


Planning Commission Staff Report

Project Type:	Amended Site Development Plan
Meeting Date:	June 22, 2020
From:	Chris Dietz, Planner 
Location:	North of Olive Blvd. west of its intersection with North Woods Mill Road.
Description:	<u>13559 Olive Blvd. (McDonald's) ASDP:</u> Amended Site Development Plan, Landscape Plan, Lighting Plan, Architectural Elevations and Architectural Statement of Design for a 0.86-acre tract of land zoned "PC" - Planned Commercial District, located north of Olive Blvd. west of its intersection with North Woods Mill Road.

PROPOSAL SUMMARY

The Farnsworth Group, on behalf of McDonald's Corporation, has submitted a request for an Amended Site Development Plan, Landscape Plan, Lighting Plan, Architectural Elevations and Architectural Statement of Design for a fast food restaurant located on the north side of Olive Boulevard. The primary change within this request is to update the existing building to a modern design as part of a national branding effort. The request also includes changes to the site design with the addition of a second drive-thru lane, relocation of the trash enclosure, and minor parking reconfiguration.



Figure 1: Subject Site

HISTORY OF SUBJECT SITE

In 1983, St. Louis County Ordinance 11,240 was approved changing the zoning designation of the then vacant land from a C6 zoning district to a C8 zoning district. Ordinance 11,240 was amended in 1990 by St. Louis County Ordinance 14,846 in which the sole use remained as restaurant with drive-up window.

Development requirements were altered, including but not limited to, a larger allowable total floor area, decrease in building setbacks from the property lines, and expanded permitted hours of operation.

In 2011, two areas within the perimeter of the subject site were re-zoned to PC-Planned Commercial for the sole use of telecommunication facilities.

In 2019, the City of Chesterfield City Council approved Ordinance 3068. The primary purpose of this ordinance was to allow for an update involving exterior renovations to the building and to also construct a double drive-thru lane.

LAND USE AND ZONING

The surrounding zoning districts and land uses for this site are as follows:

Direction	Zoning	Land Use
North	R7—Residential District	Multi-Family Residential
South	C2—Planned Commercial District	Retail
East	C2—Planned Commercial District	Retail
West	R7—Residential District	Multi-Family Residential

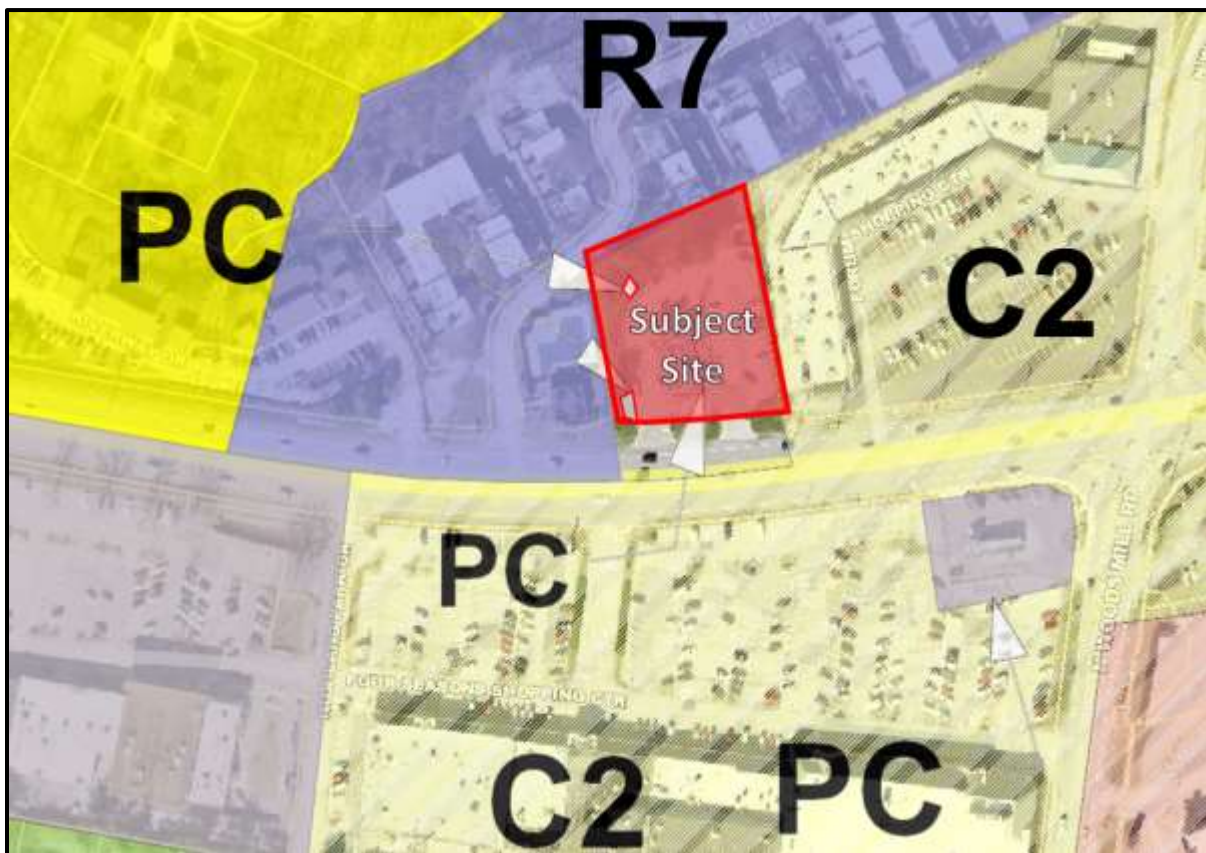


Figure 2: Zoning Map



Figure 3: Land Use Map

COMPREHENSIVE PLAN

The subject site is located within Ward 1 of the City of Chesterfield and is within the “Community Retail” land use designation per the City’s Comprehensive Land Use Plan. The City’s Comprehensive Plan provides permitted land uses for each land use designation. The sole permitted land use is a fast-food restaurant and remains as the sole use in this request.

The City’s Comprehensive Plan also defines specific plan policies. Outlined below are specific commercial and transportation policies that are applicable to this request

Policy 3.1.1 Quality of Design - Overall design standards should provide for smaller scale, mixed-use, project-oriented developments. Developments should emphasize architectural design, pedestrian circulation, landscaping, open space, innovative parking solutions and landscape buffering between any adjacent residential uses.

Policy 3.1.2 Buffering of Neighborhoods - Development should substantially buffer the neighboring residential uses in all directions by employing good site design, addressing vehicular access, building materials selection, tree preservation, and expanded setbacks.

Policy 7.2.4 Encourage Sidewalks - Sidewalks should be required of all new developments and encouraged along existing roads in the City of Chesterfield, allowing creative placement to protect the natural environment.

Policy 7.2.6 Cross-Access Circulation - Internal vehicular and pedestrian connections between commercial developments should be encouraged.

STAFF ANALYSIS

Zoning

This site is currently zoned “PC” —Planned Commercial District and is governed under the provisions of Ordinance 3068. Staff has reviewed this request against the provisions of Ordinance 3068 as well as all applicable requirements of the UDC, and has found the proposed development to comply with all zoning requirements.

Circulation and Access

The dedicated entrance and exit are in the same locations that exist on the site today and the same as the approved Preliminary Development Plan. The addition of the second drive-thru lane will allow for additional stacking capacity for the drive-thru on the site. An additional vehicular cross-access easement between this site and the adjacent commercial development to the east is included on the southeast corner of the site as required by Ordinance 3068.

There is currently no sidewalk along Olive Boulevard. There was a considerable amount of discussion in regards to the installation of sidewalk along the frontage of Olive Boulevard during the recent rezoning. MoDOT has communicated that they have a planned project for future improvements along Olive Blvd. that includes a sidewalk. The location of the sidewalk immediately adjoins the back of the curb and will comply with ADA guidelines. MoDOT has provided confirmation to City Staff that the improvements are budgeted for 2021. The applicant did agree to provide a short connection of sidewalk approximately 25 ft long connecting the McDonald’s site to the shopping center to the east, which is depicted on the Amended Site Development Plan under review.

Off-Street Parking and Loading

Parking will be reconfigured as part of this request to accommodate the dual drive-thru ordering stations. The proposed additional drive-thru lane is believed to alleviate parking demand and vehicle stacking by allowing more drive-thru customer traffic to be accommodated during peak hours. The site will be redesigned to include three (3) parallel

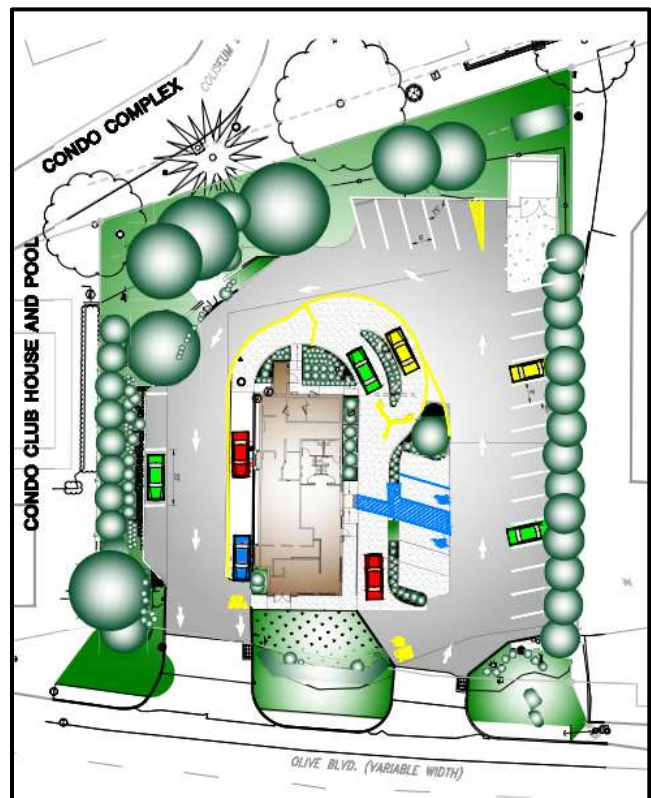


Figure 4: Color Site Plan

parking spaces on the west end of the site, offsetting the placement of the second drive-thru lane. The trash enclosure will also be relocated further north out of the parking area to further offset the placement of a landscape island just north of the two (2) ADA spaces. This request would result in no change to the amount of parking stalls (31) currently present on site.

When the site was first developed, the site's 31 spaces complied with the minimum parking standards for a development of this type. However, with the adoption of the current zoning code, the site has fallen into non-compliance since the UDC now requires a total of 40 parking stalls for the *restaurant-fast-food* use of this square-footage of floor area, as specified in code. As such, the site is considered an existing non-conformity. However, since this proposal is not reducing the number of physical parking spaces onsite, the non-conformity of parking is not being expanded. A formal request has been submitted for modification of standards for parking by reducing the minimum parking required for this site from 40 spaces to 31 spaces. Since the request results in a 22.5% decrease in minimum parking required, this request will require Planning Commission approval.

A parking demand study has been submitted by the applicant to supplement this modification of parking standards request, as required by code. The complete parking demand study is attached.

Landscaping

The site features four (4) landscape buffers along the north (25'), south (10'), east (5') and west (17') property lines that were introduced in the rezoning last year. Specifically, the north and west landscape buffers separate the site from a multi-family residential development and feature several mature plantings that provide screening. Landscaping will be enhanced along the west landscape buffer to provide additional screening to the neighboring residential development.

A six-foot (6') privacy fence extending across the northern property line will be replaced with a solid vinyl fence between the two developments. This fence is listed in the submittal as being 98% soundproof and is intended to alleviate noise concerns that were previously discussed in the rezoning process last year. Three (3) mature evergreen trees along the north property line will need to be removed to accommodate this project and will be replaced with fast-growing evergreen plantings. Other plantings throughout the site include the front patio area of the building to be replaced with landscaping and landscape islands that separate the drive-thru lane from the parking area. Retaining walls along the north and west landscape buffers currently exist and are intended to remain. All proposed plantings comply with UDC regulations.

Lighting

This proposal features a mixture of utilitarian and decorative lighting throughout the site. Utilitarian fixtures include new LED parking area pole lighting, recessed canopy downlighting over the drive-thru window areas and LED wall sconces that are found on each side of the building. Decorative fixtures will include an LED lighting system integrated into the trellises found above the dining room windows and pedestrian entrances. Further LED downlighting will be located at the top of each brand wall parapet located on the south and east elevations of the building. Finally, floodlighting is proposed to project upward on brand walls so as to be fully cut off by the wall and not over-project into the night sky on both

Monument Sign Removal

Signage is reviewed under a separate process. However, an existing pole sign will be removed and replaced in-place with a shorter monument sign, as depicted on the Amended Site Development Plan.

ARCHITECTURAL REVIEW BOARD INPUT

This project was reviewed by the Architectural Review Board on May 14, 2020, where it was forwarded to Planning Commission with a recommendation for approval with one (1) condition:

- Provide additional landscaping along north end of the site.

The applicant has since fulfilled this condition with the inclusion of three (3) fast-growing evergreen tree plantings within the north landscape buffer.



Figure 6: Architectural Rendering

STAFF RECOMMENDATION

Staff has reviewed this proposed development and found it to be in compliance with the City’s Comprehensive Plan, Unified Development Code and site-specific ordinance and all outstanding comments have been addressed at this time. Staff recommends approval of this Amended Site Development Plan for 13559 Olive Blvd. (McDonalds).

MOTION

The following options are provided to the Planning Commission for consideration relative to this application:

- 1) “I move to approve (or deny) the Amended Site Development Plan, Landscape Plan, Lighting Plan, Architectural Elevations and Architect’s Statement of Design for 13559 Olive Blvd. (McDonalds), as presented.”
- 2) “I move to approve the Amended Site Development Plan, Landscape Plan, Lighting Plan, Architectural Elevations and Architect’s Statement of Design for 13559 Olive Blvd. (McDonalds) with the following conditions...” (Conditions may be added, eliminated, altered or modified)

Attachments: Amended Site Development Plan Packet

RECEIVED

JUN - 8 2020

City of Chesterfield-Department of Planning

The intent of this project is to provide an updated aesthetic to fit in with modern design to the existing McDonald's store located at 13559 Olive Boulevard.

Chapter 31 Unified Development Code; Article 04; Sec. 31-04-01 Architectural review design standards.

