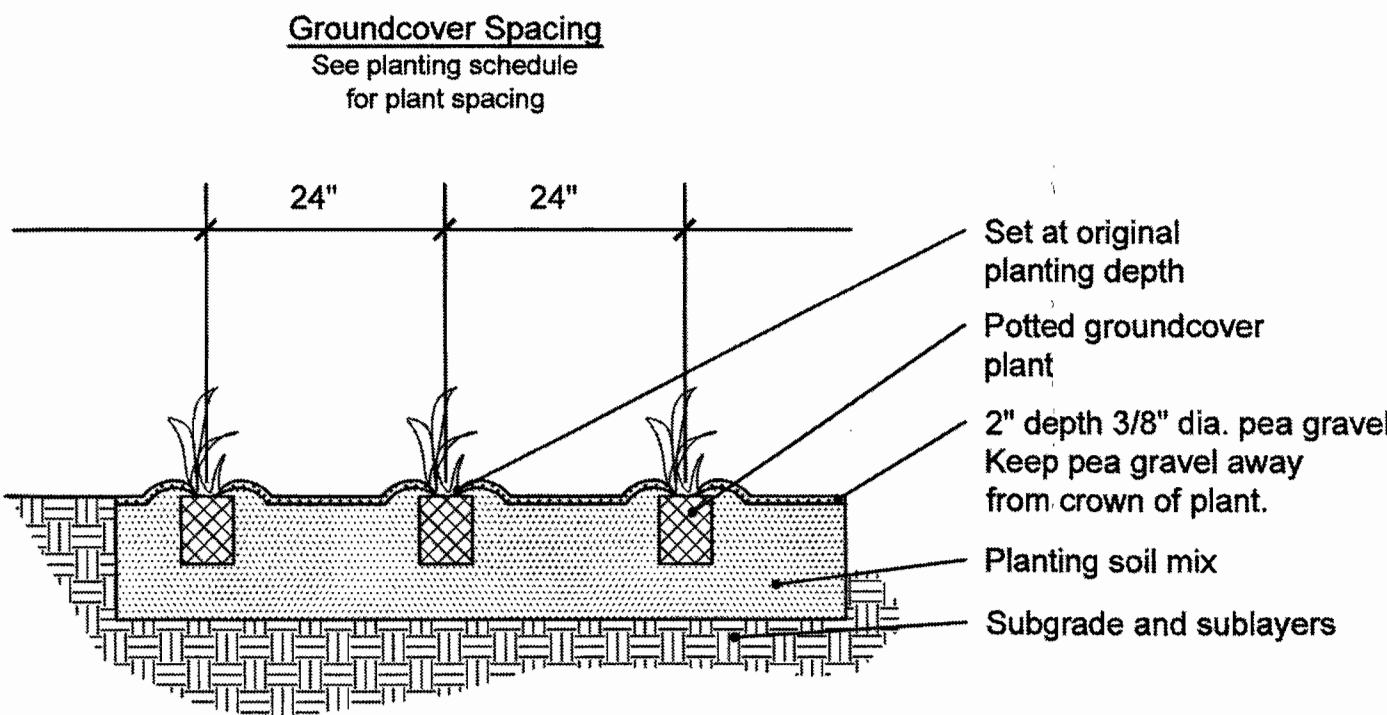
BIORETENTION PLANT SPACING

PLANT SPACING TABLE

SPACING 'D'	ROW 'A'	NUMBER OF PLANTS/SQ.FT.
30"	26"	.16
24"	20.6"	.25
18"	15.6"	.45
15"	13"	.64
12"	10.4"	1.00
10"	8.66"	1.44
8"	6.93"	2.25

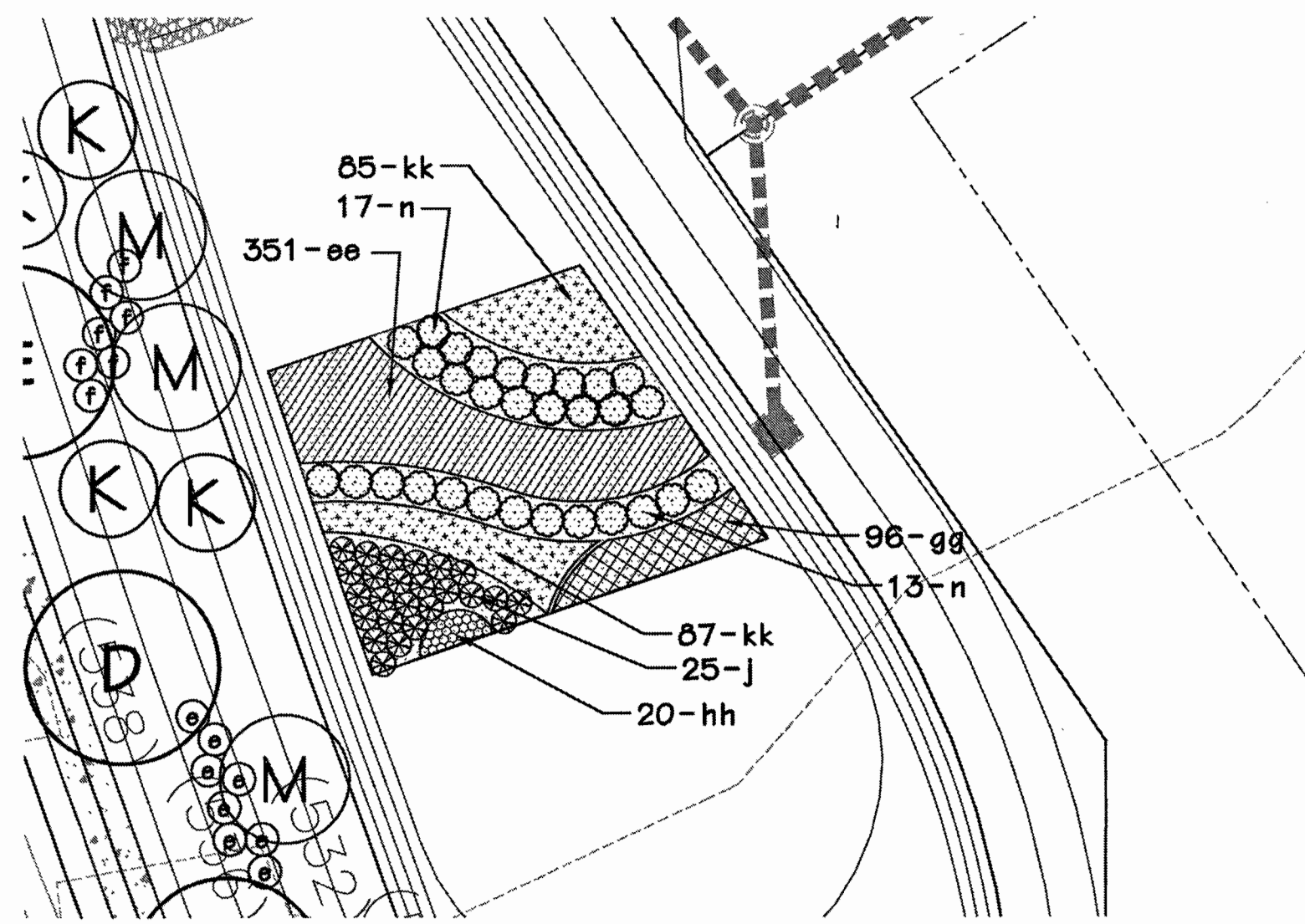
Note: Plant quantities to be determined by multiplying area (sq.ft.) by number of plants/sq.ft. for required spacing. Table and diagram taken from "Landscape Guide for Stormwater Best Management Practice Design" by MSD with a revised date of May 2, 2012.

PLANTING SCHEDULE					
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
BIORETENTION PLANTS					
j	53	Itea virginica 'Sprich'	Little Henry Virginia Sweetpire	24"	as shown
k	45	Ilex verticillata 'Red Sprite'	Red Sprite Winterberry	24"	as shown
m	9	Ilex verticillata 'Jim Dandy'	Jim Dandy Winterberry	24"	as shown
n	43	Aronia melanocarpa 'Morton'	Iroquois Beauty Black Chokeberry	24"	as shown
p	9	Cephalanthus occidentalis	Butterbush	24"	as shown
cc	102	Panicum virgatum 'Shenandoah'	Shenandoah Switchgrass	2" x 2" x 5" DCP	24" O.C.
dd	366	Schizachyrium scoparium	Little Bluestem	2" x 2" x 5" DCP	18" O.C.
ee	643	Juncus effusus	Soft Rush	2" x 2" x 5" DCP	18" O.C.
ff	753	Carex stricta	Tussock Sedge	2" x 2" x 5" DCP	18" O.C.
gg	571	Iris fulva	Copper Iris	2" x 2" x 5" DCP	18" O.C.
hh	237	Lobelia cardinalis	Cardinal Flower	2" x 2" x 5" DCP	18" O.C.
ll	670	Monarda fistulosa	Wild Bergamot	2" x 2" x 5" DCP	24" O.C.
kk	172	Asclepias incarnata	Marsh Milkweed	2" x 2" x 5" DCP	24" O.C.

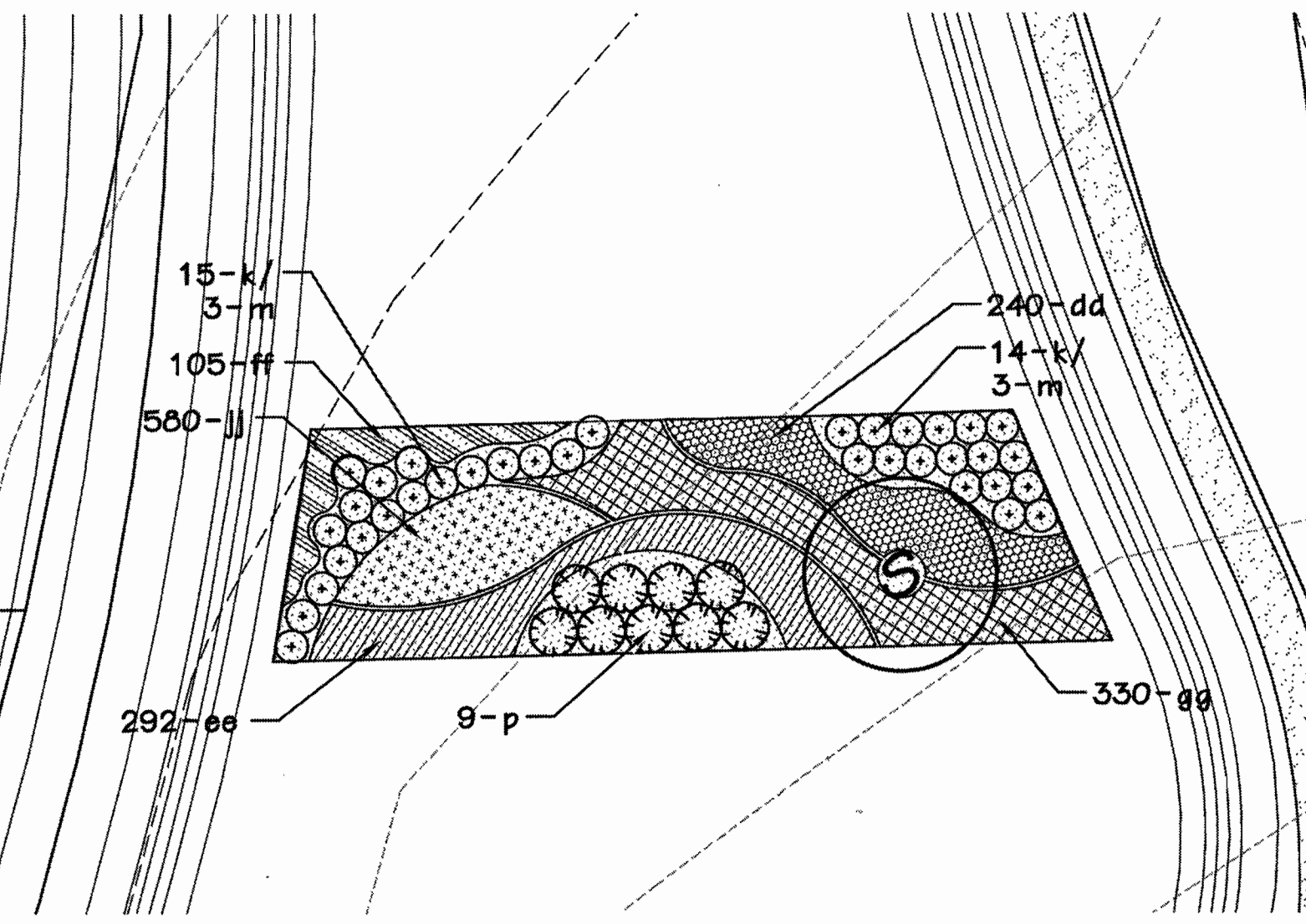


Notes:
 1. Remove spent flowers prior to planting.
 2. Loosen root mass at bottom of rootball.
 3. Top of rootball stripped of 1/4" surface growing media and covered with 1/4" landscape bed mix plus surface mulch.

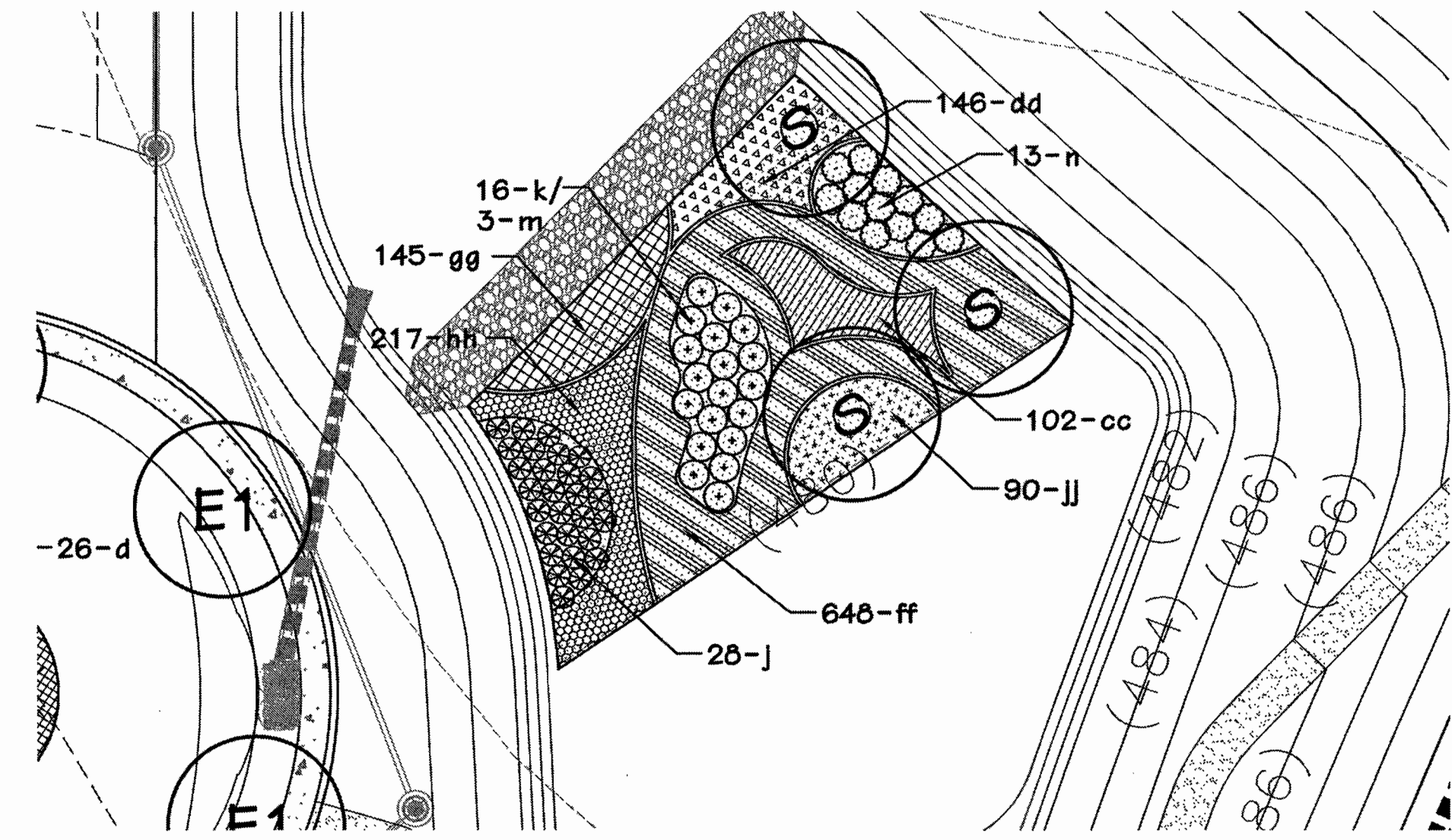
BIORETENTION PLANT SPACING SECTION



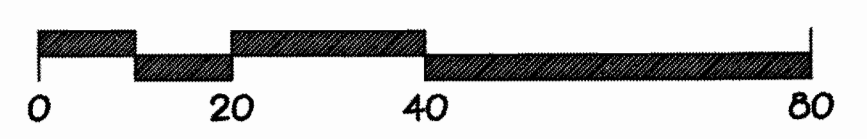
1 BIORETENTION #1
SCALE 1"=20'



2 BIORETENTION #2
SCALE 1"=20'



3 BIORETENTION #3
SCALE 1"=20'



Consultants:

The Arbors at Wilmas Farm
Chesterfield, Missouri

Date	Description	No.
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12/24/15	Base Revision	2
1/19/16	City Comments	3
3/11/16	Base Revision	5

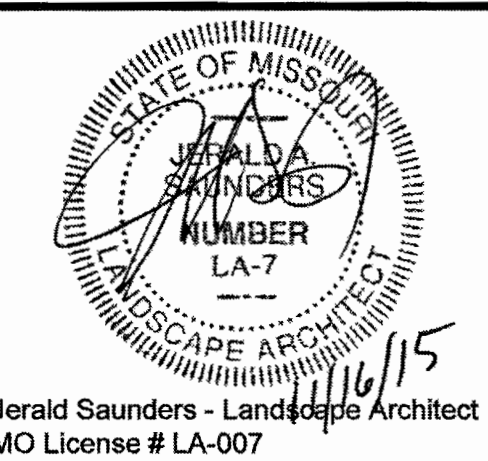
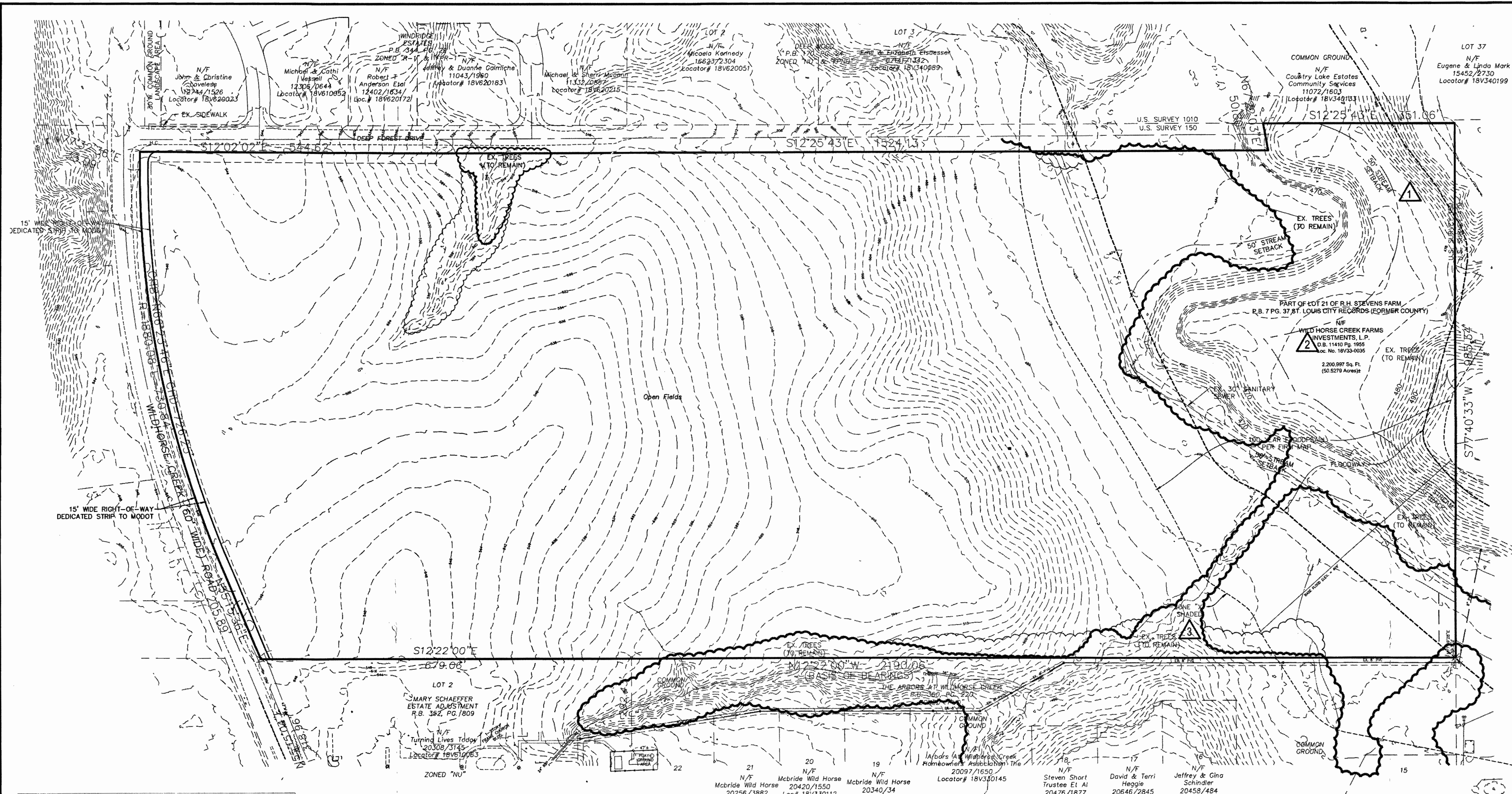
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Checked: JG

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 landscape architects/planners
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 Chesterfield, Missouri 63005-1954
 Phone: 636.863.1100
 Email: info@loomis-associates.com

Sheet Title: **BMP Plan**

Sheet No: **L-3**

Date: 11/13/15
Job #: 955.002



Jerald Saunders - Landscape Architect
MO License # LA-007

Consultants:

The Arbors at Wilmas Farm

Chesterfield, Missouri

Revisions:

Date	Description	No.

