




690 Chesterfield Pkwy W • Chesterfield MO 63017-0760  
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## Planning Commission Staff Report

**Project Type:** Amended Architectural Elevations

**Meeting Date:** June 22, 2020

**From:** Chris Dietz, Planner 

**Location:** Southeast of the intersection of Long Road and Chesterfield Airport Road.

**Description:** **Steve W Wallace, Lot 1 (McDonald's) AAE:** Amended Architectural Elevations and Architectural Statement of Design for a 2.26-acre tract of land zoned "PC" - Planned Commercial District, located southeast of the intersection of Long Road and Chesterfield Airport Road.

### **PROPOSAL SUMMARY**

The Farnsworth Group, on behalf of McDonald's Corporation, has submitted a request for Amended Architectural Elevations for a building containing both a fast food restaurant and convenience store, located at the southeast corner of the intersection of Long Road and Chesterfield Airport Rd. Proposed changes to the site entail updating the building materials and color scheme of the building to reflect the corporate rebranding campaign currently underway throughout the country. Wall-mounted lighting fixtures, accent lighting, and updated drive-thru canopies in the ordering area are also included in this proposal.

### **HISTORY OF SUBJECT SITE**

Prior to the City of Chesterfield's incorporation, a 0.91-acre portion of the site was zoned C-8, Planned Commercial District. The entire site was rezoned into the C-8 Planned Commercial district, including a 2.03-acre tract of land zoned "NU" – Non-Urban District, in 1997 through City Ordinance 1248. This allowed the development of a convenience store/restaurant, a drive-thru, and a three-bay oil and lube facility in this development. Later that same year, the Site



Figure 1: Subject Site Aerial

Development Section Plan was approved, with Ordinance 1328 shortly after to correct errors in Ordinance 1248 pertaining to the square footage of signage permitted and the centerline distance for an entrance from Chesterfield Airport Rd. In 2006, the Site Development Section Plan was amended to add a second drive-thru lane for the fast-food restaurant.

**LAND USE AND ZONING**

The surrounding zoning districts and land uses for this site are as follows:

Direction	Zoning	Land Use
North	“PC” —Planned Commercial District / “NU” — Non-Urban District	Agricultural/Vacant
South	“C-8” —Planned Commercial District	Vehicle Service Repair Facility
East	“PC” —Planned Commercial District	Industrial / Utility
West	“C-8” —Planned Commercial District / “M3” — Planned Industrial District	Retail / Office

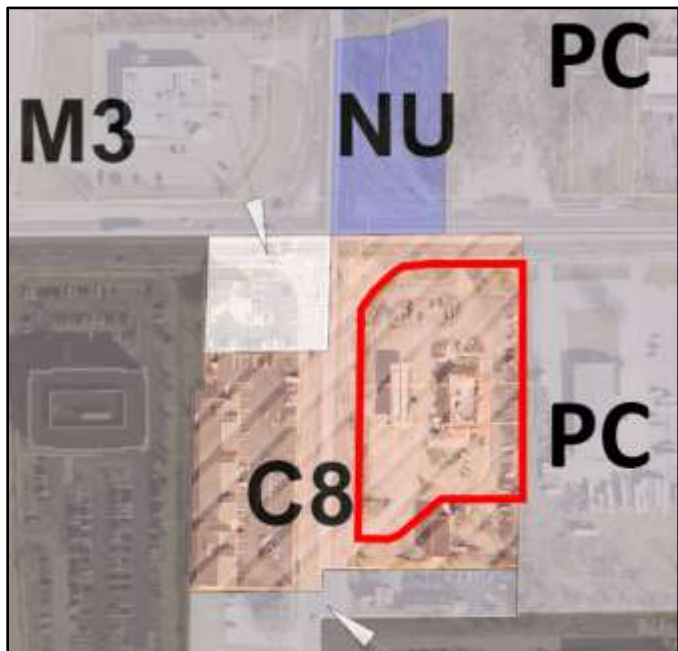


Figure 2: Zoning Map



Figure 3: Future Land Use Map

**COMPREHENSIVE PLAN**

The City of Chesterfield Future Land Use Plan delineates the site within the “Mixed Use (Retail / Office / Warehouse)” Land Use category. Land uses for this designation include retail, low- and mid-density office, and office/warehouse facilities. Since this development is located within Chesterfield Valley, other Policies of the Comprehensive Plan apply as well:

**3.5.1 Chesterfield Valley Regional Retail and Low Intensity Industry** - Developments in Chesterfield Valley should include mixed-use office/retail-planned developments, low-intensity industrial assembly, distribution, and research and development business parks, and corporate campuses. Specifically, low-intensity industrial use is encouraged west of Long Road.

**Chesterfield Valley Design Policy #6: Facades of Buildings Along I-64/US 40 and Arterial and Collector Roadways** - Care should be taken to make sure that any portion of a building that can be viewed from any arterial roadway should convey the image of a high-quality commercial development and should be equally uniform in materials. The intent is to avoid projects having their view from roadways appear to be the rear or side of a development.

**Chesterfield Valley Design Policy #6: Pedestrian Circulation** - In order to promote pedestrian movement, each development is required to address pedestrian circulation within and between all developments. This pedestrian system shall be designed in an overall safe, clearly understood plan meeting ADA (American Disabilities Act) requirements.

## **STAFF ANALYSIS**

### **Zoning**

The site is currently zoned "C-8"—Planned Commercial District and is governed by City of Chesterfield Ordinance 2975. Staff has reviewed this request against the provisions of Ordinance 2975 as well as all applicable requirements of the UDC, and has found the proposed development to comply with all zoning requirements.

### **Landscaping**

No new landscaping is proposed for this development in conjunction with this request. A Landscape Plan was approved with the Amended Site Development Plan in 2007. Since its approval, eight (8) trees and several other shrub plantings on this site have either died or have been removed completely. All landscape deficiencies of this site will be required to be brought into compliance with this approved landscape plan prior to release of the occupancy permit.

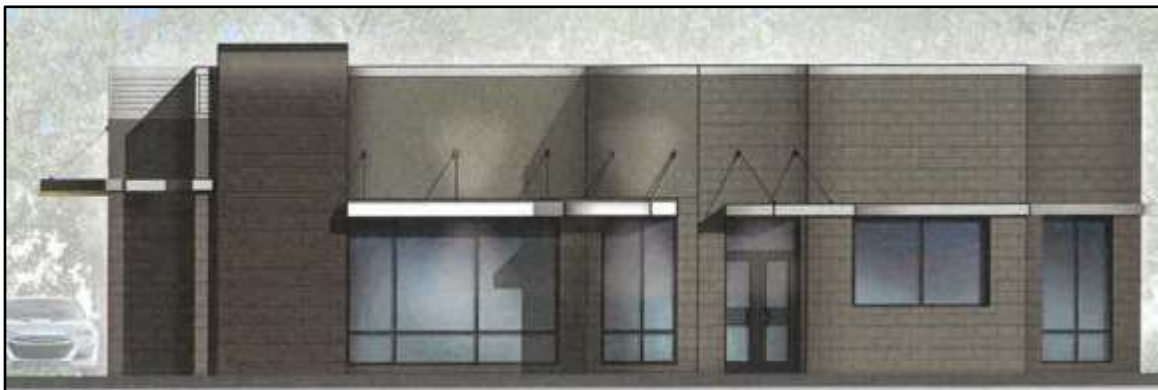
### **Lighting**

This proposal includes a combination of utilitarian and decorative lighting around the revised elevations of the building. There will be no changes in parking lot lighting or to the gas station canopy lighting associated with this request. Proposed utilitarian lighting fixtures include wall sconces along the exterior of the building as well as recessed lighting beneath the drive thru canopies on the east elevation.

Decorative lighting will include LED downlighting intended to highlight the brand walls located on the north and east elevations of the building, as well as LED track lighting integrated into the aluminum trellis located above each widow and entrance. A floodlight is also proposed above the canopy to provide upward lighting whose illumination is not to trespass past the wall onto which it is being projected. An exhibit depicting the angle of projection and an example of this fixture is included in the submittal packet on Sheet C3.4. Per UDC Lighting Requirements, Planning Commission may approve decorative fixtures as an alternative to shielded fixtures when it can be proven that there will be no off-site glare light trespass in excess of 0.5 foot-candle and the proposed fixtures will improve the appearance of the site. All three (3) of these decorative fixtures listed above will require Planning Commission approval. Please find these cutsheets listed on Sheet C3.3 in the Amended Architectural Elevations packet.

**Architectural Elevations**

Each elevation of the restaurant/convenience store building will be redesigned to reflect the modern rebranding efforts of the restaurant's parent company throughout the county. The existing red mansard roof parapet will be replaced with a flat parapet capped with aluminum coping which will be flush with the exterior walls on each side of the building. Accent bands of corrugated aluminum will be added to the side of the east and south elevations to accentuate the drive-thru area of the building. An updated canopy system will be added to the drive-thru above each service window and will feature an accent band of gold that is part of the restaurant's branding scheme. A metal trellis system will be placed above each pedestrian entrance and dining room/convenience store window. The existing Concrete Masonry Unit (CMU) material currently found on each of the building's elevations will be painted a darker shade of taupe, consistent with the restaurant's national rebranding campaign elsewhere. Synthetic wood accent paneling will be added to the north and west elevations to accommodate the pedestrian entrances. Finally, a new 10'8" welcome point gateway will be added to the existing double-drive-thru just before the ordering station just south of the building.



*Figure 4: North Elevation*



*Figure 5: Architectural Rendering*

### **ARCHITECTURAL REVIEW BOARD INPUT**

This project was reviewed by the Architectural Review Board on May 14, 2020, where it was forwarded to Planning Commission with a recommendation for approval as presented.

### **STAFF RECOMMENDATION**

Staff has reviewed this proposed development and found it to be in compliance with the City's Comprehensive Plan, Unified Development Code and site-specific ordinance and all outstanding comments have been addressed at this time. Staff recommends approval of the Amended Architectural Elevations for Steve W Wallace, Lot 1 (McDonald's).

### **MOTION**

The following options are provided to the Planning Commission for consideration relative to this application:

- 1) "I move to approve (or deny) the Amended Architectural Elevations for Steve W Wallace, Lot 1 (McDonald's), as presented."
- 2) "I move to approve the Amended Architectural Elevations for Steve W Wallace, Lot 1 (McDonald's) with the following conditions..." (Conditions may be added, eliminated, altered or modified)

Attachments: Amended Architectural Elevations Packet



May 27, 2020

City of Chesterfield  
 690 Chesterfield Pkwy W  
 Chesterfield, MO 63017

RE: The intent of this project is to provide an updated design to fit in with modern design to the existing McDonald's store located at 110 Long Road, Chesterfield, MO.

To Whom It May Concern,

Please accept this letter on how we are modifying the existing building to conform with the Chapter 31 Unified Development Code.

Chapter 31 Unified Development Code Requirement; Article 04; Section 31-04-01		Response to Requirement
<b>B</b>	Submittal requirements and procedures	We have referenced the section and followed the set list of requested submittal requirements in conjunction with inquiries to the City of Chesterfield's planning representatives to provide acceptable materials for the City's review for the proposed project.
<b>C1</b>	Site Relationships	Pedestrian movement has been considered and accessible pathing is to be provided at the site to allow safe movement. Existing conditions remain with an on-site outdoor seating area at the front façade of the building. Landscaping is incorporate to enhance views.
<b>C2</b>	Bicycle Circulation	Existing bike rack with locking opportunity to remain
<b>C2</b>	Pedestrian Circulation	A designated striped area will be provided highlighting accessible route to access the site
<b>C2</b>	Vehicular Circulation	Existing side-by-side drive through to remain which minimizes site vehicular congestion within the paved area.
<b>C2</b>	Parking	Existing side, rear, and front parking to remain. Existing landscaped areas with seating are provided in front of the building.
<b>C2</b>	Pedestrian Orientation	An existing outdoor seating area is present at the front of the building. A trellis and canopy system is implemented in the design to bring focus toward the front façade at and between the two main entry locations through the use of a taller brand wall design which extends beyond the main building wall to create a hierarchy at the entry process



<b>C3</b>	Topography	Existing conditions are being improved upon to provide a more accessible site. The screening and transitions will remain similar to the existing site design.
<b>C4</b>	Retaining Walls	Not in scope of project. No work to be done.
<b>D1</b>	Building scale	Compatibility is shown through elevations/rendering to show similar scale at adjacent tenant building of the gas station/convenience store.
<b>D1</b>	Human scale	Demonstrated through the use of brand wall features to provide a sense of entry and a trellis/canopy design at consistent levels to lead into the brand wall
<b>D1</b>	Generic scale	With the topographic difference between the McDonald's site and the rest of the constructed site, the level at which the elements change is similar where the original height the existing mansard roof element aligned closely with the roof element of the adjacent tenant. With the proposed design the same level similarity will exist but will be a material change from masonry to stucco.
<b>D2(a)</b>	Design and coordinate all facades with regard to color, types and numbers of materials, architectural form and detailing	Proposed façade color is consistent throughout with an accent color located at brand walls and minor elements.
<b>D2(b)</b>	Avoid linear repetitive streetscapes	Varying landscape and change in architectural features around the building will keep similar elements from appearing repetitive
<b>D2(c)</b>	Avoid stylized corporate and/or franchise designs that use the building as advertising	The architectural features will help in bringing your attention to attached signage but the building itself will not serve as an advertisement to the McDonald's franchise.
<b>D2(d)</b>	Provide architectural details particularly on facades at street level	Most of the building will be existing to remain at street level with repair of face brick and replacing glazing at street level. At brand walls, the walls will be detailed with the wall construction including finish
<b>D2(e)</b>	Encourage art elements, such as wall sculptures, murals, and artisans-created details, etc., throughout a project	Exterior tiled brand walls and a continuous corrugated metal parapet rooftop band encourage an artistic element to the design of the building.
<b>D2(f)</b>	Encourage designs that enhance energy efficiency	The proposed design will improve upon the energy efficiency by providing more efficient glass covering less of the building envelope along with the installment of high-efficiency LED exterior surface mounted sconces and exterior LED strip lighting within the new trellis & canopy attachments.