- A. To conform to the standards of applicability and compliance, we will submit to the City of Chesterfield the list of documents to accompany this statement to adhere to guidelines set by the City for the proposed project's compliance with the adopted code.
- B. We have referenced the section above and followed the set list of requested submittal requirements in conjunction with inquiries to the City of Chesterfield's planning representatives to provide acceptable materials for the City's review for the proposed project.
- C. General Requirements for site design
 1. Site relationships – Pedestrian movement has been considered and accessible pathing is to be provided at the site to allow safe movement. Existing conditions remain with no site exclusive public plaza or courtyard. At locations not required for proposed parking area such as the retaining wall and at the front façade of the building, landscaping is incorporated to enhance views.
 2. Circulation system and access
 - a. Pedestrian Circulation – A designated striped area will be provided highlighting accessible route to access the site. A new pedestrian connection will be provided to the east at the Southeast corner of the lot. A future MoDot project will provide a public walk along Olive Blvd.
 - b. Vehicular Circulation - Site design of the existing site has been modified to provide a side-by-side drive through design to minimize site vehicular congestion within the paved area and to improve on site drive thru stacking.
 - c. Parking – The greater portion of parking is provided on either side of the building. Landscaped areas are provided in front of the building and along the north, east and west property lines.
 - d. Pedestrian Orientation – An intermediate trellis and canopy system is implemented in the design to bring focus toward the front façade at and between the two main entry locations through the use of a taller brand wall design which extends beyond the main building wall to create a hierarchy at the entry process.
 3. Topography – Existing conditions are being improved upon to provide a more accessible site. The screening and transitions will remain similar the existing site design.
 4. Retaining Walls – Existing retaining wall to be repaired/replaced with a textured concrete or masonry design.
- D. General Requirements for building design
 1. Scale
 - a. Building scale – Compatibility is shown through elevation/rendering to show similar scale at nearby condominiums and shopping center.
 - b. Human scale – Demonstrated using brand wall features to provide a sense of entry and a trellis/canopy design at consistent levels to lead into the brand wall.

- c. Generic scale – With no buildings directly adjacent to the existing McDonald's, the building shares similar scale and building material of nearby shopping center.
 - 2. Design
 - a. Proposed façade color is consistent throughout with an accent color located at brand walls and minor elements.
 - b. Varying landscape and change in architectural features around the building will keep similar elements from appearing repetitive.
 - c. The architectural features will help in bringing your attention to attached signage but the building itself will not serve as an advertisement to the McDonald's franchise.
 - d. Most of the building will be existing to remain at street level with repair of face brick and replacing glazing at street level. At brand walls, the walls will be detailed with the wall construction including finish.
 - e. Interior finishes are to be considered and included in a décor permit set of drawings to provide art elements and details in the dining area.
 - f. The proposed design will improve upon the energy efficiency by providing more efficient glass covering less of the building envelope.
 - g. The building will retain existing materials that are in good condition and the new materials used will be higher quality and installed per manufacturer's recommendation.
 - h. The design introduces canopies and a brand wall design at the building's entry point.
 - i. Any temporary barrier/wall will complement the building's design.
 - j. Rooftop equipment will be screened by parapet walls.
 - 3. Materials and colors used for the building design will be per McDonald's MRP prototype with existing face brick, EIFS with the colors being grays and charcoal in color with white and gray canopies.
 - 4. Landscape design and screening
 - a. Development landscaping – existing landscaped areas to remain. Grouping of any new trees and shrubs should be consistent with existing landscaping.
 - b. Building landscaping – Landscaping exists at the street separating it from the building.
 - c. Parking area landscaping – Any landscaped areas adjacent to the north parking area is separated through use of a curb or retaining wall.
 - d. Walls and fences – Masonry walls used as a dumpster enclosure. Proposed fencing above retaining wall at the drive thru and side elevations to be of picket style and will not be chain link.
 - 5. Signage will be provided by a separate permit set. Proposed sign locations attached to the building are indicated in the proposed plans graphically.
 - 6. Lighting will adhere to the UDC and cut sheets will be provided.
- E. This project is not located within Chesterfield Valley



McDonald's Restaurant, Olive Street Road, Chesterfield, MO
PLAN OF SITE AND APPROXIMATE
LOCATION OF BORING

Figure 1

13559 OLIVE BLVD CHESTERFIELD MISSOURI McDONALD'S

OWNER/DEVELOPER

McDONALD'S REAL ESTATE CO
PO BOX 66207
AMF OHARE IL 60666

SITE INFORMATION

LOCATOR NUMBER 160241471
ZONING DISTRICT PC PLANNED COMMERCIAL DISTRICT
SITE ADDRESS 13559 OLIVE BLVD CHESTERFIELD MO 63017

PROPOSED AREA BREAKDOWN

RESTAURANT BUILDING AREA 2,682 SQUARE FEET (7.27%)(FAR = 2,682/36,879 = 0.0727<0.55)
PROPOSED PAVED AREA 21,289 SQUARE FEET (57.72%)
PROPOSED LANDSCAPE AREA AREA 12,908 SQUARE FEET (35%)
TOTAL LOT AREA 36,879 SQUARE FEET (100%)
PROPOSED OPEN SPACE AREA 13,658 SQUARE FEET (37%)

FLOOD PLAIN NOTE

WE HAVE EXAMINED COMMUNITY PANEL NUMBER 29189CO170K (MAP NUMBER 29189CO170K, DATED FEBRUARY 4TH, 2015) OF THE FLOOD INSURANCE RATE MAPS, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FOR THE AREA CONTAINING THE SUBJECT PROPERTY. SAID PROPERTY APPEARS TO BE LOCATED IN ZONE "X", AREA OF MINIMAL FLOOD HAZARD.

LEGAL DESCRIPTION

A tract of land being part of that parcel conveyed to McDonald's Real Estate Company by Deed recorded in Book 18830, Page 218 of the St. Louis County Records, situated within Lot 1 of Share 1 of the Partition of the Missouri Stevens Estate, in U. S. Survey 207, Township 46 North, Range 5 East, City of Chesterfield, St. Louis County, Missouri, being more particularly described as follows:

Beginning at Point "A" on the Eastern line of Forum West Section One, a Condominium according to the plat thereof recorded in Plat Book 126, Page 90 of the St. Louis County Records, at its intersection with the Northern right of way line of Olive Boulevard, as widened by Condominium Suit No. 373601, recorded in Deed Book 8788, Page 1224 of the St. Louis County Records, thence along said Eastern line, North 09 degrees 27 minutes 41 seconds West, 158.20 feet to a point, thence North 62 degrees 25 minutes 09 seconds East, 194.36 feet to a point, thence departing said Eastern line, South 09 degrees 27 minutes 49 seconds East, 241.67 feet to a point on the Northern right of way line of Olive Boulevard, as aforementioned, thence along said Northern line, South 82 degrees 23 minutes 42 seconds West, 7.08 feet to a point of curvature, thence Southwestwardly 48.70 feet along a curve to the right, having a radius of 1,944.96 feet and a chord bearing South 03 degrees 00 minutes 27 seconds West to a point of tangency, thence North 89 degrees 34 minutes 20 seconds West, 125.01 feet to a point, thence South 69 degrees 09 minutes 41 seconds West, 5.85 feet to the point of beginning.

EXCEPTING THEREFROM THE LIGHT POLE LEASE AREA

Commencing at Point "A" defined above, thence along the Eastern line of Forum West Section One, North 09 degrees 27 minutes 41 seconds West, 19.63 feet to a point, thence departing said Eastern line, North 80 degrees 32 minutes 10 seconds East, 15.59 feet to the true point of beginning of herein described Lease Area, thence North 81 degrees 49 minutes 19 seconds East, 10.00 feet to a point, thence South 08 degrees 30 minutes 07 seconds East, 21.98 feet to a point on the Northern right of way line of Olive Boulevard, as aforementioned, thence North 89 degrees 34 minutes 20 seconds West, 10.13 feet to a point, thence departing said Northern right of way line, North 08 degrees 30 minutes 07 seconds West, 20.14 feet to the point of beginning.

AND EXCEPTING THEREFROM THE COMPOUND LEASE AREA

Commencing at Point "A" defined above, thence along the Eastern line of Forum West Section One, North 09 degrees 27 minutes 41 seconds West, 158.20 feet to a point, thence North 62 degrees 25 minutes 09 seconds East, 37.14 feet to a point, thence departing said Eastern line, South 27 degrees 34 minutes 51 seconds East, 26.44 feet to the true point of beginning of herein described Lease Area, thence South 46 degrees 26 minutes 58 seconds East, 15.00 feet to a point, thence South 43 degrees 31 minutes 21 seconds West, 15.00 feet to a point, thence North 46 degrees 28 minutes 39 seconds West, 15.00 feet to a point, thence North 43 degrees 31 minutes 21 seconds East, 15.00 feet to the point of beginning.

Said parcel containing a net area 36,879 square feet (0.85 acres more or less).

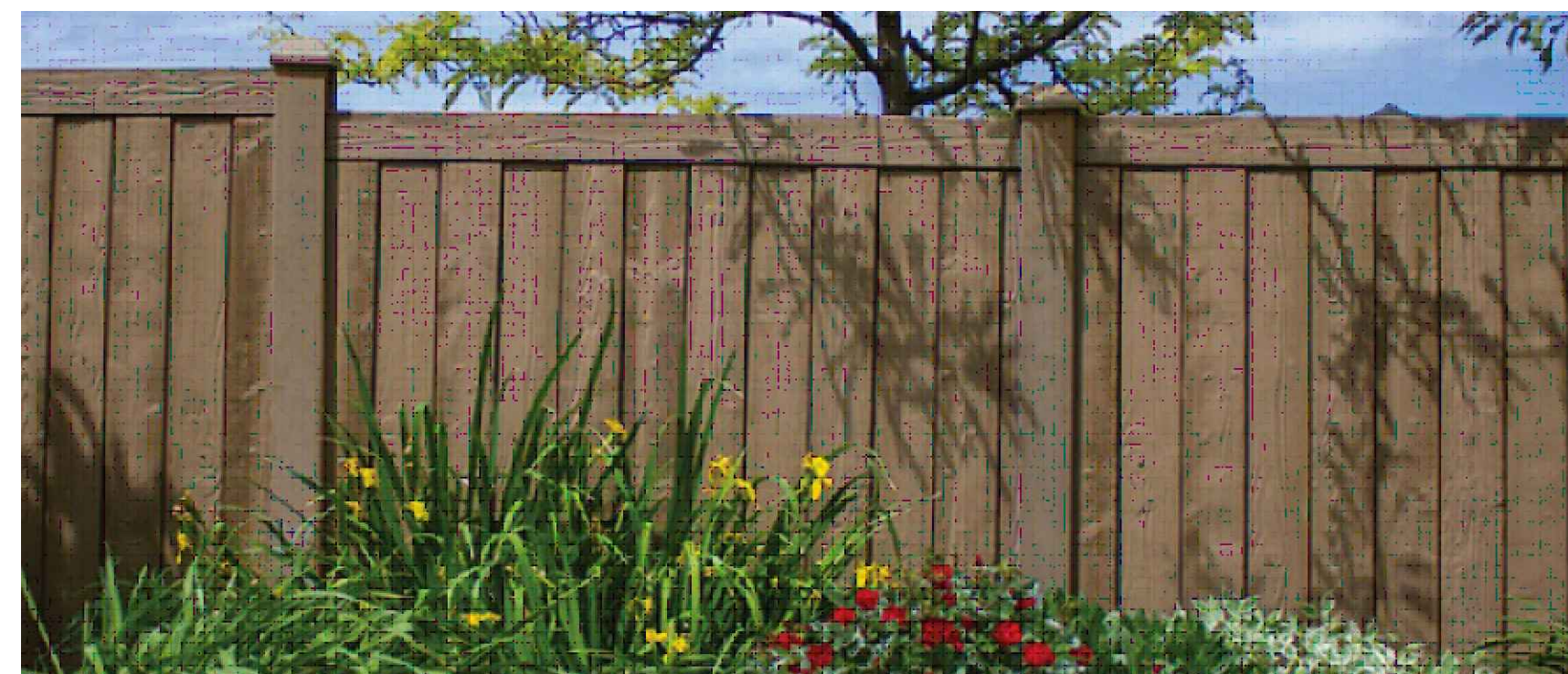
Additional Features:

- Recycled Content: 25%
- Manufactured to withstand extreme weather conditions
- Unaffected by water and salt spray and resistant to any negative organic processes
- Steel reinforced panel
- Available in: Black Oak, Walnut Brown, Gold Cedar, Nantucket Gray, Red Cedar.
- ColorLast® fade protection 10 years
- 4' & 6' heights
- 25-year warranty

NEW 6' TALL SIM TEK ASHLAND STYLE FENCE IN A GOLDEN CEDAR COLOR
THIS IS A SOLID VINYL FENCE THAT BLOCKS 98% OF DIRECT SOUND