Drawn: **BB**
Checked: **JG**

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Loomis Associates Inc.
Missouri State Certificate of Authority #: LAC #000019

Sheet Title:	Tree Stand Delineation Plan
Sheet No.:	TSD
Date:	11/12/15
Job #:	955.002

FORESTRY CONSULTANT SERVICES

Bruce Vawter
Consulting Forester
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(314) 849-2753
E-mail: FCS@vawterdesign.com

ARBORS AT WILMAS FARM
(formerly known as)
WILMAS FARM / LANDVETTER
Chesterfield, Missouri
Tree Stand Delineation Narrative

October 9, 2013

The Wilmas Farm / Landvetter development is situated in an area of west St. Louis County, in the City of Chesterfield located along the south side of Wild Horse Creek Road, immediately west of Deep Forest Drive. The development encompasses approximately 51.62 acres of land with a total of 9.72 acres in woodlands. The woody plant coverage of this property is a mixture of old field succession and bottomland tree species with the species including flowering dogwood, boxelder, American elm, slippery elm, black cherry, oak, hickory, ash and sycamore. The understory trees, shrubs and herbaceous species include hickory, sugar maple, pawpaw, poison ivy, sumac, bush honeysuckle and wild grape. During my site inspection, I found no significant, state-listed champion trees or rare trees and plants, located on the property.

The majority of the 9.72 wooded acres is in the southern portion of the property. This densely wooded area also includes the creek with steep terrain and a varied collection of trees. There are also small areas of tree cover along intermittent drainages near the northeast corner and along portions of the west property line. I took 31 BAF-10 sample points in the woodlands (locations shown on the Tree Stand Delineation drawing) and recorded a density of 103 trees per acre with an average diameter (dbh) of 12.4". There were 31 trees tallied on the three BAF-10 sampling points with species distributed by the following percentages: elm 45%, boxelder 16%, hickory 16%, black cherry 6%, ash 6% and sycamore, oak and dogwood 3% each. I found no evidence of any major insect or disease concerns.

The wooded tree canopy coverage on the site totals 9.72 acres or 423,403 square feet. The required tree canopy coverage to be retained is 30%, which totals 2.92 acres or 127,195 square feet. The wooded tree cover on the Tree Stand Delineation plan, scheduled to be retained, includes 8.05 acres or 350,698 square feet of canopy coverage. Retention of the trees within this wooded area will exceed the required tree canopy coverage retention.

ARBORS AT WILMAS FARM
(formerly known as)
WILMAS FARM / LANDVETTER
Tree Stand Delineation Tabular Summary

- Acreage of the site - 51.62 acres
- Tree canopy coverage of wooded area - 9.72 acres (423,403 sq. ft.)
- Forest type: Bottomland Hardwoods and Old Field Regeneration
- Dominant species: elm, boxelder and hickory
- Density expressed in trees per acre - 103 trees per acre
- Average diameter: 12.4" dbh
- Apparent health problems: None

I hereby certify that I viewed this property and provided this professional opinion regarding the Tree Stand Delineation details for the property identified as Wilmas Farm / Landvetter, Chesterfield, Missouri.

Bruce Vawter
Bruce Vawter
Consulting Forester
Certified Forester #2501
Certified Arborist # MW-0469A

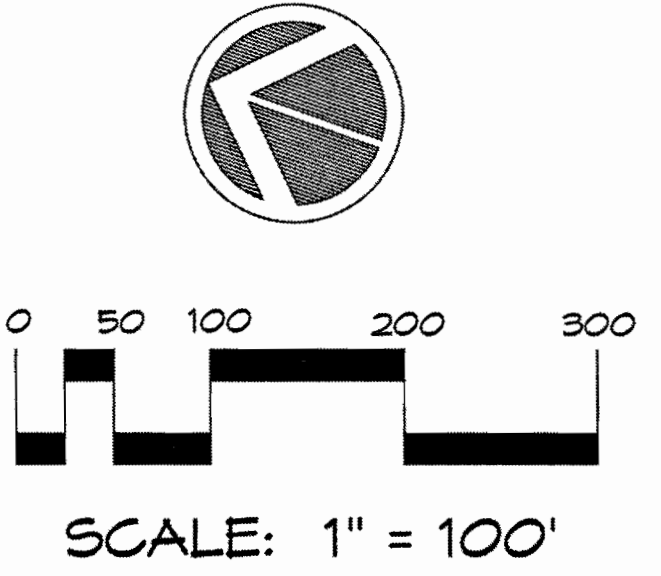
Sample Point Inventory and Evaluation

TREE NUMBER	SPECIES	DIAMETER	CONDITION	COMMENTS
1	Hickory	4"	Fair	BAF Point 1
2	American Elm	17"	Poor	BAF Point 1
3	Boxelder	10"	Fair	BAF Point 1
4	Hickory	38"	Good	BAF Point 1
5	Sycamore	51"	Fair	BAF Point 1
6	American Elm	18"	Good	BAF Point 1
7	Ash	23"	Dead	BAF Point 1, top out storm damage
8	American Elm	26"	Poor	BAF Point 1, hollow storm damage
9	Hickory	5"	Fair	BAF Point 2
10	Hickory	2"	Fair	BAF Point 2
11	Hickory	4"	Fair	BAF Point 2
12	Slippery Elm	5"	Fair	BAF Point 2
13	American Elm	19"	Fair	BAF Point 2
14	Boxelder	13"	Fair	BAF Point 2
15	Slippery Elm	11"	Fair	BAF Point 2
16	Slippery Elm	15"	Fair	BAF Point 2
17	Boxelder	5"	Poor	BAF Point 2
18	Boxelder	19"	Fair	BAF Point 2
19	Oak	20"	Dead	BAF Point 2 hollow storm damage
20	Ash	2"	Poor	BAF Point 3
21	Slippery Elm	7"	Fair	BAF Point 3
22	American Elm	12"	Fair	BAF Point 3
23	American Elm	10"	Fair	BAF Point 3
24	Dogwood	3"	Fair	BAF Point 3
25	Boxelder	12"	Poor	BAF Point 3
26	American Elm	4"	Poor	BAF Point 3
27	American Elm	14"	Fair	BAF Point 3
28	Slippery Elm	3"	Poor	BAF Point 3
29	Slippery Elm	4"	Fair	BAF Point 3
30	Black Cherry	12"	Fair	BAF Point 3
31	Black Cherry	14"	Fair	BAF Point 3

LEGEND:

Existing tree or tree mass

BAF-10 Sample Point



General Notes:

1. Base Information: Outboundary and topographic survey and air photo by Sterling Engineering & Surveyors, Job No. 13-08-265, dated 4-26-2013.
2. Flood Plain: Floodplain and Floodway areas are present at the rear portion (southern end) of the subject site, per FIRM Flood Insurance Rate Map, map number 2914C0145 K, with effective date of February 4, 2015.
3. Address of Subject Property: 17508 Wild Horse Creek Road
4. Locator Number: 18V330035

Prepared For:
ARBOR HOLDINGS II, L.L.C.
5091 New Baumgartner Road
St. Louis, Missouri 63129
Phone: 314-487-6717

Arbors at Wilmas Farm
Tree Stand Delineation

Previously Prepared By: **HALL + ASSOCIATES, L.L.C.**
LAND PLANNING
LANDSCAPE ARCHITECTURE

424 SOUTH CLAY AVENUE, ST. LOUIS, MO 63122 314.966.5577

Drawn by: JRH	Checked by:	Project Number: 13014	Sheet Number: 1 OF 1
Date: 10-10-13	Revisions:		
10-11-13, 2-7-14, 2-25-14, 3-3-14, 3-4-14, 3-5-14, 4-22-14			
4-25-14, 4-30-15, 6-30-15			

Consultants:

The Arbors at Wilmas Farm

Chesterfield, Missouri

Revisions:

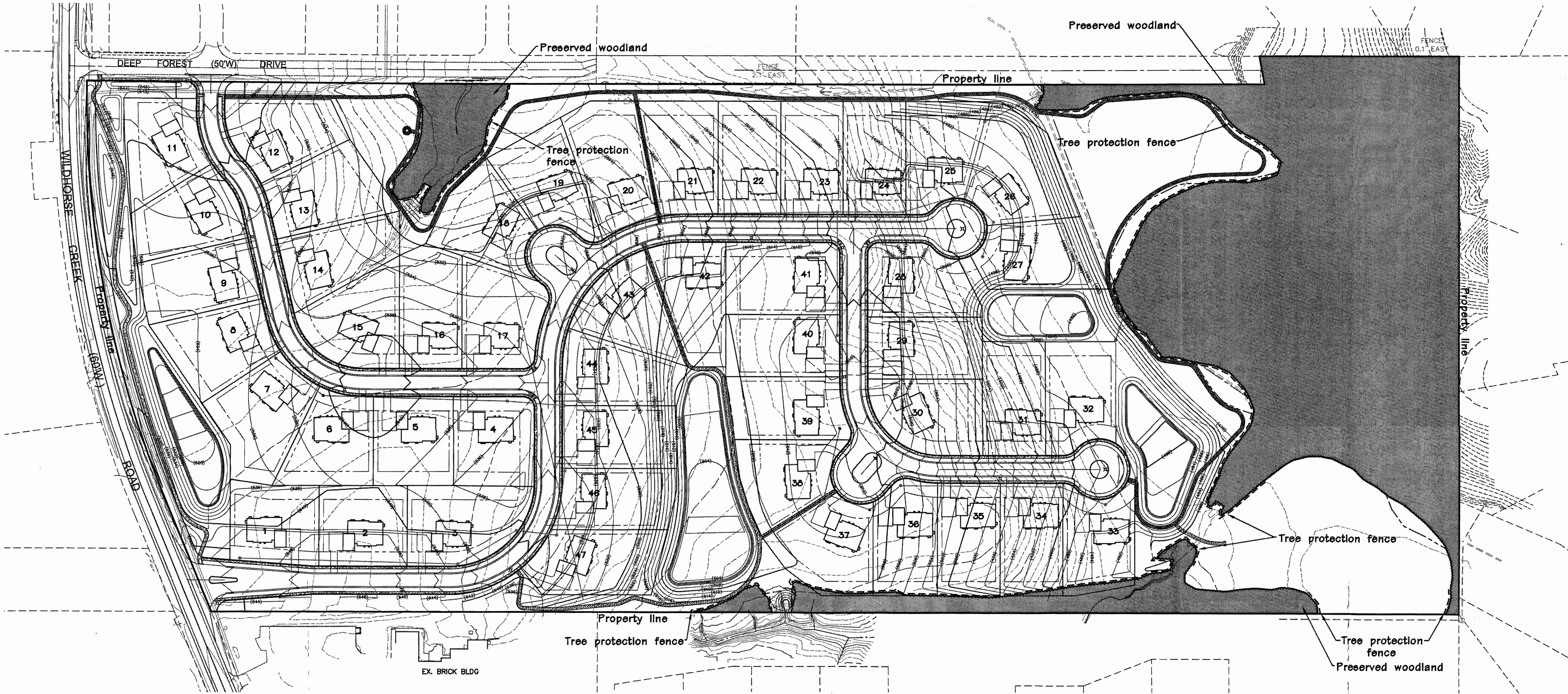
Date	Description	No.
12/16/15	City Comments	1
12/24/15	Base Revision	2
1/19/16	City Comments	3
2/9/16	City Comments	4
3/11/16	Base Revision	5



Drawn: LH
Checked: JS

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e-mail: info@loomis-associates.com

loomis Associates, Inc.
Missouri State Certificate of Authority #: LAC #000018

Sheet Title: **Tree Preservation Plan**
Sheet No.: **TPP**
Date: 11/13/15
Job #: 955.002



KEY
 Woodland areas to be preserved
 Tree protection fence

TREE PRESERVATION PLAN

SCALE 1" = 100'

TREE PROTECTION NOTES:

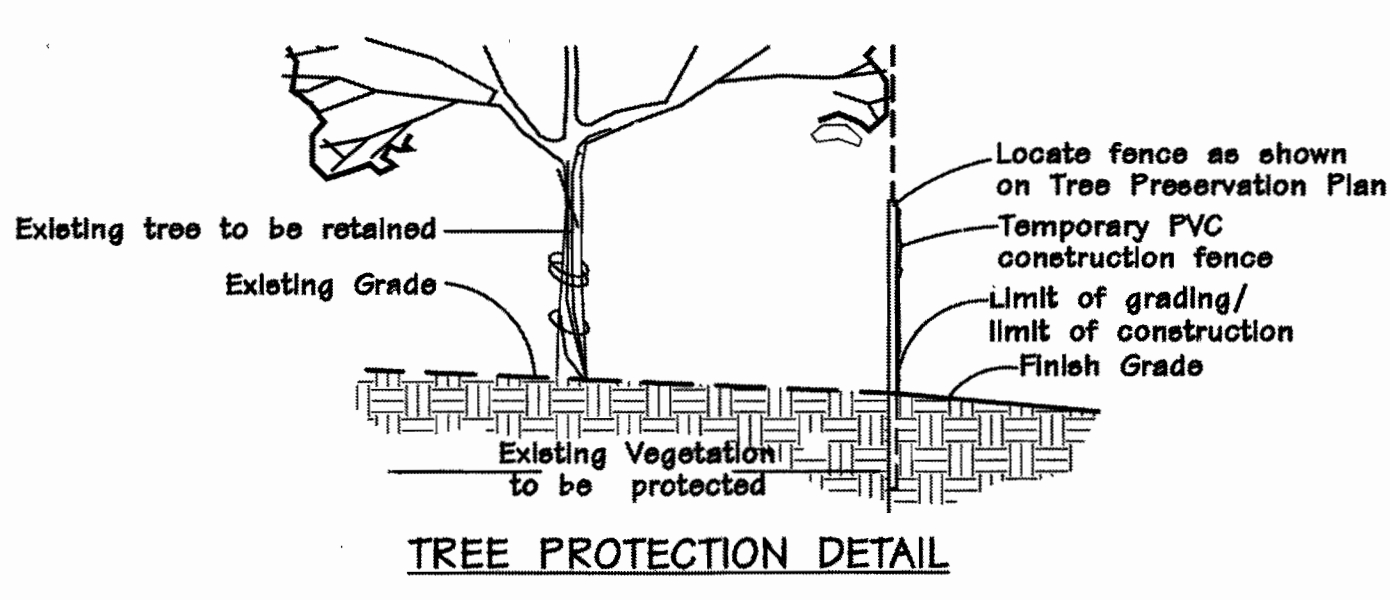
- 1) Preserved woodland is delineated with shading.
- 2) Pre-construction meeting to be held on-site to include a presentation of tree protection measures to operators; construction supervisors; developer's representative; and city zoning inspector.
- 3) Clearing Limits to be rough staked in order to facilitate location for installation of protection fencing. No early maintenance schedule is required. Required siltation devices to be installed along limit of disturbance line.
- 4) No clearing or grading shall begin in areas where the treatment and preservation measures have not been completed including the installation of tree protection fencing along all "Limit of Disturbance" lines shown on the plan.
- 5) Tree Protection Fencing shall be 4-foot high chain link fencing with dust fabric. No equipment traffic/parking, concrete washout, material storage or other such construction activity shall be permitted to penetrate the protection fencing or disrupt the Protected Woodland Area except for the removal of dead or invasive plant material. Any proposed plantings shall be subject to the review and approval of the City Arborist. All ground plane shall be mulched with hardwood bark mulch. Tree Protection Signage will be placed along the Protection Fencing as shown as the dashed line on the plan.
- 6) Tree protection measures to be maintained throughout construction sequence.

TREE PROTECTION ACTION KEY SEQUENCE:

- 1) Survey limit of disturbance.
- 2) Install tree protection fencing.
- 3) Post tree protection signage on fence (No signs will be posted on trees).
- 4) Maintain tree protection area as an off-limits zone.

CALCULATIONS:

Total Site Area = 51.2 Ac.
 Existing Tree Canopy Coverage = 475,856 sq. ft. or 10.9 Ac.
 Total Canopy proposed for removal = 48,869 sq. ft. or 1.1 Ac. (10.2%)
 Total Canopy proposed for preservation = 426,987 sq. ft. or 9.8 Ac. (89.7%)
 475,856 sq. ft. x .30 = 142,757 sq. ft of tree canopy preservation required





ARCHITECTURAL SHINGLES

JAMES HARDIE SIDING

CUMBERLAND II - 270 PLAN

ARBORS AT WILMAS FARM

MCBRIDE & SON HOMES
A Company Owned by its Employees

MCBRIDE & SON ARCHITECTURE, LLC
14095 Southgate Ridge Road, Suite 300
Chesterfield, MO 63071
Phone: (636) 537-2000
www.mcbridehomes.com

ELEVATION "A" - COLONIAL

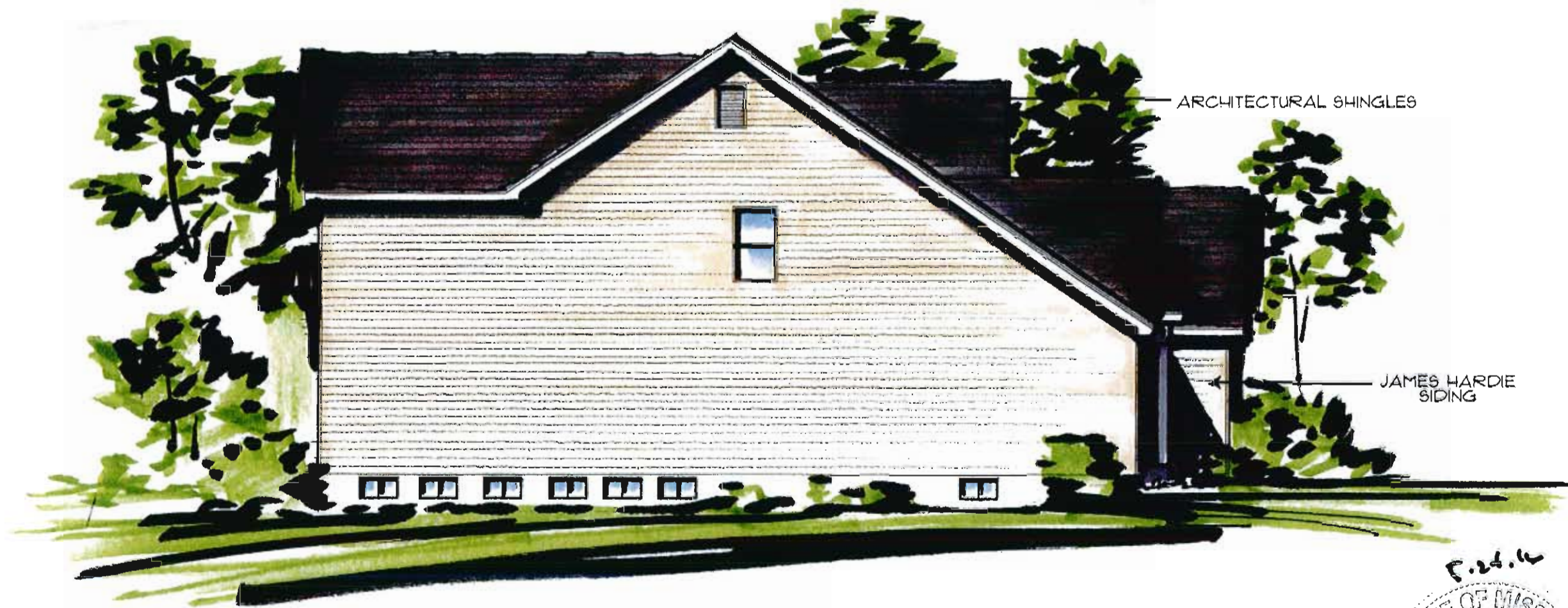
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Department of Public Services

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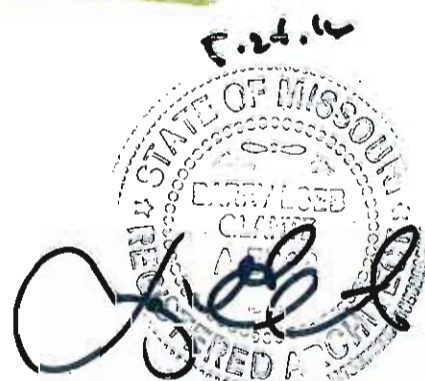
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STATE OF MISSOURI
REGISTERED ARCHITECT
CUMBERLAND II



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ELEVATION "A" - COLONIAL - LEFT ELEV. CUMBERLAND II - 270 PLAN

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JAMES HARDIE SIDING



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ELEVATION "A" - COLONIAL - RIGHT ELEV. CUMBERLAND II - 270 PLAN

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ARBORS
AT
WILMAS
FARM

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ELLINGTON - 320 PLAN

ELEVATION "F" - ENGLISH TUDOR



5.25.16

STATE OF MISSOURI
REGISTERED ARCHITECT
J. J. [Signature]

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ARCHITECTURAL SHINGLES

JAMES HARDIE SIDING

ELLINGTON - 320 PLAN

ELEVATION "F" - ENGLISH TUDOR REAR ELEV.