<b>D2(g)</b>	Encourage the use of environmentally conscious building techniques and materials	The building will retain existing materials that are in good condition and the new materials used will be higher quality and installed per manufacturer's recommendation.
<b>D2(h)</b>	Provide entry recesses, plazas, roof overhangs, wall fins, projecting canopies or other similar features indicating the building's entry points while providing protection	The design introduces canopies and a brand wall design at the building's entry points.
<b>D2(i)</b>	Paint and trim temporary barriers/walls to complement the permanent construction excluding tree protection fencing	Any temporary barrier/wall will complement the building's design.
<b>D2(j)</b>	Screen rooftop equipment on all visible sides with materials that are an integral part of the architecture. Parapet walls or screen walls shall be treated as an integral part of the architecture and shall not visually weaken the design of the structure	Rooftop equipment will be screened by a new consistent roof parapet wall system.
<b>D3</b>	Materials and colors	Materials and colors used for the building design will be per McDonald's MRP prototype with existing face brick, stucco, and tile with the colors being grays and charcoal in color with white canopies and some gold underscoring specific to drive thru canopies.
<b>D4</b>	Development Landscaping	Existing landscaped areas to remain. Grouping of any new trees and shrubs should be consistent with existing landscaping.
<b>D4</b>	Building Landscaping	Landscaping exists at both streets separating from the building. There is an additional landscaped setback separating the front of the building from the parking area.
<b>D4</b>	Parking Area Landscaping	Any landscaped areas adjacent to parking is separated through use of a curb or retaining wall.
<b>D4</b>	Wall and Fences	Existing masonry walls used as a dumpster enclosure.
<b>D5</b>	Signage	Signage will be provided by a separate permit set. Proposed sign locations attached to the building are indicated in the proposed plans graphically.
<b>D6</b>	Lighting	Lighting will adhere to the UDC and cut sheets will be provided. New lighting will be installed on both the interior and exterior of the building.





		<p>High-efficiency LED exterior surface mounted sconces will be installed within the new trellis &amp; canopy systems and above storefront windows and doors for downward only lighting to illuminate exterior walking surfaces and the lower portion of the building. These lights are spaced around the perimeter of the building for consistently spaced exterior lighting. At the new canopy system on the South elevation, fixed upward only angled accent LED flood lights are installed to illuminate the upward portion of the building to accent the main façade of the building. Exterior LED downward strip lighting will be installed within the new canopy system on the South elevation as downward lighting to illuminate the canopy overhang itself. A downward only accent LED lighting fixture will be installed at the top of each Brand Wall located on the South and East elevation to illuminate the tiled brand wall. New LED recessed can lighting will be installed throughout the interior Dining area for better coverage and more efficient lighting methods. Exterior LED recessed can lighting will be installed within the Drive-Thru trellis overhang systems to help illuminate drive-thru users during transactions at the drive-thru windows.</p>
<b>E</b>	<b>Facades</b>	<p>The new parapet stucco wall system is continuous around the entire building mass. There are (2) brand wall elements that are located on the front of the building and non-drive-thru side. A trellis/canopy system is continuous around the entire building. Accent lighting will be implemented within the canopy/trellis system and on the brand walls. The existing trash enclosure is built with masonry walls that match the base building color.</p>
<b>E</b>	<b>Storage</b>	<p>Any outdoor storage is concealed within an existing masonry trash enclosure.</p>
<b>E</b>	<b>Utilities</b>	<p>Any new site utilities will be installed underground. All existing utilities to remain underground.</p>
<b>E</b>	<b>Parking</b>	<p>The main parking area is located to the side and rear of the building. The loading area is constructed with the same masonry and base building color as the main building.</p>



To conform to the standards of applicability and compliance, we have submitted to the City of Chesterfield the list of documents to accompany this statement to adhere to guidelines set by the City for the proposed project's compliance with the adopted code. The documents submitted include: This statement of design, a fully signed and sealed permit set of construction documents, a 2D color rendering of all exterior proposed elevations, a 3D perspective color rendering, and exterior & interior electrical lighting cut sheets.

Sincerely,

Ken Mackenzie



- T/ BRAND WALL  
ELEV. +19'-5 1/2"
- T/ PARAPET  
ELEV. +18'-1 1/2"
- B/ CORRUGATED METAL  
ELEV. +15'-1 1/2"
- B/ TRELLIS  
ELEV. +10'-11"
- T/ EXIST. STOREFRONT  
B/ CANOPY  
ELEV. +9'-4" (V.I.F.)
- B/ EXIST. STOREFRONT  
ELEV. +0'-8" (V.I.F.)
- T/ EXIST. SLAB  
ELEV. +0'-0"



Front Elevation (North Elevation)

- T/ PARAPET  
ELEV. +18'-1 1/2"
- B/ CORRUGATED METAL  
ELEV. +15'-1 1/2"
- T/ EXIST. ROOF  
ELEV. +13'-7" (V.I.F.)
- B/ DT TRELLIS  
ELEV. +10'-11"
- B/ TRELLIS  
ELEV. +9'-4"
- T/ EXIST. COOLER  
ELEV. +8'-3" (V.I.F.)
- T/ EXIST. SLAB  
ELEV. +0'-0"



Rear Elevation (South Elevation)

- T/ BRAND WALL  
ELEV. +19'-5 1/2"
- T/ PARAPET  
ELEV. +18'-1 1/2"
- B/ CORRUGATED METAL  
ELEV. +15'-1 1/2"
- T/ EXIST. STOREFRONT  
B/ CANOPY  
ELEV. +9'-4" (V.I.F.)
- B/ EXIST. STOREFRONT  
ELEV. +0'-8" (V.I.F.)
- T/ EXIST. SLAB  
ELEV. +0'-0"



Non-Drive-Thru Side Elevation (West Elevation)

Materials Legend	
	Existing Material (Main Building) "Fairview Taupe"
	Stucco (Accent) "Fairview Taupe"
	E-Wood Tile (Brand Wall) "R9 Black"
	Aluminum Canopy (Prefinished Metal) "White"
	Aluminum Trellis (Prefinished Metal) "Cityscape"
	Aluminum Trellis (Prefinished Metal) "Charcoal"
	Aluminum Trellis (Prefinished Metal) "Gold"
	Corrugated Metal (Prefinished Metal) "Cityscape"
	Corrugated Metal (Prefinished Metal) "Charcoal"
	Window Glazing
	Metal Coping "Cityscape"
	Metal Coping "RAL 7022"

- T/ BRAND WALL  
ELEV. +19'-5 1/2"
- T/ PARAPET  
ELEV. +18'-1 1/2"
- B/ CORRUGATED METAL  
ELEV. +15'-1 1/2"
- B/ DT TRELLIS  
ELEV. +10'-11"
- T/ EXIST. DT OPENING  
ELEV. +8'-0" (V.I.F.)
- B/ EXIST. DT OPENING  
ELEV. +3'-0" (V.I.F.)
- T/ EXIST. SLAB  
ELEV. +0'-0"



Drive-Thru Side Elevation (East Elevation)

# 110 LONG ROAD CHESTERFIELD MISSOURI McDONALD'S

## OWNER/DEVELOPER

McDONALD'S REAL ESTATE COMPANY  
C/O DAVID R. HUMAN ESQ  
110 NORTH CARPENTER ST  
CHICAGO IL 60607

## DEVELOPER

McDONALDS USA LLC  
10801 MASTIN BLVD  
OVERLAND PARK KS 66210

## SITE INFORMATION

LOCATOR NUMBER 17U-14-0461  
ZONING DISTRICT C-8  
SITE ADDRESS 110 LONG ROAD CHESTERFIELD MO 63005

## EXISTING AREA BREAKDOWN

RESTAURANT BUILDING AREA	2,330 SQUARE FEET
C-STORE BUILDING AREA	1,320 SQUARE FEET
SHARED BUILDING AREA	600 SQUARE FEET
FREEZER/COOLER AREA	214 SQUARE FEET
TOTAL BUILDING AREA	4,464 SQUARE FEET
EXISTING PAVED AREA	78,808 SQUARE FEET
EXISTING LANDSCAPE AREA	15,059 SQUARE FEET
TOTAL LOT AREA	98,331 SQUARE FEET OR 2.26 ACRES

## PROPOSED AREA BREAKDOWN

PROPOSED BUILDING AREA	4,464 SQUARE FEET
PROPOSED PAVED AREA	78,808 SQUARE FEET
PROPOSED LANDSCAPE AREA	15,059 SQUARE FEET
TOTAL LOT AREA	98,331 SQUARE FEET OR 2.26 ACRES

## PARKING CALCULATIONS

NUMBER OF SEATS (McDONALD'S)	60
EMPLOYEES PER SHIFT (McDONALD'S)	15

### REQUIRED

C-STORE = 3.33 SPACES/1000 SQUARE FEET  
FAST FOOD RESTAURANT = 1 SPACE/2 SEATS  
+ 2 SPACES/3 EMPLOYEES  
C-STORE = (3.33/1000)\*(1320+300(SHARED))  
= 1620 = 6 SPACES  
FAST FOOD RESTAURANT = (1/2)(60) +  
(2/3)(15) = 40  
TOTAL PARKING REQUIRED = 46 SPACES

PROVIDED  
70 SPACES  
(INCLUDES 3 HANDICAP SPACES)

## FLOOD PLAIN NOTE

WE HAVE EXAMINED COMMUNITY PANEL NUMBER 290896-0165-K (MAP NUMBER 29189C0165K, DATED FEBRUARY 4TH, 2015) OF THE FLOOD INSURANCE RATE MAPS, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FOR THE AREA CONTAINING THE SUBJECT PROPERTY. SAID PROPERTY APPEARS TO BE LOCATED IN ZONE "X", AREA OF 0.2% ANNUAL CHANCE FLOOD OR AREAS PROTECTED BY LEVEES. THIS AREA IS SHOWN AS BEING PROTECTED BY A LEVEE SYSTEM FROM THE 1-PERCENT-ANNUAL-CHANCE OR GREATER FLOOD HAZARD.

## LEGAL DESCRIPTION

A TRACT OF LAND BEING LOT 1 OF STEVE W. WALLACE SUBDIVISION, A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 345 PAGE 701 OF THE ST. LOUIS COUNTY RECORDS, SITUATED IN THE WEST HALF OF U.S. SURVEY 126, TOWNSHIP 45 NORTH, RANGE 4 EAST, CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