GOLDEN CEDAR COLOR



1 SIM-TEK ASHLAND STYLE FENCE

Scale: NOT TO SCALE

GENERAL NOTES

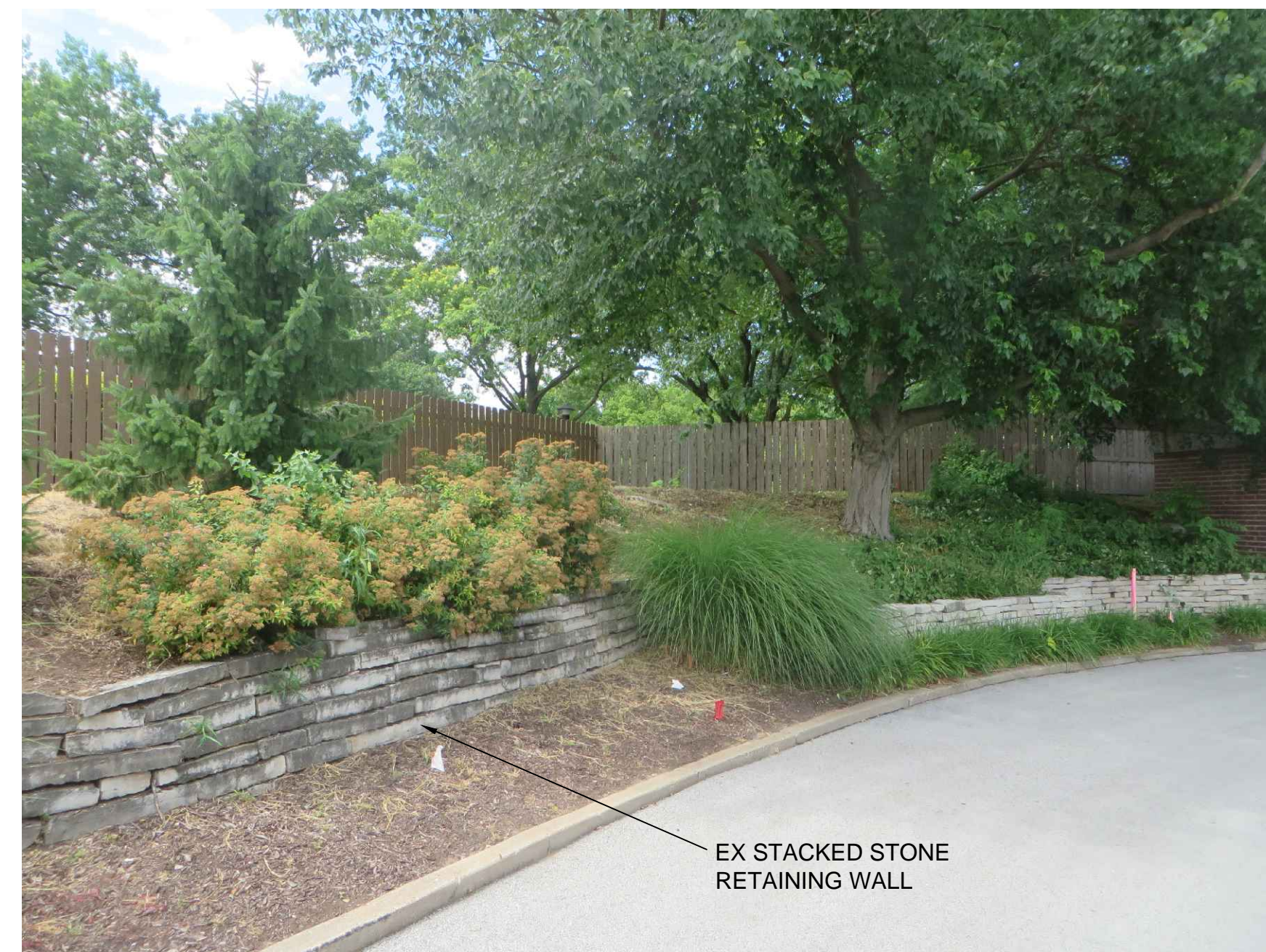
- ALL DIMENSIONS ARE TO FRONT FACE OF CURB UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATION AND DIMENSIONS OF NEW EXIT PORCHES, RAMPS, PATIOS, PRECISE BUILDING DIMENSIONS AND UTILITY ENTRANCE LOCATIONS.
- THE CONTRACTOR SHALL KEEP ALL ACCESS ROADS FREE FROM MUD AND DEBRIS AT ALL TIMES.
- THE CONTRACTOR SHALL SAWCUT ALL EDGES OF EXISTING PAVEMENT THAT IS TO BE REMOVED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CREATE A SMOOTH WORKING EDGE AND TO PLACE BACKFILL AND PAVEMENT SUCH THAT SETTLEMENT DOES NOT OCCUR.
- REFER TO SITE LAYOUT PLAN FOR DIMENSIONAL CONTROL OF NEW IMPROVEMENTS.
- ALL MATERIALS AND WORKMANSHIP ASSOCIATED WITH THE SITE IMPROVEMENTS SHALL COMPLY WITH THE LATEST STANDARDS AND SPECIFICATIONS OF THE CITY OF CHESTERFIELD.
- PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL AND PRACTICAL INSTALLATION.
- THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT CONNECTION POINTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FEES AND CONSTRUCTION COSTS RELATED TO INSTALLATION AND CONNECTION OF ALL UTILITIES FROM LOCAL UTILITY COMPANY SOURCE TO THE NEW FACILITY.
- EXISTING UTILITIES SHOWN HEREON ARE FROM INFORMATION PROVIDED BY UTILITY COMPANIES AND MUST BE CONSIDERED AS APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXACT LOCATION PRIOR TO COMMENCING WORK.
- ALL MATERIALS AND WORKMANSHIP ASSOCIATED WITH THE ELECTRIC SERVICE CONSTRUCTION SHALL COMPLY WITH THE LATEST STANDARDS AND SPECIFICATIONS OF LOCAL GOVERNING AUTHORITY.
- BACKFILL ALL UTILITY TRENCHES UNDER PAVEMENT WITH GRANULAR MATERIAL. REFER TO DETAIL ON SD SHEETS.
- REFER TO SHEET C1.2 FOR DIMENSIONS AND SHEET C1.2 FOR IDENTIFICATION OF EXISTING AND PROPOSED IMPROVEMENTS.
- REFER TO SHEET C2.1 FOR GRADING AND C3.1 FOR ABOVE AND BELOW GROUND SEWERS AND UTILITIES.
- REFER TO SHEET C4.1 FOR LANDSCAPE MATERIALS.
- ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS, AFTER INITIAL GRADING TO SIX INCHES (6") BELOW SUBGRADE. TOP SOIL TO BE ADDED TO THE LEVEL OF THE WALKS OR CURBS.
- FINISH SPOT ELEVATIONS AND CONTOURS ARE SHOWN TO TOP OF NEW PAVEMENT, WALKS, SOD, ETC. (AND NOT FINISH ROUGH GRADE)
- FINISH SPOT ELEVATIONS AT THE FACE OF CURBS ARE SHOWN TO TOP OF NEW PAVEMENT AT THE CUTTER LINE UNLESS OTHERWISE NOTED.
- ALL GRADING AND DRAINAGE SHALL CONFORM TO THE LATEST STANDARDS AND SPECIFICATIONS OF THE CITY OF CHESTERFIELD.
- NO SLOPE SHALL EXCEED 3:1 MAXIMUM.
- ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUND BREAK. FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT. ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS. FINISH GRADING, LANDSCAPING, AND SPRINKLER SYSTEMS ARE BY THE OWNER/OPERATOR.
- BASES, ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL SIGNS ARE BY THE GENERAL CONTRACTOR.
- WHERE NATURAL VEGETATION IS REMOVED DURING GRADING, VEGETATION SHALL BE REESTABLISHED IN SUCH A DENSITY AS TO PREVENT EROSION.
- WHEN CLEARING AND/OR GRADING OPERATIONS ARE COMPLETED OR SUSPENDED FOR MORE THAN 30 DAYS, ALL NECESSARY PRECAUTIONS SHALL BE TAKEN TO RETAIN SOIL MATERIALS ON SITE. PROTECTIVE MEASURES MAY BE REQUIRED BY THE DIRECTOR OF PUBLIC WORKS SUCH AS PERMANENT SEEDING, PERIODIC WEEDING, MULCHING, OR OTHER SUITABLE MEANS.
- PROVIDE WEEPHOLES ON CURBS AT ALL LANDSCAPE AREAS LOCATIONS.
- STORM WATER PIPES, OUTLETS AND CHANNELS SHALL BE PROTECTED BY SILT BARRIERS AND KEPT FREE OF WASTE AND SILT AT ALL TIMES PRIOR TO FINAL SURFACE STABILIZATION AND/OR PAVING.
- SILTATION FENCES SHALL BE INSPECTED PERIODICALLY FOR DAMAGE AND FOR THE AMOUNT OF SEDIMENT WHICH HAS ACCUMULATED. REMOVAL OF SEDIMENT WILL BE REQUIRED WHEN IT REACHES 1/2 THE HEIGHT OF THE SILTATION FENCE.
- NOTIFY CITY OF CHESTERFIELD 48 HOURS PRIOR TO THE COMMENCEMENT OF GRADING AND/OR PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- PARKING ON NON-SURFACED AREAS IS PROHIBITED IN ORDER TO ELIMINATE THE CONDITION WHEREBY MUD FROM CONSTRUCTION AND EMPLOYEE VEHICLES IS TRACKED ONTO THE PAVEMENT CAUSING HAZARDOUS ROADWAY AND DRIVING CONDITIONS. CONTRACTOR SHALL KEEP ROAD CLEAR OF MUD AND DEBRIS.
- ALL FILLS PLACED UNDER PROPOSED STORM AND SANITARY SEWER LINES AND/OR PAVED AREAS, INCLUDING TRENCH BACKFILLS WITHIN AND OFF THE ROAD RIGHT-OF-WAY, SHALL BE COMPACTED TO 90 % OF MAXIMUM DENSITY AS DETERMINED BY THE "MODIFIED AASHTO 1-180 COMPACTION TEST" (ASTM D-1557) FOR THE ENTIRE DEPTH OF THE FILL.
- COMPACTED GRANULAR BACKFILL IS REQUIRED IN ALL TRENCH EXCAVATION WITHIN THE STREET RIGHT-OF-WAY AND UNDER ALL PAVED AREAS PER CITY OF CHESTERFIELD SPECIFICATIONS. ALL TESTS SHALL BE PERFORMED UNDER THE DIRECTION OF AND VERIFIED BY A SOILS ENGINEER CONCURRENT WITH GRADING AND BACKFILLING OPERATIONS.
- NO EXCAVATION SHALL BE MADE SO CLOSE TO THE PROPERTY LINE AS TO ENDANGER ANY ADJOINING PROPERTY OF ANY PUBLIC OR PRIVATE STREET WITHOUT SUPPORTING AND PROTECTING SUCH PUBLIC OR PRIVATE STREET OR PROPERTY FROM SETTLING, CRACKING OR OTHER DAMAGE.
- CONCRETE AND ASPHALTIC CONCRETE SURFACES SHALL CONFORM TO THE APPROPRIATE SECTIONS OF THE PROJECT SPECIFICATIONS.
- THICKEN EDGE OF ASPHALT PER SITE DETAILS WHEREVER ASPHALT PAVEMENT ADJOINS CONCRETE PAVEMENT.
- THE CONTRACTOR SHALL FURNISH, MAINTAIN AND REMOVE TRAFFIC CONTROL DEVICES FOR THE PURPOSE OF REGULATING, WARNING AND DIRECTING TRAFFIC DURING ALL PHASES OF CONSTRUCTION IN/ADJACENT TO ROADWAYS. USE OF ALL FLAGMEN, BARRICADES, WARNING SIGNS, ETC. SHALL CONFORM TO GUIDELINES ESTABLISHED IN THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- APPROVAL OF THIS PLAN BY THE CITY OF CHESTERFIELD DOES NOT CONSTITUTE AUTHORITY TO CONDUCT CONSTRUCTION OPERATIONS OR ENCR OACH ON ADJACENT PROPERTY FOR ANY REASON. IT IS THE OWNER'S RESPONSIBILITY TO SECURE PERMISSION AND/OR OBTAIN ALL NECESSARY EASEMENTS FROM AFFECTED PROPERTY OWNERS FOR ANY OFF-SITE WORK.
- ALL HANDICAPPED APPURTENANCES, INCLUDING STRIPING, SIGNING, RAMPS, RAILS, DETECTORS ECT. MUST COMPLY WITH IBC 2003 CHAPTER 11 AND ICC/ANSI 1117.1-1998.

BENCHMARK INFORMATION

- SITE BENCHMARK: RAILROAD SPIKE IN THE SOUTHWEST FACE OF A POWER POLE, ROUGHLY TWENTY FEET SOUTH AND TEN FEET EAST OF THE SOUTHEAST CORNER OF THE SUBJECT PROPERTY; ELEVATION = 546.02 FEET ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), OBTAINED BY PROCESSING STATIC GPS SURVEY OBSERVATIONS THROUGH THE NATIONAL GEODETIC SURVEY ONLINE POSITION USER SERVICE (OPUS).

DISTURBED AREA

10, 133 SQUARE FEET



EX STACKED STONE RETAINING WALL

2 EXISTING STACKED STONE RETAINING WALL DETAIL

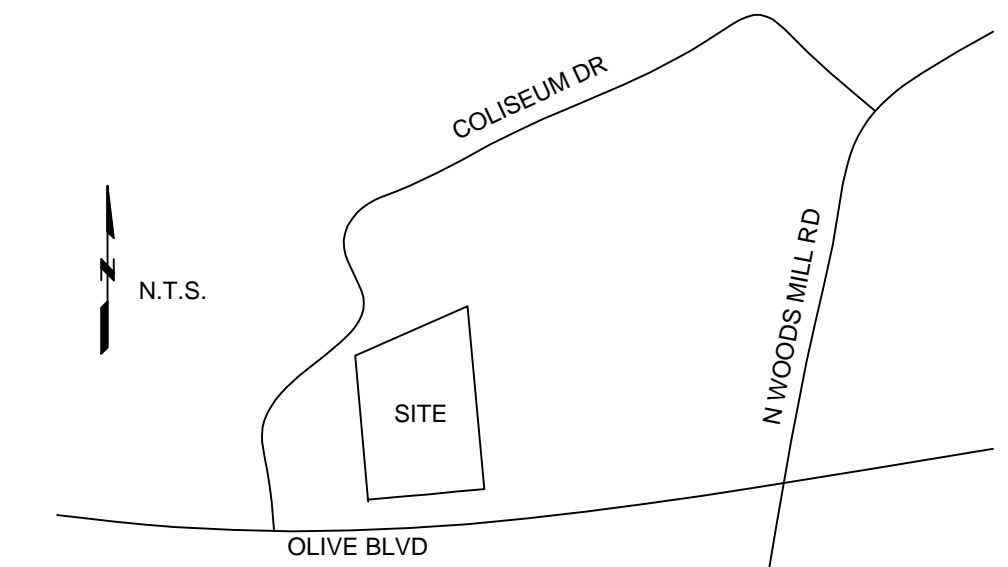
Scale: NOT TO SCALE



EX MODULAR BLOCK RETAINING WALL

3 EXISTING MODULAR BLOCK RETAINING WALL DETAIL

Scale: NOT TO SCALE



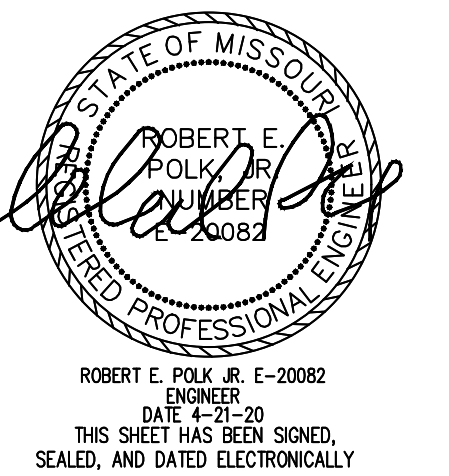
LOCATION MAP

SANITARY AND DRAINAGE NOTE

THERE IS NO ANTICIPATED CHANGE IN THE SANITARY SEWER OR STORM SEWER SYSTEMS

SHEET INDEX

ASDP-0	COVER SHEET
ASDP-1	AMENDED SITE DEVELOPMENT PLAN
C2.1B	RETAINING WALL PLAN AND ELEVATIONS
TT-1	TRUCK TURN PLAN
ALAP-1	AMENDED LANDSCAPE PLAN
TPP-1	TREE PRESERVATION PLAN
TSD-1	TREE STAND DELINEATION PLAN
ALP-1	AMENDED LIGHTING PLAN
ALP-2	BLDG MOUNTED LIGHTS
ALP-3	LIGHTS
SD11	TRASH ENCLOSURE DETAILS
SR-1	SITE RENDER
EXELEV-1	AMENDED ARCHITECTURAL ELEVATIONS



ROBERT E. PUGH, P.E. 00082
ENGINEER
STATE OF MISSOURI

THIS SHEET HAS BEEN SIGNED, SEALED, AND DATED ELECTRONICALLY

McDonald's
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.
GREAT PLAINS REGION
10801 MASTIN BLVD., SUITE 400, OVERLAND PARK, KS 66210
ADDRESS: 13559 OLIVE BLVD CHESTERFIELD MO 63017