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ARBORS
AT
WILMAS
FARM

**MCBRIDE
& SON
HOMES**
"A Company Owned by it's Employees"

**MCBRIDE
& SON ARCHITECTURE, LLC**
14001 Bunting Ridge Road, Suite 300
Overland Park, MO 66204
Phone: (816) 831-1000
www.mcbridehomes.com

5.24.16

John

NOTE:
THE HOMES BUILT ON LOTS 19 & 20 WILL INCLUDE ARCHITECTURAL TREATMENTS ON THE REAR OF EACH HOME (AS APPLICABLE) WHICH INCLUDE SOME ARCHITECTURAL TREATMENTS FROM THE FRONT OF EACH HOME.

COMPUTER DWG.	
JOB NUMBER	
DATE	
SHEET	REV
OF	



ARCHITECTURAL SHINGLES

JAMES HARDIE SIDING

EXAMPLE "A"

THE HOMES BUILT ON LOTS 19 & 20 WILL INCLUDE ARCHITECTURAL TREATMENTS ON THE REAR OF EACH HOME AS SHOWN ON EITHER EXAMPLE "A" OR "B"



ELEVATION "F" - ENGLISH TUDOR REAR ELEV. ELLINGTON - 320 PLAN

McBride and Son Homes Architecture, LLC
 6 of 6 pages prepared by McBride & Son Architecture, LLC (2017)

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ARBORS AT WILMAS FARM

MCBRIDE & SON HOMES
 A Company Owned by it's Employees

MCBRIDE & SON ARCHITECTURE LLC
 1400 Southside, Raleigh, North Carolina 27601
 Phone: (919) 857-3800
 www.mcbridehomes.com

COMPUTER DWG.	
GLANTZ JOB NO.	
DATE	
SHEET	REV.
OF	



LEFT ELEVATION

NOTE:
 THE HOMES BUILT ON LOTS 1, 7, 8, 9, 10, 11, & 12
 WILL INCLUDE ARCHITECTURAL TREATMENTS ON
 THE SIDE OF EACH HOME FACING EITHER WILD
 HORSE CREEK ROAD OR DEEP FOREST DRIVE
 (AS APPLICABLE) WHICH ARE SIMILAR TO THE
 ARCHITECTURAL TREATMENTS ON THE FRONT OF
 EACH HOME.



FRONT ELEVATION

PREPARED BY:
 Edward M. Stevens Architects, LLC
 734 Westport Plaza Dr., Suite #275
 Saint Louis, Missouri, 63145
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COLOR EXTERIOR ELEVATIONS OF THE
MELROSE II
 CLAYMONT DEVELOPMENT, LLC

FRONT ELEVATION
 LEFT SIDE ELEVATION



RIGHT ELEVATION



REAR ELEVATION

NOTE:
 THE HOMES BUILT ON LOTS 1, 7, 8, 9, 10, 11, & 12
 WILL INCLUDE ARCHITECTURAL TREATMENTS ON
 THE SIDE OF EACH HOME FACING EITHER WILD
 HORSE CREEK ROAD OR DEEP FOREST DRIVE
 (AS APPLICABLE) WHICH ARE SIMILAR TO THE
 ARCHITECTURAL TREATMENTS ON THE FRONT OF
 EACH HOME.



DATE 12-1-15
REVISED
PREPARED BY: Edward M. Stevens Architects, LLC 734 Westport Plaza Dr., Suite #275 Saint Louis, Missouri, 63146 (314)568-6156 edward@emsaarchitects.com COPYRIGHT PER. DATA
COLOR EXTERIOR ELEVATIONS OF THE MELROSE II CLAYMONT DEVELOPMENT, LLC
REAR ELEVATION RIGHT SIDE ELEVATION
SHEET 2



REAR ELEVATION
VISIBLE FROM AN EXTERNAL STREET

NOTE:
 THE HOMES BUILT ON LOTS 1, 7, 8, 9, 10, 11, & 12 WILL INCLUDE ARCHITECTURAL TREATMENTS ON THE SIDE OF EACH HOME FACING EITHER WILD HORSE CREEK ROAD OR DEEP FOREST DRIVE (AS APPLICABLE) WHICH ARE SIMILAR TO THE ARCHITECTURAL TREATMENTS ON THE FRONT OF EACH HOME.

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 emsarchitects.com



COLOR EXTERIOR ELEVATIONS OF THE
MELROSE II
 CLAYMONT DEVELOPMENT, LLC

REAR ELEVATION



LEFT ELEVATION

NOTE:
 THE HOMES BUILT ON LOTS 1, 7, 8, 9, 10, 11, & 12
 WILL INCLUDE ARCHITECTURAL TREATMENTS ON
 THE SIDE OF EACH HOME FACING EITHER WILD
 HORSE CREEK ROAD OR DEEP FOREST DRIVE
 (AS APPLICABLE) WHICH ARE SIMILAR TO THE
 ARCHITECTURAL TREATMENTS ON THE FRONT OF
 EACH HOME.



FRONT ELEVATION

DATE
11-2-15

REVISED

PREPARED BY
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 (314) 548-0136 edward@emstevens.com
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COLOR EXTERIOR ELEVATIONS OF THE
WYNGATE II
 CLAYMONT DEVELOPMENT, LLC

FRONT AND LEFT SIDE
 ELEVATIONS

SHEET

1

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NOTE:
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HORSE CREEK ROAD OR DEEP FOREST DRIVE
(AS APPLICABLE) WHICH ARE SIMILAR TO THE
ARCHITECTURAL TREATMENTS ON THE FRONT OF
EACH HOME.



RIGHT ELEVATION



REAR ELEVATION



COLOR EXTERIOR ELEVATIONS OF THE
WYNGATE II
CLAYMONT DEVELOPMENT, LLC

REAR AND RIGHT SIDE
ELEVATIONS



EM
EDWARD M. STEVENS
REGISTERED ARCHITECT
A-7671
6/21/16

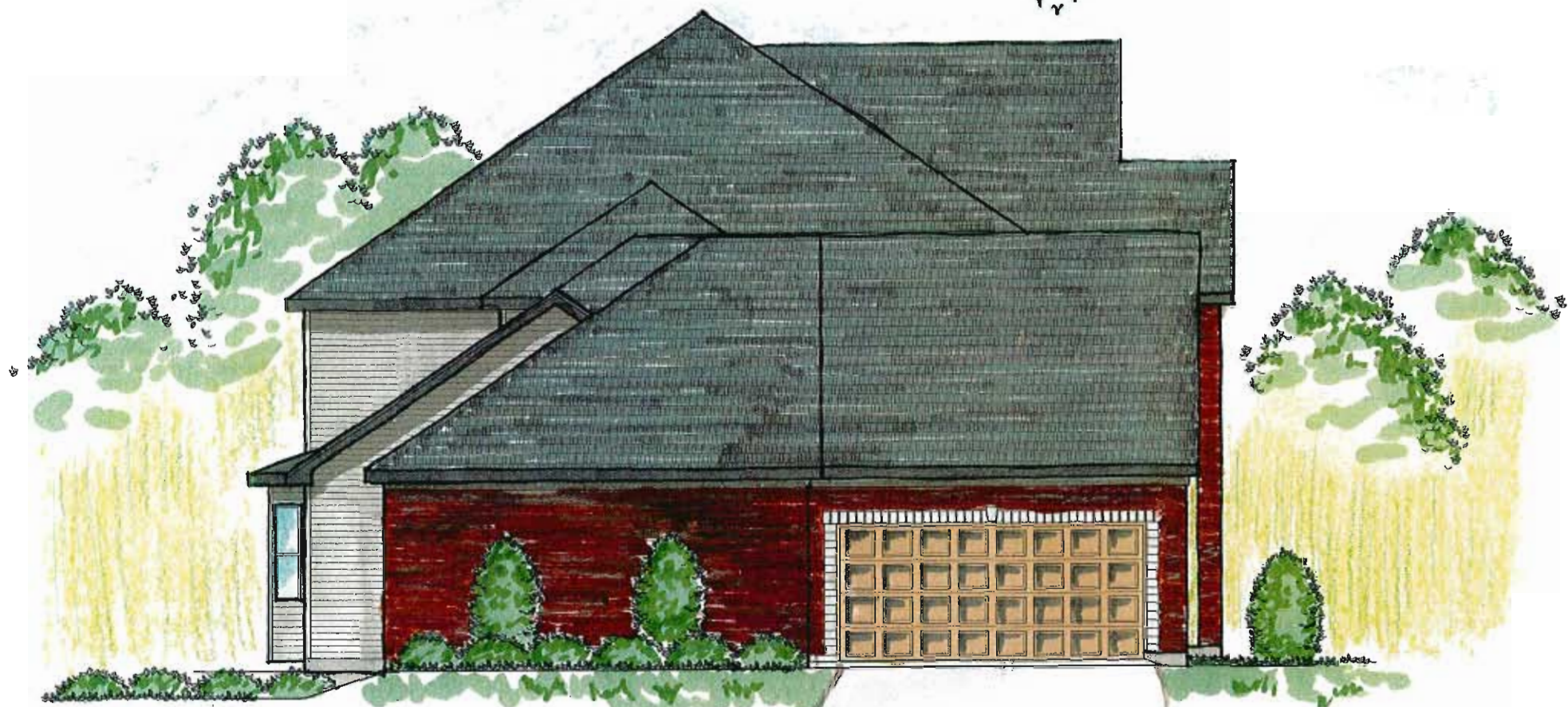
FRONT ELEVATION
ELEVATIONS

COLOR EXTERIOR ELEVATIONS OF THE
WYNGATE II
CLAYMONT DEVELOPMENT, LLC

SHEET
3

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11-2-15
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LEFT ELEVATION
VISIBLE FROM AN EXTERNAL STREET



RIGHT ELEVATION
VISIBLE FROM AN EXTERNAL STREET



NOTE:
 THE HOMES BUILT ON LOTS 1, 7, 8, 9, 10, 11, & 12 WILL INCLUDE ARCHITECTURAL TREATMENTS ON THE SIDE OF EACH HOME FACING EITHER WILD HORSE CREEK ROAD OR DEEP FOREST DRIVE (AS APPLICABLE) WHICH ARE SIMILAR TO THE ARCHITECTURAL TREATMENTS ON THE FRONT OF EACH HOME.

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COLOR EXTERIOR ELEVATIONS OF THE
WYNGATE II
CLAYMONT DEVELOPMENT, LLC

REAR ELEVATION



Edward M. Stevens
EDWARD M. STEVENS
NUMBER
A-7871
REGISTERED ARCHITECT
6/21/16

PREPARED BY:

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COLOR EXTERIOR ELEVATIONS OF THE
WYNGATE II

CLAYMONT DEVELOPMENT, LLC

REAR AND RIGHT SIDE
ELEVATIONS

SHEET

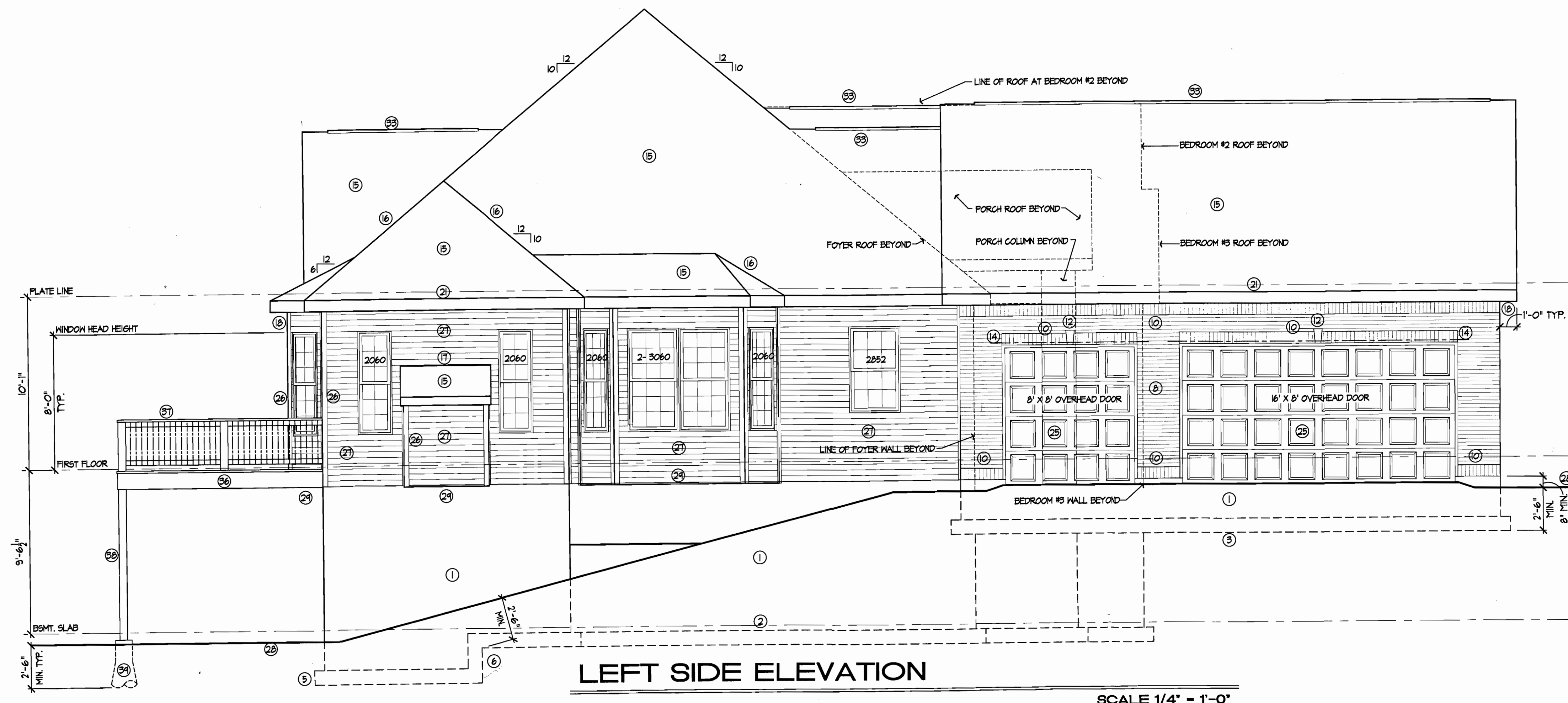
4A



REAR ELEVATION
VISIBLE FROM AN EXTERNAL STREET

NOTE:
 THE HOMES BUILT ON LOTS 1, 7, 8, 9, 10, 11, & 12
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 EACH HOME.

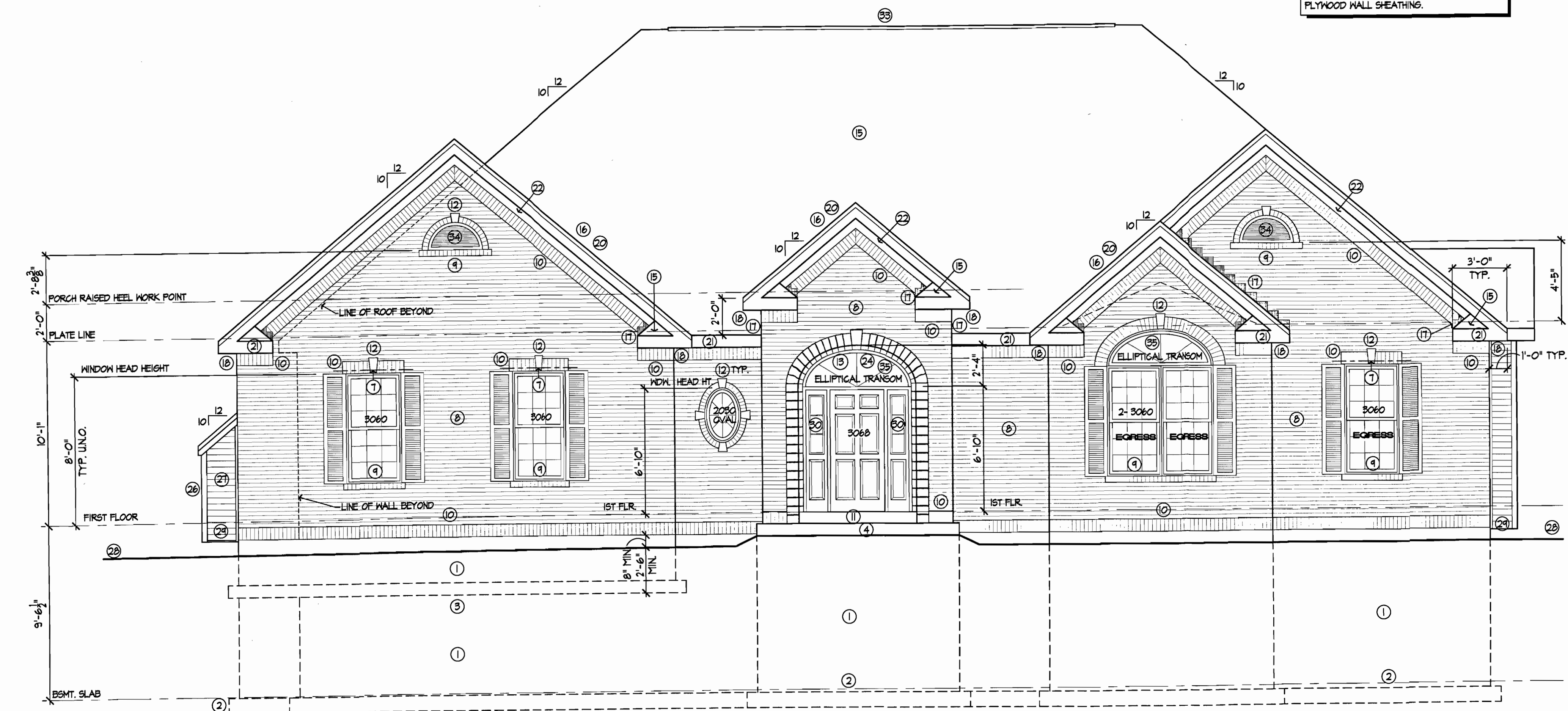
EM Stevens
 EDWARD M.
 STEVENS
 NUMBER
 A-7871
 REGISTERED ARCHITECT
 4/21/16



LEFT SIDE ELEVATION

SCALE 1/4" = 1'-0"

NOTE:
ALL EXTERIOR WALLS, INCLUDING GABLES, ETC.
SHALL HAVE 1/2" EXTERIOR GRADE OSB OR
PLYWOOD WALL SHEATHING.