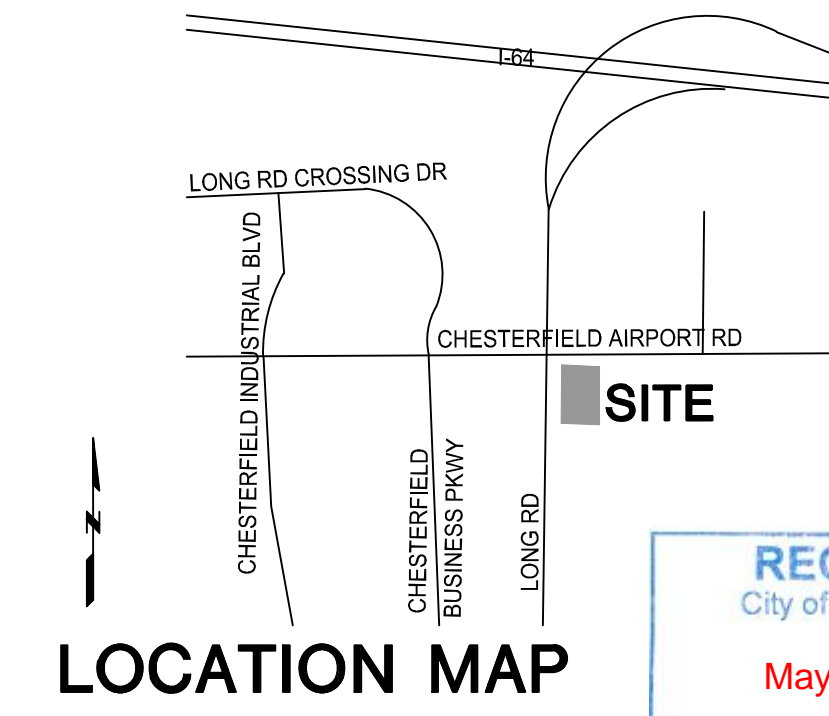
BEGINNING AT A POINT ON THE SOUTH RIGHT OF WAY LINE OF CHESTERFIELD AIRPORT ROAD (100W), AT ITS INTERSECTION WITH THE NORTHEAST CORNER OF LOT 2 OF SAID SUBDIVISION, AND THE NORTHWEST CORNER OF A PARCEL CONVEYED TO ST. LOUIS FAMILY CHURCH, INC, BY DEED BOOK 18820, PG 1770, OF THE ST. LOUIS COUNTY RECORDS; THENCE CONTINUING ALONG SAID EAST LINE AND WEST LINE SOUTH 00 DEGREES 02 MINUTES 41 SECONDS WEST, 188.25 FEET; THENCE NORTH 88 DEGREES 13 MINUTES 03 SECONDS, 19.30 FEET; THENCE SOUTH 00 DEGREES 02 MINUTES 41 SECONDS WEST, 62.00 FEET; THENCE SOUTH 88 DEGREES 13 MINUTES 03 SECONDS WEST, 15.40 FEET; THENCE SOUTH 00 DEGREES 02 MINUTES 41 SECONDS WEST, 119.36 FEET; TO THE SOUTHEAST CORNER OF LOT 1 AND THE NORTHEAST CORNER OF LOT 2 OF SAID SUBDIVISION; THENCE WITH SAID LOT LINES, NORTH 89 DEGREES 57 MINUTES 19 SECONDS WEST A DISTANCE OF 126.69 FEET; THENCE SOUTH 52 DEGREES 53 MINUTES 37 SECONDS WEST A DISTANCE OF 82.45 FEET; THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 75.50 FEET, A CHORD WHICH BEARS SOUTH 71 DEGREES 28 MINUTES 02 SECONDS WEST 48.10 FEET, AN ARC DISTANCE OF 48.95 FEET; THENCE NORTH 89 DEGREES 57 MINUTES 19 SECONDS WEST, 20.86 FEET TO THE INTERSECTION OF THE SOUTHWEST CORNER OF LOT 1, THE NORTHWEST CORNER OF LOT 2 AND THE EAST RIGHT OF WAY LINE OF LONG ROAD; THENCE ALONG SAID EASTERN RIGHT OF WAY LINE NORTH 00 DEGREES 02 MINUTES 41 SECONDS EAST, 323.80 FEET; THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 106.00 FEET, A CHORD WHICH BEARS NORTH 44 DEGREES 07 MINUTES 48 SECONDS EAST 147.50 FEET, AN ARC DISTANCE OF 163.12 FEET TO THE SOUTH RIGHT OF WAY LINE OF CHESTERFIELD AIRPORT ROAD; THENCE ALONG SAID RIGHT OF WAY NORTH 88 DEGREES 13 MINUTES 03 SECONDS EAST A DISTANCE OF 152.42 FEET TO THE POINT OF BEGINNING, CONTAINING 98,331 SQUARE FEET OR 2.26 ACRES MORE OR LESS.

## BENCHMARK INFORMATION

SITE BENCHMARK: O IN OPEN IN THE TOP OF A FIRE HYDRANT, LOCATED ROUGHLY ONE HUNDRED FEET NORTH AND TWELVE FEET WEST OF THE SOUTHWEST CORNER OF THE SUBJECT PARCEL (LOT 1). ELEVATION = 461.92 FEET ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), OBTAINED BY PROCESSING STATIC GPS SURVEY OBSERVATIONS THROUGH THE NATIONAL GEODETIC SURVEY ONLINE POSITIONING USER SERVICE (OPUS).

## GENERAL NOTES

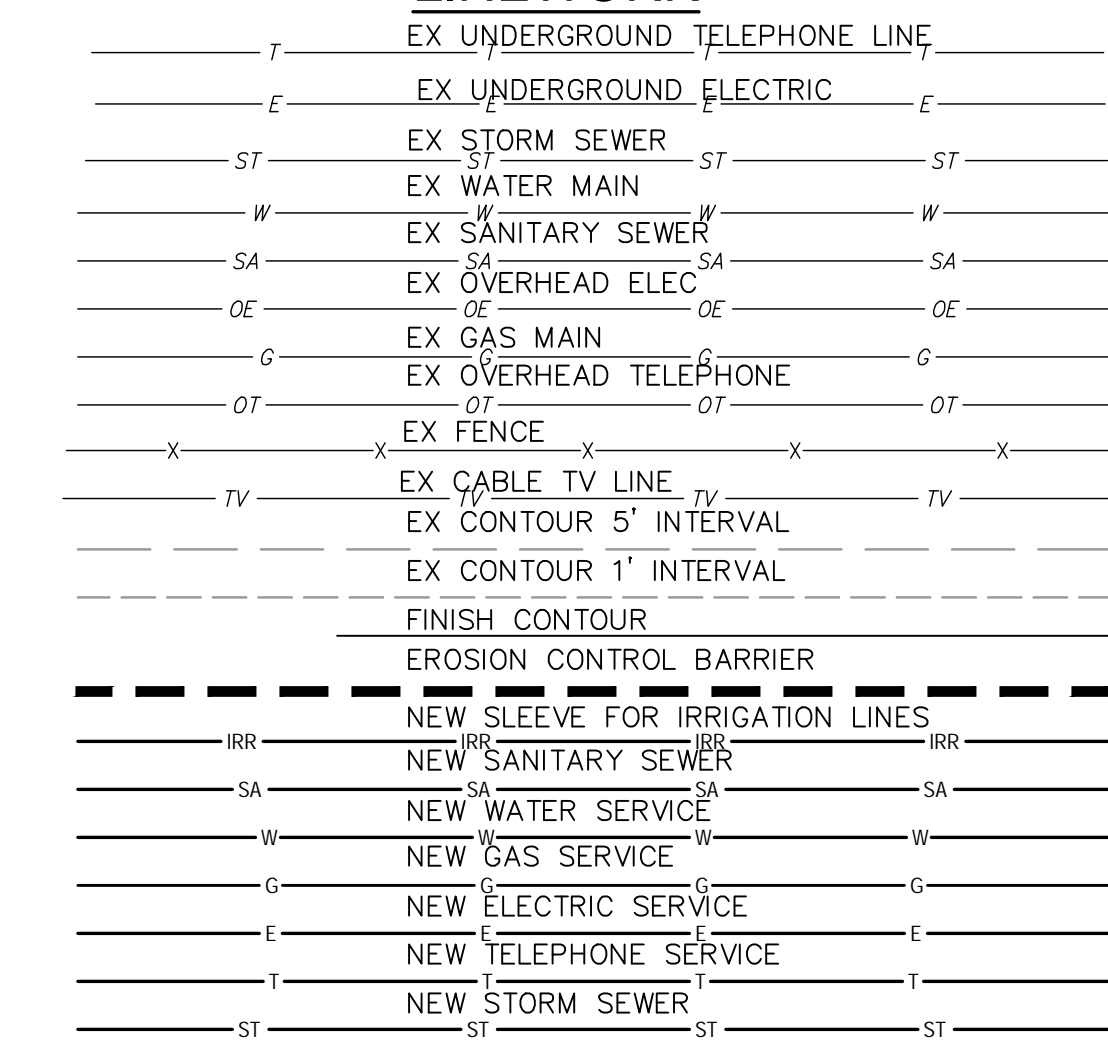
- ALL DIMENSIONS ARE TO FRONT FACE OF CURB UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATION AND DIMENSIONS OF NEW EXIT PORCHES, RAMPS, PATIOS, PRECISE BUILDING DIMENSIONS AND UTILITY ENTRANCE LOCATIONS.
- THE CONTRACTOR SHALL KEEP ALL ACCESS ROADS FREE FROM MUD AND DEBRIS AT ALL TIMES.
- THE CONTRACTOR SHALL SAWCUT ALL EDGES OF EXISTING PAVEMENT THAT IS TO BE REMOVED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CREATE A SMOOTH WORKING EDGE AND TO PLACE BACKFILL AND PAVEMENT SUCH THAT SETTLEMENT DOES NOT OCCUR.
- REFER TO SITE LAYOUT PLAN FOR DIMENSIONAL CONTROL OF NEW IMPROVEMENTS.
- ALL MATERIALS AND WORKMANSHIP ASSOCIATED WITH THE SITE IMPROVEMENTS SHALL COMPLY WITH THE LATEST STANDARDS AND SPECIFICATIONS OF THE CITY OF CHESTERFIELD.
- PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL AND PRACTICAL INSTALLATION.
- THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT CONNECTION POINTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FEES AND CONSTRUCTION COSTS RELATED TO INSTALLATION AND CONNECTION OF ALL UTILITIES FROM LOCAL UTILITY COMPANY SOURCE TO THE NEW FACILITY.
- EXISTING UTILITIES SHOWN HEREON ARE FROM INFORMATION PROVIDED BY UTILITY COMPANIES AND MUST BE CONSIDERED AS APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXACT LOCATION PRIOR TO COMMENCING WORK.
- ALL MATERIALS AND WORKMANSHIP ASSOCIATED WITH THE ELECTRIC SERVICE CONSTRUCTION SHALL COMPLY WITH THE LATEST STANDARDS AND SPECIFICATIONS OF LOCAL GOVERNING AUTHORITY.
- BACKFILL ALL UTILITY TRENCHES UNDER PAVEMENT WITH GRANULAR MATERIAL. REFER TO DETAIL ON SD SHEETS.
- REFER TO SHEET C1.2 FOR DIMENSIONS AND SHEET C1.2 FOR IDENTIFICATION OF EXISTING AND PROPOSED IMPROVEMENTS.
- REFER TO SHEET C2.1 FOR GRADING AND C3.1 FOR ABOVE AND BELOW GROUND SEWERS AND UTILITIES.
- REFER TO SHEET C4.1 FOR LANDSCAPE MATERIALS.
- ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS, AFTER INITIAL GRADING TO SIX INCHES (6") BELOW SUBGRADE. TOP SOIL TO BE ADDED TO THE LEVEL OF THE WALKS OR CURBS.
- FINISH SPOT ELEVATIONS AND CONTOURS ARE SHOWN TO TOP OF NEW PAVEMENT, WALKS, SOD, ETC. (AND NOT FINISH ROUGH GRADE)
- FINISH SPOT ELEVATIONS AT THE FACE OF CURBS ARE SHOWN TO TOP OF NEW PAVEMENT AT THE CUTTER LINE UNLESS OTHERWISE NOTED.
- ALL GRADING AND DRAINAGE SHALL CONFORM TO THE LATEST STANDARDS AND SPECIFICATIONS OF THE CITY OF CHESTERFIELD.
- NO SLOPE SHALL EXCEED 3:1 MAXIMUM.
- ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUND BREAK. FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT. ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS. FINISH GRADING, LANDSCAPING, AND SPRINKLER SYSTEMS ARE BY THE OWNER/OPERATOR.
- BASES, ANCHOR BOLTS, CONDUIT, AND WRING FOR ALL SIGNS ARE BY THE GENERAL CONTRACTOR.
- WHERE NATURAL VEGETATION IS REMOVED DURING GRADING, VEGETATION SHALL BE REESTABLISHED IN SUCH A DENSITY AS TO PREVENT EROSION.
- WHEN CLEARING AND/OR GRADING OPERATIONS ARE COMPLETED OR SUSPENDED FOR MORE THAN 30 DAYS, ALL NECESSARY PRECAUTIONS SHALL BE TAKEN TO RETAIN SOIL MATERIALS ON SITE. PROTECTIVE MEASURES MAY BE REQUIRED BY THE DIRECTOR OF PUBLIC WORKS SUCH AS PERMANENT SEEDING, PERIODIC WETTING, MULCHING, OR OTHER SUITABLE MEANS.
- PROVIDE WEPEHOLES ON CURBS AT ALL LANDSCAPE AREAS LOCATIONS.
- STORM WATER PIPES, OUTLETS AND CHANNELS SHALL BE PROTECTED BY SILT BARRIERS AND KEPT FREE OF WASTE AND SILT AT ALL TIMES PRIOR TO FINAL SURFACE STABILIZATION AND/OR PAVING.
- SILTATION FENCES SHALL BE INSPECTED PERIODICALLY FOR DAMAGE AND FOR THE AMOUNT OF SEDIMENT WHICH HAS ACCUMULATED. REMOVAL OF SEDIMENT WILL BE REQUIRED WHEN IT REACHES 1/2 THE HEIGHT OF THE SILTATION FENCE.
- NOTIFY CITY OF CHESTERFIELD 48 HOURS PRIOR TO THE COMMENCEMENT OF GRADING AND/OR PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- PARKING ON NON-SURFACED AREAS IS PROHIBITED IN ORDER TO ELIMINATE THE CONDITION WHEREBY MUD FROM CONSTRUCTION AND EMPLOYEE VEHICLES IS TRACKED ONTO THE PAVEMENT CAUSING HAZARDOUS ROADWAY AND DRIVING CONDITIONS. CONTRACTOR SHALL KEEP ROAD CLEAR OF MUD AND DEBRIS.
- ALL FILLS PLACED UNDER PROPOSED STORM AND SANITARY SEWER LINES AND/OR PAVED AREAS, INCLUDING TRENCH BACKFILLS WITHIN AND OFF THE ROAD RIGHT-OF-WAY, SHALL BE COMPACTED TO 90 % OF MAXIMUM DENSITY AS DETERMINED BY THE "MODIFIED AASHTO T-180 COMPACTION TEST" (ASTM D-1557) FOR THE ENTIRE DEPTH OF THE FILL.
- COMPACTED GRANULAR BACKFILL IS REQUIRED IN ALL TRENCH EXCAVATION WITHIN THE STREET RIGHT-OF-WAY AND UNDER ALL PAVED AREAS PER CITY OF CHESTERFIELD SPECIFICATIONS. ALL TESTS SHALL BE PERFORMED UNDER THE DIRECTION OF AND VERIFIED BY A SOILS ENGINEER CONCURRENT WITH GRADING AND BACKFILLING OPERATIONS.
- NO EXCAVATION SHALL BE MADE SO CLOSE TO THE PROPERTY LINE AS TO ENDANGER ANY ADJOINING PROPERTY OF ANY PUBLIC OR PRIVATE STREET WITHOUT SUPPORTING AND PROTECTING SUCH PUBLIC OR PRIVATE STREET OR PROPERTY FROM SETTling, CRACKING OR OTHER DAMAGE.
- CONCRETE AND ASPHALTIC CONCRETE SURFACES SHALL CONFORM TO THE APPROPRIATE SECTIONS OF THE PROJECT SPECIFICATIONS.
- THICKEN EDGE OF ASPHALT PER SITE DETAILS WHEREVER ASPHALT PAVEMENT ADJOINS CONCRETE PAVEMENT.
- THE CONTRACTOR SHALL FURNISH, MAINTAIN AND REMOVE TRAFFIC CONTROL DEVICES FOR THE PURPOSE OF REGULATING, WARNING AND DIRECTING TRAFFIC DURING ALL PHASES OF CONSTRUCTION IN/ADJACENT TO ROADWAYS. USE OF ALL FLAGMEN, BARRICADES, WARNING SIGNS, ETC. SHALL CONFORM TO GUIDELINES ESTABLISHED IN THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- APPROVAL OF THIS PLAN BY THE CITY OF CHESTERFIELD DOES NOT CONSTITUTE AUTHORITY TO CONDUCT CONSTRUCTION OPERATIONS OR ENCRoACH ON ADJACENT PROPERTY FOR ANY REASON. IT IS THE OWNER'S RESPONSIBILITY TO SECURE PERMISSION AND/OR OBTAIN ALL NECESSARY EASEMENTS FROM AFFECTED PROPERTY OWNERS FOR ANY OFF-SITE WORK.
- ALL HANDICAPPED APPURTENANCES, INCLUDING STRIPING, SIGNING, RAMPS, RAILS, DETECTORS ECT. MUST COMPLY WITH IBC 2003 CHAPTER 11 AND ICC/ANSI 1117.1-1998.