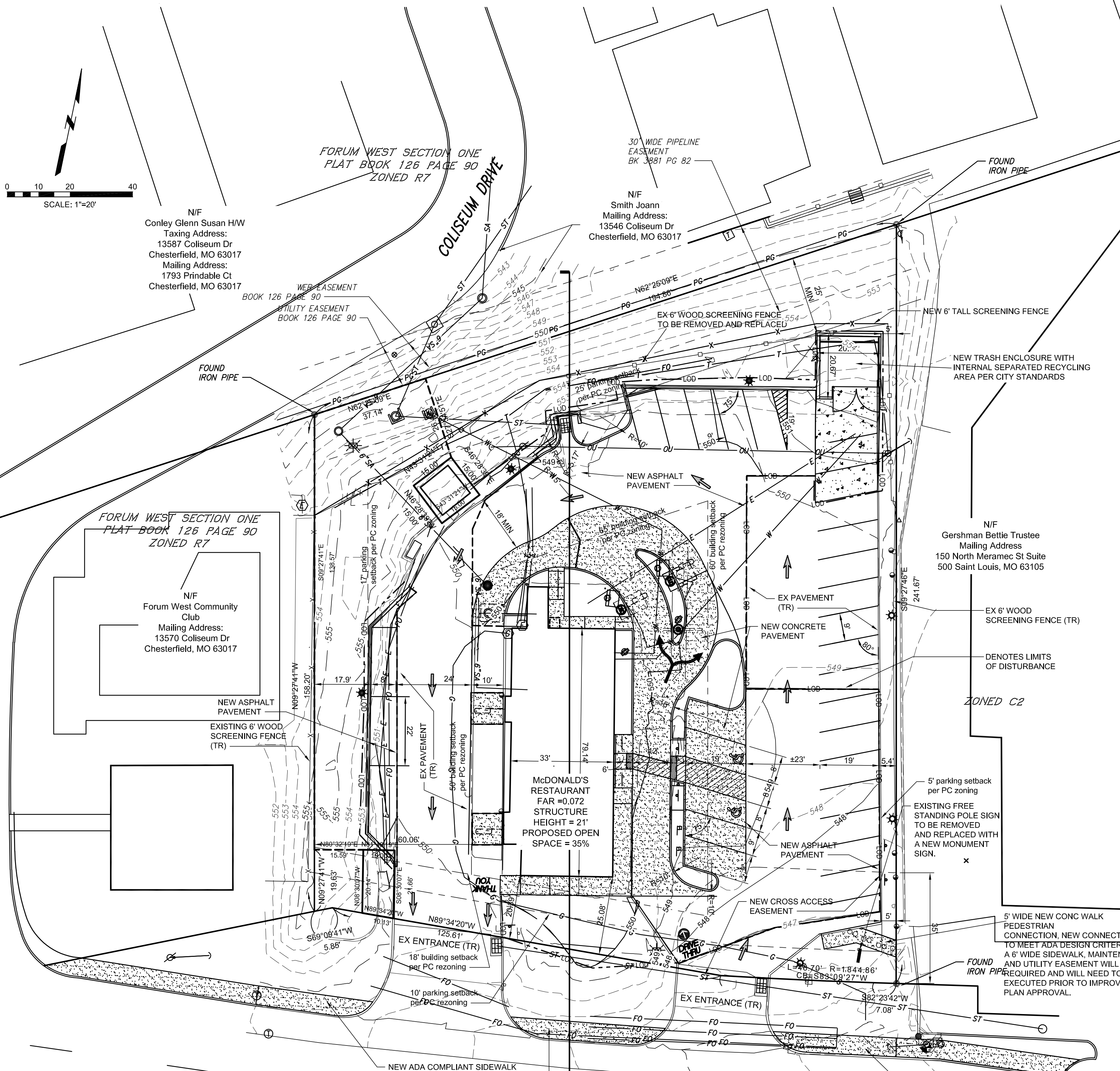
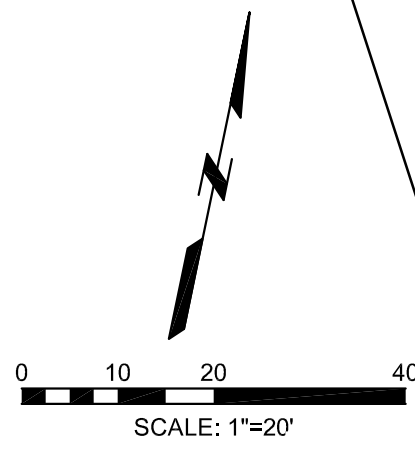
PLAN APPROVAL	DATE
SIGNATURE (2 REQUIRED)	
REGIONAL MGR.	
CONST. MGR.	
PROJECT MANAGER	
REAL ESTATE MGR.	
CONTRACTOR	
OWNER	

STATUS	DATE	BY
PRELIMINARY	11-1-18	FG
FINAL PLAN	-	FG
AS-CONST.		

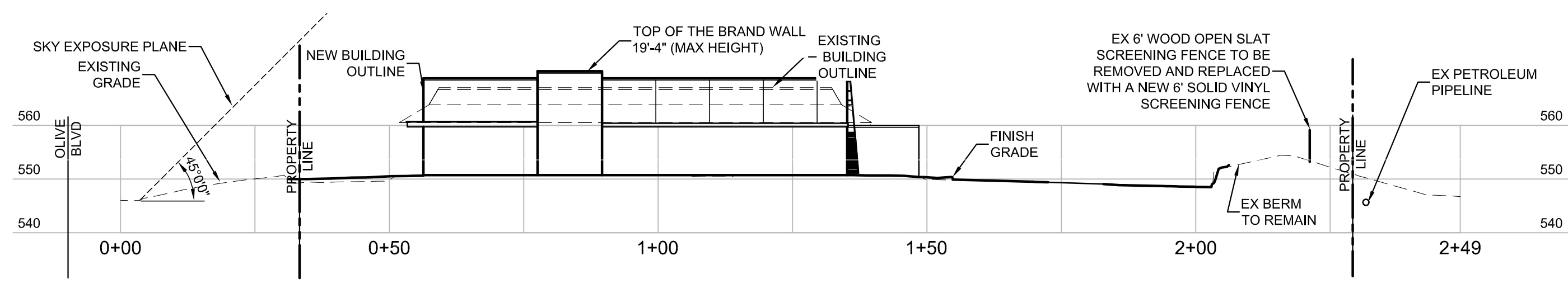
ASDP-0
COVER SHEET

20MSD-00148

13559 OLIVE BLVD (McDONALD'S) 2nd AMENDED SITE DEVELOPMENT PLAN



AMENDED SITE DEVELOPMENT PLAN
Scale: 1"=20'



SKY EXPOSURE PLANE SECTION
Scale: 1"=20'

A tract of land being part of that parcel conveyed to McDonald's Real Estate Company by Deed recorded in Book 19830, Page 213 of the St. Louis County Records, situated within Lot 1 of Share 1 of the Partition of the Missouri Stevens Estate, in U. S. Survey 207, Township 46 North, Range 5 East, City of Chesterfield, St. Louis County, Missouri, being more particularly described as follows:

Beginning at Point "A" on the Eastern line of Forum West Section One, a Condominium according to the plat thereof recorded in Plat Book 126, Page 90 of the St. Louis County Records, at its intersection with the Northern right of way line of Olive Boulevard, as witnessed by Condominium Plat No. 373661, recorded in Deed Book 6786, Page 1224 of the St. Louis County Records; thence along said Eastern line, North 09 degrees 27 minutes 41 seconds West, 158.20 feet to a point; thence North 82 degrees 25 minutes 09 seconds East, 154.86 feet to a point; thence departing said Eastern line, South 09 degrees 27 minutes 46 seconds East, 241.67 feet to a point on the Northern right of way line of Olive Boulevard, as aforementioned; thence along said Northern line, South 82 degrees 23 minutes 42 seconds West, 7.08 feet to a point of curvature; thence Southwesterly 48.70 feet along a curve to the right, having a radius of 1.844.86 feet and a chord bearing South 83 degrees 09 minutes 27 seconds West to a point of tangency; thence North 89 degrees 34 minutes 20 seconds West, 125.61 feet to a point; thence South 89 degrees 09 minutes 41 seconds West, 5.85 feet to the point of beginning;

EXCEPTING THEREFROM THE LIGHT POLE LEASE AREA

Commencing at Point "A" defined above; thence along the Eastern line of Forum West Section One, North 09 degrees 27 minutes 41 seconds West, 19.63 feet to a point; thence departing said Eastern line, North 80 degrees 32 minutes 19 seconds East, 15.59 feet to the true point of beginning of herein described Lease Area; thence North 01 degrees 48 minutes 19 seconds East, 10.00 feet to a point; thence South 08 degrees 30 minutes 07 seconds East, 21.66 feet to a point on the Northern right of way line of Olive Boulevard, as aforementioned; thence North 89 degrees 34 minutes 20 seconds West, 10.13 feet to a point; thence departing said Northern right of way line, North 08 degrees 30 minutes 07 seconds West, 20.14 feet to the point of beginning;

AND EXCEPTING THEREFROM THE COMPOUND LEASE AREA

Commencing at Point "A" defined above; thence along the Eastern line of Forum West Section One, North 09 degrees 27 minutes 41 seconds West, 158.20 feet to a point; thence North 82 degrees 25 minutes 09 seconds East, 37.14 feet to a point; thence departing said Eastern line, South 27 degrees 34 minutes 51 seconds East, 25.44 feet to the true point of beginning of herein described Lease Area; thence South 46 degrees 28 minutes 39 seconds East, 15.00 feet to a point; thence South 43 degrees 31 minutes 21 seconds West, 15.00 feet to a point; thence North 46 degrees 28 minutes 39 seconds East, 15.00 feet to a point; thence North 43 degrees 31 minutes 21 seconds East, 15.00 feet to the point of beginning;

Said parcel containing a net area 36,879 square feet (0.85 acres more or less).

McDonald's USA, LLC, the owner(s) of the property shown on this plan for and in [Name of Owner(s)] consideration of being granted approval of said plan to develop property under the provisions of Section 03.31-03-94, PC of City of Chesterfield Unified Development

Code, do hereby agree and declare that said property from the date of recording this plan shall be developed only as shown thereon, unless said plan is amended by the City of Chesterfield, or voided or vacated by order of ordinance of the City of Chesterfield Council.

(Signature): _____

(Name Typed): _____

State of _____)
) SS.
County of _____

On this _____ day of _____, A.D., 20____, before me personally appeared _____, to me known, who, being by me sworn in, did say that he/she is the _____ of _____ (Title) (Name of Corporation)

corporation in the State of _____, and that the seal affixed to the foregoing instruments is the corporate seal of said corporation, and that said instrument was signed on behalf of said corporation by authority of its Board of Directors, and the said _____ (Officer of Corporation) acknowledged said instrument to be the free act and deed of said corporation.

In Testimony Whereof, I have hereunto set my hand and affixed my Notarial Seal at my Office in _____ (County and State), the day and year last above written.

My term expires _____

This Site Development Plan was approved by the City of Chesterfield Planning Commission and duly verified on the _____ day of _____, 20____, by the Chairperson of said Commission, authorizing the recording of this Site Development Plan pursuant to Chesterfield Ordinance Number 200, as attested to by the Director of Planning and the City Clerk.

Justin Wyse, AICP
Director of Planning
City of Chesterfield, Missouri

Vickie McGownd, City Clerk
City of Chesterfield, Missouri

STATEMENT OF COMPLIANCE WITH THE GEOTECHNICAL REPORT

REITZ & JENS, INC CONSULTING ENGINEERS, and the undersigned engineer have not prepared the plan on this sheet. The seal of the undersigned professional engineer has been affixed at the request of the city of Chesterfield and is a professional opinion to indicate that the undersigned has reviewed the plans and that in his opinion the grading and improvements relative to slope construction as shown on the plans, as well as the foundations, are compatible with the soil and geologic conditions at the site as described in the geological report for the development dated FEBRUARY 5, 2020.

REITZ & JENS, INC CONSULTING ENGINEERS and the undersigned assume no responsibility for services by others (pursuant to RSMO 327.411).

Construction means and methods for implementation of the grading plan shall be left to the developer/contractor. Observations of the developer/contractor's compliance with the applicable specifications shall be identified and verified in writing.

SITE INFORMATION

LOCATOR NUMBER: 16Q241471
ZONING DISTRICT: PC PLANNED COMMERCIAL DISTRICT
PERMITTED USE: RESTAURANT - FAST FOOD
SITE ADDRESS: 13559 OLIVE BLVD CHESTERFIELD MO 63017
HOURS OF OPERATION = MONDAY - SATURDAY 5:30 AM TO 11:00 PM SUNDAY 6:00 AM TO 11:00 PM

ALL DELIVERIES AND TRASH PICKUP SHALL BE LIMITED TO THE HOURS FROM 7:00 AM TO 10:00 PM

BUILDING SETBACKS
18' FROM THE SOUTHERN BOUNDARY OF THE PC DISTRICT
60' FROM THE EASTERN BOUNDARIES OF THE PC DISTRICT
50' FROM THE WESTERN BOUNDARIES OF THE PC DISTRICT
65' FROM THE NORTHERN BOUNDARIES OF THE PC DISTRICT

PARKING SETBACKS
10' FROM THE SOUTHERN BOUNDARY OF THE PC DISTRICT
5' FROM THE EASTERN BOUNDARIES OF THE PC DISTRICT
17' FROM THE WESTERN BOUNDARIES OF THE PC DISTRICT
25' FROM THE NORTHERN BOUNDARIES OF THE PC DISTRICT

PARKING REQUIRED/PROVIDED

15.0/1,000 GFA 2,682/1,000 = 2.682 x 15 = 40.23 STALLS REQUIRED
31 STALLS PROVIDED

PROPOSED AREA BREAKDOWN

RESTAURANT BUILDING AREA: 2,682 SQUARE FEET (7.27%)
PROPOSED PAVED AREA: 21,289 SQUARE FEET (57.72%)
PROPOSED OPEN SPACE AREA: 12,908 SQUARE FEET (35%)
TOTAL LOT AREA: 36,879 SQUARE FEET

SANITARY SEWER NOTE

THERE IS NO ANTICIPATED CHANGE IN THE SANITARY SEWER SEWER SYSTEM A NEW SAMPLING MANHOLE WILL BE REQUIRED

STORM SEWER AND DRAINAGE NOTE

THERE IS NO ANTICIPATED CHANGE IN THE STORM SEWER SYSTEM A MINOR INCREASE IN RUNOFF OF 0.049 CFS IS PROPOSED

FIRE PROTECTION NOTE

THE MONARCH FIRE PROTECTION DISTRICT HAS PROVIDED A LETTER OF APPROVAL FOR THE PROPOSED SITE CHANGES

UTILITY NOTE

ALL PROPOSED UTILITIES WILL BE PROVIDED UNDERGROUND

SIGNAGE NOTE

ALL NEW SIGNAGE IS A SEPARATE PROCESS

SIDEWALK NOTE

MODOT INDICATES THAT AS PART OF A PROJECT JOB NO J6S3255 NEW SIDEWALKS WILL BE PLACED ALONG OLIVE. THIS PROJECT IS SLATED TO BE DONE 2021

FLOOD PLAIN NOTE

WE HAVE EXAMINED COMMUNITY PANEL NUMBER 29189CO170K (MAP NUMBER 29189CO170K, DATED FEBRUARY 4TH, 2015) OF THE FLOOD INSURANCE RATE MAPS, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FOR THE AREA CONTAINING THE SUBJECT PROPERTY. SAID PROPERTY APPEARS TO BE LOCATED IN ZONE "X", AREA OF MINIMAL FLOOD HAZARD.