FRONT ELEVATION

SCALE 1/4" = 1'-0"

KEYED ELEVATION NOTES

- ① 10" CONCRETE FOUNDATION WALL (SEE GENERAL FDN. NOTE #6)
- ② 23" X 10" CONCRETE FOOTING AT FRAME WALL, 26" X 10" CONCRETE FOOTING AT AREAS W/ BRICK OR STONE VENEER ABOVE (SEE GENERAL FDN. NOTE # 6)
- ③ 20" X 10" CONCRETE FOOTING AT GARAGE LOW POUR
- ④ 4" CONCRETE SLAB PATIO (OR PORCH); SLOPE 1/4" PER 12" AWAY FROM FOUNDATION WALL
- ⑤ CONCRETE FOUNDATION WALL AND FOOTING @ WALKOUT CONDITION
- ⑥ FIELD DETERMINE EXACT LOCATION OF FOOTING "STEP-DOWN" AT JOB SITE
- ⑦ 5" x 3 1/2" x 3/8" STEEL ANGLE BRICK LINTEL (BEARING 8" MIN. EACH SIDE)
- ⑧ BRICK VENEER
- ⑨ SLOPED BRICK ROWLOCK SILL W/ FLASHING
- ⑩ BRICK SOLDIER COURSE (PROJECT 3/8") - SEE PLAN FOR COURSE WIDTH
- ⑪ CONCRETE STAIRS (OR SILL)
- ⑫ KEYSTONE
- ⑬ STRUCTURAL STONE SOLDIER ARCH/ SURROUND W/ KEYSTONES AS SHOWN (PROJ. 3/8" EA)
- ⑭ 8" x 4" x 1/2" STEEL ANGLE BRICK LINTEL (BEARING 8" MIN. EACH SIDE)
- ⑮ FIBERGLASS SHINGLES WITH SEALED DOWN TABS OVER 1 LAYER OF 15# BUILDERS FELT
- ⑯ INTERLACE SHINGLES OVER 15# ROLLED ROOFING
- ⑰ METAL FLASHING AT ROOF / WALL INTERSECTION
- ⑱ ENCLOSED ALUMINUM SOFFIT (VENTED 6 S.I. PER L.F.)
- ⑲ OVERFRAMED SADDLE AS REQUIRED (HATCHED)
- ⑳ SHINGLE MLDG. OVER 2 X 8 RAKE BOARD WITH ALUMINUM WRAP
- ㉑ GUTTER OVER 2 X 8 FASCIA BOARD WITH ALUMINUM WRAP
- ㉒ 2X6 SHADOW BOARD W/ ALUMINUM WRAP (3 1/2" EXPOSED)
- ㉓ ALUMINUM WRAP PORCH BEAM
- ㉔ 7/16" O.S.B. PORCH CEILING WITH ALUMINUM SOFFIT
- ㉕ ALUMINUM WRAP GARAGE DOOR FRAME
- ㉖ VINYL CORNER TRIM
- ㉗ DOUBLE 4" VINYL SIDING
- ㉘ GRADE - SLOPE DOWN 6" WITHIN THE FIRST 10 FEET OR TO A SHALE
- ㉙ CANTILEVER; PROVIDE EXTERIOR GRADE SOFFIT, INSULATE TO R-14 MIN. AND VENT FLOOR JOISTS CAVITY.
- ㉚ 12" x 80" SIDELIGHT WITH TEMPERED INSULATED GLASS
- ㉛ 16/20, 2- LITE, STEEL SASH, HOPPER TYPE BASEMENT WINDOW.
- ㉜ NOT USED
- ㉝ CONTINUOUS RIDGE VENT (COR-A-VENT 300 = 13.5 S.I. PER L.F.) OR EQUAL
- ㉞ 36" HALF ROUND LOUVER, "TYPON" HRLV36X18 (NON FUNCTIONAL)
- ㉟ TRANSOM UNIT TO MATCH UNIT WIDTH BELOW
- ㊱ WOOD DECK - SEE DETAIL
- ㊲ 36" HIGH WOOD GUARDRAIL WITH 2X2 WOOD BALUSTERS AT 4' APART, MAX.
- ㊳ 6X6 CEDAR DECK POST ON METAL STAND-OFF POST SHOE ANCHORED 8" MIN. INTO CONCRETE POST PIER
- ㊴ 12" DIA. CONCRETE POST PIER - SEE FOUNDATION PLAN FOR FLARED DIMENSION AT BOTTOM

GENERAL ELEVATION NOTES

1. INSTALL 15# BUILDERS FELT ON ENTIRE ROOF (2- LAYERS ON ROOFS WITH 4/12 PITCH OR LESS)
2. SEE BASE PLANS / ELEVATIONS AND DETAIL SHEET FOR ADDITIONAL INFORMATION.
3. SECURELY BARRICADE DOORS TO DECK UNTIL DECK IS BUILT AND APPROVED.
4. SEE THE GENERAL NOTES FOR INSULATION REQUIREMENTS FOR THE BUILDING ENVELOPE, INCLUDING BASEMENT WALLS.
5. WINDOW DESIGNATIONS ARE THOSE OF "ANDERSEN" 200 SERIES, UNLESS NOTED OTHERWISE.
6. ALL BEDROOM WINDOWS TO HAVE 5:1 SQ. FT. MINIMUM NET CLEAR OPENING AREA (5.0 SQ. FT. AT GRADE FLOOR WINDOWS). WINDOWS TO HAVE 20" MINIMUM CLEAR OPENING WIDTH AND 24" MINIMUM NET CLEAR OPENING HEIGHT. 44" MAX HEIGHT TO BOTTOM OF CLEAR OPENING.
7. ROOF FLASHING: PROVIDE CORROSION RESISTANT METAL FLASHING AT ALL ROOF VALLEYS, WALL AND CHIMNEY INTERSECTIONS, PORCHES, DECKS, ETC.. ROLLED ROOFING OR TWO LAYERS OF TYPE I UNDERLAYMENT MAY BE SUBSTITUTED FOR FLASHING AT ROOF VALLEYS PROVIDED THE SHINGLES ARE INTERLACED.
8. ALUMINUM DOWNSPOUTS TO BE LOCATED BY INSTALLER AND SHALL MEET ALL APPLICABLE CODES. ALL DOWNSPOUTS SHALL TERMINATE INTO SPLASH BLOCKS OR OTHER APPROVED EROSION CONTROL.
9. ALL EXTERIOR WALLS, INCLUDING GABLES, ETC. SHALL HAVE APA RATED 1/2" EXTERIOR GRADE OSB OR PLYWOOD SHEATHING
10. PROPERLY CALK / SEAL AROUND ALL DOORS AND WINDOW TRIM.
11. ALL MAN DOORS AND GLAZING WITHIN A 24" ARC OF DOOR REQUIRE TEMPERED GLASS.
12. DOORS & WINDOWS IN THE THERMAL ENVELOPE SHALL HAVE A MAXIMUM U- FACTOR OF 0.40.

DATE
9-20-13

REVISED
6/21/16 M. BATH PROJ. & TR.

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Missouri, 63367
(636) 561-2420 FAX (636) 561-9194
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PROPOSED MASTER PLAN FOR THE
MELROSE II
2009 International Residential Code
CLAYMONT DEVELOPMENT, LLC

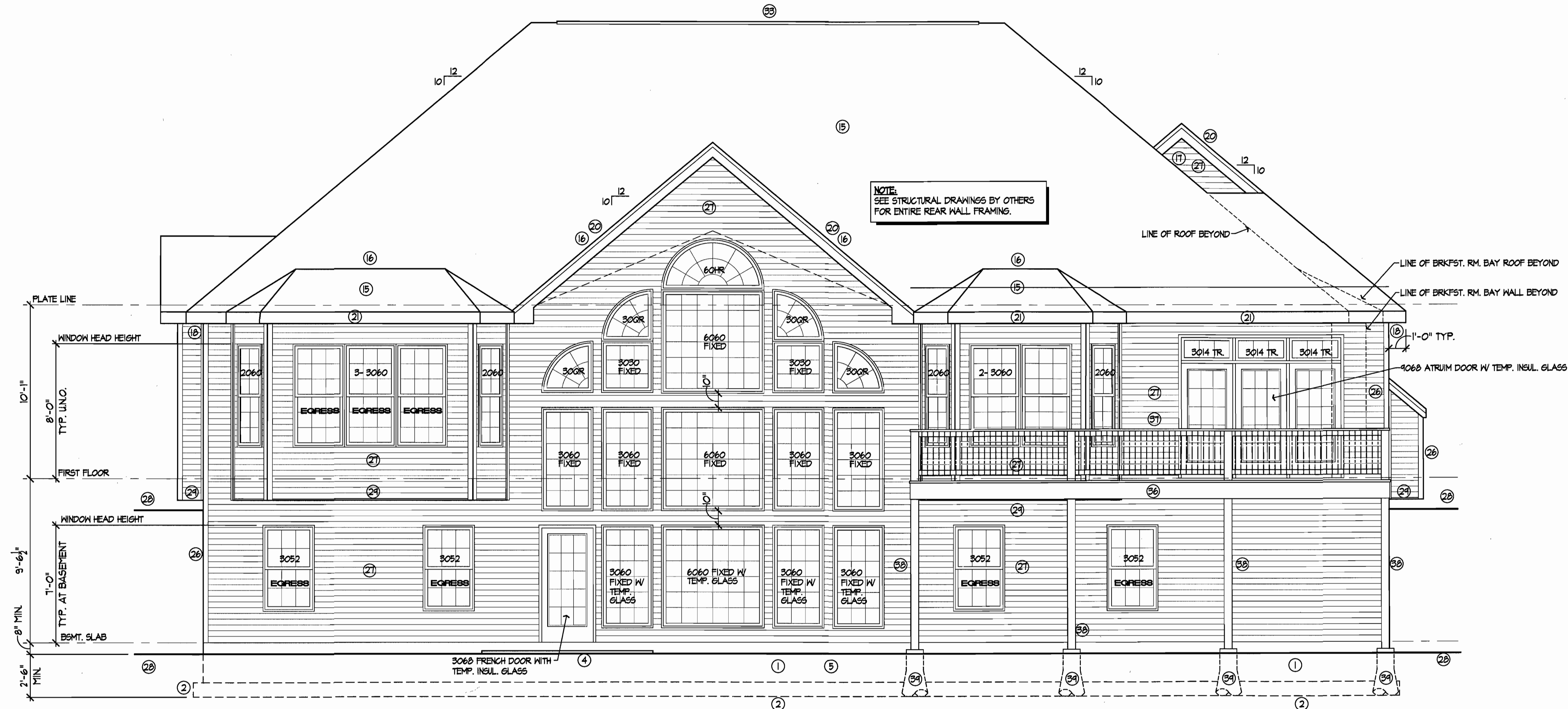
FRONT ELEVATION
LEFT SIDE ELEVATION

SHEET
5

RECEIVED
JUN 21 2016
City of Chesterfield
Department of Public Services

KEYED ELEVATION NOTES

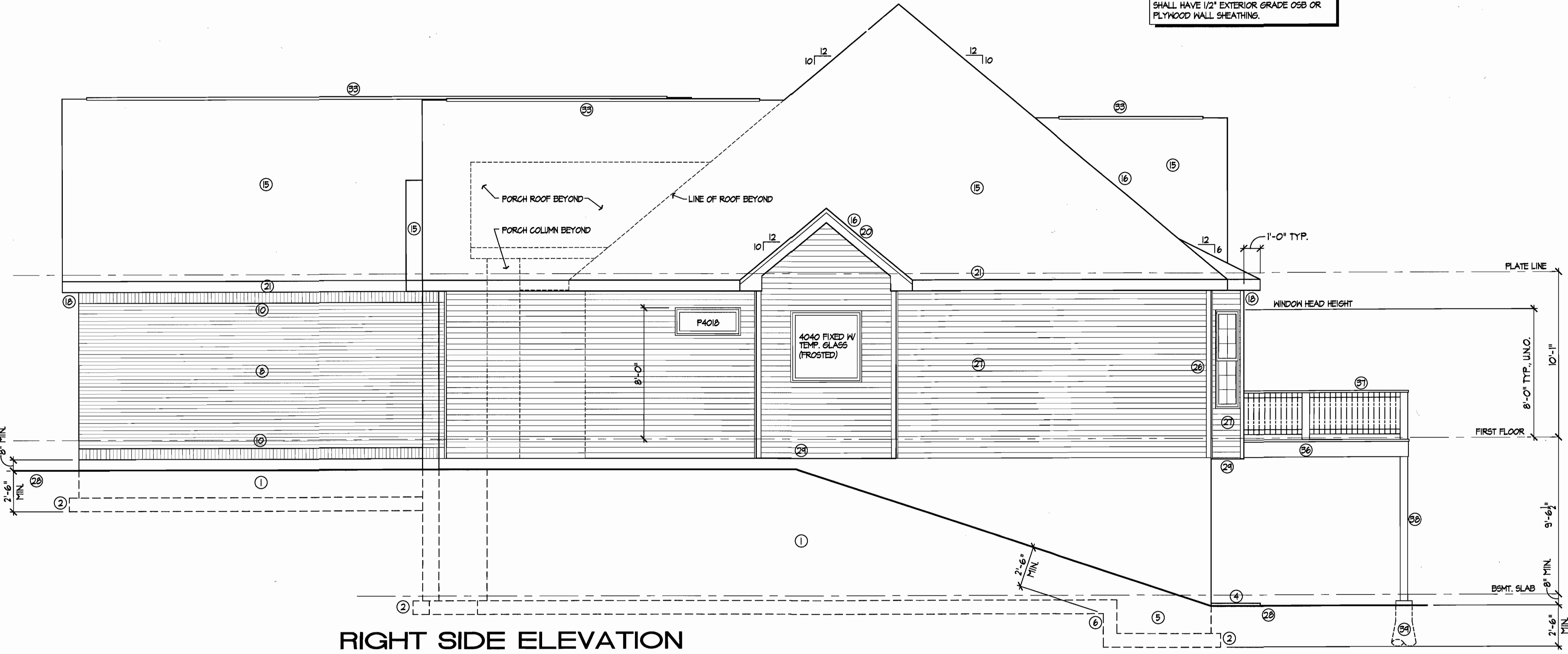
- ① 10" CONCRETE FOUNDATION WALL (SEE GENERAL FDN. NOTE #6)
- ② 23" X 10" CONCRETE FOOTING AT FRAME WALL, 26" X 10" CONCRETE FOOTING AT AREAS W/ BRICK OR STONE VENEER ABOVE (SEE GENERAL FDN. NOTE # 6)
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- ⑤ CONCRETE FOUNDATION WALL AND FOOTING @ WALKOUT CONDITION
- ⑥ FIELD DETERMINE EXACT LOCATION OF FOOTING "STEP-DOWN" AT JOB SITE
- ⑦ 5" X 3 1/2" X 3/8" STEEL ANGLE BRICK LINTEL (BEARING 8" MIN. EACH SIDE)
- ⑧ BRICK VENEER
- ⑨ SLOPED BRICK ROWLOCK SILL W/ FLASHING
- ⑩ BRICK SOLDIER COURSE (PROJECT 3/8") - SEE PLAN FOR COURSE WIDTH
- ⑪ CONCRETE STAIRS (OR SILL)
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- ㉔ 1/16" O.S.B. PORCH CEILING WITH ALUMINUM SOFFIT
- ㉕ ALUMINUM WRAP GARAGE DOOR FRAME
- ㉖ VINYL CORNER TRIM
- ㉗ DOUBLE 4" VINYL SIDING
- ㉘ GRADE - SLOPE DOWN 6" WITHIN THE FIRST 10 FEET OR TO A SHALE
- ㉙ CANTILEVER; PROVIDE EXTERIOR GRADE SOFFIT, INSULATE TO R-19 MIN. AND VENT FLOOR JOISTS GAVITY.
- ㉚ 12" X 80" SIDELIGHT WITH TEMPERED INSULATED GLASS
- ㉛ 16/20, 2- LITE, STEEL SASH, HOPPER TYPE BASEMENT WINDOW.
- ㉜ NOT USED
- ㉝ CONTINUOUS RIDGE VENT (COR-A-VENT 300 = 135 S.I. PER L.F.) OR EQUAL
- ㉞ 36" HALF ROUND LOUVER, "TYPON" HRLV36X18 (NON FUNCTIONAL)
- ㉟ TRANSOM UNIT TO MATCH UNIT WIDTH BELOW
- ㊱ WOOD DECK - SEE DETAIL
- ㊲ 36" HIGH WOOD GUARDRAIL WITH 2X2 WOOD BALLUSTERS AT 4" APART, MAX.
- ㊳ 6X6 CEDAR DECK POST ON METAL STAND-OFF POST SHOE ANCHORED 8" MIN. INTO CONCRETE POST PIER
- ㊴ 12" DIA. CONCRETE POST PIER - SEE FOUNDATION PLAN FOR FLARED DIMENSION AT BOTTOM



REAR ELEVATION

SCALE 1/4" = 1'-0"

NOTE:
ALL EXTERIOR WALLS, INCLUDING GABLES, ETC.
SHALL HAVE 1/2" EXTERIOR GRADE OSB OR
PLYWOOD WALL SHEATHING.



RIGHT SIDE ELEVATION

SCALE 1/4" = 1'-0"

GENERAL ELEVATION NOTES

1. INSTALL 15# BUILDERS FELT ON ENTIRE ROOF (2- LAYERS ON ROOFS WITH 4/12 PITCH OR LESS)
2. SEE BASE PLANS / ELEVATIONS AND DETAIL SHEET FOR ADDITIONAL INFORMATION.
3. SECURELY BARRICADE DOORS TO DECK UNTIL DECK IS BUILT AND APPROVED.
4. SEE THE GENERAL NOTES FOR INSULATION REQUIREMENTS FOR THE BUILDING ENVELOPE, INCLUDING BASEMENT WALLS.
5. WINDOW DESIGNATIONS ARE THOSE OF "ANDERSEN" 200 SERIES, UNLESS NOTED OTHERWISE.
6. ALL BEDROOM WINDOWS TO HAVE 5.7 SQ. FT. MINIMUM NET CLEAR OPENING AREA (5.0 SQ. FT. AT GRADE FLOOR WINDOWS). WINDOWS TO HAVE 20" MINIMUM CLEAR OPENING WIDTH AND 24" MINIMUM NET CLEAR OPENING HEIGHT. 44" MAX HEIGHT TO BOTTOM OF CLEAR OPENING.
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9. ALL EXTERIOR WALLS, INCLUDING GABLES, ETC SHALL HAVE 1/2" EXTERIOR GRADE OSB OR PLYWOOD SHEATHING
10. PROPERLY CAULK / SEAL AROUND ALL DOORS AND WINDOW TRIM.
11. ALL MAIN DOORS AND GLAZING WITHIN A 24" ARC OF DOOR REQUIRE TEMPERED GLASS.
12. DOORS & WINDOWS IN THE THERMAL ENVELOPE SHALL HAVE A MAXIMUM U-FACTOR OF 0.40.

DATE
9-20-13

REVISED
6/21/16 M. BATH PROJ. & TR.

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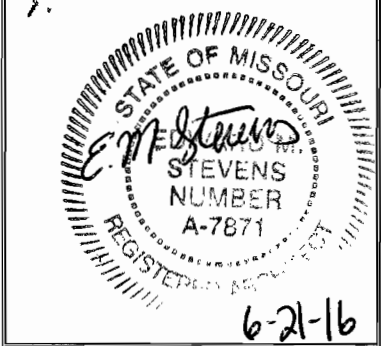
STATE OF MISSOURI
EDWARD M. STEVENS
NUMBER
A-7871
6-21-16
REGISTERED ARCHITECT

PROPOSED MASTER PLAN FOR THE
MELROSE II
2009 International Residential Code
CLAYMONT DEVELOPMENT, LLC

REAR ELEVATION
RIGHT SIDE ELEVATION

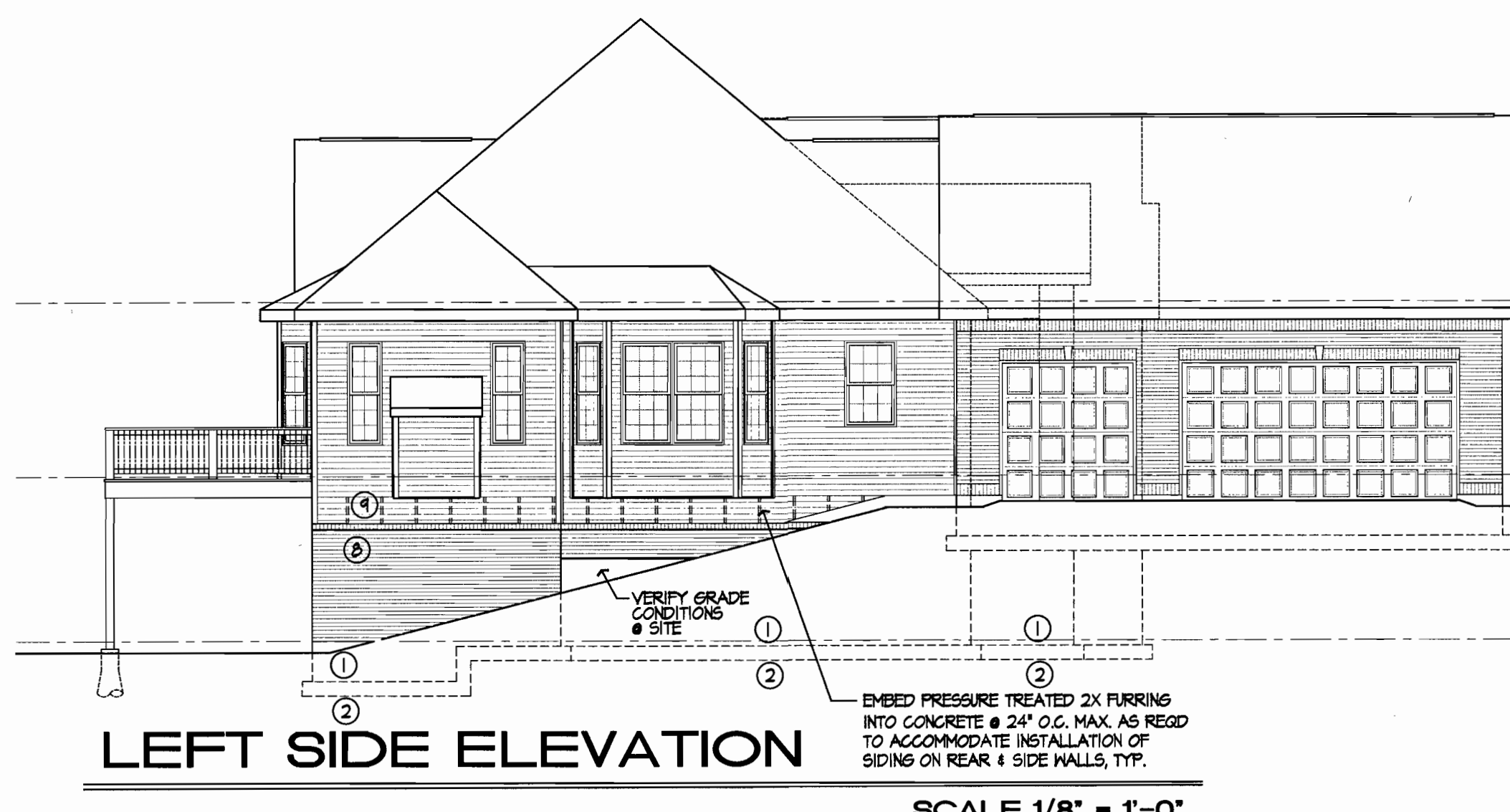
SHEET
6

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Missouri, 63367
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PROPOSED MASTER PLAN FOR THE
MELROSE II
2009 International Residential Code
CLAYMONT DEVELOPMENT, LLC