## LEGEND

SYMBOLS	ABBREVIATIONS	TO REMAIN
	STORM INLET	(TR) ASPHALT
	CLEANOUT	BLDG BUILDING
	LIGHT STANDARD	COR CORNER
	GRATE INLET	CONC CONCRETE
	GAS VALVE	CO CLEANOUT
	FIRE HYDRANT	DB DEED BOOK
	SANITARY MANHOLE	FL FLOW LINE
	MH	MH MANHOLE
	PB	PB PLAT BOOK
	PG	PG PAGE
	PB	PB PLAT BOOK
	WATER VALVE	P.O.B. POINT OF BEGINNING
	UTILITY POLE	P.U.M.I. PRIVATE, UNDER MSD INSPEC.
	UTILITY POLE W/TRANSFORMER	R.O.W. RIGHT-OF-WAY
	TRAFFIC PULLBOX	SF SQUARE FEET
	GAS VALVE	ST STORM
	GAS DRIP	TC TOP OF CONCRETE/CURB
	AREA LIGHT	BC BOTTOM OF CURB
	STREET LIGHT	TW TOP OF WALL
	ELECTRIC MANHOLE	BW BOTTOM OF WALL
	ELECTRIC METER	TYP TYPICAL
	GUY WIRE	UTIL UTILITY
	SIGN	W. WIDE
	SANITARY MANHOLE	N NORTH
	STORM MANHOLE	S SOUTH
	BUSH	E EAST
	DECIDUOUS TREE	W WEST
	HANDICAP STALL MARKER	SA SANITARY
	PARKING STALL INDICATOR	ME MATCH EXISTING
	UTILITY KEYED NOTE	G GUTTER
	DEMOLITION KEYED NOTE	
	HARDSCAPE KEYED NOTE	
	FIBER OPTIC CABLE MARKER	
	GAS METER	
	MAIL BOX	
	GRATE TOP MANHOLE	
	MONITORING WELL	
	ROCK	
	TELEPHONE MANHOLE	
	TRAFFIC SIGNAL	

## LINWORK



DATE	DESCRIPTION	BY	ISSUE REF
3-9-20	CITY COMMENTS	JPB	
5-29-20	CITY COMMENTS	JPB	

PLAN APPROVAL	DATE	STATUS	DATE	BY
SIGNATURE (2 REQUIRED)		PRELIMINARY	5/1/18	FG
		FINAL PLAN	-	FG
		AS-CONST.		

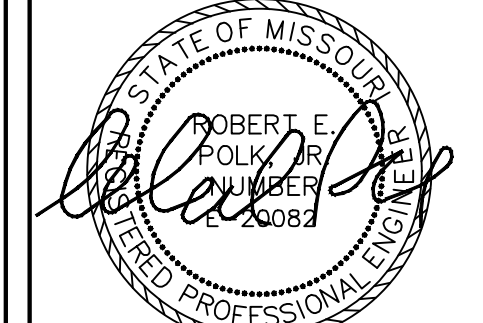
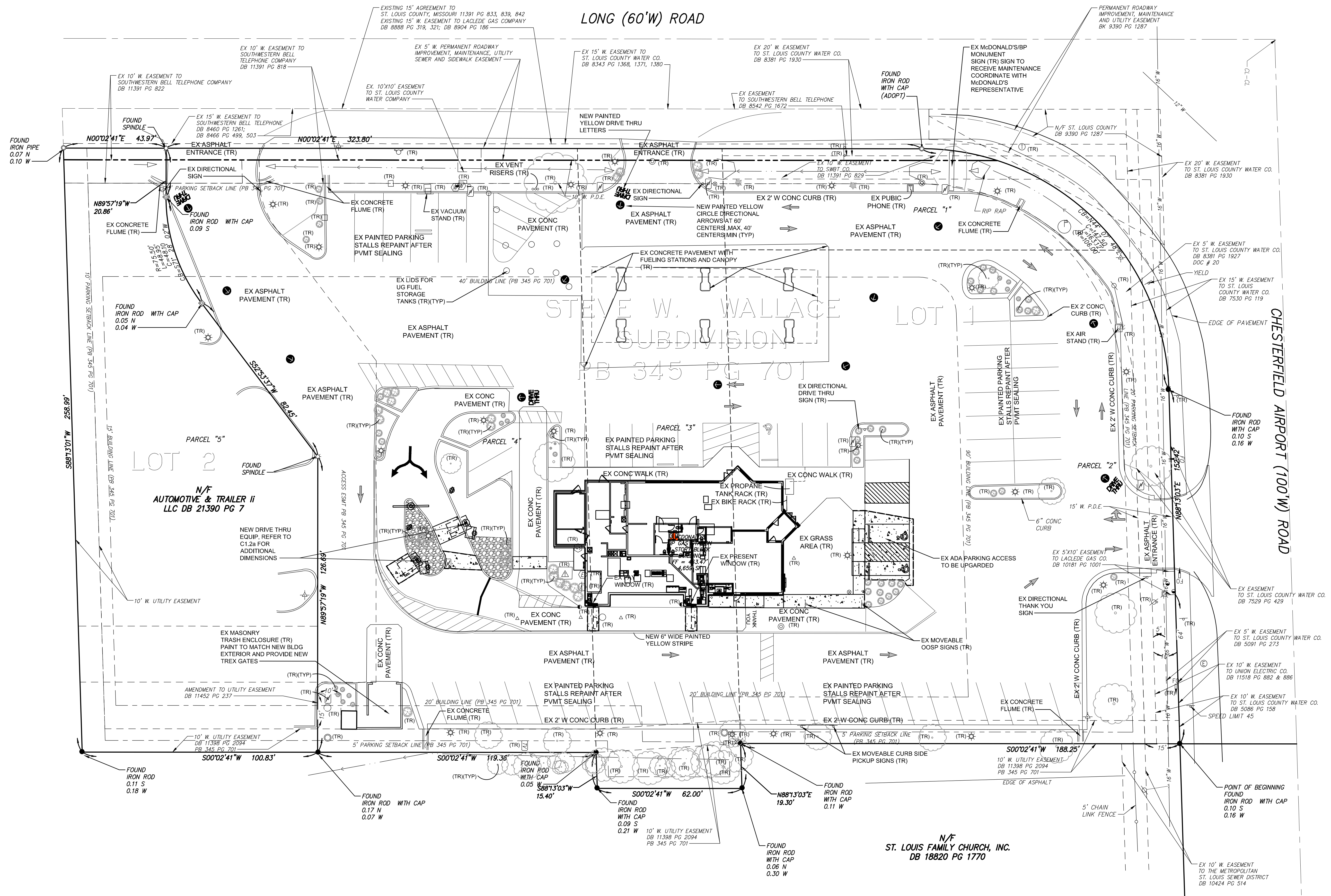
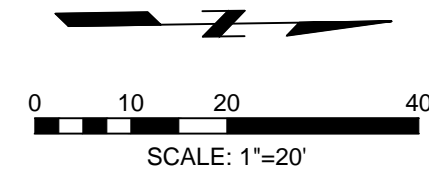
  

REGIONAL MGR.	CONST. MGR.	PROJECT MANAGER	REAL ESTATE MGR.	CONTRACTOR	OWNER

**CO.0 COVER SHEET**

110 LONG ROAD CHESTERFIELD MO 63005



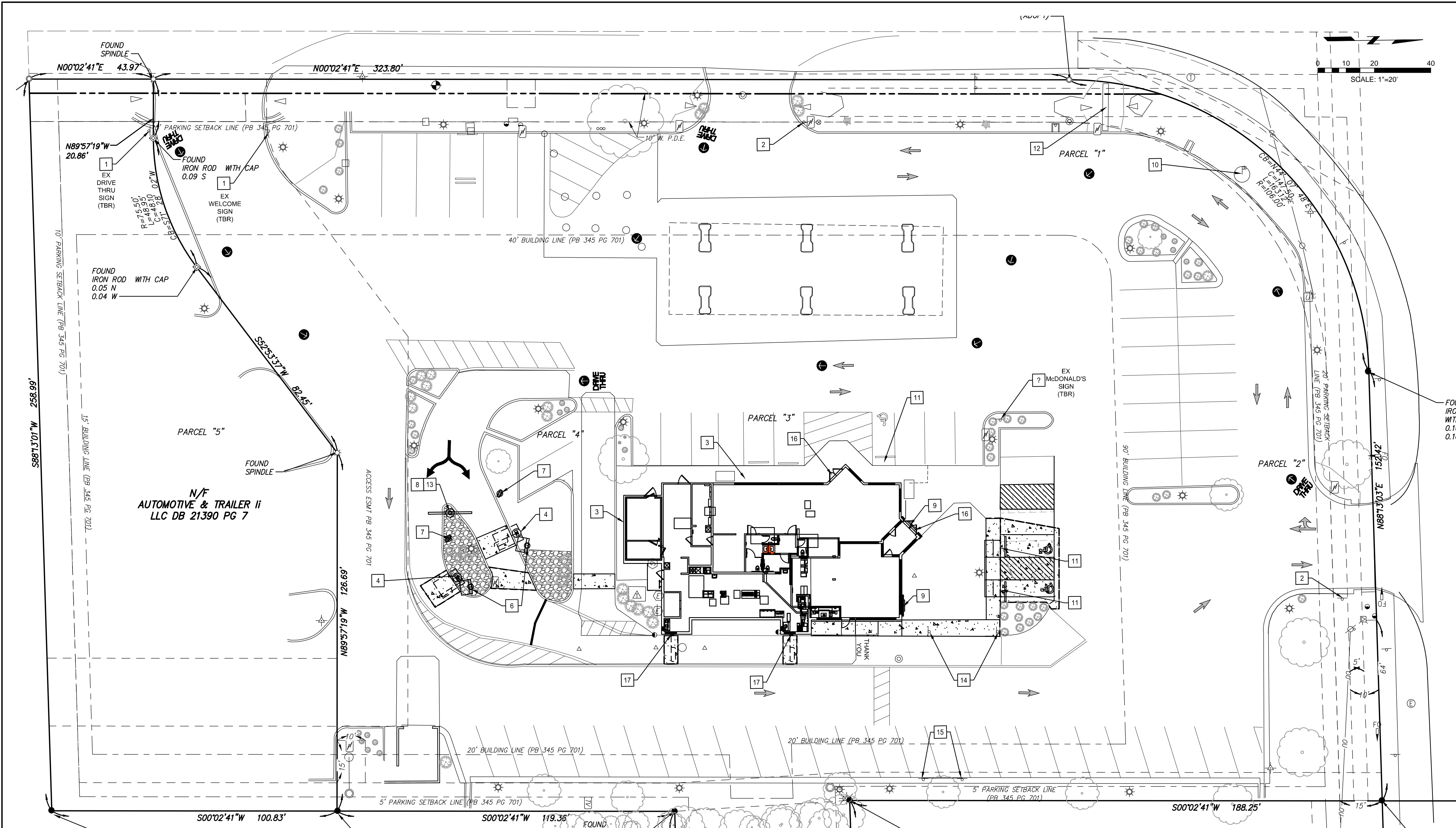
DATE 5-1-18  
 THIS SHEET HAS BEEN SIGNED,  
 SEALED, AND DATED ELECTRONICALLY  
 Farnsworth Group, Inc.  
 Missouri State Certificate of Authority  
 #001321

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**HEARTLAND REGION**  
 10801 MASTIN BLVD., SUITE 400, OVERLAND PARK, KS 66210  
 ADDRESS

PLAN APPROVAL		DATE
SIGNATURE (2 REQUIRED)		
REGIONAL MGR.		
CONST. MGR.		
PROJECT MANAGER		
REAL ESTATE MGR.		
CO-SIGN SIGNATURES		
CONTRACTOR		
OWNER		

STATUS	DATE	BY
PRELIMINARY	5/1/18	FG
FINAL PLAN	-	FG
AS-CONST.		