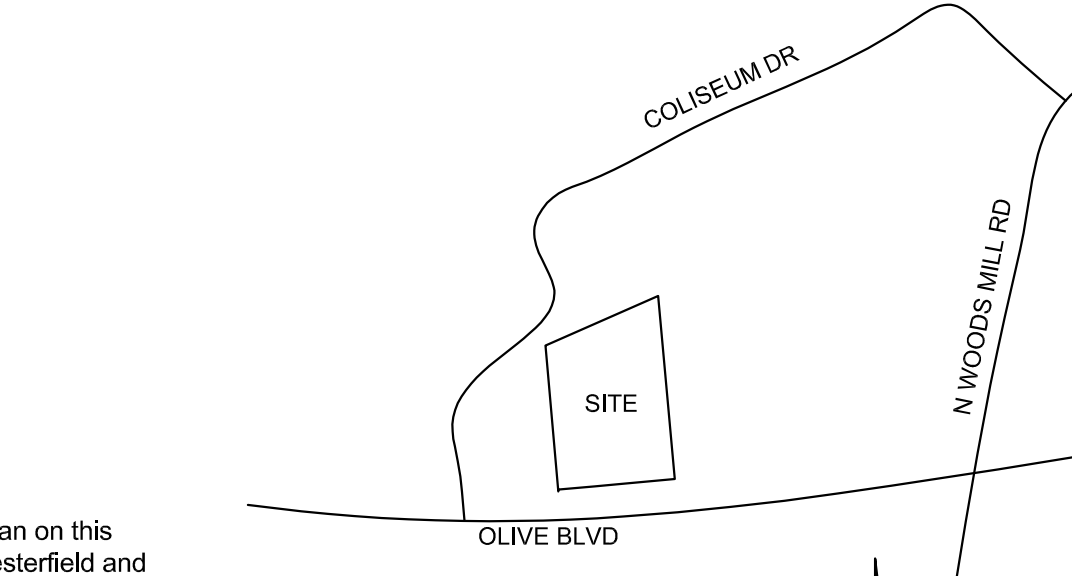
DELIVERY NOTE

ALL DELIVERIES WILL BE MADE ON OFF PEAK HOURS, BETWEEN 7:00 AM AND 10:00 PM



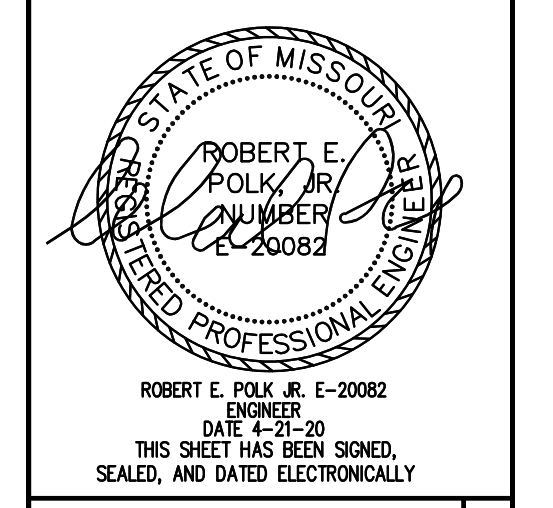
UTILITY LINWORK

PG	EX UNDERGROUND PETROLEUM LINE	E
T	EX UNDERGROUND TELEPHONE LINE	T
E	EX UNDERGROUND ELECTRIC	E
ST	EX STORM SEWER	ST
W	EX WATER MAIN	W
SA	EX SANITARY SEWER	SA
OE	EX OVERHEAD ELEC	OE
G	EX GAS MAIN	G
OT	EX OVERHEAD TELEPHONE	OT



LOCATION MAP
N.T.S.

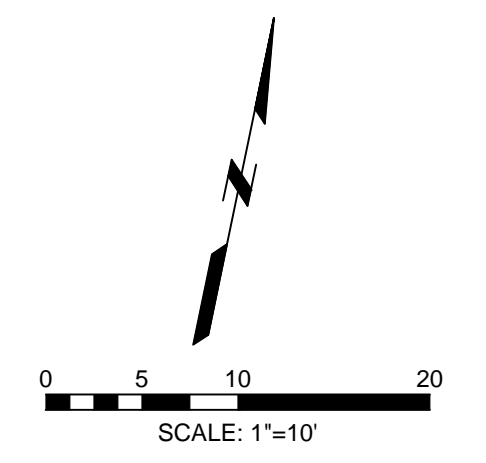
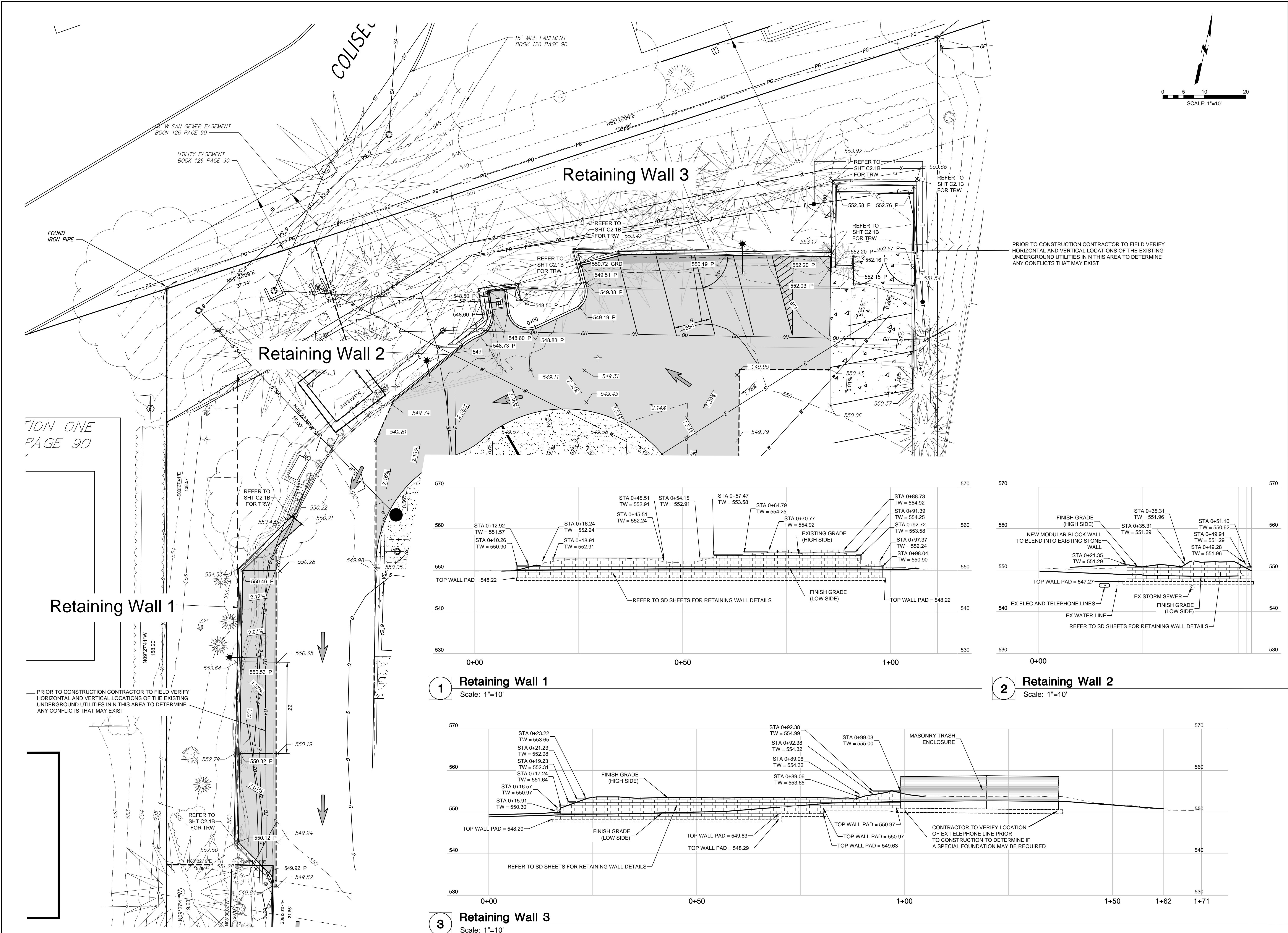
REV	DATE	DESCRIPTION	BY	ISSUE REF
1	1-15-19	CITY COMMENTS	JPB	
2	6-20-19	CITY COMMENTS	JPB	
3	8-14-19	PARKING COUNT	JPB	
4	3-3-20	CITY COMMENTS	JPB	
5	4-9-20	FENCE	JPB	
6	4-21-20	MSD AND CITY COMMENTS	JPB	
7	5-4-20	FOR BIDDING	JPB	
8	5-18-20	MSD	JPB	
9	5-21-20	CITY COMMENT	JPB	



McDonald's USA, LLC
13559 OLIVE BLVD, SUITE 400, OVERLAND PARK, KS 66210
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PLAN APPROVAL	DATE	BY
SIGNATURE (2 REQUIRED)		
REGIONAL MGR.		
CONST. MGR.		
PROJECT MANAGER		
REAL ESTATE MGR.		
CONTRACTOR		
OWNER		

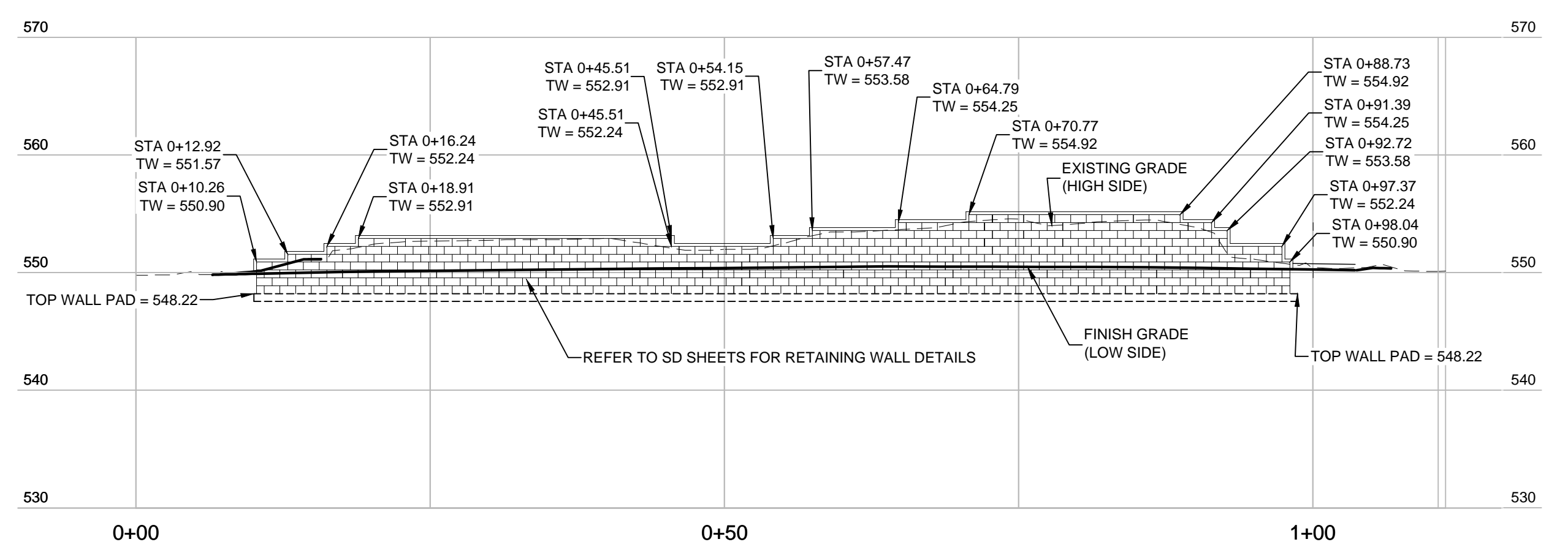
STATUS	DATE	BY
PRELIMINARY	11-1-18	FG
FINAL PLAN	-	FG
AS-CONST.		



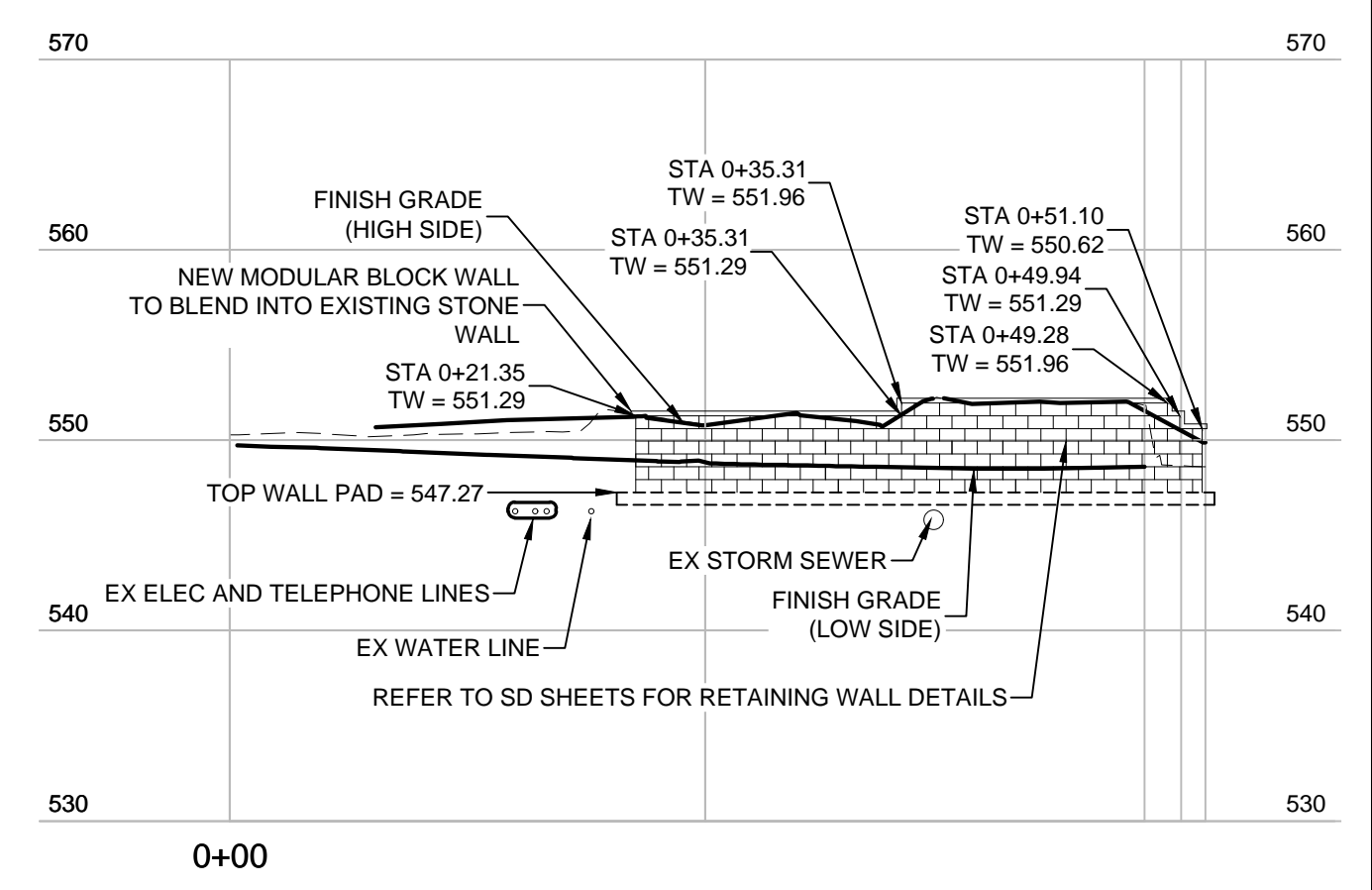
PRIOR TO CONSTRUCTION CONTRACTOR TO FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF THE EXISTING UNDERGROUND UTILITIES IN THIS AREA TO DETERMINE ANY CONFLICTS THAT MAY EXIST