ALT. BRICK ELEVATIONS
ALT. BRICK FDN. PLAN
DETAIL



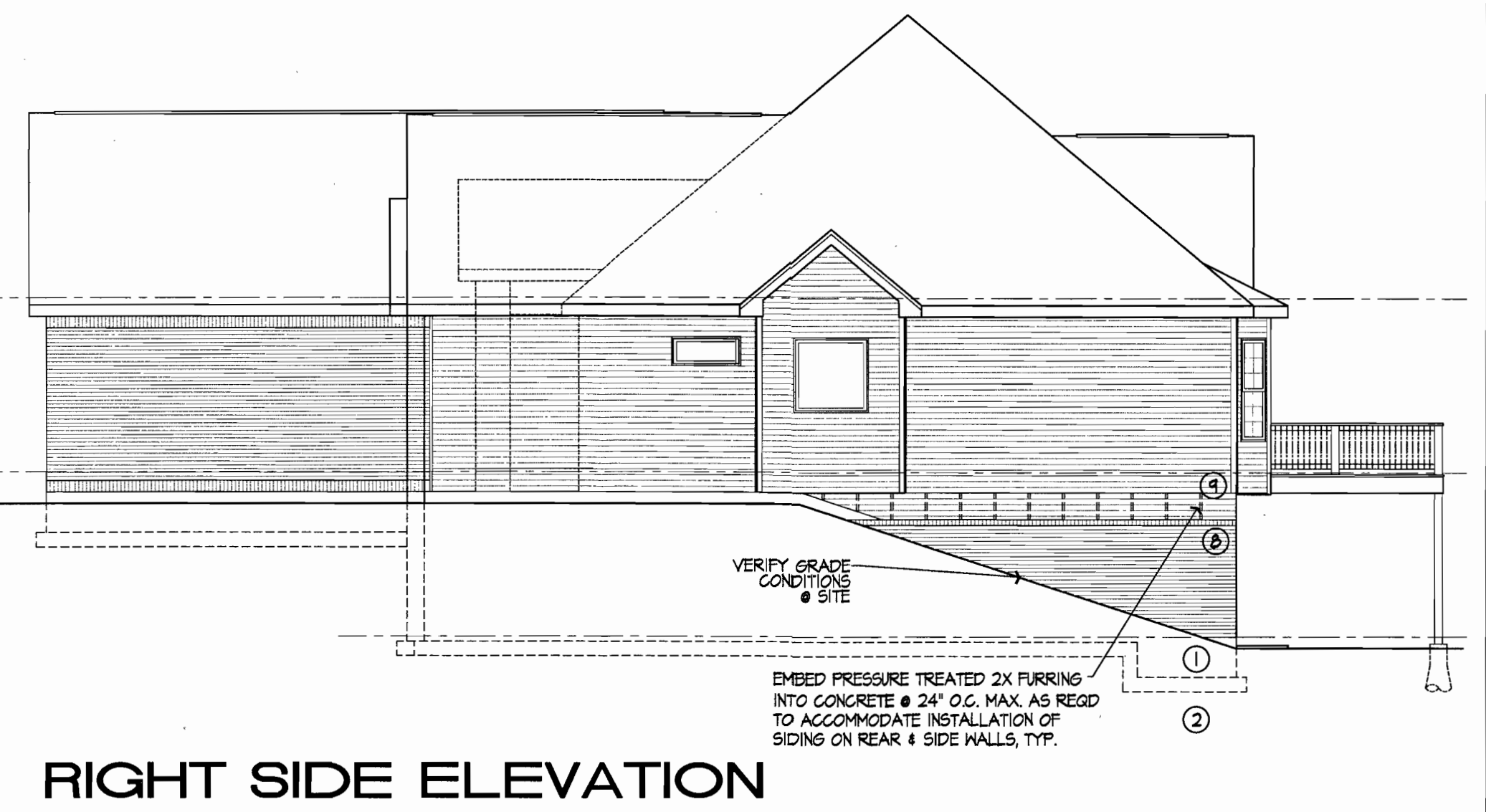
LEFT SIDE ELEVATION

SCALE 1/8" = 1'-0"



REAR ELEVATION

SCALE 1/8" = 1'-0"

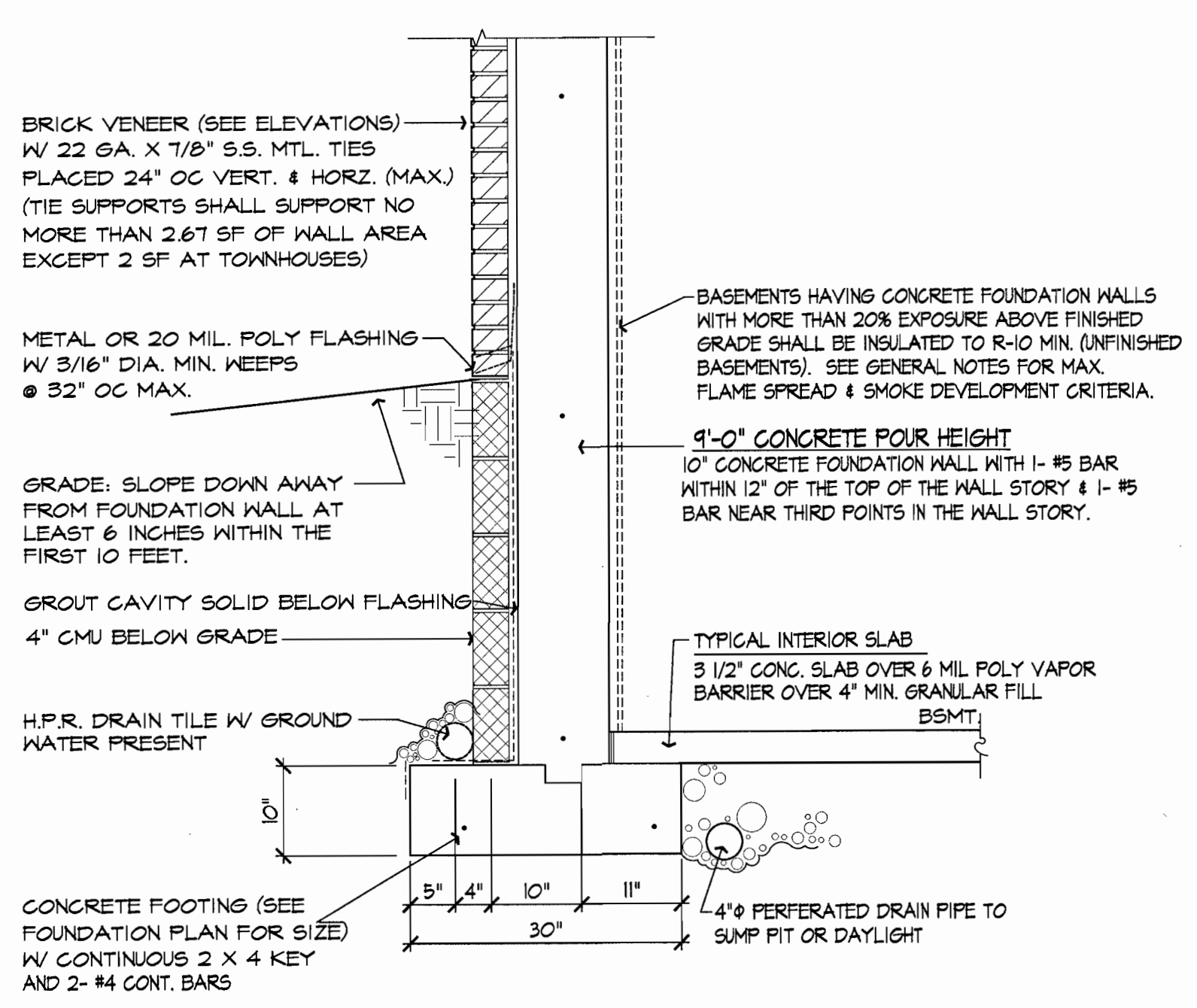


RIGHT SIDE ELEVATION

SCALE 1/8" = 1'-0"

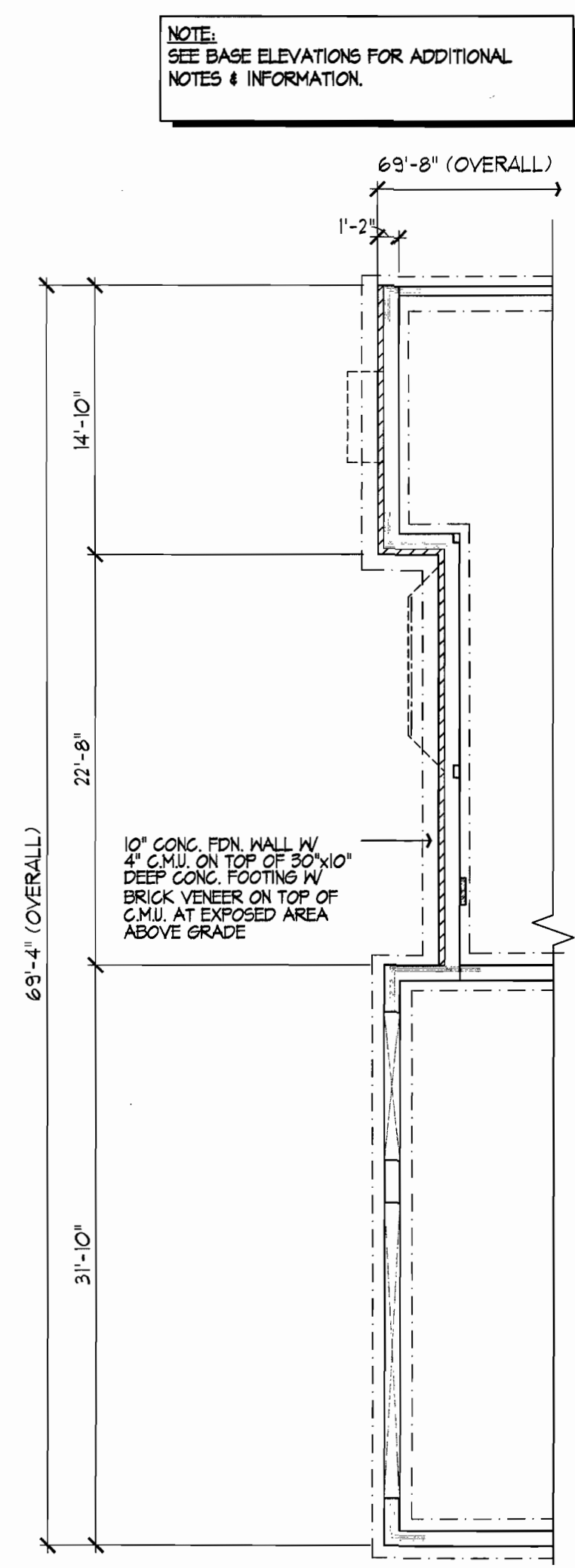
NOTE:
SEE BASE ELEVATIONS FOR ADDITIONAL
NOTES & INFORMATION.

NOTE:
THE HOMES BUILT ON LOTS 1, 7, 8, 9, 10, 11, & 12
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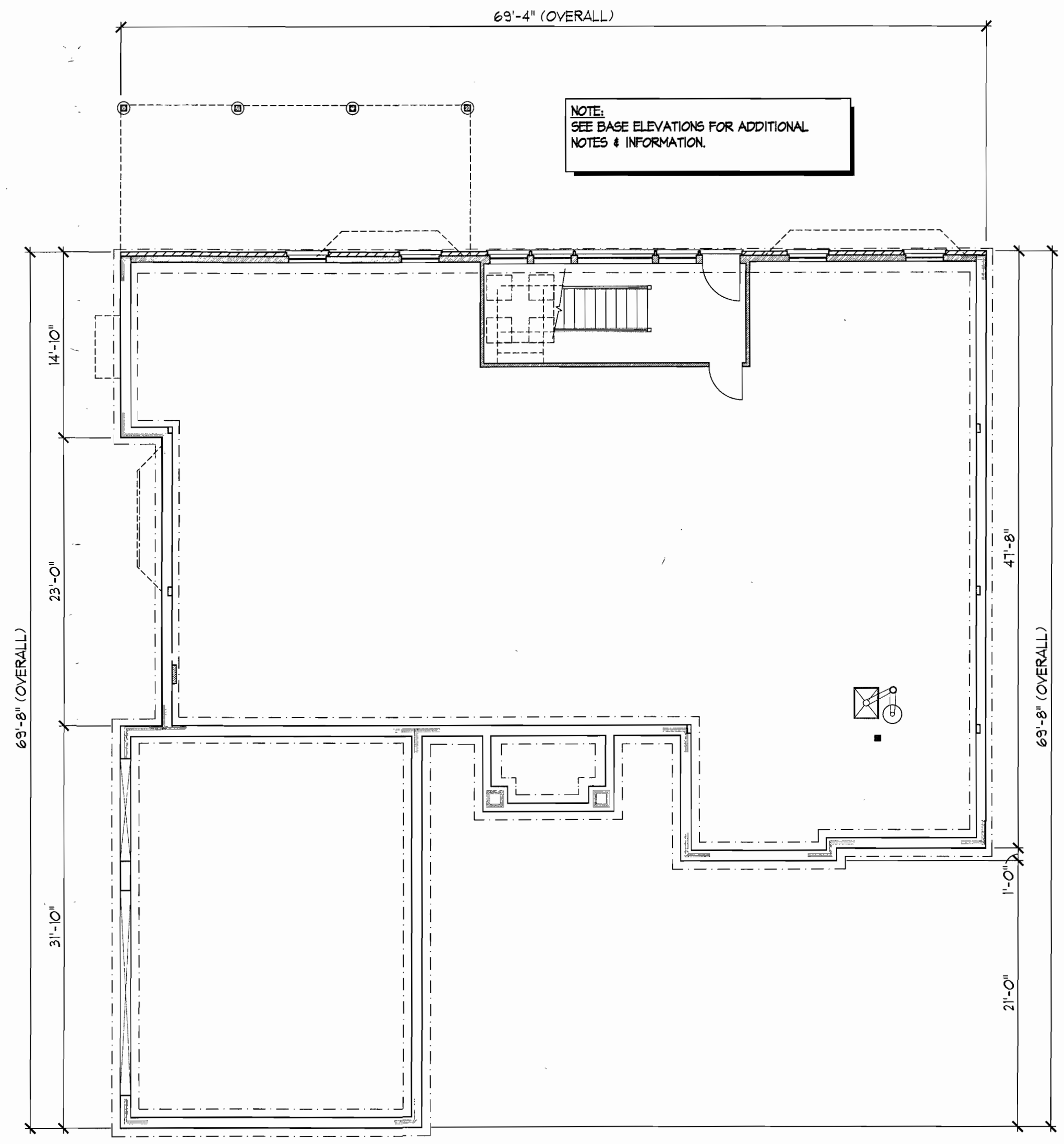
SECTION @ BSMT. FOUNDATION

SCALE 3/4" = 1'-0"



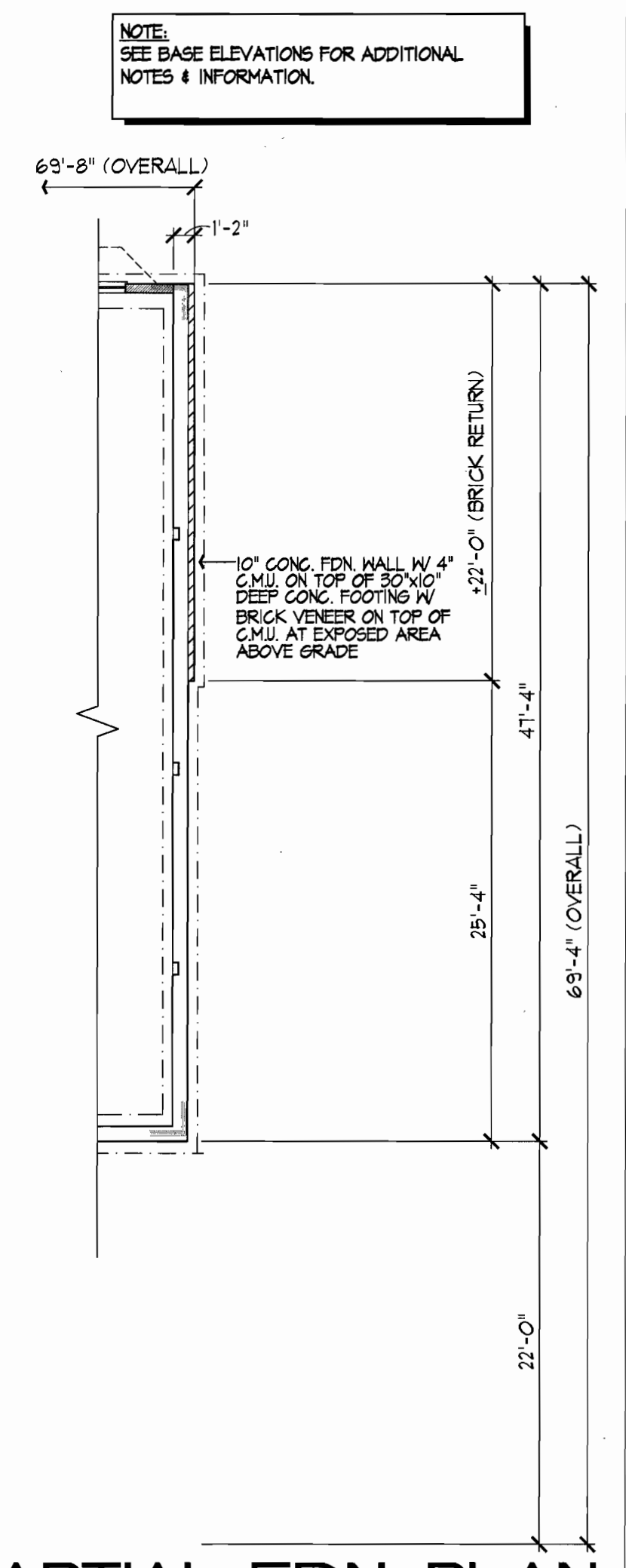
PARTIAL FDN. PLAN

BRICK ADDED TO LEFT SIDE SCALE 1/8" = 1'-0"



FOUNDATION PLAN

BRICK ADDED TO REAR SCALE 1/8" = 1'-0"

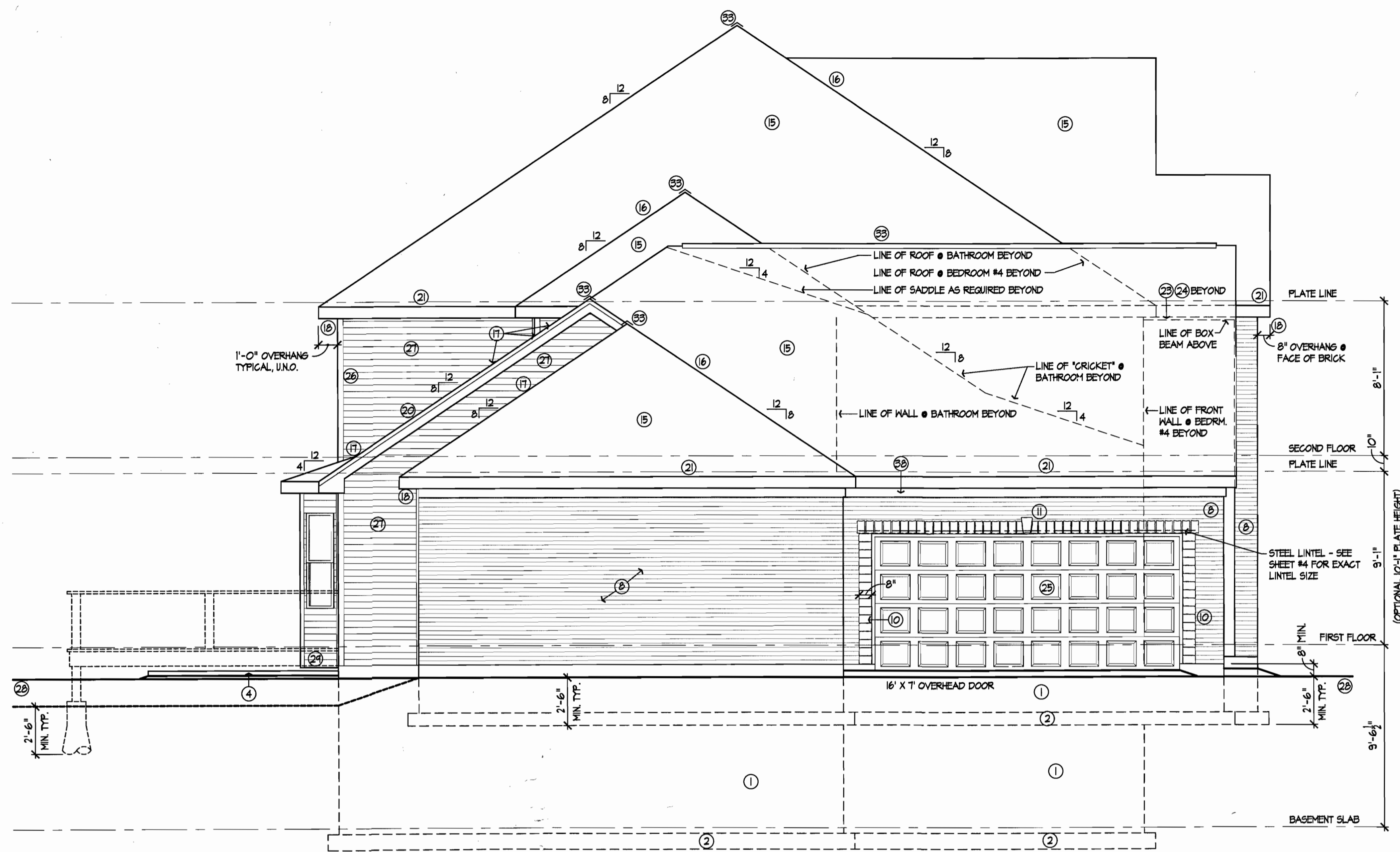


PARTIAL FDN. PLAN

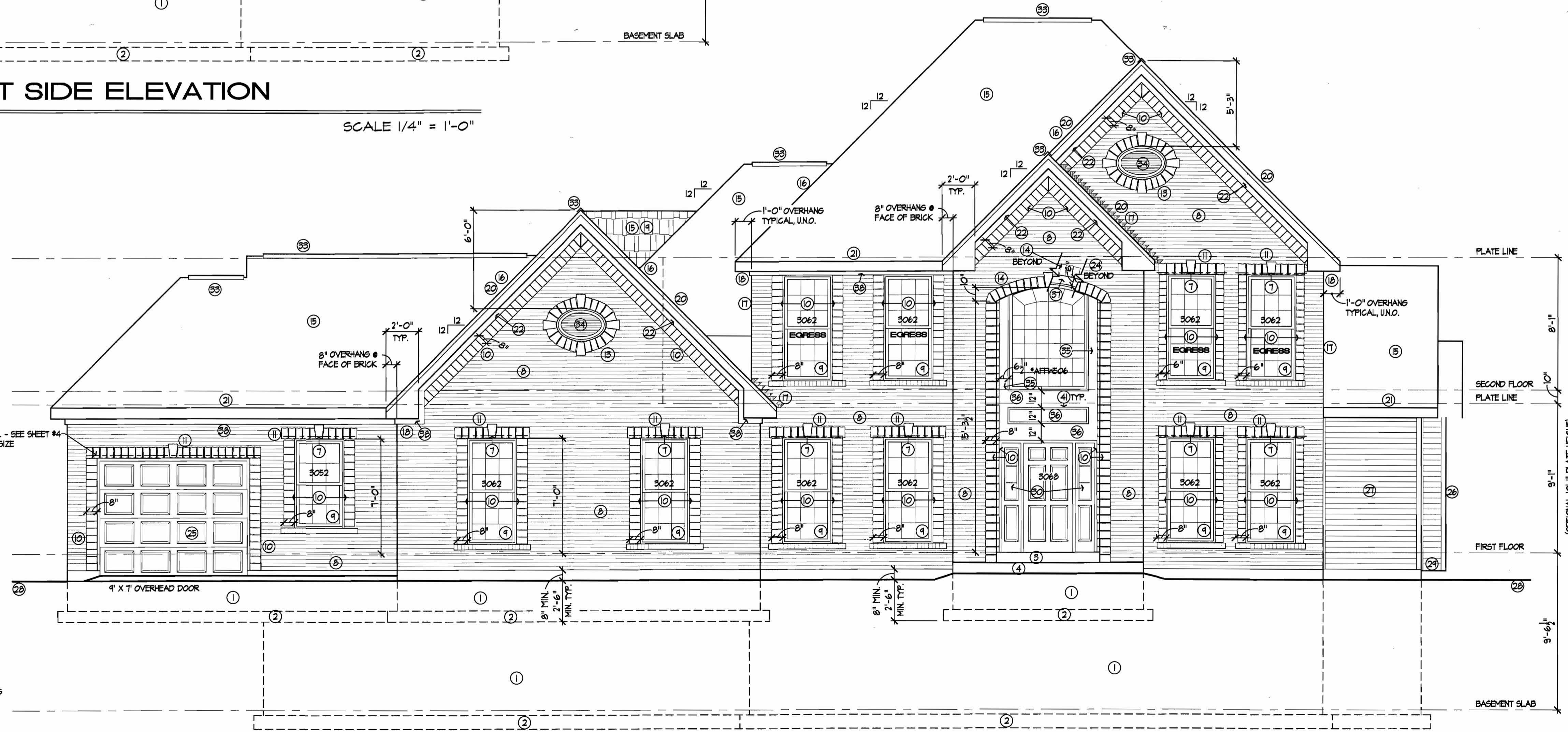
BRICK ADDED TO RIGHT SIDE
SCALE 1/8" = 1'-0"