**C1.0**  
**OVERALL SITE PLAN**



### SIGN LEGEND

SIGN	
1	Existing Directional Sign - ("Enter")
2	Existing Directional Sign - ("Thank You")
3	McDONALD'S
4	McDonald's Drive-Thru Canopy
5	Not Used
6	Digital Menu Board
7	Digital Pre-Browse Menu Board
8	Any Lane Any Time
9	Arch
10	Existing Flagpole
11	Handicap or Van Accessible Sign (Set in Ballard)
12	Existing Road Sign
13	Gateway Sign
14	Reserved Drive Thru (Moveable)
15	Curb Side Pick Up (Moveable)
16	Welcome
17	Window Position Sign

VERIFY SIGNAGE WITH SIGN ORDER REQUEST FORM.  
VERIFY LOCATIONS WITH McDONALD'S REPRESENTATIVE.

SIGN PERMITS TO BE APPLIED FOR AND PICKED UP BY THE SIGN CONTRACTOR

REV	DATE	DESCRIPTION	ISSUE REF
1	3-9-20	CITY COMMENTS	JPB
2	5-29-20	CITY COMMENTS	JPB

STATE OF MISSOURI  
ROBERT E. POLK, JR.  
REGISTERED PROFESSIONAL ENGINEER  
NO. 00087

DATE 5-1-18  
THIS SHEET HAS BEEN SIGNED,  
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#001321

Business signs: attached to wall.  
General provisions:  
(1) Subject to the specific regulations set out below, each business occupying a tenant space or being the sole occupant of a freestanding building shall have no more than one (1) attached business sign on any two (2) walls of a building that are exterior walls of the particular building or tenant space. In addition to identifying a particular business, such signs may be used for the name and logo of the building or development project.

(2) The outline area of each sign shall not exceed five percent (5%) of the wall area of the business on which said sign is attached. No business sign shall exceed three hundred (300) square feet in outline area.

For a business being the sole occupant of a building located on a corner lot or a lot with double frontage, said business may have one (1) attached business sign on any three (3) walls of a building that are exterior walls.

Informational signs:  
(a) Informational signs shall not exceed sixteen (16) square feet in outline area per facing. Freestanding informational signs shall not extend more than six (6) feet above the elevation of the adjacent street or elevation of the average existing finished grade at the base of the sign, whichever is higher.

(b) No informational sign shall be located on or over a public right-of-way without approval of the City of Chesterfield, and/or St. Louis County Department of Highways and Traffic, and/or the Missouri Department of Highway and Transportation as applicable.

(c) The height of all informational signs shall not exceed six (6) feet when located within the minimum front yard setback of each particular zoning district.

(d) Outdoor public artwork or public art displays are permitted one (1) information sign. Signage shall not exceed three (3) feet in height, from grade to top of sign, and the sign face shall not exceed ten (10) inches by ten (10) inches or five (5) inches by twenty (20) inches in outline area. Requests for modification to the size limitation shall be reviewed by the City of Chesterfield City Council. Said modification shall require a two-thirds-vote of the City Council.

A restaurant with a drive-up or drive-through food pickup facility may have either one (1) freestanding or one (1) wall menu sign not to exceed thirty-two (32) square feet in area associated with the order station. No freestanding menu sign shall exceed eight (8) feet in height or width or be illuminated in any manner other than from an internal source.

SIGN AREA TABLE

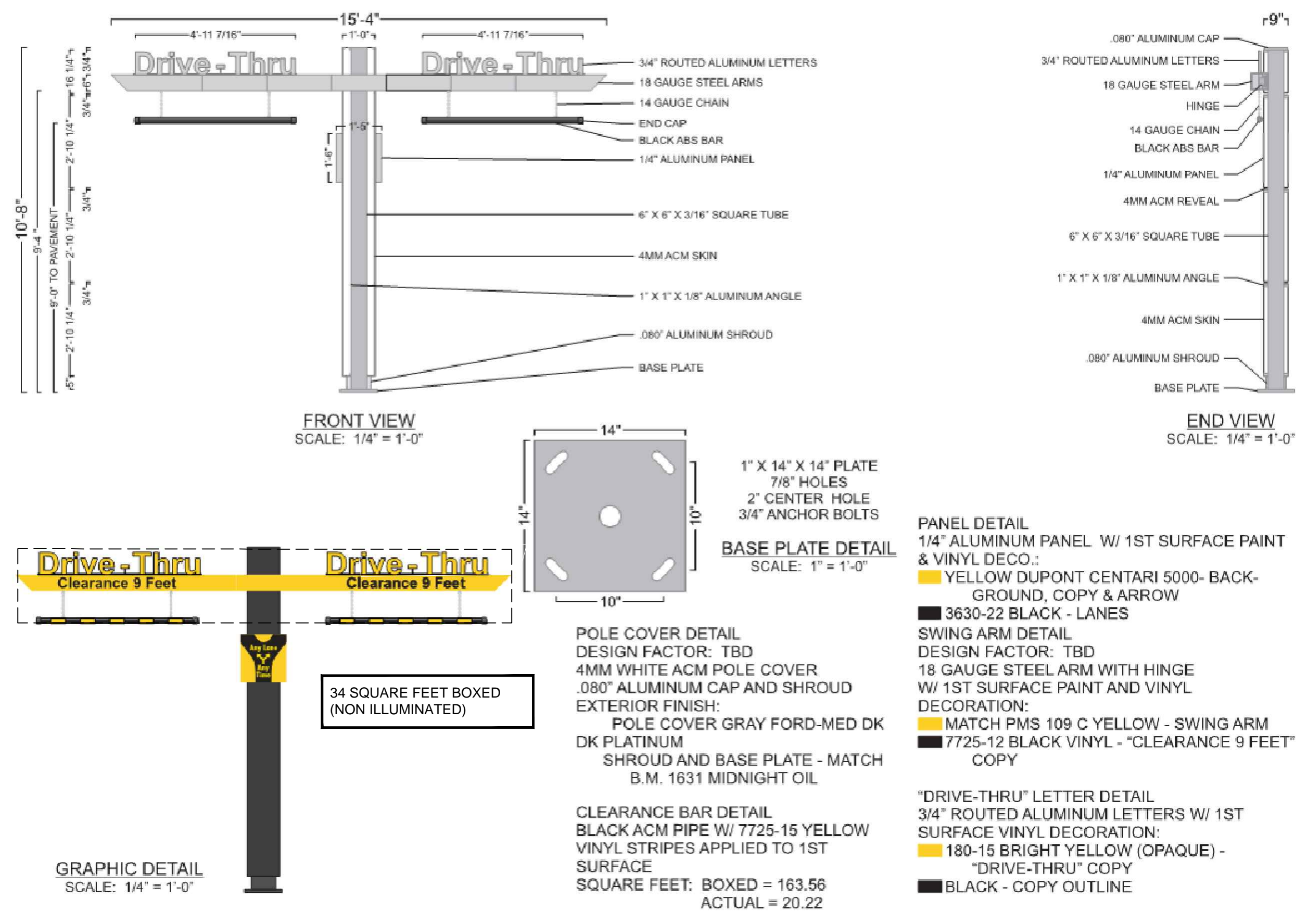
MARKER	DESCRIPTION	QUANTITY	BOXED AREA IN SQUARE FEET	TOTAL AREA IN SQUARE FEET BOXED	SIGN COLORS	REMARKS
1	ENTER SIGN	2	5.75	11.50	FRAME - CHARCOAL GREY/OR SILVER SIGN PANEL - CHARCOAL GREY LETTERING AND ARROWS WHITE ARCH LOGO - GOLD	NEW DIRECTIONAL SIGNS
2	THANK YOU	2	5.75	11.50	FRAME - CHARCOAL GREY/OR SILVER SIGN PANEL - CHARCOAL GREY LETTERING AND ARROWS WHITE ARCH LOGO - GOLD	NEW DIRECTIONAL SIGNS
3	McDONALD'S	2	32.84	65.68	WHITE (MODIFIED ACRYLIC MOLDED) FACES/LETTER BODIES	NEW BUILDING MOUNTED, DEVIATES FROM UDC (ADDITIONAL WALL MOUNTED SIGN ONE SIGN ALLOWED ON 3 BLUE FACES)
4	DRIVE THRU CANOPY	2	4.00	8.00	COLUMN AND CANOPY - CHARCOAL GREY SPRINGSBOARD TIP AND UNDERSIDE - GOLD ORDER HERE LETTERS - WHITE	NEW CANOPY MOUNTED "ORDER HERE" (INFORMATIONAL SIGN DEVIATES FROM UDC IN MOUNTING HEIGHT)
5	NOT USED				NA	
6	DIGITAL MENU BOARD	2	29.46	29.46	COLUMN AND SCREEN CASE - CHARCOAL GREY REMAINING AREA IS DIGITAL SCREEN	NEW MENU BOARD (DEVIATES FROM THE UDC IN QUANTITY ALLOWED)
7	DIGITAL PRE-BROWSE BOARD	2	16.38	32.76	COLUMN AND SCREEN CASE - CHARCOAL GREY REMAINING AREA IS DIGITAL SCREEN	NEW PRE-BROWSE MENU BOARD (UDC DOES NOT HAVE A PROVISION FOR PRE BROWSE BOARD)
8	GATEWAY SIGN	1	34	34	COLUMN - CHARCOAL GREY CLEARANCE BAR - GOLD DRIVE THRU LETTER - GOLD CLEARANCE 9 FEET LETTERS - BLACK HANGING LIMITER GOLD/GREY YELLOW	NEW WELCOME POINT GATEWAY-DRIVE THRU (INFORMATIONAL SIGN DEVIATES FROM UDC IN MOUNTING HEIGHT)
9	ARCH	2	14.00	28		NEW BUILDING MOUNTED
10	EX FLAGS	0 (1)	0	0		EXISTING NOT INCLUDED IN SIGN TOTALS McDONALD'S FLAG = 30" HIGH USA FLAG 40" HIGH
12	EXISTING ROAD SIGN	1	150/2 = 75	150/2 = 75	SIGN PANELS - YELLOW ARCHES - WHITE McDONALD'S AND GREEN YELLOW AND WHITE BP LOGO AND PRICE PANELS	EXISTING ROAD SIGN NO CHANGE EXISTING NON CONFORMING SIGN
13	ANY LANE ANY TIME	1	1.75	1.75	SIGN PANEL - YELLOW- LANE DIAGRAM - BLACK ANY LANE ANY TIME LETTERS - YELLOW	NEW MOUNTED TO GATEWAY (INFORMATIONAL SIGN DEVIATES FROM UDC ON MOUNTING HEIGHT)
14	RESERVED DRIVE THRU	2	4.57	9.14	SIGN PANEL - CHARCOAL GREY CIRCLE NUMBER - GOLD NUMBER - GREY RESERVED DRIVE THRU LETTERS - WHITE POST - CHARCOAL GREY BASE - YELLOW	EXISTING RESERVED DRIVE THRU (INFORMATIONAL SIGN DEVIATES FROM UDC ON MOUNTING HEIGHT)
15	CURB SIDE PICK UP	2	4.57	9.14	SIGN PANEL - CHARCOAL GREY CIRCLE NUMBER - GOLD NUMBER - GREY CURB SIDE PICK UP LETTERS - WHITE POST - CHARCOAL GREY BASE - YELLOW	NEW BUILDING MOUNTED "WELCOME" (INFORMATIONAL SIGN DEVIATES FROM UDC ON MOUNTING HEIGHT)
16	WELCOME	2	2.60	5.20	SILVER	NEW BUILDING MOUNTED "WELCOME" (INFORMATIONAL SIGN DEVIATES FROM UDC ON MOUNTING HEIGHT)
17	WPS	2	2.50	5.00	SIGN PANEL - CHARCOAL GREY CIRCLE NUMBER - GOLD NUMBER - GREY PICK UP LETTERS - WHITE	NEW WINDOW POSITION SIGN (INFORMATIONAL SIGN DEVIATES FROM UDC ON MOUNTING HEIGHT)
25 NEW SIGNS				326.13 SIGN AREA		

McDonald's  
HEARTLAND REGION  
10801 MASTIN BLVD., SUITE 400, OVERLAND PARK, KS 66210  
110 LONG ROAD CHESTERFIELD MO 63005

PLAN APPROVAL		DATE	BY
SIGNATURE (2 REQUIRED)			
REGIONAL MGR.			
CONST. MGR.			
PROJECT MANAGER			
REAL ESTATE MGR.			
CONTRACTOR			
OWNER			

STATUS	DATE	BY
PRELIMINARY	5/1/18	FG
FINAL PLAN	-	FG
AS-CONST.		