SECTION ONE
PAGE 90

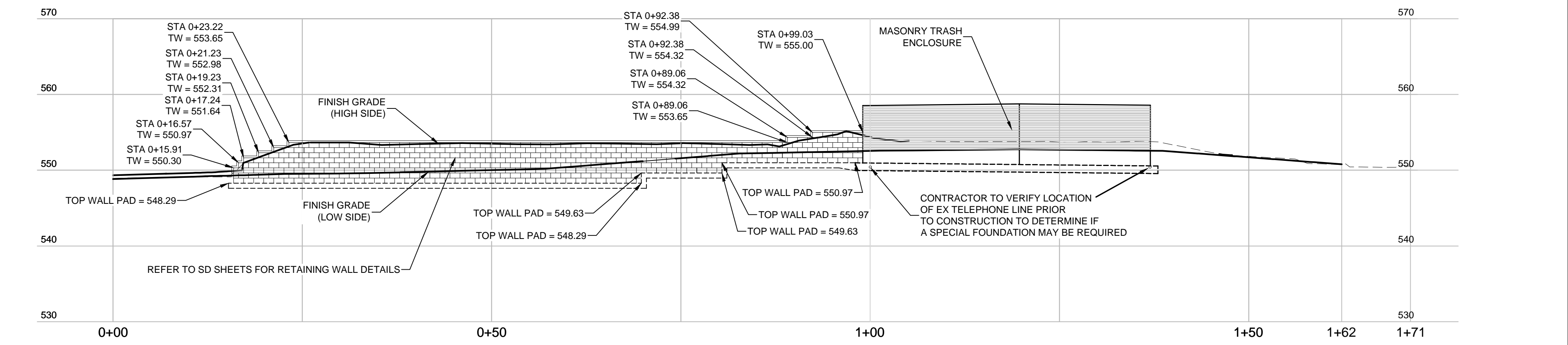
PRIOR TO CONSTRUCTION CONTRACTOR TO FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF THE EXISTING UNDERGROUND UTILITIES IN THIS AREA TO DETERMINE ANY CONFLICTS THAT MAY EXIST



1 Retaining Wall 1
Scale: 1"=10'



2 Retaining Wall 2
Scale: 1"=10'



3 Retaining Wall 3
Scale: 1"=10'

REV	DATE	DESCRIPTION	BY	ISSUE REF
1	1-15-19	CITY COMMENTS	JPB	
2	5-20-19	CITY COMMENTS	JPB	
3	8-14-19	PARKING COUNT	JPB	
4	3-3-20	CITY COMMENTS	JPB	
5	4-9-20	FENCE	JPB	
6	4-21-20	MSD AND CITY COMMENTS	JPB	
7	5-4-20	FOR BIDDING	JPB	
8	5-18-20	MSD	JPB	
9	5-21-20	CITY COMMENT	JPB	

STATE OF MISSOURI

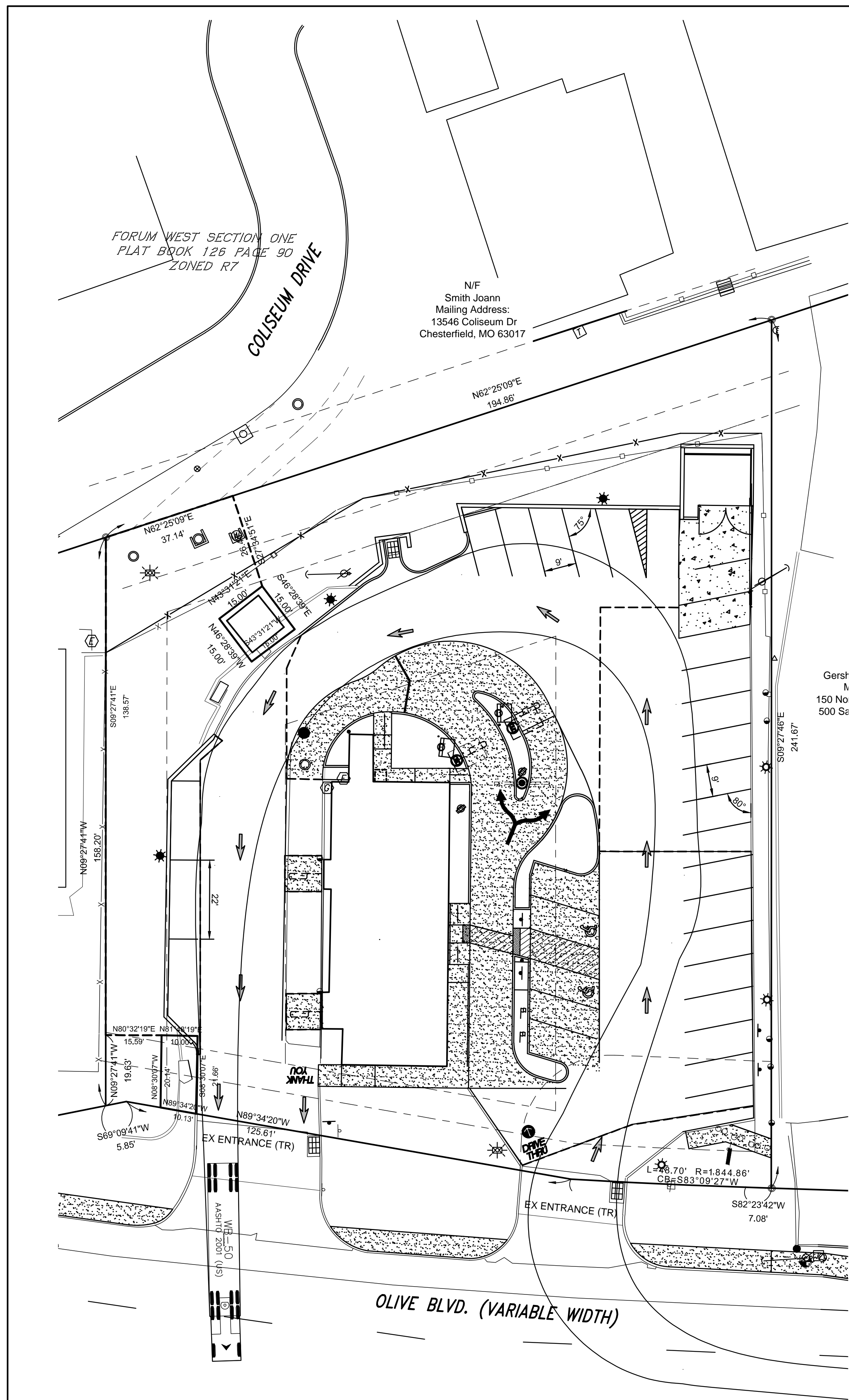
 ROBERT E. POLK
 ENGINEER
 No. 0088
 EXPIRES 12/31/2022
 THIS SHEET HAS BEEN SIGNED, SEALED, AND DATED ELECTRONICALLY

Robert E. Polk
 GREAT PLAINS REGION
 10801 MASTIN BLVD., SUITE 400, OVERLAND PARK, KS 66210
 ADDRESS: 13550 OLIVE BLVD CHESTERFIELD MO 63017

PLAN APPROVAL		DATE
SIGNATURE (2 REQUIRED)		
REGIONAL MGR.		
CONST. MGR.		
PROJECT MANAGER		
REAL ESTATE MGR.		
CO-SIGN SIGNATURES		
CONTRACTOR		
OWNER		

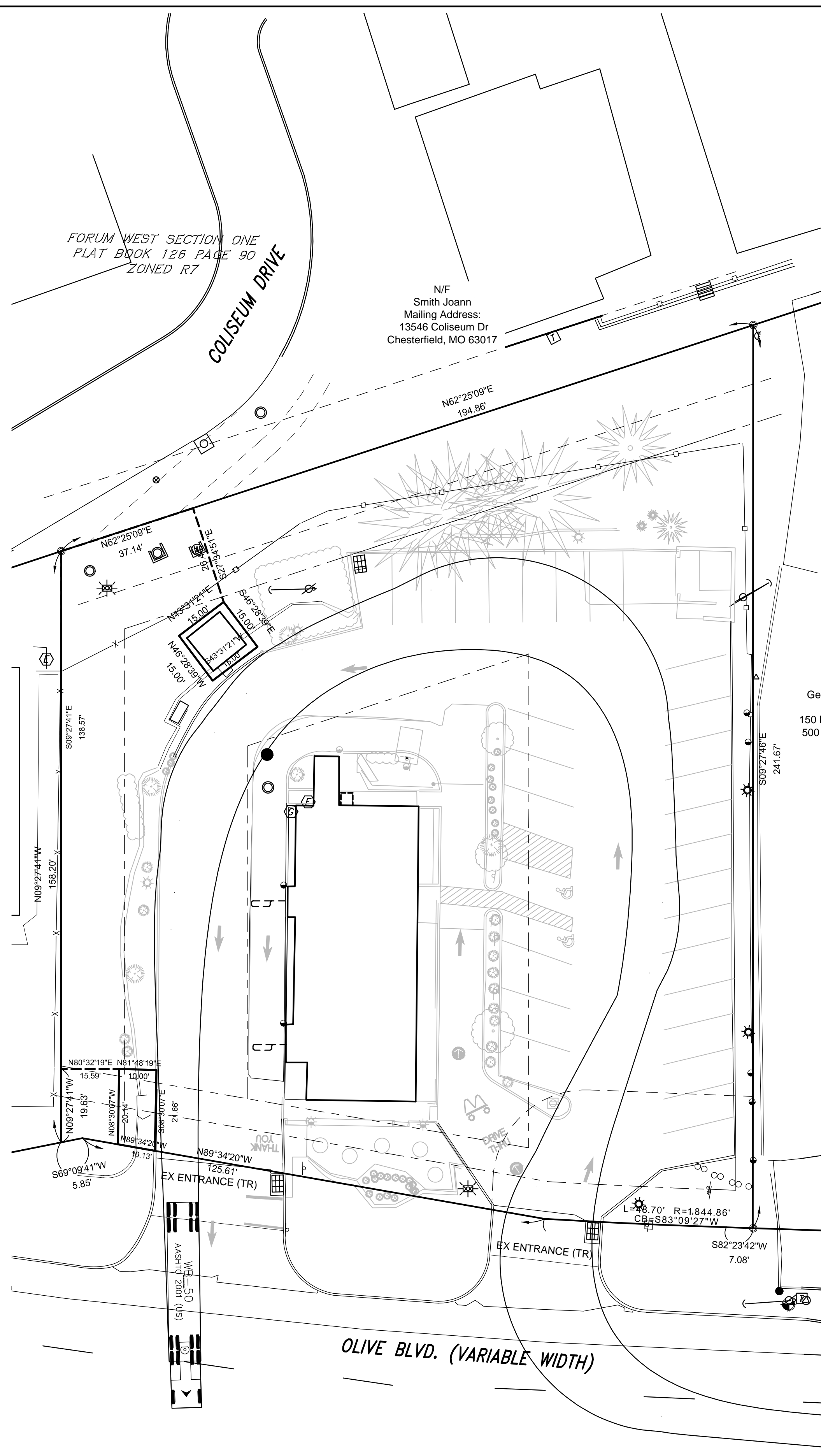
STATUS	DATE	BY
PRELIMINARY	11-1-18	FG
FINAL PLAN	-	FG
AS-CONST.		

C2.1b
 RETAINING WALL DETAILS
 FG JOB NO 0180691.00



TRUCK TURN PLAN (PROPOSED)

Scale: 1"=20'

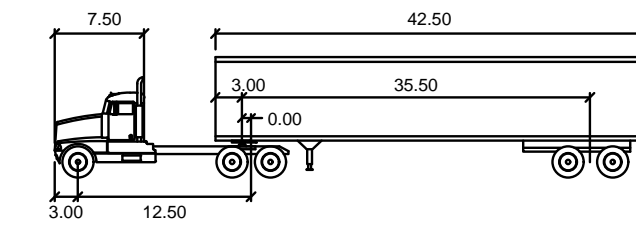


TRUCK TURN PLAN (EXISTING)

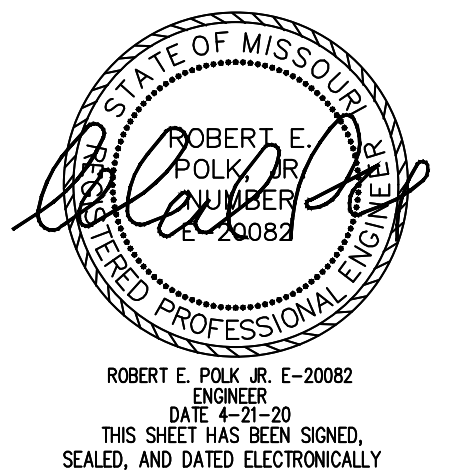
Scale: 1"=20'

TRUCK TURN NOTE

DELIVERIES WILL BE SCHEDULED FOR OFF PEAK HOURS



feet		Lock to Lock Time	
Tractor Width	: 8.00	Steering Angle	: 6.0
Trailer Width	: 8.50	Articulating Angle	: 17.7
Tractor Track	: 8.00		: 70.0
Trailer Track	: 8.50		