KEYED ELEVATION NOTES

- 1 10" CONCRETE FOUNDATION WALL (SEE GENERAL FDN. NOTE #6)
- 2 26" X 10" CONCRETE FOOTING AT FRAME WALL, 32" X 10" CONCRETE FOOTING AT AREAS W/ BRICK OR STONE VENEER ABOVE (SEE GENERAL FDN. NOTE # 6)
- 3 CONCRETE STAIRS (OR SILL)
- 4 4" CONCRETE SLAB PATIO (OR PORCH). SLOPE 1/4" PER 12" AWAY FROM FOUNDATION WALL.
- 5 CONCRETE FOUNDATION WALL AND FOOTING @ WALKOUT OPTION
- 6 FIELD DETERMINE EXACT LOCATION OF FOOTING "STEP-DOWN" AT JOB SITE
- 7 5" X 1/2" X 3/8" STEEL ANGLE BRICK LINTEL
- 8 BRICK VENEER
- 9 SLOPED BRICK ROWLOCK SILL W/ FLASHING
- 10 BRICK HEADER COURSE (PROJECT 3/8") - SEE PLAN FOR COURSE WIDTH
- 11 STONE SOLDIERS COURSE W/ KEYSTONE AS SHOWN (PROJ. 3/8")
- 12 NOT USED
- 13 STRUCTURAL STONE SOLDIER ARCH SURROUND W/ KEYSTONES AS SHOWN (PROJ. 3/8" EA)
- 14 STRUCTURAL STONE SOLDIER ARCH W/ KEYSTONE AS SHOWN (PROJ. 3/8")
- 15 FIBERGLASS SHINGLES WITH SEALED DOWN TABS OVER 1 LAYER OF 15# BUILDERS FELT
- 16 INTERLACE SHINGLES OVER 15# ROLLED ROOFING
- 17 METAL FLASHING AT ROOF / WALL INTERSECTION
- 18 ENCLOSED ALUMINUM SOFFIT (VENTED 6 S.I. PER L.F.)
- 19 OVERFRAMED SADDLE AS REQUIRED (MATCHED)
- 20 SHINGLE MLDGS. OVER 2 X 8 RAKE BOARD WITH ALUMINUM WRAP
- 21 GUTTER OVER 2 X 8 FASCIA BOARD WITH ALUMINUM WRAP
- 22 1 X 4 SHADOW BOARD WITH ALUMINUM WRAP @ BRICK
- 23 ALUMINUM WRAP PORCH BEAM
- 24 1/8" O.S.B. PORCH CEILING WITH ALUMINUM SOFFIT
- 25 ALUMINUM WRAP GARAGE DOOR FRAME
- 26 VINYL CORNER TRIM (SEE ELEVATION FOR WIDTH)
- 27 DOUBLE 4" VINYL SIDING
- 28 GRADE - SLOPE DOWN 6" WITHIN THE FIRST 10 FEET OR TO A SHALE
- 29 CANTILEVER, PROVIDE EXTERIOR GRADE SOFFIT, INSULATE TO R-19 MIN. AND VENT FLOOR JOISTS CAVITY.
- 30 12" X 80" SIDELIGHT WITH TEMPERED INSULATED GLASS
- 31 16/20, 2- LITE, STEEL SASH, HOPPER TYPE BASEMENT WINDOW.
- 32 24" X 36" ALUMINUM SCREENED LOUVER WITH INSECT SCREEN
- 33 CONTINUOUS RIDGE VENT (COR-A-VENT 300 = 13.5 S.I. PER L.F.) OR EQUAL
- 34 TYPON O.V.L.V.X2XSH HORIZONTAL OVAL LOUVER (NON FUNCTIONAL)
- 35 1X8 WOOD TRIM (PAINTED) RIPPED AS REQUIRED - SEE ELEVATION FOR EXACT WIDTH
- 36 1X2 WOOD TRIM - PAINTED
- 37 1X WOOD TRIM (PAINTED) WITH RADIUS CUT AS SHOWN
- 38 1 X 4 FRIEZE BOARD WITH ALUMINUM WRAP (BLOCKING AS REQUIRED TO OVERHANG BRICK)
- 39 "PRECISE FORMS INC." MAJESTIC DOUBLE GLAZED 48" X 48" SLIDER WINDOW. BOTTOM OF WINDOW OPENING SHALL BE 44" MAX. ABOVE FINISHED FLOOR. PROVIDE 2" #5 REBARS AROUND WINDOW EXTENDING 24" MIN. PAST WINDOW OPENING (W/ "PRECISE FORMS, INC. 18 GA. GALVANIZED EGRESS STEEL AREA WALLS IF REQ'D BY GRADE) OR EQUAL. INSTALL PER MFG'S SPECS. (SEE #4/11 FOR WINDOW WELL DRAINAGE INFORMATION)
- 40 TRANSOM UNIT TO MATCH UNIT WIDTH BELOW
- 41 PANEL MOULDING - PAINTED



LEFT SIDE ELEVATION
SCALE 1/4" = 1'-0"



FRONT AND LEFT SIDE ELEVATIONS
SCALE 1/4" = 1'-0"

GENERAL ELEVATION NOTES

- 1. INSTALL 15# BUILDERS FELT ON ENTIRE ROOF (2- LAYERS ON ROOFS WITH 4/12 PITCH OR LESS)
- 2. SEE BASE PLANS / ELEVATIONS AND DETAIL SHEET FOR ADDITIONAL INFORMATION.
- 3. SECURELY BARRICADE DOORS TO DECK, UNTIL DECK IS BUILT AND APPROVED.
- 4. SEE THE GENERAL NOTES FOR INSULATION REQUIREMENTS FOR THE BUILDING ENVELOPE, INCLUDING BASEMENT WALLS.
- 5. WINDOW DESIGNATIONS ARE THOSE OF "ANDERSEN" 200 SERIES, UNLESS NOTED OTHERWISE.
- 6. ALL BEDROOM WINDOWS TO HAVE 5.1 SQ. FT. MINIMUM NET CLEAR OPENING AREA (5.0 SQ. FT. AT GRADE FLOOR WINDOWS). WINDOWS TO HAVE 20" MINIMUM CLEAR OPENING WIDTH AND 24" MINIMUM NET CLEAR OPENING HEIGHT. 44" MAX HEIGHT TO BOTTOM OF CLEAR OPENING.
- 7. ROOF FLASHING: PROVIDE CORROSION RESISTANT METAL FLASHING AT ALL ROOF VALLEYS, WALL AND CHIMNEY INTERSECTIONS, PORCHES, DECKS, ETC.. ROLLED ROOFING OR TWO LAYERS OF TYPE I UNDERLAYMENT MAY BE SUBSTITUTED FOR FLASHING AT ROOF VALLEYS PROVIDED THE SHINGLES ARE INTERLACED.
- 8. ALUMINUM DOWNSPOUTS TO BE LOCATED BY INSTALLER AND SHALL MEET ALL APPLICABLE CODES. ALL DOWNSPOUTS SHALL TERMINATE INTO SPLASH BLOCKS OR OTHER APPROVED EROSION CONTROL.
- 9. ALL EXTERIOR WALLS, INCLUDING GABLES, ETC SHALL HAVE APA RATED 1/2" EXTERIOR GRADE OSB OR PLYWOOD SHEATHING
- 10. PROPERLY CAULK / SEAL AROUND ALL DOORS AND WINDOW TRIM.
- 11. ALL MAIN DOORS AND GLAZING WITHIN A 24" ARC OF DOOR REQUIRE TEMPERED GLASS.
- 12. DOORS & WINDOWS IN THE THERMAL ENVELOPE SHALL HAVE A MAXIMUM U-FACTOR OF 0.40.

DATE: 2-28-12

REVISED

1-12-16 GARAGE BRICK SIDE/REAR 6-20-16 M. TRANS. & HIC OFFSET

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PROPOSED MASTER PLAN FOR THE **WYNGATE II**
2009 International Residential Code
CLAYMONT DEVELOPMENT, LLC

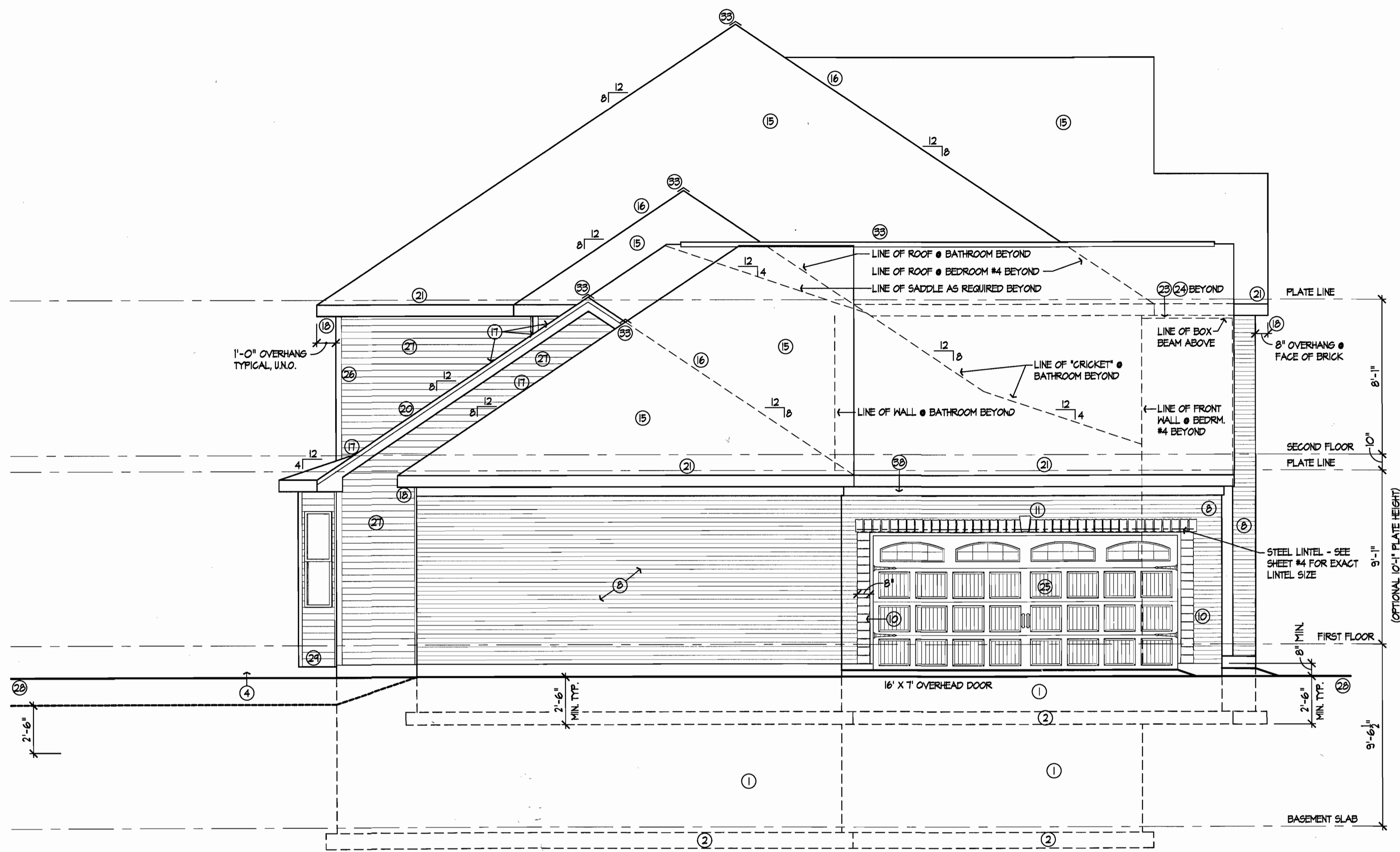
FRONT AND LEFT SIDE ELEVATIONS

SHEET 8

RECEIVED JUN 21 2016
City of Chesterfield
Department of Public Safety

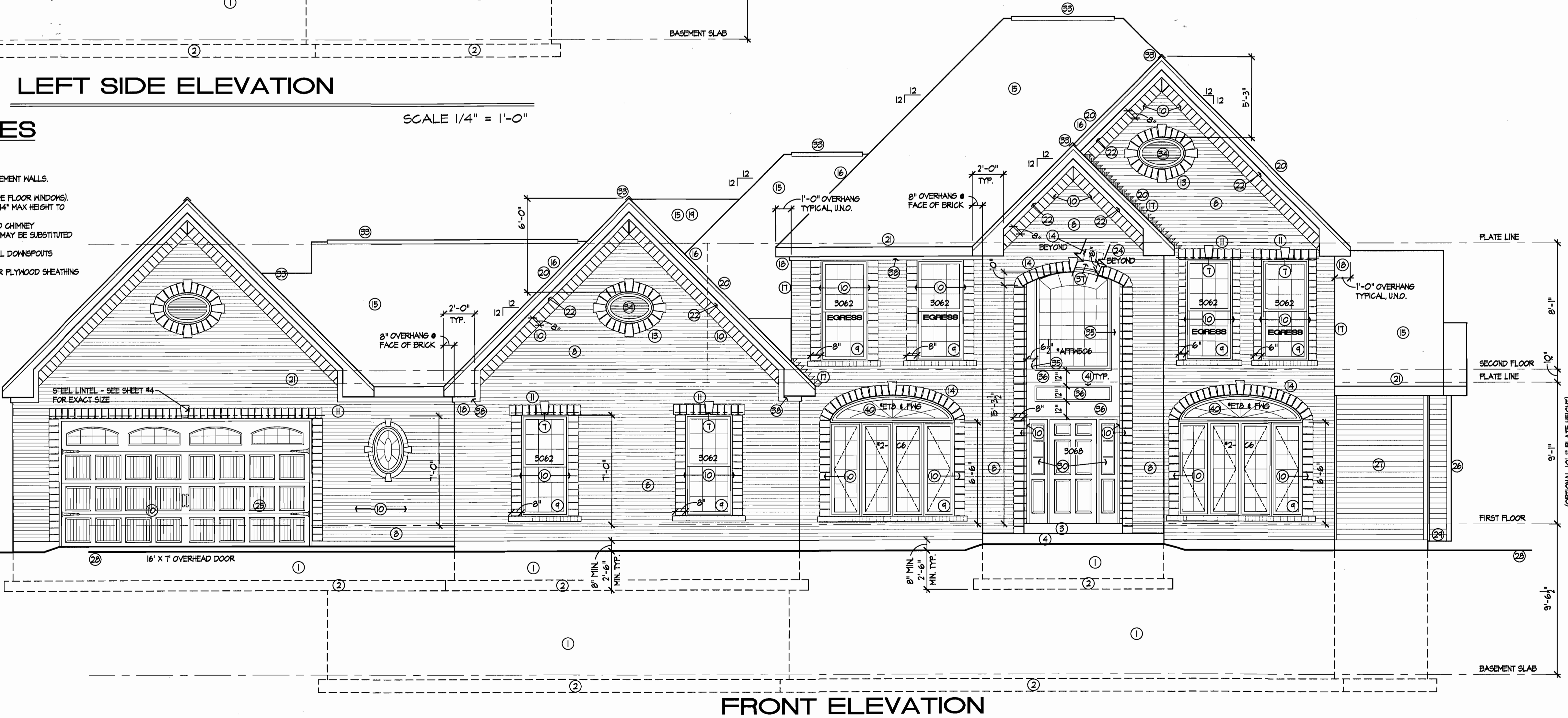
KEYED ELEVATION NOTES

- 1 10' CONCRETE FOUNDATION WALL (SEE GENERAL FDN. NOTE #6)
- 2 26" X 10" CONCRETE FOOTING AT FRAME WALL, 32" X 10" CONCRETE FOOTING AT AREAS W/ BRICK OR STONE VENEER ABOVE (SEE GENERAL FDN. NOTE # 6)
- 3 CONCRETE STAIRS (OR SILL)
- 4 4" CONCRETE SLAB PATIO (OR PORCH). SLOPE 1/4" PER 12" AWAY FROM FOUNDATION WALL.
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- 6 FIELD DETERMINE EXACT LOCATION OF FOOTING "STEP-DOWN" AT JOB SITE
- 7 5" X 3 1/2" X 3/8" STEEL ANGLE BRICK LINTEL
- 8 BRICK VENEER
- 9 SLOPED BRICK ROWLOCK SILL W/ FLASHING
- 10 BRICK HEADER COURSE (PROJECT 3/0') - SEE PLAN FOR COURSE WIDTH
- 11 STONE SOLDIERS COURSE W/ KEYSTONE AS SHOWN (PROJ. 3/0')
- 12 NOT USED
- 13 STRUCTURAL STONE SOLDIER ARCH/ SURROUND W/ KEYSTONES AS SHOWN (PROJ. 3/0' EA)
- 14 STRUCTURAL STONE SOLDIER ARCH W/ KEYSTONE AS SHOWN (PROJ. 3/0')
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- 23 ALUMINUM WRAP PORCH BEAM
- 24 1/2" O.S.B. PORCH CEILING WITH ALUMINUM SOFFIT
- 25 ALUMINUM WRAP GARAGE DOOR FRAME
- 26 VINYL CORNER TRIM (SEE ELEVATION FOR WIDTH)
- 27 DOUBLE 4" VINYL SIDING
- 28 GRADE - SLOPE DOWN 6" WITHIN THE FIRST 10 FEET OR TO A SHALE
- 29 CANTILEVER; PROVIDE EXTERIOR GRADE SOFFIT, INSULATE TO R-14 MIN. AND VENT FLOOR JOISTS CAVITY.
- 30 12" X 80" SIDELIGHT WITH TEMPERED INSULATED GLASS
- 31 1/2"O, 2-LITE, STEEL SASH, HOPPER TYPE BASEMENT WINDOW
- 32 24" X 36" ALUMINUM SCREENED LOUVER WITH INSECT SCREEN
- 33 CONTINUOUS RIDGE VENT (COR-A-VENT 300 = 135 S.I. PER L.F.) OR EQUAL
- 34 TYPON® OVALYSTEZSH HORIZONTAL OVAL LOUVER (NON FUNCTIONAL)
- 35 1X8 WOOD TRIM (PAINTED) RIPPED AS REQUIRED - SEE ELEVATION FOR EXACT WIDTH
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- 37 1X WOOD TRIM (PAINTED) WITH RADIUS CUT AS SHOWN
- 38 1 X 4 FRIEZE BOARD WITH ALUMINUM WRAP (BLOCKING AS REQUIRED TO OVERHANG BRICK)
- 39 PRECISE FORMS INC.' MAJESTIC DOUBLE GLAZED 48" X 48" SLIDER WINDOW. BOTTOM OF WINDOW OPENING SHALL BE 44" MAX ABOVE FINISHED FLOOR. PROVIDE 2-#5 REBARS AROUND WINDOW EXTENDING 24" MIN. PAST WINDOW OPENING (W/ PRECISE FORMS, INC. 10 GA. GALVANIZED EGRESS STEEL AREA WALLS IF REQ'D BY GRADE) OR EQUAL. INSTALL PER MFG'S SPECS. (SEE #4/11 FOR WINDOW WELL DRAINAGE INFORMATION)
- 40 TRANSOM UNIT TO MATCH UNIT WIDTH BELOW
- 41 PANEL MOLDING - PAINTED