**C1.4**  
SIGN PLAN



**8 New Welcome Point Gateway (1 Thus)**  
Scale: None

**RECEIVED**  
City of Chesterfield  
Jun 08 2020  
Department of Public Services

REV	DATE	DESCRIPTION	BY	ISSUE REF
1	3-9-20		JPB	
2	5-29-20		JPB	

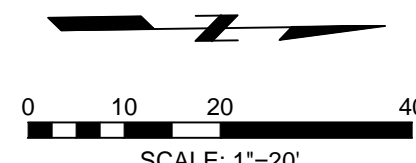
STATE OF MISSOURI  
ROBERT E. POLK, JR.  
REGISTERED PROFESSIONAL ENGINEER  
NO. 0083  
DATE 5-1-18  
THIS SHEET HAS BEEN SIGNED,  
SEALED, AND DATED ELECTRONICALLY  
Farnsworth Group, Inc.  
Missouri State Certificate of Authority  
#001321

*Robert E. Polk, Jr.*  
HEARTLAND REGION  
10801 MASTIN BLVD., SUITE 400, OVERLAND PARK, KS 66210  
ADDRESS 110 LONG ROAD CHESTERFIELD MO 63005

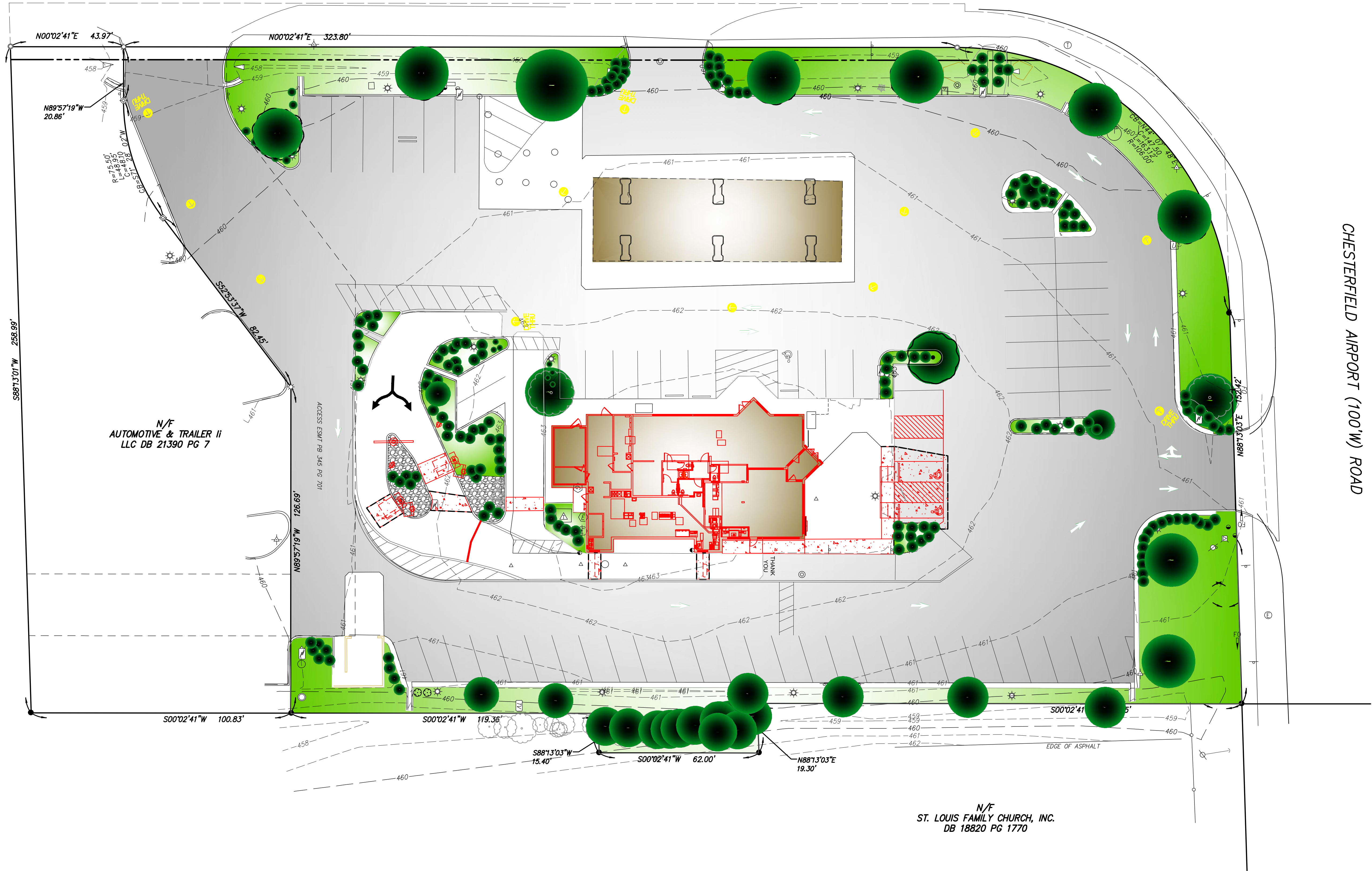
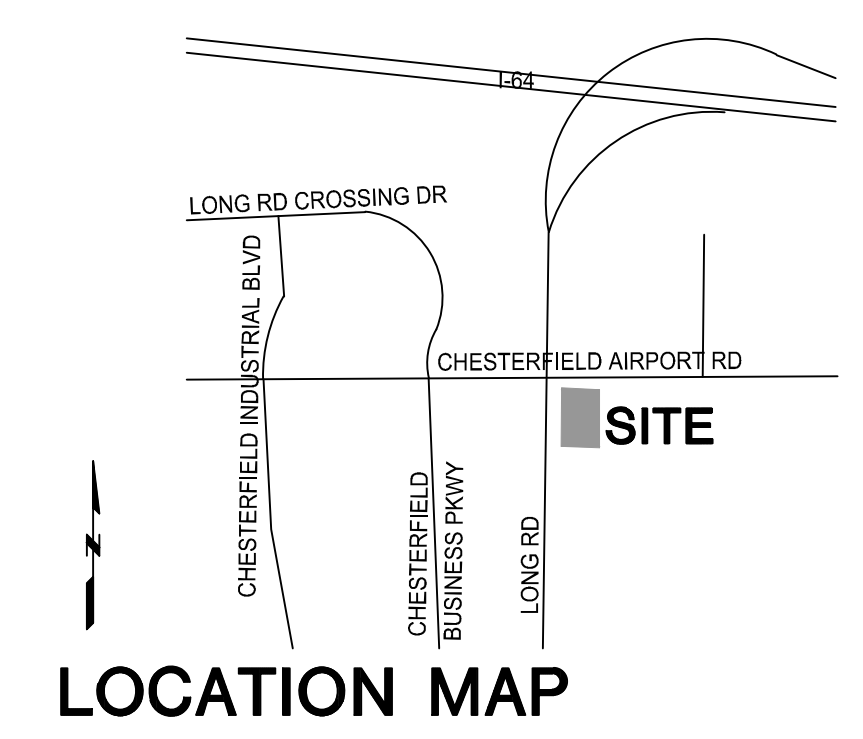
PLAN APPROVAL		DATE
REGIONAL MGR.	SIGNATURE (2 REQUIRED)	
CONST. MGR.		
PROJECT MANAGER		
REAL ESTATE MGR.		
CO-SIGN SIGNATURES		
CONTRACTOR		
OWNER		

STATUS	DATE	BY
PRELIMINARY	5/1/18	FG
FINAL PLAN	-	FG
AS-CONST.		

**C1.4b**  
SIGN ELEVATIONS  
FG JOB NO 0171150.00



LONG (60'W) ROAD



REV	DATE	DESCRIPTION	BY	ISSUE REF

STATE OF MISSOURI  
 ROBERT E. POLK, JR.  
 LICENSE NUMBER 00083  
 LICENSED PROFESSIONAL ENGINEER

DATE: 5-1-18  
 THIS SHEET HAS BEEN SIGNED, SEALED, AND DATED ELECTRONICALLY  
 Farnsworth Group, Inc.  
 Missouri State Certificate of Authority #001321

10801 MASTIN BLVD., SUITE 400, OVERLAND PARK, KS 66210  
 ADDRESS

110 LONG ROAD CHESTERFIELD MO 63005

HEARTLAND REGION

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*Matthew Magdonald*

PLAN APPROVAL		DATE
REGIONAL MGR.	SIGNATURE (2 REQUIRED)	
CONST. MGR.		
PROJECT MANAGER		
REAL ESTATE MGR.		
CO-SIGN SIGNATURES		
CONTRACTOR		
OWNER		

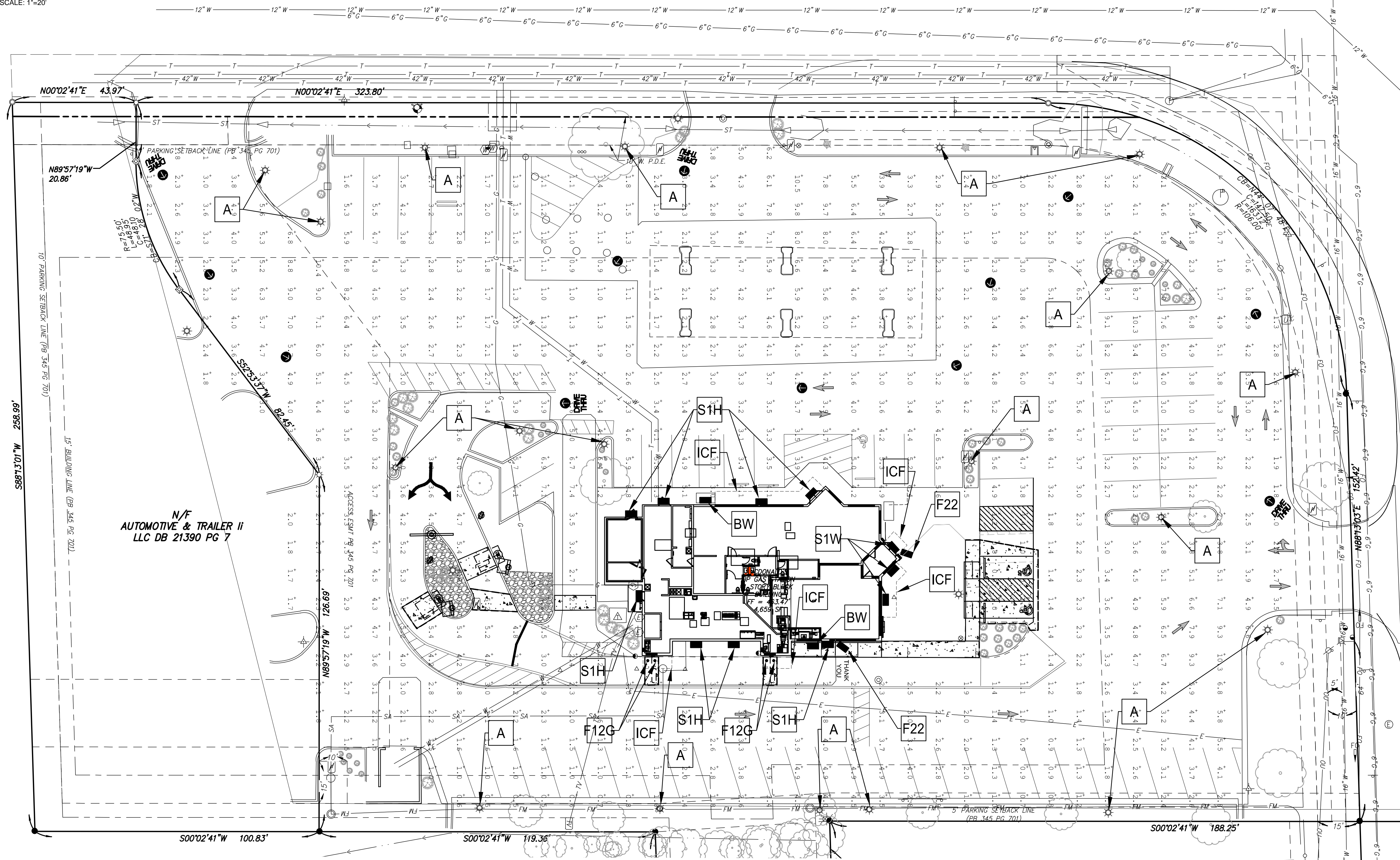
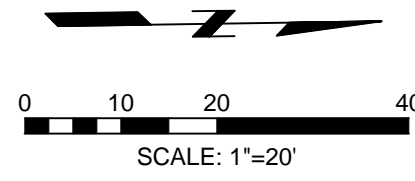
STATUS	DATE	BY
PRELIMINARY	5/1/18	FG
FINAL PLAN	-	FG
AS-CONST.		