ROBERT E. POLK, JR. E-20082
ENGINEER
THIS SHEET HAS BEEN SIGNED,
SEALED, AND DATED ELECTRONICALLY

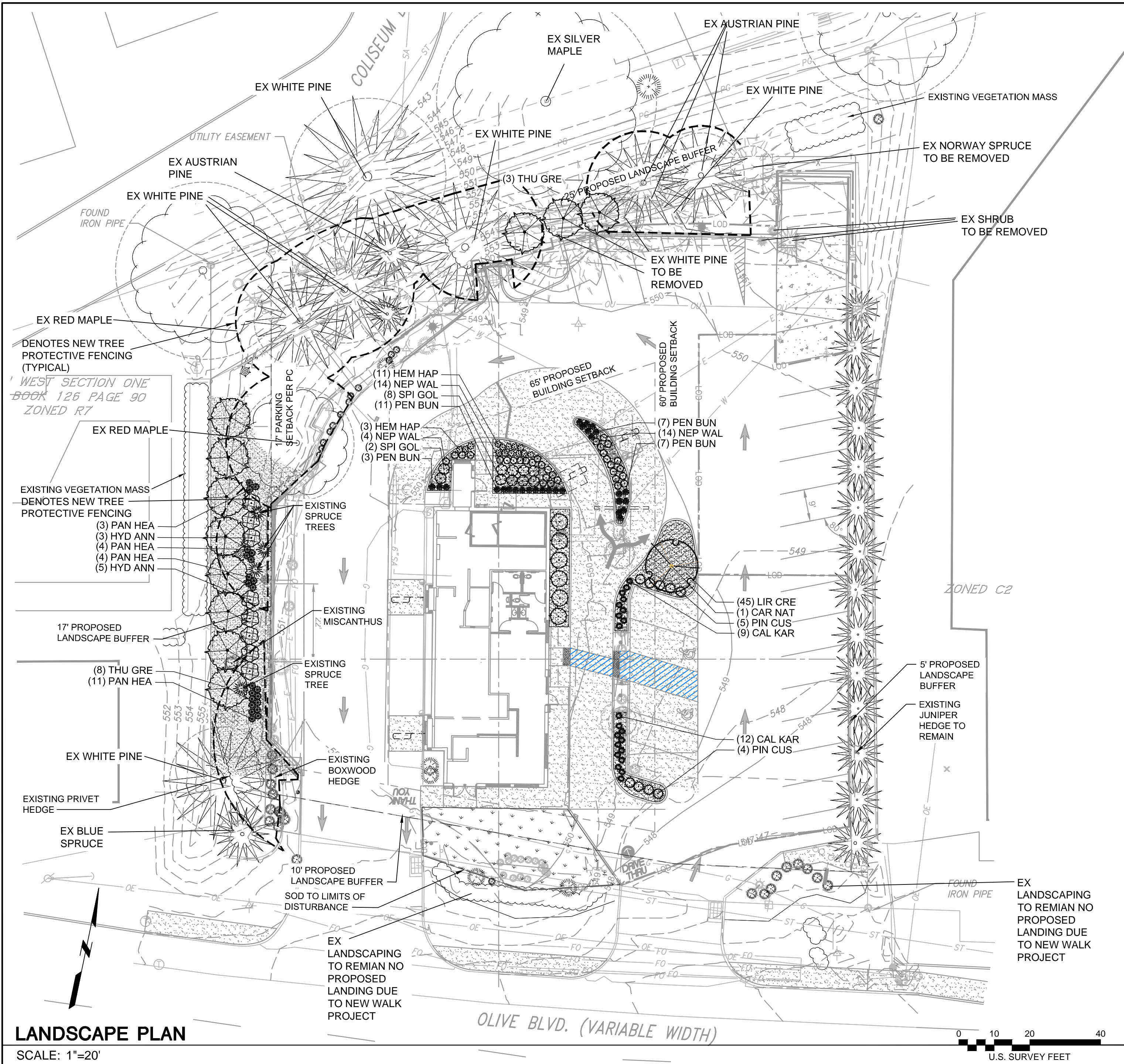
Robert E. Polk, Jr.
GREAT PLAINS REGION
10801 MASTIN BLVD., SUITE 400, OVERLAND PARK, KS 66210
ADDRESS: 13550 OLIVE BLVD CHESTERFIELD MO 63017

PLAN APPROVAL		DATE
REGIONAL MGR.	SIGNATURE (2 REQUIRED)	
CONST. MGR.		
PROJECT MANAGER		
REAL ESTATE MGR.		
CO-SIGN SIGNATURES		
CONTRACTOR		
OWNER		

STATUS	DATE	BY
PRELIMINARY	11-1-18	FG
FINAL PLAN	-	FG
AS-CONST.		

TT-1
TRUCK TURN
PLAN

20MSD-00148



LANDSCAPE PLAN
SCALE: 1"=20'

- NOTES**
- GENERAL**
- IF THE TOTAL AMOUNT OF LANDSCAPING EXCEEDS \$1,000.00 A LANDSCAPE INSTALLATION AND MAINTENANCE SURETY WILL BE REQUIRED PRIOR TO ISSUANCE OF MUNICIPAL ZONING APPROVAL OR GRADING PERMIT APPROVAL.
 - EXISTING PERENNIALS NOT IDENTIFIED.
 - ALL NEW DECIDUOUS TREES AND ORNAMENTAL TREES SHALL BE A MINIMUM OF 2-1/2" CALIPER.
 - EXISTING PLANT MATERIAL TO REMAIN AND SHALL BE PROTECTED BY GENERAL CONTRACTOR DURING CONSTRUCTION ACTIVITY.
 - REFER TO TSD-1 FOR EXISTING PLANT MATERIAL TO REMAIN.
 - CONTRACTOR SHALL SOD ALL LAWN AREAS DISTURBED BY CONSTRUCTION.
 - CONTRACTOR SHALL PLACE 3" DEPTH OF SHREDDED HARDWOOD MULCH IN ALL PLANTING BEDS DISTURBED BY CONSTRUCTION.
 - CONTRACTOR SHALL TOP DRESS ALL PLANTING BEDS WITH 1" DEPTH SHREDDED HARDWOOD MULCH TO PROVIDE UNIFORM LOOK.

PROPOSED AREA BREAKDOWN

RESTAURANT BUILDING AREA	2,682 SQUARE FEET (7.27%) (FAR = 2,682/36,879 = 0.0727<0.55)
PROPOSED PAVED AREA	21,289 SQUARE FEET (57.72%)
PROPOSED LANDSCAPE AREA	12,908 SQUARE FEET (35%)
TOTAL LOT AREA	36,879 SQUARE FEET (100%)
PROPOSED OPEN SPACE AREA	13,658 SQUARE FEET (37%)

NOTE:
EXISTING PLANT MATERIAL TO REMAIN AND SHALL BE PROTECTED BY GENERAL CONTRACTOR DURING CONSTRUCTION ACTIVITY

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
CAR NAT	1	Carpinus caroliniana 'Native Flame'	Native Flame Hornbeam	2.5' Cal	
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
ARO ARB	6	Aronia arbutifolia 'Brilliantissima'	Red Chokeberry	24" Tall	
HYD ANN	8	Hydrangea arborescens 'Annabelle'	Annabelle Smooth Hydrangea	18" Tall	
PIN CUS	9	Pinus mugo 'Valley Cushion'	Valley Cushion Mugo Pine	12" Tall	
SPI GOL	10	Spiraea japonica 'Goldmound'	Goldmound Spirea	18" Tall	
THU GRE	11	Thuja occidentalis 'Green Giant'	Green Giant Arborvitae	6' Tall	
GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
CAL KAR	21	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	1 GAL	
PAN HEA	22	Panicum virgatum 'Heavy Metal'	Heavy Metal Switch Grass	3 GAL	
PEN BUN	28	Pennisetum alopecuroides 'Little Bunny'	Little Bunny Fountain Grass	1 GAL	
PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
HEM HAP	14	Hemerocallis x 'Happy Returns'	Happy Returns Daylily	1 GAL	
NEP WAL	32	Nepeta x faassenii 'Walkers Low'	Walkers Low Catmint	1 GAL	
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
	2,880 sf	Hardwood Bark Mulch		mulch	
	45	Liriope spicata	Creeping Lily Turf	1 GAL	24" o.c.
	964 sf	Turf Sod	Drought Tolerant Fescue Blend	Sod	

Landscape Notes

- GENERAL**
- BASE SURVEY INFORMATION SUPPLIED BY OTHERS. ALL QUANTITIES AND DESIGN ARE BASED UPON THE PROVIDED SURVEY.
 - PRIOR TO THE START OF ANY WORK, THE CONTRACTOR SHALL NOTIFY J.U.L.I.E., OWNER AND GENERAL CONTRACTOR (IF ANY) FOR THE PROPER MARKING/LOCATION OF ALL EXISTING UTILITIES, PUBLIC AND PRIVATE.
 - ANY DAMAGE TO EXISTING PROPERTIES SHALL BE REPAIRED AND OR REPLACED AT (SUB)CONTRACTOR'S EXPENSE. CONTRACTOR IS ENCOURAGED TO TAKE PERIODIC RECORD PHOTOGRAPHS (I.E. PRE-CONSTRUCTION, DURING AND POST-CONSTRUCTION) OF SITE CONDITIONS & DESIGN ELEMENTS, PAVEMENTS, HARDSCAPE, NEW & EXISTING PLANTS AND OTHER SITE ELEMENTS.
 - WHEN APPLICABLE, CONSTRUCTION BARRIERS SHALL BE ERECTED TO PROTECT THE PROPOSED WORK AND THE PUBLIC AND TO PROVIDE SECURITY.
 - ALL WORK AND OPERATIONS SHALL COMPLY WITH CURRENT SAFETY PRACTICES, CODES OR ORDINANCES AS DICTATED BY FEDERAL, O.S.H.A., STATE, AND LOCAL (CITY OR COUNTY) SAFETY CODES AND ORDINANCES, AS WELL AS THOSE OF THE OWNER AND/OR GENERAL CONTRACTOR. IT IS THE (SUB) CONTRACTOR'S RESPONSIBILITY TO LEARN AND COMPLY WITH CODES, ORDINANCES AND JOB SITE RULES.
 - ALL TRADES SHALL COORDINATE AND COLLABORATE WITH EACH OTHERS WORK SO THAT THE FLOW OF WORK IS MAINTAINED AND ONE CRAFTSMAN'S WORK IS NOT UNFAIRLY DELAYED. TIME IS OF THE ESSENCE. CONTRACTORS MUST START WORK UPON NOTICE TO PROCEED AND REMAIN ON-SITE FOR THE COMPLETION OF THEIR SCOPE OF WORK AS AND WHEN THE SITE IS AVAILABLE TO THEM.
 - CONTRACTORS SHALL VISIT THE SITE PRIOR TO START OF WORK TO COMPLETELY FAMILIARIZE THEMSELVES WITH EXISTING AS WELL AS PROPOSED CONDITIONS.
 - CONTRACTOR TO FOLLOW NORMAL CLIENT, CITY OR VILLAGE WORKDAY HOURS (TYPICALLY 8:00 AM TO 5:00 PM), WEEKEND AND HOLIDAY WORK IS IN COMPLIANCE WITH LOCAL CODES (WHERE APPLICABLE) AND COORDINATED WITH THE CLIENT FOR SITE ACCESS. NOTIFY THE GENERAL CONTRACTOR (OR CLIENT) OF ALL NON-NORMAL BUSINESS HOURS OF WORK.
 - ALL WORK SHALL COMPLY WITH CURRENT O.S.H.A. REQUIREMENTS AND THE AMERICAN WITH DISABILITIES ACT FOR PHYSICALLY HANDICAPPED PEOPLE. THE CONTRACTOR IS RESPONSIBLE FOR SECURING AND PAYING FOR ALL REQUIRED PERMITS UNLESS OTHERWISE NOTED IN THE DRAWINGS OR SPECIFICATIONS.
 - CONTRACTOR IS RESPONSIBLE FOR PROVIDING SANITARY FACILITIES FOR THEIR CREWS IF NONE ARE PROVIDED.
 - CONTRACTOR AND ALL SUB-CONTRACTORS ARE EXPECTED TO MAINTAIN THE CLIENT'S ACCESS TO ALL DRIVEWAYS, WALKS AND DOORWAYS.
 - CONTRACTOR AND ALL SUB-CONTRACTORS WILL POLICE THE SITE AND THEIR RESPECTIVE WORK EFFORTS AT THE END OF EACH WORK DAY IN ORDER TO MAINTAIN A CLEAN, NEAT AND ORDERLY WORK SITE. SITE CLEAN-UP IS REQUIRED ON A DAILY BASIS AS WELL AS AT PROJECT CONCLUSION. THE CONTRACTOR SHALL PROTECT THE PROPERTY OF THE OWNER AND SAFETY AND WORK OF OTHER CONTRACTORS BY LEAVING THE PROJECT SITE AS FREE OF DEBRIS, CONSTRUCTION MATERIALS AND TOOLS AND OTHER ITEMS AS POSSIBLE FOR A NEAT AND ORDERLY APPEARANCE AT ALL TIMES. PLANT DEBRIS (LEAVES, TWIGS, DIRT AND DEBRIS) SHALL BE SWEEPED FROM HARDSCAPES, DIRT CLODS, ROCKS, TWIGS BRANCHES ETC. REMOVED FROM LAWN AREAS. THE CONTRACTOR SHALL ALSO BE DIRECTLY RESPONSIBLE FOR ALL DAMAGE CAUSED BY THE ACTIVITIES AND FOR THE DAILY REMOVAL OF ALL TRASH AND DEBRIS FROM HIS WORK AREA TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT. THE OWNER MAY ELECT TO RETAIN PROGRESS AND/OR FINAL PAYMENT(S) UNTIL SITE CLEAN-UP CONDITIONS ARE MET.
 - FIELD VERIFICATION: THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO BIDDING AND REPORT ANY DISCREPANCIES TO THE OWNER OR HIS REPRESENTATIVE.
 - THE CONTRACTOR SHALL PROVIDE, AT THEIR OWN EXPENSE, TEMPORARY PROTECTION FOR LANDSCAPE CONSTRUCTION AREAS UNTIL ISSUANCE OF SUBSTANTIAL COMPLETION. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO SECURE, PROTECT AND OTHERWISE MINIMIZE OPPORTUNITIES FOR ACCIDENTS, THEFT AND VANDALISM. CONTRACTOR SHALL PROVIDE BARRICADES, TEMPORARY FENCING, SIGNS, AND WRITTEN WARNING OR POLICING AS MAY BE REQUIRED TO PROTECT SUCH AREAS. THE CONTRACTOR SHALL PROVIDE WRITTEN WARNINGS TO OWNER WHEN APPLICABLE. AFTER SUCH WARNINGS ARE ISSUED, THE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE CAUSED BY THE OWNER OR THE OWNER'S EMPLOYEES, GUESTS OR FACILITY USERS.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND PROTECT ALL EXISTING ABOVE AND BELOW GROUND UTILITIES WITHIN THE LIMITS OF CONSTRUCTION. ANY DAMAGE TO UTILITIES AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE WITHIN A REASONABLY SHORT PERIOD OF TIME, AND WITH AS LITTLE INCONVENIENCE TO THE OWNER AS POSSIBLE.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF CROWNS, TRUNKS AND ROOTS OF EXISTING TREES, SHRUBS, AWNS, PALM TREES AND OTHER EXISTING LANDSCAPED AREAS THAT ARE TO REMAIN. EXISTING TREES, WHICH MAY BE SUBJECT TO CONSTRUCTION DAMAGE, SHALL BE BOXED, FENCED, OR OTHERWISE PROTECTED BEFORE ANY WORK IS STARTED. BOXING OR OTHER PROTECTION WILL BE REMOVED AT THE END OF CONSTRUCTION. DO NOT LOCATE HEAVY EQUIPMENT OR STOCKPILES WITHIN THE DRIP LINE OF EXISTING PLANTS OR ON LAWNS. ANY DAMAGE TO PLANTINGS OR LAWN AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE WITHIN A REASONABLY SHORT PERIOD OF TIME, AND WITH AS LITTLE INCONVENIENCE TO THE OWNER AS POSSIBLE.
- LAYOUT**
- ALL LAYOUT WORK MUST BE REVIEWED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF HARDSCAPE, IRRIGATION SYSTEM OR PLANTING/LANDSCAPE ITEMS.
 - USING THE DRAWINGS AS A GUIDE, THE LANDSCAPE CONTRACTOR SHALL PAINT, FLAG OR STAKE ALL PAVEMENT EDGES, WALL LOCATIONS AND/OR BEDLINES FOR LANDSCAPE ARCHITECT'S REVIEW. CONTACT THE LANDSCAPE ARCHITECT AND IRRIGATION CONTRACTOR (IF ANY) A MINIMUM OF 7 DAYS PRIOR TO LAYOUT TO COORDINATE A FIELD MEETING FOR REVIEW.
 - THE CONTRACTOR SHALL VERIFY ALL DISTANCES AND DIMENSIONS IN THE FIELD AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR A DECISION PRIOR TO COMMENCING WITH THE WORK.
 - ALL WRITTEN DIMENSIONS SUPPERSEDE ALL SCALED DISTANCES AND DIMENSIONS. DIMENSIONS SHOWN ARE FROM THE FACE OF WALL, EDGE OF STRUCTURE SLAB, BACK OF CURB, PROPERTY LINE OR EDGE OF WALK UNLESS OTHERWISE NOTED ON THE DRAWINGS.
 - WALK SCORING AND EXPANSION JOINTS, IF PART OF THE LANDSCAPE SCOPE, SHALL BE LOCATED IN THE FIELD AS INDICATED ON THE DRAWINGS, OR AS FIELD ADJUSTED UNDER THE SUPERVISION OF THE LANDSCAPE ARCHITECT.
- FINISH GRADING**
- LANDSCAPE CONTRACTOR SHALL GRADE LAWN AREAS AND PLANTING BEDS PER THE GRADING PLAN. BRING ANY DISCREPANCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
 - PROVIDE ALL GRADES FOR NATURAL WATER RUN-OFF WITHOUT LOW SPOTS, PUDDLES OR POCKETS. ACCURATELY SET FLOW LINE GRADES AT A 1/2" PER FOOT (2%) MINIMUM SLOPE TO DRAINAGE OR TO THE CENTER OF PLANTING BEDS.
 - FINISH GRADES SHALL BE SMOOTH, EVEN AND ON A UNIFORM PLANE WITH NO ABRUPT CHANGES IN THE SURFACE. SLOPE TO RUN UNIFORMLY BETWEEN GIVEN SPOT ELEVATIONS.
 - WHERE GRADES ARE NOT INDICATED BETWEEN TWO GIVEN GRADE OR ELEVATION POINTS, GRADES ALONG THAT LINE SHALL BE UNIFORM; EITHER LEVEL OR SLOPE PER THE GRADING PLAN. THE CONTRACTOR SHALL MAINTAIN A CLOSE RELATIONSHIP TO ADJACENT PAVEMENTS, CURBS, EDGES OR DRAINAGE STRUCTURES.
 - TOPS AND TOES OF ALL SLOPES SHALL BE ROUNDED TO PRODUCE A GRADUAL AND NATURAL APPEARANCE WITH EASED TRANSITIONS BETWEEN RELATIVELY LEVEL AREAS AND SLOPES.
 - ALL PLANTING AREAS, INCLUDING LAWN AREAS, SHALL BE TRUE TO GRADE WITHIN ONE (1) INCH WHEN TESTED WITH A TEN (10) FOOT STRAIGHT EDGE.
 - HOLD FINISH GRADES BELOW TOP OF ADJACENT PAVEMENT, HEADERS, CURBS, OR WALL PER THE FOLLOWING UNLESS INDICATED OTHERWISE ON SPECIFIC DRAWINGS OR DETAILS:
 - MULCH, SHREDDED WOOD OR COMPOST: 1 INCH. ALLOW MULCH LAYER TO TUCK AGAINST SOLID EDGE. KEEP SOIL LEVEL TWO INCHES MINIMUM BELOW MULCH LEVEL AT THESE CONDITIONS.
 - MULCH, STONE AGGREGATE: 1 INCH. ALLOW STONE MULCH TO STAY WELL BELOW ADJACENT HARDSCAPE ELEMENT. KEEP SOIL LEVEL A MINIMUM OF TWO INCHES BELOW TOP OF MULCH.
 - SOODED LAWN AREAS: 3/4 INCH
 - SOODED LAWN AREAS: 1 INCH
- PLANTING**
- PLANTING TECHNIQUES: ALL PLANTING TECHNIQUES AND METHODS SHALL BE