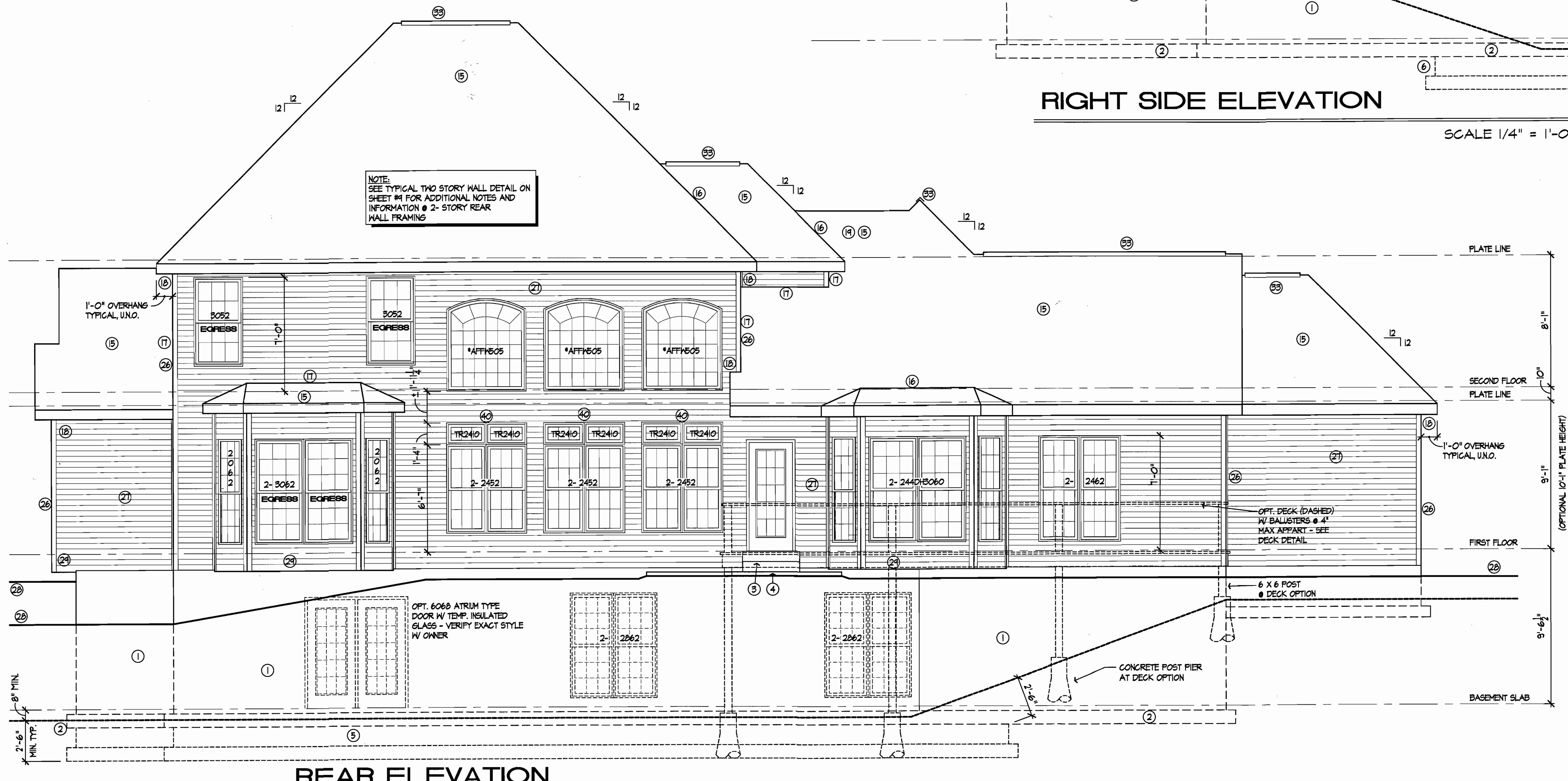
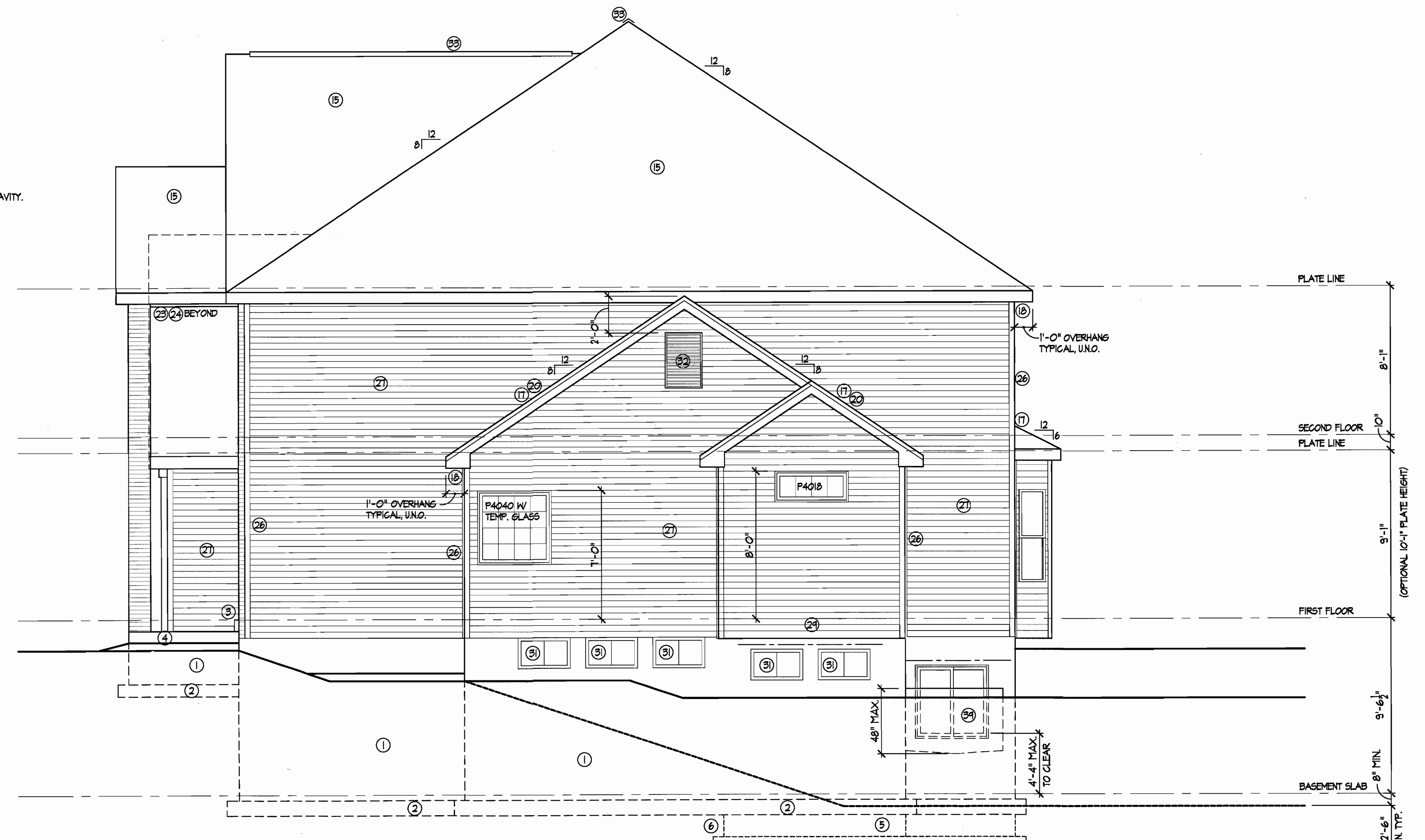
GENERAL ELEVATION NOTES

1. INSTALL 15# BUILDERS FELT ON ENTIRE ROOF (2- LAYERS ON ROOFS WITH 4/12 PITCH OR LESS)
2. SEE BASE PLANS / ELEVATIONS AND DETAIL SHEET FOR ADDITIONAL INFORMATION.
3. SECURELY BARRICADE DOORS TO DECK, UNTIL DECK IS BUILT AND APPROVED.
4. SEE THE GENERAL NOTES FOR INSULATION REQUIREMENTS FOR THE BUILDING ENVELOPE, INCLUDING BASEMENT WALLS.
5. WINDOW DESIGNATIONS ARE THOSE OF ANDERSEN 200 SERIES UNLESS NOTED OTHERWISE.
6. ALL BEDROOM WINDOWS TO HAVE 57 SQ. FT. MINIMUM NET CLEAR OPENING AREA (5.0 SQ. FT. AT GRADE FLOOR WINDOWS). WINDOWS TO HAVE 20" MINIMUM CLEAR OPENING WIDTH AND 24" MINIMUM NET CLEAR OPENING HEIGHT. 44" MAX HEIGHT TO BOTTOM OF CLEAR OPENING.
7. ROOF FLASHING: PROVIDE CORROSION RESISTANT METAL FLASHING AT ALL ROOF VALLEYS, HALL AND CHIMNEY INTERSECTIONS, PORCHES, DECK, ETC.. ROLLED ROOFING OR TWO LAYERS OF TYPE I UNDERLAYMENT MAY BE SUBSTITUTED FOR FLASHING AT ROOF VALLEYS PROVIDED THE SHINGLES ARE INTERLACED.
8. ALUMINUM DOWNSPOUTS TO BE LOCATED BY INSTALLER AND SHALL MEET ALL APPLICABLE CODES. ALL DOWNSPOUTS SHALL TERMINATE INTO SPLASH BLOCKS OR OTHER APPROVED EROSION CONTROL.
9. ALL EXTERIOR WALLS, INCLUDING GABLES, ETC SHALL HAVE APA RATED 1/2" EXTERIOR GRADE OSB OR PLYWOOD SHEATHING.
10. PROPERLY CAULK / SEAL AROUND ALL DOORS AND WINDOW TRIM.
11. ALL MAN DOORS AND GLAZING WITHIN A 24" ARC OF DOOR REQUIRE TEMPERED GLASS.
12. DOORS & WINDOWS IN THE THERMAL ENVELOPE SHALL HAVE A MAXIMUM U-FACTOR OF 0.40.



KEYED ELEVATION NOTES

- ① 10' CONCRETE FOUNDATION WALL (SEE GENERAL FDN. NOTE #6)
- ② 26" X 10" CONCRETE FOOTING AT FRAME WALL, 32" X 10" CONCRETE FOOTING AT AREAS W/ BRICK OR STONE VENEER ABOVE (SEE GENERAL FDN. NOTE # 6)
- ③ CONCRETE STAIRS (OR SILL)
- ④ 4" CONCRETE SLAB PATIO (OR PORCH), SLOPE 1/4" PER 12" AWAY FROM FOUNDATION WALL
- ⑤ CONCRETE FOUNDATION WALL AND FOOTING @ HALKOUT OPTION
- ⑥ FIELD DETERMINE EXACT LOCATION OF FOOTING "STEP-DOWN" AT JOB SITE
- ⑦ 5' x 3 1/2" x 3/8" STEEL ANGLE BRICK LINTEL
- ⑧ BRICK VENEER
- ⑨ SLOPED BRICK ROWLOCK SILL W/ FLASHING
- ⑩ BRICK HEADER COURSE (PROJECT 3/8") - SEE PLAN FOR COURSE WIDTH
- ⑪ STONE SOLDIERS COURSE W/ KEYSTONE AS SHOWN (PROJ. 3/8")
- ⑫ NOT USED
- ⑬ STRUCTURAL STONE SOLDIER ARCH/ SURROUND W/ KEYSTONES AS SHOWN (PROJ. 3/8" EA)
- ⑭ STRUCTURAL STONE SOLDIER ARCH W/ KEYSTONE AS SHOWN (PROJ. 3/8")
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- ⑯ INTERLACE SHINGLES OVER 15# ROLLED ROOFING
- ⑰ METAL FLASHING AT ROOF / WALL INTERSECTION
- ⑱ ENCLOSED ALUMINUM SOFFIT (VENTED @ 5.1 PER L.F.)
- ⑲ OVERFRAMED SADDLE AS REQUIRED (HATCHED)
- ⑳ SHINGLE MLDG. OVER 2 X 8 RAKE BOARD WITH ALUMINUM WRAP
- ㉑ GUTTER OVER 2 X 8 FASCIA BOARD WITH ALUMINUM WRAP
- ㉒ 1 X 4 SHADOW BOARD WITH ALUMINUM WRAP @ BRICK
- ㉓ ALUMINUM WRAP PORCH BEAM
- ㉔ 1/8" O.S.B. PORCH CEILING WITH ALUMINUM SOFFIT
- ㉕ ALUMINUM WRAP GARAGE DOOR FRAME
- ㉖ VINYL CORNER TRIM (SEE ELEVATION FOR WIDTH)
- ㉗ DOUBLE 4" VINYL SIDING
- ㉘ GRADE - SLOPE DOWN 6" WITHIN THE FIRST 10 FEET OR TO A SHALE
- ㉙ CANTILEVER, PROVIDE EXTERIOR GRADE SOFFIT, INSULATE TO R-19 MIN. AND VENT FLOOR JOISTS CAVITY.
- ㉚ 12" x 80" SIDELIGHT WITH TEMPERED INSULATED GLASS
- ㉛ 16/20, 2- LITE, STEEL SASH, HOPPER TYPE BASEMENT WINDOW
- ㉜ 24" x 36" ALUMINUM SCREENED LOUVER W/ INSECT SCREEN
- ㉝ CONTINUOUS RIDGE VENT (COR-A-VENT 300 = 18.5 S.F. PER L.F.) OR EQUAL
- ㉞ "TYTON" OVLVSTXSH HORIZONTAL OVAL LOUVER (NON FUNCTIONAL)
- ㉟ 1X8 WOOD TRIM (PAINTED) RIPPED AS REQUIRED - SEE ELEVATION FOR EXACT WIDTH
- ㊱ 1X12 WOOD TRIM - PAINTED
- ㊲ 1X WOOD TRIM (PAINTED) WITH RADIUS CUT AS SHOWN
- ㊳ 1 X 4 FRIEZE BOARD WITH ALUMINUM WRAP (BLOCKING AS REQUIRED TO OVERHANG BRICK)
- ㊴ "PREGISE FORMS INC." MAJESTIC DOUBLE GLAZED 48" X 48" SLIDER WINDOW. BOTTOM OF WINDOW OPENING SHALL BE 44" MAX. ABOVE FINISHED FLOOR. PROVIDE 2- #6 REBARS AROUND WINDOW EXTENDING 24" MIN. PAST WINDOW OPENING (W/ "PREGISE FORMS, INC. IS GA GALVANIZED EGRESS STEEL AREA WALLS IF REQ'D BY GRADE) OR EQUAL. INSTALL PER MFG'S SPECS. (SEE #41) FOR WINDOW WELL DRAINAGE INFORMATION)
- ㊵ TRANSOM UNIT TO MATCH UNIT WIDTH BELOW
- ㊶ PANEL MOULDING - PAINTED



NOTE:
SEE TYPICAL TWO STORY WALL DETAIL ON SHEET #4 FOR ADDITIONAL NOTES AND INFORMATION @ 2-STORY REAR WALL FRAMING

GENERAL ELEVATION NOTES

1. INSTALL 15# BUILDERS FELT ON ENTIRE ROOF (2- LAYERS ON ROOFS WITH 4/12 PITCH OR LESS)
2. SEE BASE PLANS / ELEVATIONS AND DETAIL SHEET FOR ADDITIONAL INFORMATION.
3. SECURELY BARRICADE DOORS TO DECK, UNTIL DECK IS BUILT AND APPROVED.
4. SEE THE GENERAL NOTES FOR INSULATION REQUIREMENTS FOR THE BUILDING ENVELOPE, INCLUDING BASEMENT WALLS.
5. WINDOW DESIGNATIONS ARE THOSE OF "ANDERSEN" 200 SERIES, UNLESS NOTED OTHERWISE.
6. ALL BEDROOM WINDOWS TO HAVE 5.7 SQ. FT. MINIMUM NET CLEAR OPENING AREA (5.0 SQ. FT. AT GRADE FLOOR WINDOWS). WINDOWS TO HAVE 20" MINIMUM CLEAR OPENING WIDTH AND 24" MINIMUM NET CLEAR OPENING HEIGHT. 44" MAX HEIGHT TO BOTTOM OF CLEAR OPENING.
7. ROOF FLASHING: PROVIDE CORROSION RESISTANT METAL FLASHING AT ALL ROOF VALLEYS, WALL AND CHIMNEY INTERSECTIONS, PORCHES, DECKS, ETC.. ROLLED ROOFING OR TWO LAYERS OF TYPE I UNDERLAYMENT MAY BE SUBSTITUTED FOR FLASHING AT ROOF VALLEYS PROVIDED THE SHINGLES ARE INTERLACED.
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10. PROPERLY CAULK / SEAL AROUND ALL DOORS AND WINDOW TRIM.
11. ALL MAIN DOORS AND GLAZING WITHIN A 24" ARC OF DOOR REQUIRE TEMPERED GLASS.
12. DOORS & WINDOWS IN THE THERMAL ENVELOPE SHALL HAVE A MAXIMUM U-FACTOR OF 0.40.

DATE:
2-28-12

REVISED

6-20-16 H. TRANS. # MIC OFFSET
6-20-16 H. TRANS. # MIC OFFSET

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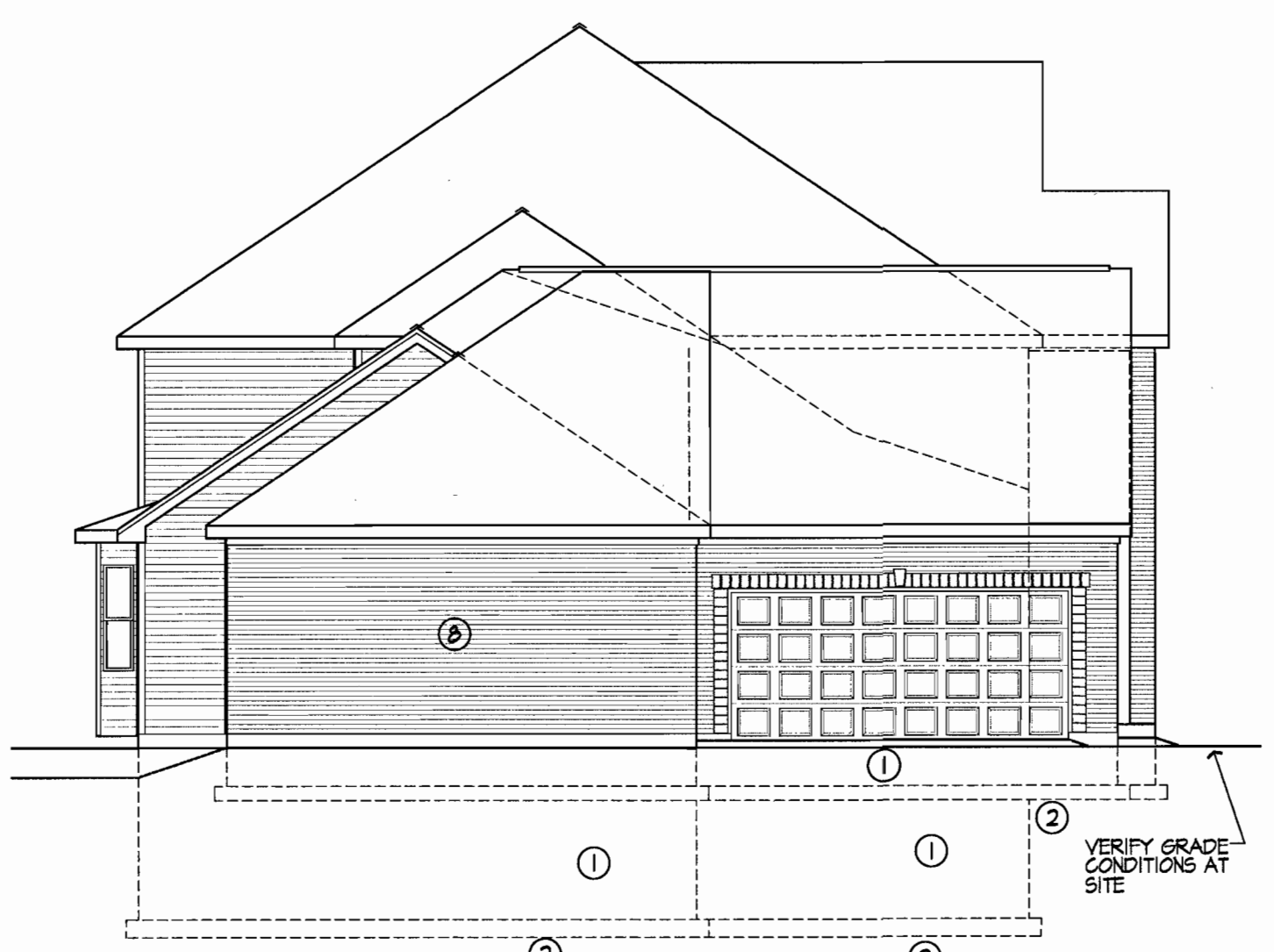
Michael White - Structural Engineer
36 Meadowbrook Country Club, Ballwin, MO 63011
(314) 609-1419 FAX (636) 230-6319