**SR**  
 SITE RENDER

FG JOB NO 0171150.00



LONG (60'W) ROAD



N/F  
AUTOMOTIVE & TRAILER II  
LLC DB 21390 PG 7

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PAVED SURFACE READINGS	Illuminance	Fc	3.47	10.5	0.5	6.94	21.00

EXTERIOR LIGHT FIXTURE SCHEDULE

MARK	DESCRIPTION	QUANTITY	FINISH	REMARKS
A	EXISTING SITE AREA LIGHT	16	EXISTING	NO CUT SHEET AVAILABLE, REFER TO DETAIL ON SHEET C3.3
F12G	LED DOWN LIGHT	4	SILVER	FLAT LENS, FULLY SHIELDED, REFER TO DETAIL ON SHEET C3.3
S1H	WALL SCONCE	8	SILVER	FLAT LENS, FULLY SHIELDED, REFER TO DETAIL ON SHEET C3.3
S1W	WALL SCONCE	3	WHITE	FLAT LENS, FULLY SHIELDED, REFER TO DETAIL ON SHEET C3.3
F22	FLOOD LIGHT	2	WHITE	FLAT LENS, FULLY SHIELDED, REFER TO DETAIL ON SHEET C3.3
ICF	INTEGRATED TRELLIS LIGHTS	5	WHITE	NO CUT SHEET AVAILABLE REFER TO SHEET C3.4
BW	BRAND WALL	2		FLAT LENS, FULLY SHIELDED, REFER TO DETAIL ON SHEET C3.3

NOTE : THE FIXTURE INDICATED AS ICF IS AN INTEGRATED FIXTURE WITH THE TRELLIS. NO CUT SHEET IS AVAILAIBLE IT IS SHOWN ON THE TRELLIS LIGHT IMAGE ON SHEET C3.4

CHESTERFIELD AIRPORT (100'W) ROAD



DATE 5-1-18  
THIS SHEET HAS BEEN SIGNED,  
SEALED, AND DATED ELECTRONICALLY.  
Farnsworth Group, Inc.  
Missouri State Certificate of Authority  
#001321

*Robert F. Polk*

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HEARTLAND REGION  
10801 MASTIN BLVD., SUITE 400, OVERLAND PARK, KS 66210

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PROJECT MANAGER		
REAL ESTATE MGR.		
CO-SIGN SIGNATURES		
CONTRACTOR		
OWNER		
STATUS	DATE	BY
PRELIMINARY	5/1/18	FG
FINAL PLAN	-	FG
AS-CONST.		

**C3.2**  
LIGHTING PLAN





**1 SITE LIGHT (A)**  
Scale: NOT TO SCALE



**New & Remodel Construction**  
**IBXS**  
Line Voltage  
Shallow Housing Incandescent  
Downlight  
Air Shielded  
IC/Non-IC Rated  
120V

**APPLICATIONS:**  
Suitable for new or remodel construction whether or not insulation is present. With a housing height of just 3 1/2", the IBXS is a great solution for applications where there is limited ceiling void depth, such as outdoor soffits, overhangs, and flyers.

**AIR TIGHT REQUIREMENTS:**  
The IBXS is Air Shielded - tested with factory kit in compliance with ASTM D283 and the Washington State Energy Code (W.S.E.C.) when used with the IC ceiling gasket.

**REFLECTOR:**  
Three blades of rigid flat spring tension method which has a positive upward spring action to ensure a snug fit to the ceiling plane, eliminating unwanted light leak, and sagging over time. Trims come standard with a pointed white iron ring.

**LAMP/SOCKET:**  
Precision gasket with brass or copper screw shell. Socket accepts into iron center to place lamp in proper position ensuring consistent performance and performance. Thermal protector prevents fixture from overheating when improperly installed or overwired. Refer to other specific lamp information. Lamps furnished by others.

**INSTALLATION:**  
Pre-Hall™ bar hangers with integral seal roof compatible with common joist systems and materials. Just align and secure for rapid and consistent positioning and convenient roof removal features for easy repositioning. Integral expansion float grip lock feature and rigid 24" mounting bar hanger design. Auxiliary mounting points for additional fasteners or wire suspension to anchors. Bar hangers use copier with positive extension stop and locking feature to be position, and can be reoriented 90° to housing. Optional steel rated screw for steel construction with SBR housing option.

**HOUSING:**  
Aluminum outer housing with full wrap around gasketed metal plastic frame. Housing adjusts from 1/2" to 1 1/2" for R10 ceiling. Gasketed mounting frame for easy alignment.

**HOUSING:**  
Housing includes knock out free integral fastener slots, energy protection, inner and outer wrap around side, 1/2" and 3/4" knock outs for rigid conduit or B4 fittings, thermal protection, and a grounding point. Removable IC for remodel use (liner flange clips required). Rated for 8 #12 #90 conductor (4 w/d). Removable housing for field inspection of wiring.

**LABELS:**  
IC Rated with both open trim, Non-IC Rated with adjustable and sealed trim. UL, CUL listed for damp location and through wiring. Thermally protected. NYC approved. Air Shield® rated with factory kit. WSEL compliant.

Featuring **PRE-HALL™**

**CATALOG NUMBER:** HIRAF Series W30  
W30 (IC) model: 800 & 1000 lumens, Max. 7.5W PAR30, 6.5W BR30, Ag. 5.8W x 3.0V  
W30 (Non-IC) model: 800 & 1000 lumens, Max. 7.5W PAR30, 6.5W BR30, Ag. 5.8W x 3.0V

HOUSING	HOUSING OPTIONS	TRIMS	FINISH	ACCESSORIES
<input type="checkbox"/> HIRAF 8" x 2 1/2" Non-IC Air Shield® 8" x 2 1/2" Non-IC 8" x 2 1/2" Non-IC	<input type="checkbox"/> S3M Screw bar hanger	<input type="checkbox"/> TA1 Adjustable <input type="checkbox"/> TB1 120V One plug sheet for details.	<input type="checkbox"/> BK6 Remodel clips, Three plastic frame clips for use in new construction framed in finished ceilings.	<input type="checkbox"/> AGK Rigid/Adjustable Gasket Kit to convert IBXS to Air Shield® compliant.

Example: BXS-TA1-S3M-BK6-AGK

**prescolite**  
A Division of Hubbell Lighting, Inc.

**Hubbell**  
Lighting

DATE: TYPE: F12T / F12G

**TRIMS & FINISHES**

**IBXS - Shallow Housing Incandescent**

**LED**  
**LMARADA Series W30**  
W30 (IC) model: 800 & 1000 lumens, Max. 7.5W PAR30, 6.5W BR30, Ag. 5.8W x 3.0V  
**Adjustable**

**Baffle**  
**TRW3**  
White opal baffle, Max. 7.5W PAR30, 6.5W BR30

**Lensed**  
**TRW4**  
White opal baffle, Max. 7.5W PAR30, 6.5W BR30

**Open**  
**TRW5**  
White open iris, Max. 7.5W PAR30, 6.5W BR30

**LightBox®**

**CATALOG NUMBER:** BXS-TA1-S3M-BK6-AGK

**prescolite**  
A Division of Hubbell Lighting, Inc.

**Hubbell**  
Lighting

**2 LED DOWN LIGHTING (F12G)**  
Scale: NOT TO SCALE

**SECURITY LIGHTING™**

**RWSC**  
RADIUS LED WALL SCENCE  
Type S1H

**PERFORMANCE DATA:**

# of LEDs	Drive Current (mA)	System Watts	Distribution Type	3000K nominal, 80 CRI				4000K nominal, 80 CRI			
W	H	L		L	U	G	U	G	L	U	G
16	350	14.4	down	1565	106.7	0	0	1561	109.1	0	0
22	500	20	up/down	2400	96	NA	NA	2391	93.6	100	NA

**Photometric Data**

ZONE	LUMENS	% FOOT
Front Low (D30)	2154	8.4
Front Mid (D40)	2453	9.1
Front High (D50)	1159	4.3
Back Low (D30)	2154	8.4
Back Mid (D40)	2453	9.1
Back High (D50)	1159	4.3
Light Loss (D30)	0	0
Light Loss (D40)	0	0
Light Loss (D50)	0	0

**Ordering Information:** RWSC-XL-XX-XX-U-XX-XX

**Hubbell**  
Lighting

**SECURITY LIGHTING™**

**RWSC**  
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Light Loss (D50)	0	0

**Ordering Information:** RWSC-XL-XX-XX-U-XX-XX

**Hubbell**  
Lighting

**SECURITY LIGHTING™**

**EL218**  
MICRO-FLOOD LED

**SECURITY LIGHTING™**

**EL218**  
MICRO-FLOOD LED

**PERFORMANCE:**

Spectroradiometric		3000K	4200K	5100K
Correlated Color Temp. CCT (K)		2800 to 3175K	3800 to 4600K	4600 to 5600K
Color Rendering Index (CRI)		> 72	> 72	> 72
Power Factor		> 0.9 @ 120V	> 0.9 @ 120V	> 0.9 @ 120V

**Electrical Drive Current:**

300mA		500mA	
Volts AC	Amperes AC	Volts AC	Amperes AC
120	0.85	120	0.83
208	0.85	208	0.89
240	0.81	240	0.87
277	0.84	277	0.86

**Absolute Lumens:**

Temp.	mA	Spot	Narrow Flood	Wide Flood
3000K	350	1078	938	889
4200K	350	1141	1000	950
5100K	350	1162	1011	953
3000K	500	1408	1243	1191
4200K	500	1491	1302	1249
5100K	500	1531	1311	1262

**Main Beam Candeal and Beam Angle:**

Temp.	mA	Spot (3 x 3)	Beam°	Narrow Flood (4 x 4)	Beam°	Wide Flood (4 x 4)	Beam°
3000K	350	8.65	18°	7.72	17°	4.65	13°
4200K	350	9.17	18°	8.02	17°	4.84	13°
5100K	350	9.50	18°	8.30	17°	5.00	13°
3000K	500	11.92	18°	10.61	17°	10.00	13°
4200K	500	12.61	18°	11.03	17°	10.56	13°
5100K	500	12.97	18°	11.45	17°	10.96	13°

**Projected Lumen Maintenance:**

Temp.	mA	100,000 hrs	30,000 hrs
3000K	350	500,000	500,000
4200K	350	500,000	500,000
5100K	350	500,000	500,000

**Ordering Code:**

**Specifying Finish:** BK - Black, DB - Dark Bronze, GR - Verde Green, VWH - White White

**Architectural Wall Mount:**  
Die-cast aluminum with 1/8" NPSM fixture mount. Internal set screw provided for locking position. Canopy attaches to stainless steel wall plate for mounting to any standard electrical outlet box. Super TOC powder coat paint over titanium zirconium conversion coating.  
**NOTE:** May also be used to hard mount low voltage fixtures.

**Mounting Options:**  
NPSM Mount, J-Box in wall (by others)

**Hubbell**  
Lighting

**3 WALL SCENCE (S1H)**  
Scale: NOT TO SCALE

**5 FLOOD LIGHTING (F22)**  
Scale: NOT TO SCALE

**6 BRAND WALL LIGHTING (BW)**  
Scale: NOT TO SCALE

**SECURITY LIGHTING™**

**RWSC**  
RADIUS LED WALL SCENCE

**PERFORMANCE DATA:**

# of LEDs	Drive Current (mA)	System Watts	Distribution Type	3000K nominal, 80 CRI				4000K nominal, 80 CRI			
W	H	L		L	U	G	U	G	L	U	G
16	350	14.4	down	1565	106.7	0	0	1561	109.1	0	0
22	500	20	up/down	2400	96	NA	NA	2391	93.6	100	NA

**Photometric Data**

ZONE	LUMENS	% FOOT
Front Low (D30)	2154	8.4
Front Mid (D40)	2453	9.1
Front High (D50)	1159	4.3
Back Low (D30)	2154	8.4
Back Mid (D40)	2453	9.1
Back High (D50)	1159	4.3
Light Loss (D30)	0	0
Light Loss (D40)	0	0
Light Loss (D50)	0	0

**Hubbell**  
Lighting

**4 WALL SCENCE (S1W)**  
Scale: NOT TO SCALE

**HIRAF HIGH EFFICIENCY LINEAR LED FAÇADE FIXTURE**

**NEW FEATURES:**

- Extruded aluminum construction. Finished in weather proof powder-coat paint.
- Tempered glass lenses.
- Fully integrated driver for completely self-contained lighting system.
- Aluminum mounting brackets are finished in powder-coat paint and each order ships with a formed drilling template.
- Power feed required only at beginning of each continuous row. Subsequent fixtures plug together in series.
- Fixtures available in up and down light, down light only or up light only.
- 60,000 hour long life LED illumination.
- 5000K color temperature standard. H-SO CCT.
- 80 CRI standard.
- Linear Façade Fixture (14 watts per foot).

**FEATURES:**

**Sample Catalog Number:** HIRAF-HE-LED-XX-XX-XX-XX

**Ordering Information:** HIRAF-HE-LED-XX-XX-XX-XX

**Hubbell**  
Lighting

**6 BRAND WALL LIGHTING (BW)**  
Scale: NOT TO SCALE

DATE	3-9-20	5-29-20
REV	1	2
DESCRIPTION	CITY COMMENTS	CITY COMMENTS
BY	JPB	JPB
ISSUE REF		
PLAN APPROVAL	SIGNATURE (2 REQUIRED)	
REGIONAL MGR.		
CONST. MGR.		
PROJECT MGR.		
REAL ESTATE MGR.		
CONTRACTOR		
OWNER		
STATUS	DATE	BY
PRELIMINARY	5/1/18	FG
FINAL PLAN	-	FG
AS-CONST.		