8/21/16

PROPOSED MASTER PLAN FOR THE
WYNGATE II
2009 International Residential Code
CLAYMONT DEVELOPMENT, LLC

REAR AND RIGHT SIDE ELEVATIONS

SHEET
10



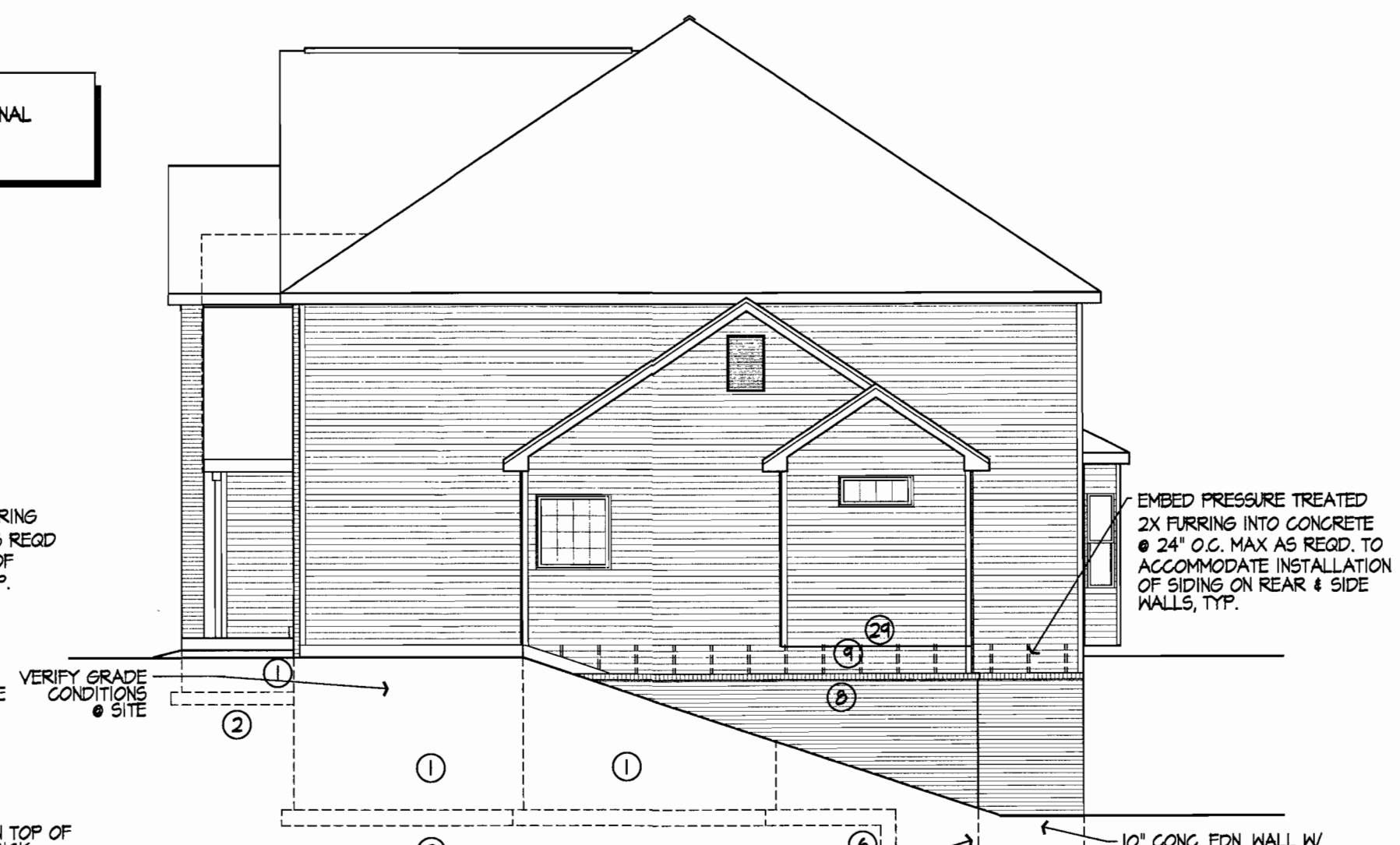
LEFT SIDE ELEVATION

SCALE 1/8" = 1'-0"



REAR ELEVATION

SCALE 1/8" = 1'-0"



RIGHT SIDE ELEVATION

SCALE 1/8" = 1'-0"

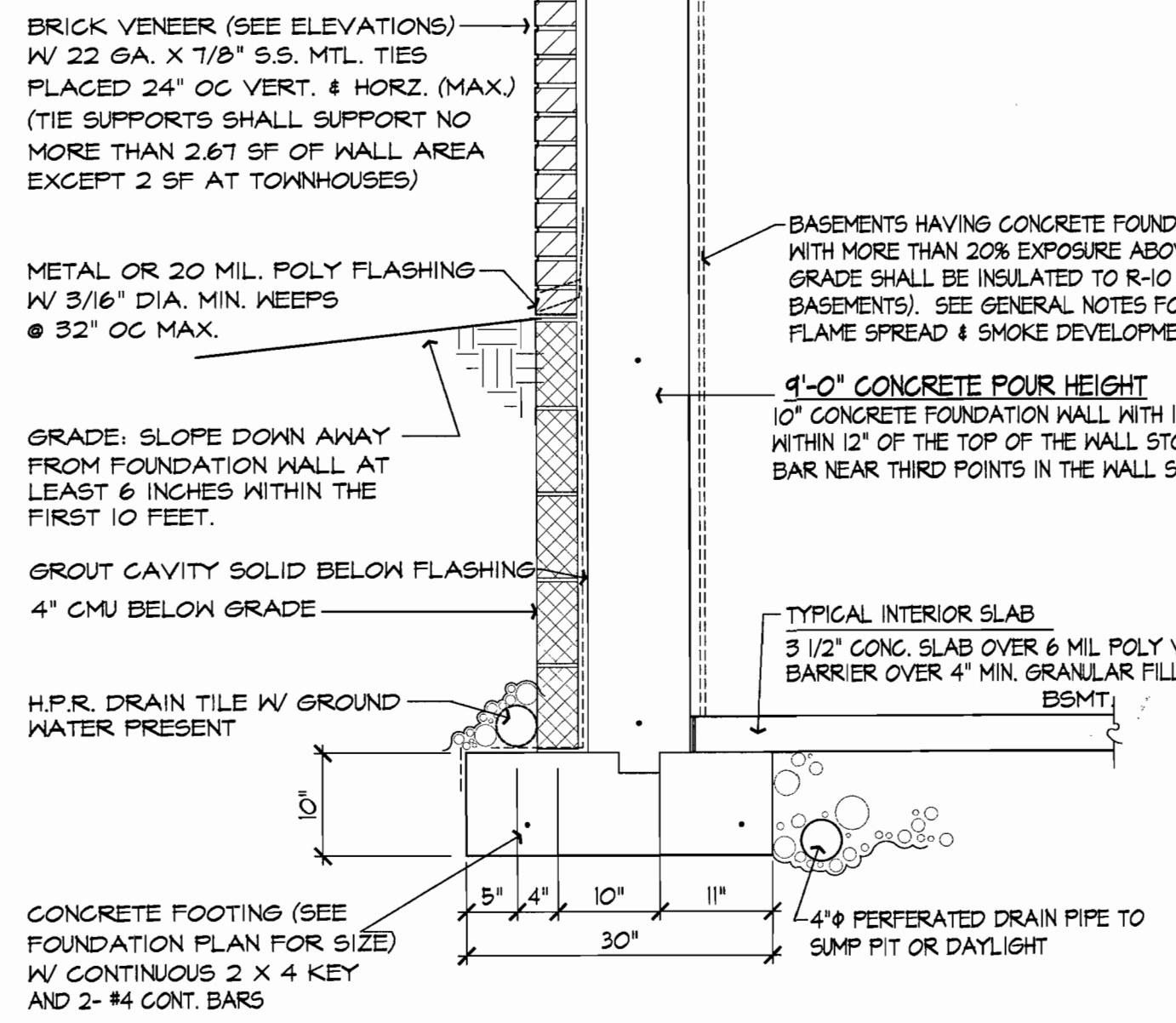
NOTE:
SEE BASE ELEVATIONS FOR ADDITIONAL NOTES & INFORMATION.

EMBED PRESSURE TREATED 2X FURRING INTO CONCRETE @ 24" O.C. MAX. AS REQD. TO ACCOMMODATE INSTALLATION OF SIDING ON REAR & SIDE WALLS, TYP.

10' CONC. FDN. WALL W/ 4" C.M.U. ON TOP OF 30"x10" DEEP CONC. FOOTING W/ BRICK VENEER ON TOP OF C.M.U. @ EXPOSED AREA ABOVE GRADE

EMBED PRESSURE TREATED 2X FURRING INTO CONCRETE @ 24" O.C. MAX. AS REQD. TO ACCOMMODATE INSTALLATION OF SIDING ON REAR & SIDE WALLS, TYP.

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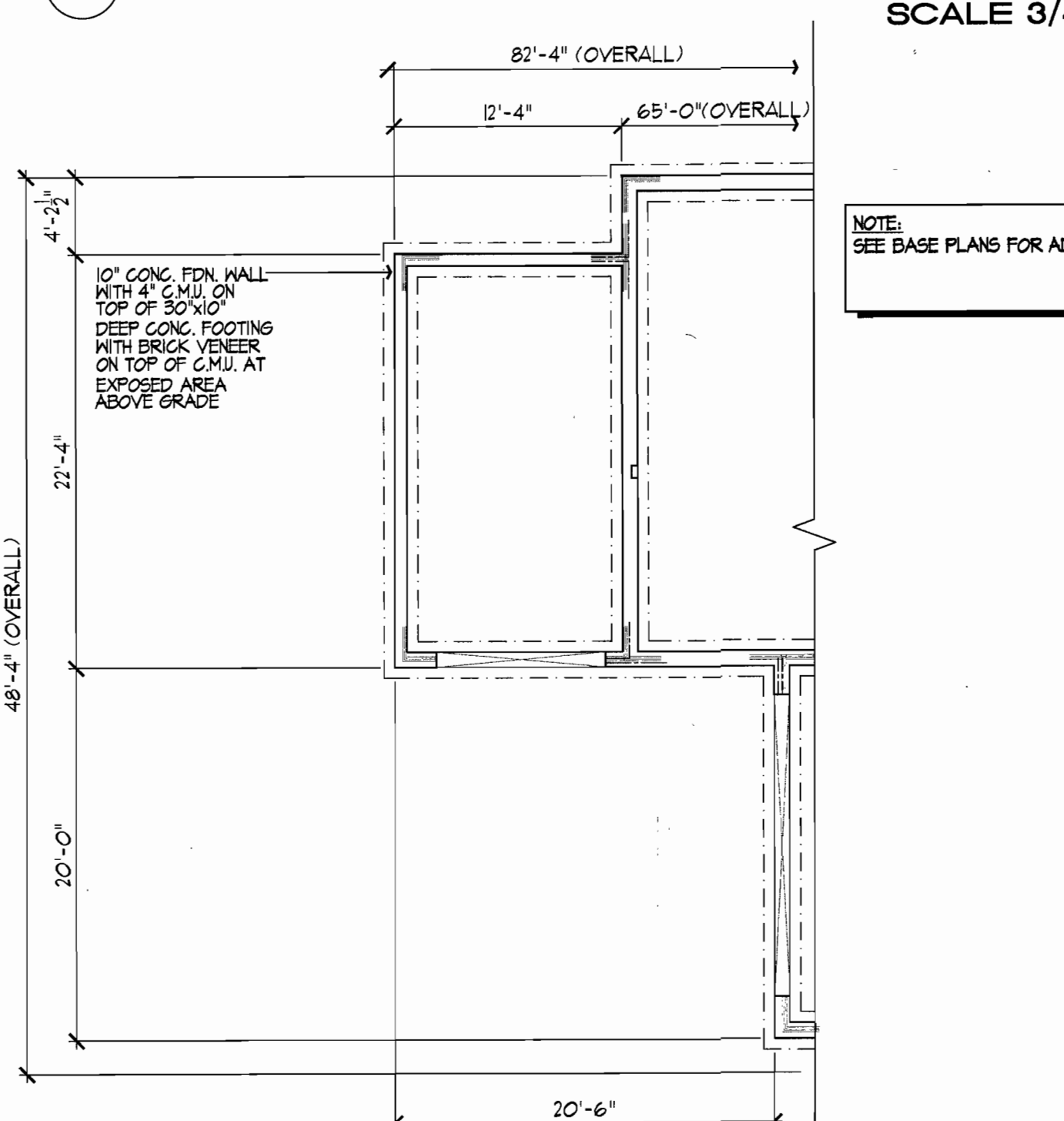
SECTION @ BSMT. FOUNDATION

SCALE 3/4" = 1'-0"

NOTE:
THE HOMES BUILT ON LOTS 1, 7, 8, 9, 10, 11, & 12 WILL INCLUDE ARCHITECTURAL TREATMENTS ON THE SIDE OF EACH HOME FACING EITHER WILD HORSE CREEK ROAD OR DEEP FOREST DRIVE (AS APPLICABLE) WHICH ARE SIMILAR TO THE ARCHITECTURAL TREATMENTS ON THE FRONT OF EACH HOME.

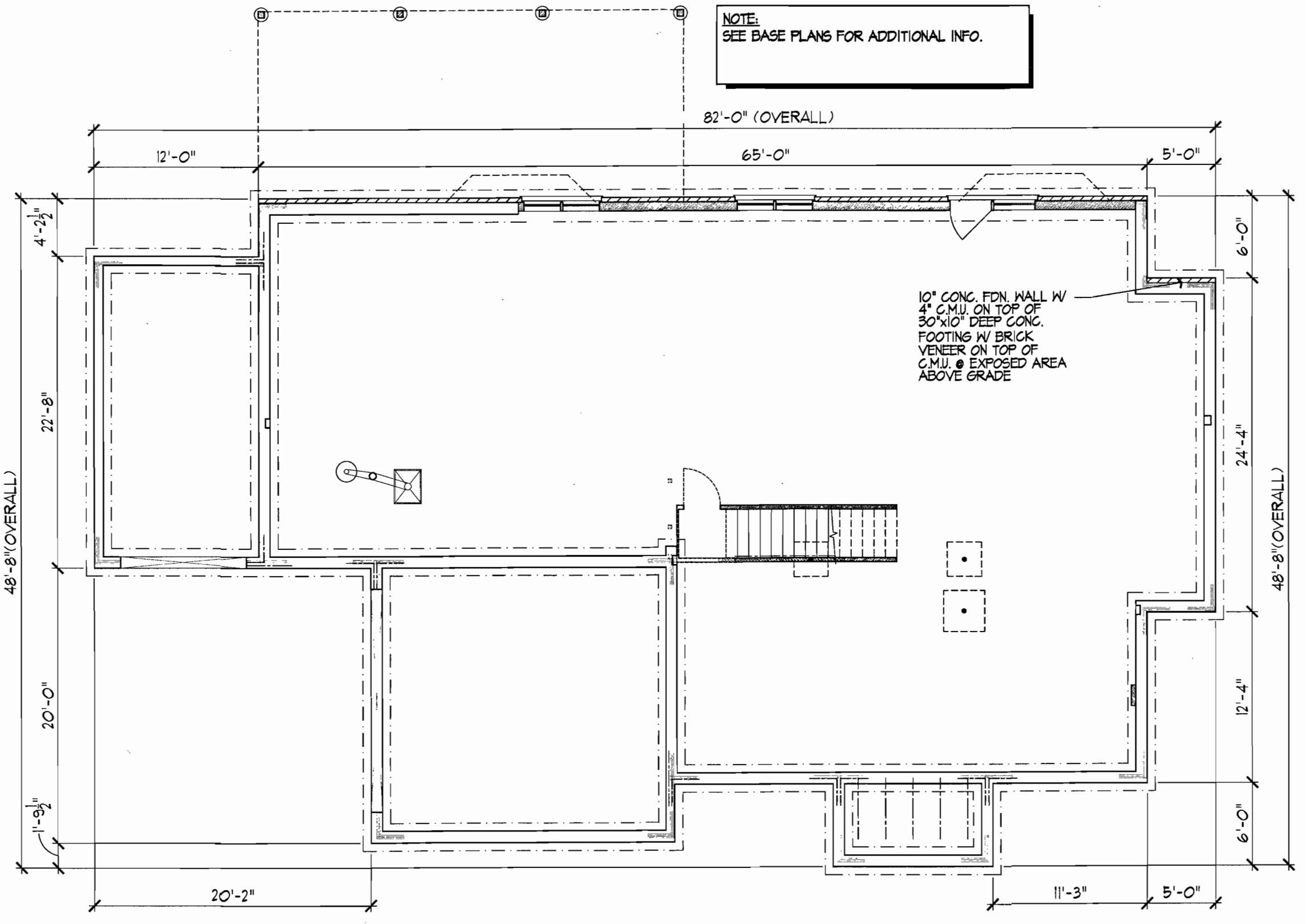
NOTE:
SEE BASE PLANS FOR ADDITIONAL INFO.

NOTE:
SEE BASE PLANS FOR ADDITIONAL INFO.



PARTIAL FDN. PLAN

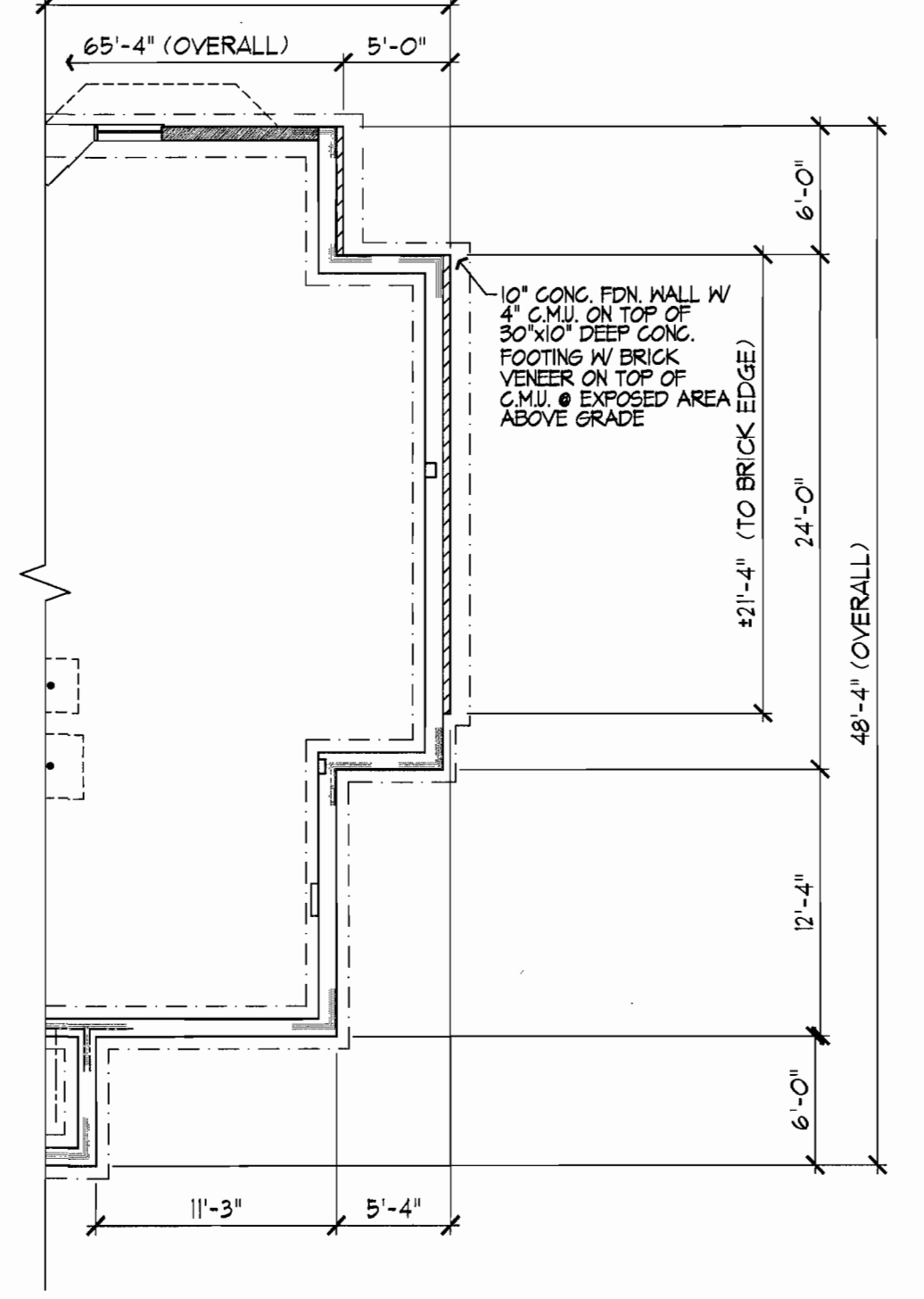
BRICK ADDED TO LEFT SIDE
SCALE 1/8" = 1'-0"



FOUNDATION PLAN

BRICK ADDED TO REAR

SCALE 1/8" = 1'-0"



PARTIAL FDN. PLAN

BRICK ADDED TO RIGHT SIDE
SCALE 1/8" = 1'-0"

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6/21/16

PROPOSED MASTER PLAN FOR THE
WYNGATE II
2009 International Residential Code
CLAYMONT DEVELOPMENT, LLC

ALT. BRICK ELEV.
ALT. BRICK FDN. PLAN
DETAIL