**C3.3**  
BLDG MOUNTED LIGHTS

FG JOB NO 0171150.0



**WALL SCONCE(W S1)**  
Scale: NOT TO SCALE



**WALL SCONCE(W S)**  
Scale: NOT TO SCALE  
COLOR SILVER TO MATCH ALUMINUM TRELLIS FASCIA (COLOR CITISCAPE)



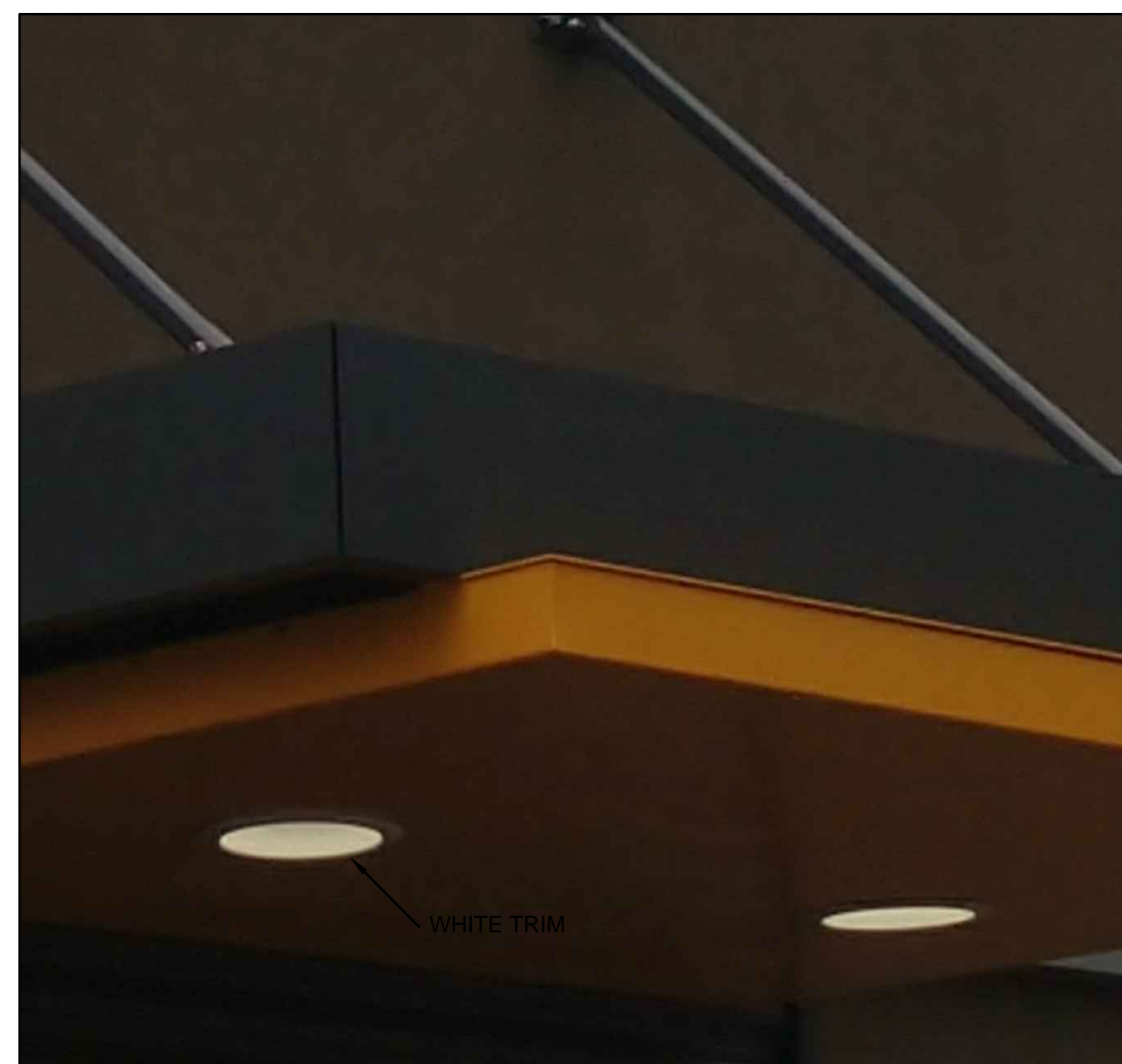
**TRELLIS LIGHTING**  
Scale: NOT TO SCALE  
INTEGRATED TRELLIS LIGHTING (ICF)  
NO CUT SHEET AVAILABLE

**4 WALL SCONCE (S1W)**  
Scale: NOT TO SCALE

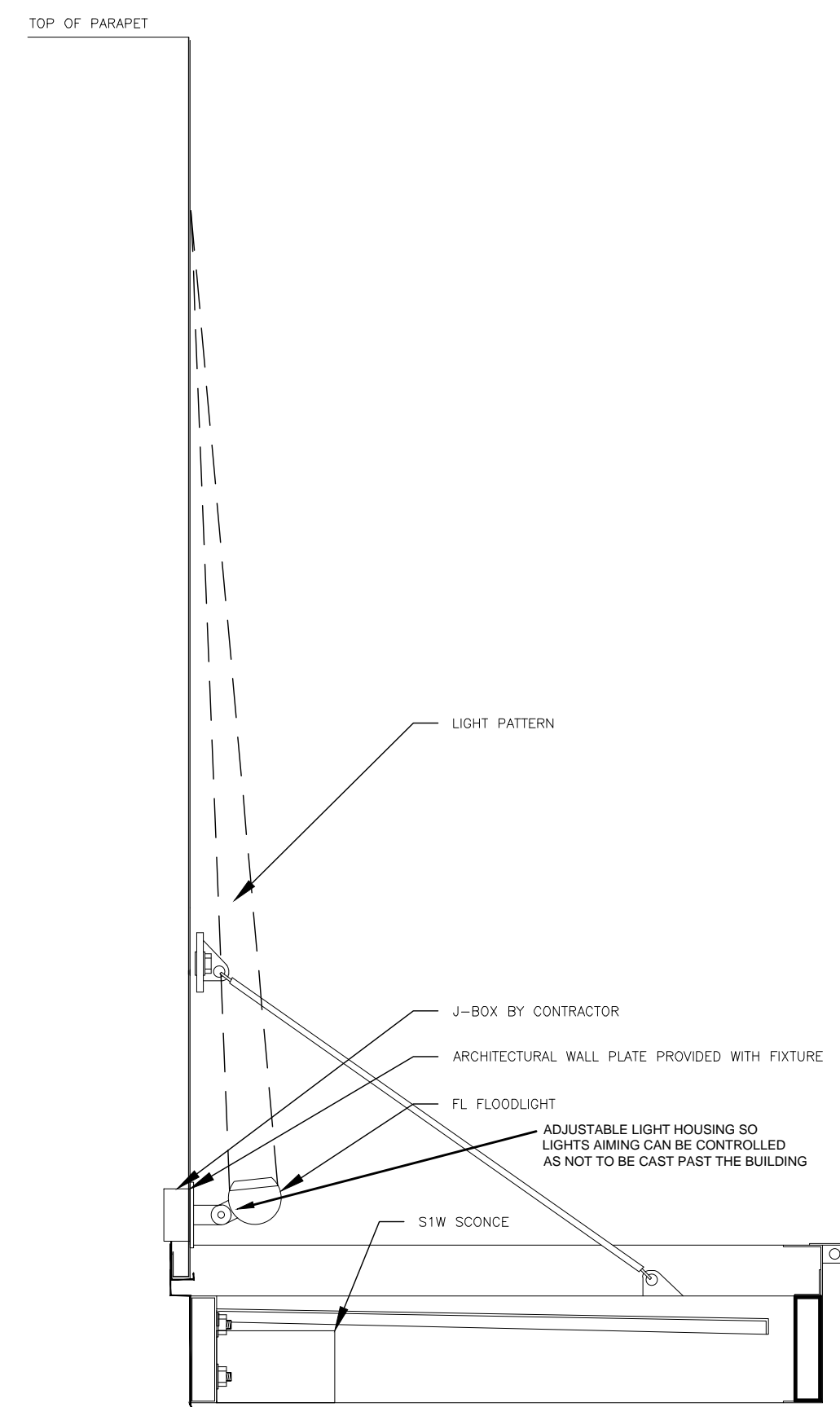


DATE 5-1-18  
THIS SHEET HAS BEEN SIGNED,  
SEALED, AND DATED ELECTRONICALLY  
Farnsworth Group, Inc.  
Missouri State Certificate of Authority  
#001321

*McDonald's*  
HEARTLAND REGION  
10801 MASTIN BLVD., SUITE 400, OVERLAND PARK, KS 66210  
ADDRESS 110 LONG ROAD CHESTERFIELD MO 63005



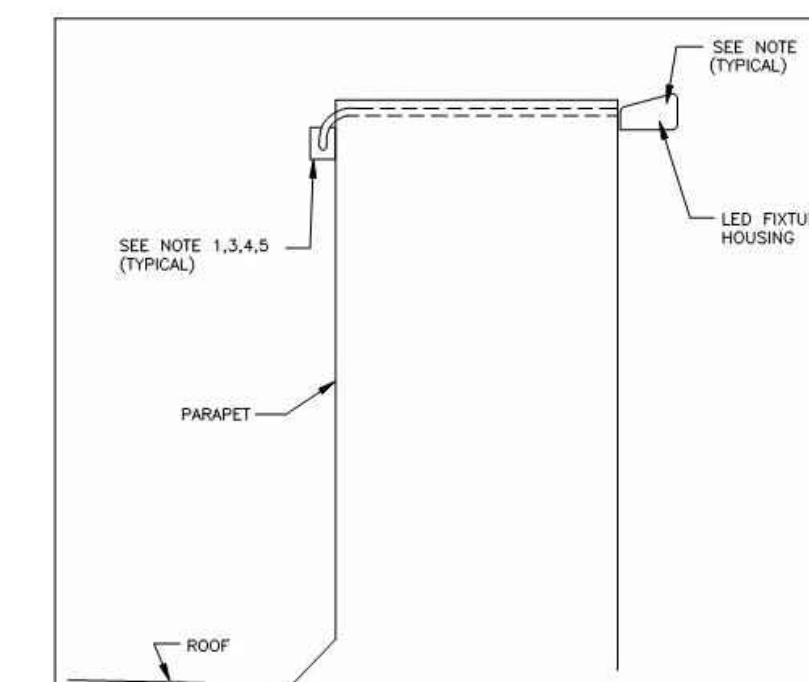
**LED DOWN LIGHTING (LDL)**  
Scale: NOT TO SCALE



**5 FLOOD LIGHTING (F22)**  
Scale: NOT TO SCALE



**FLOOD LIGHT EXHIBIT**  
Scale: NOT TO SCALE  
UPWARD AIMED FLOOD LIGHTS



**BRAND WALL LIGHTING DETAIL**  
SCALE: 3/4"=1'-0"

- GENERAL NOTES:
1. PLACE LED FIXTURE AT DESIRED LOCATION AND INSTALL FIXTURE FROM LEFT TO RIGHT WHEN FACING ARCADE AND ATTACH POWER SUPPLY AND MOUNTING BRACKET AS RECOMMENDED BY MANUFACTURER.
  2. EC SHALL CONNECT NEW FIXTURES TO THE NEXT AVAILABLE SPARE 120V CIRCUIT AND MAKE ALL ELECTRICAL CONNECTIONS AS REQUIRED FOR A COMPLETE OPERATING SYSTEM.
  3. POWER SUPPLY SHALL ALWAYS BE INSTALLED TO THE LEFT SIDE OF FIXTURE WHEN FACING ARCADE.
  4. OVERALL FIXTURE RUN TO BE CENTERED ON OVERALL LENGTH OF WALL.
  5. CONNECT NEW LED FIXTURES TO EXISTING LIGHTING CIRCUIT(S) AS REQUIRED. ENSURE THAT CIRCUIT BREAKER AND CONDUCTOR SIZES DO NOT EXCEED 1200 WATTS ON A 15A CIRCUIT AND 1000 WATTS ON A 20A CIRCUIT. VERIFY EXISTING CONDITIONS AND REQUIREMENTS IN FIELD. PROVIDE ADDITIONAL CIRCUITS (C.B., WIRING, CONDUITS) AS REQUIRED.

**6 BRAND WALL DETAIL**  
Scale: NOT TO SCALE

**3 WALL SCONCE (S1H)**  
Scale: NOT TO SCALE

PLAN APPROVAL		DATE
SIGNATURE (2 REQUIRED)		
REGIONAL MGR.		
CONST. MGR.		
PROJECT MANAGER		
REAL ESTATE MGR.		
CO-SIGN SIGNATURES		
CONTRACTOR		
OWNER		

STATUS	DATE	BY
PRELIMINARY	5/1/18	FG
FINAL PLAN	-	FG
AS-CONST.		

**C3.4**  
BLDG MOUNTED LIGHTS