- CONSISTENT WITH THE LATEST EDITION OF "HORTICULTURE STANDARDS OF NURSERYMEN, INC.", AND AS DETAILED ON THESE DRAWINGS.
- ALL PLANT MATERIALS UPON ARRIVAL TO THE PROJECT SITE SHALL BE SUBJECT TO INSPECTION AND APPROVAL. THE OWNER OR HIS REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANTS WHICH FAIL TO MEET THIS INSPECTION. ALL REJECTED MATERIAL SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR.
 - PRE-DELIVERY PHOTOGRAPHS FROM NURSERY ARE ENCOURAGED. PHOTOS SHOULD INCLUDE THE ENTIRE PLANT AND A SCALED MEASURING DEVICE TO INDICATE THE SIZE OF PLANT. HEIGHT OF EVERGREEN TREES ARE MEASURED FROM THE GROUND TO THE FIRST LATERAL BRANCH CLOSEST TO THE TOP. HEIGHT AND/OR WIDTH OF OTHER PLANTS SO SPECIFIED ARE MEASURED BY THE MASS OF THE PLANT NOT THE VERY TIP OF THE BRANCHES.
 - ALL PLANT MATERIAL SHALL BE GROWN AND SUPPLIED WITHIN THE SAME USDA ZONE AS THE PROJECT.
 - IF NECESSARY, TREES AND SHRUBS SHALL BE PRUNED OF DEAD AND BROKEN BRANCHES AS DIRECTED BY THE LANDSCAPE ARCHITECT AS LONG AS THE OVERALL HABIT OF THE PLANT IS NOT COMPROMISED. ALL PRUNING WORK SHALL BE DONE WITH HAND PRUNERS ONLY.
 - ABSOLUTELY NO TIP PRUNING IS ALLOWED. EXCEPT HEDGES, ANY PLANT THAT IS TIP PRUNED IS SUBJECT TO REJECTION BY THE LANDSCAPE ARCHITECT.
 - PLANT SUBSTITUTION FROM THE SPECIFIED LIST WILL BE ACCEPTED ONLY WHEN SATISFACTORY EVIDENCE IN WRITING IS SUBMITTED TO THE OWNER OR HIS REPRESENTATIVE SHOWING THAT THE PLANT SPECIFIED IS NOT AVAILABLE. REQUESTS FOR APPROVAL OF SUBSTITUTE PLANT MATERIAL SHALL INCLUDE COMMON AND BOTANICAL NAMES AND SIZE OF SUBSTITUTE MATERIAL. ONLY THOSE SUBSTITUTIONS OF AT LEAST EQUIVALENT SIZE AND HAVING ESSENTIAL CHARACTERISTICS SIMILAR TO THE ORIGINALLY SPECIFIED MATERIAL WILL BE APPROVED. ACCEPTANCE OR REJECTION OF SUBSTITUTE PLANT MATERIALS WILL BE ISSUED IN WRITING BY THE OWNER OR HIS REPRESENTATIVE.
 - ALL PLANTING BEDS RECEIVING BARK OR LEAF COMPOST MULCH SHALL BE TREATED WITH A QUALITY, COMMERCIAL GRADE PRE-EMERGENT HERBICIDE PRIOR TO MULCH INSTALLATION. PLANTING BED SHALL BE WEEED AND/OR GRASS FREE PRIOR TO HERBICIDE APPLICATION. PROVIDE CUT SHEET OF HERBICIDE TO LANDSCAPE ARCHITECT FOR APPROVAL.
 - PLANTS AND TURF ARE BEING ESTABLISHED IN A VARIETY OF CONDITIONS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE AND IMPLEMENT WHATEVER PROCEDURES HE DEEMS NECESSARY TO ESTABLISH THE PLANTS AND TURF AS PART OF HIS WORK. PLANTED AREAS AND TURF WILL BE ACCEPTED WHEN ALL AREAS ARE IN HEALTHY CONDITION AND AT LEAST 730 DAYS HAVE ELAPSED SINCE THE COMPLETION OF THIS WORK. THE CONTRACTOR SHALL SUBMIT WITH HIS BID A DESCRIPTION OF THE METHODS AND PROCEDURES HE INTENDS TO USE.
 - PLANTING AREAS AND TURF SHALL BE WATERED TO ENSURE PROPER ESTABLISHMENT. ONCE PLANTS AND TURF ARE ESTABLISHED, WATERING MAY BE STOPPED AT THE DISCRETION OF THE OWNER OR HIS REPRESENTATIVE. FREQUENT WATERING SHOULD BE CONTINUED FOR APPROXIMATELY FOUR (4) WEEKS OR UNTIL PLANTS AND TURF HAVE BECOME SUFFICIENTLY ESTABLISHED TO WARRANT WATERING ON AN "AS NEEDED" BASIS.
 - PRELIMINARY ACCEPTANCE: ALL PLANTINGS SHALL BE MAINTAINED BY THE CONTRACTOR FOR A PERIOD OF 730 DAYS AFTER PRELIMINARY ACCEPTANCE BY THE OWNER OR HIS REPRESENTATIVE. MAINTENANCE SHALL INCLUDE, BUT IS NOT LIMITED TO, PRUNING PLANT MATERIAL, PULLING WEEDS, WATERING PLANT MATERIAL, AND PERENNIAL FLOWER MAINTENANCE.
 - 730 DAY MAINTENANCE PERIOD: ALL PLANTINGS SHALL BE MAINTAINED BY THE CONTRACTOR FOR A PERIOD OF 730 DAYS AFTER PRELIMINARY ACCEPTANCE BY THE OWNER OR HIS REPRESENTATIVE. MAINTENANCE SHALL INCLUDE, BUT IS NOT LIMITED TO, PRUNING PLANT MATERIAL, PULLING WEEDS, WATERING PLANT MATERIAL, AND PERENNIAL FLOWER MAINTENANCE.
 - FINAL ACCEPTANCE (END OF 730 MAINTENANCE PERIOD): ALL PLANT MATERIAL (EXCLUDING ANNUAL COLOR), SHALL BE GUARANTEED FOR 1 CALENDAR YEAR AFTER THE END OF THE 730 DAY MAINTENANCE PERIOD. THE END OF THE MAINTENANCE PERIOD IS MARKED BY THE FINAL ACCEPTANCE OF THE CONTRACTOR'S WORK BY THE OWNER OR HIS REPRESENTATIVE.

- EVERGREEN & DECIDUOUS TREE PLANTING NOTES**
- TREES SHALL BEAR SAME RELATION TO FINISHED GRADE ON SITE OR IN NURSERY. IF ANY QUESTION, PLACE ROOTBALL 1" ABOVE ADJACENT FINISH GRADE.
 - REMOVE ALL ROPE/STRING, NYLON OR SISAL, FROM AROUND TRUNK OF TREE.
 - REMOVE BURLAP FROM TRUNK OF TREE AND CUT AWAY A 12" DIA. CIRCLE AROUND TRUNK.
 - DO NOT REMOVE OR CUT WIRE BASKET UNLESS SPECIFICALLY DIRECTED BY THE LANDSCAPE ARCHITECT. WIRE BASKET IS RETAINED IN THE CASE THE ROOTBALL BEGINS TO ROCK APART DUE TO STRONG WINDS. BASKET COULD BE RE-TIED AS NEEDED AND STAKED IF DIRECTED BY LANDSCAPE ARCHITECT.
 - SOAK WITH WATER IMMEDIATELY FOLLOWING INSTALLATION. WATER FROM BOTTOM OF PIT IF POSSIBLE. IF NOT POSSIBLE, TEST NOTE BELOW.
 - DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING.
 - DO NOT STAKE OR GUY WIRE TREES UNLESS DIRECTED TO DO SO BY THE LANDSCAPE ARCHITECT.
 - EVERGREEN TREES WITH ORNAMENTAL OR UNNATURALLY TIGHT SHEARED FORM WILL BE REJECTED. IF ANY QUESTION, FORWARD PICTURES TO LANDSCAPE ARCHITECT PRIOR TO DELIVERY TO SITE.
 - IF PITS ARE MACHINE EXCAVATED (I.E. AUGER) CONTRACTOR SHALL SCARIFY ALL SIDES OF PIT WITH HAND SPADE TO AVOID SOIL GLAZING.
 - PERCOLATION TEST OF PLANTING PITS: ONCE ON-SITE, DISCUSS NEED FOR PERCOLATION TESTS WITH LANDSCAPE ARCHITECT PRIOR TO PLANTING TREES. EACH SITE SOIL PROFILE IS DIFFERENT.
 - MULCHING: ALL INDIVIDUAL TREES AND THEIR WATERING RING BASIN SHALL BE MULCHED WITH SPECIFIED MULCH AT A 3" MIN. DEPTH. FOLLOW PROPER TECHNIQUE AND DO NOT ALLOW MULCH TO REST AGAINST TRUNK OF TREE.
 - WRAP: WHEN DIRECTED TO BY THE LANDSCAPE ARCHITECT OR BID SPECIFICATIONS, WRAP TREE SPIRES WITH APPROVED TREE WRAPPING TAPE THAT IS NOT LESS THAN 4" WIDE, AND SECURELY TIE WITH SUITABLE CORD AT THE TOP, BOTTOM, AND 2" INTERVALS ALONG THE TRUNK. WRAP FROM GROUND TO THE HEIGHT OF THE FIRST BRANCH. OWNER IS RESPONSIBLE FOR REMOVAL OF TREE WRAP.
 - PROVIDE DRAINAGE: SLOW RELEASE WATERING BAGS OF BETWEEN 10 AND 15 GALLONS PER THE FOLLOWING TREE SIZES BELOW: 'GATOR-BAGS' OR 'GATOR BAG JR.' OR APPROVED EQUAL. CONTRACTOR SHALL PURCHASE, INSTALL PER MANUFACTURER, AND FILL EACH WITH WATER IMMEDIATELY AFTER PLANTING. WATERING BAGS REMAIN PROPERTY OF THE END USER/OWNER/CLIENT AT THE COMPLETION OF THE 90 DAY WARRANTY. DECIDUOUS (SHADE AND ORNAMENTAL) TREES UP TO 3". ONE BAG, 3.5'-6.5"; TWO BAGS, EVERGREEN AND ORNAMENTAL/MULTI-STEM TREES: 4'-14" HT.: ONE GATOR BAG JR.

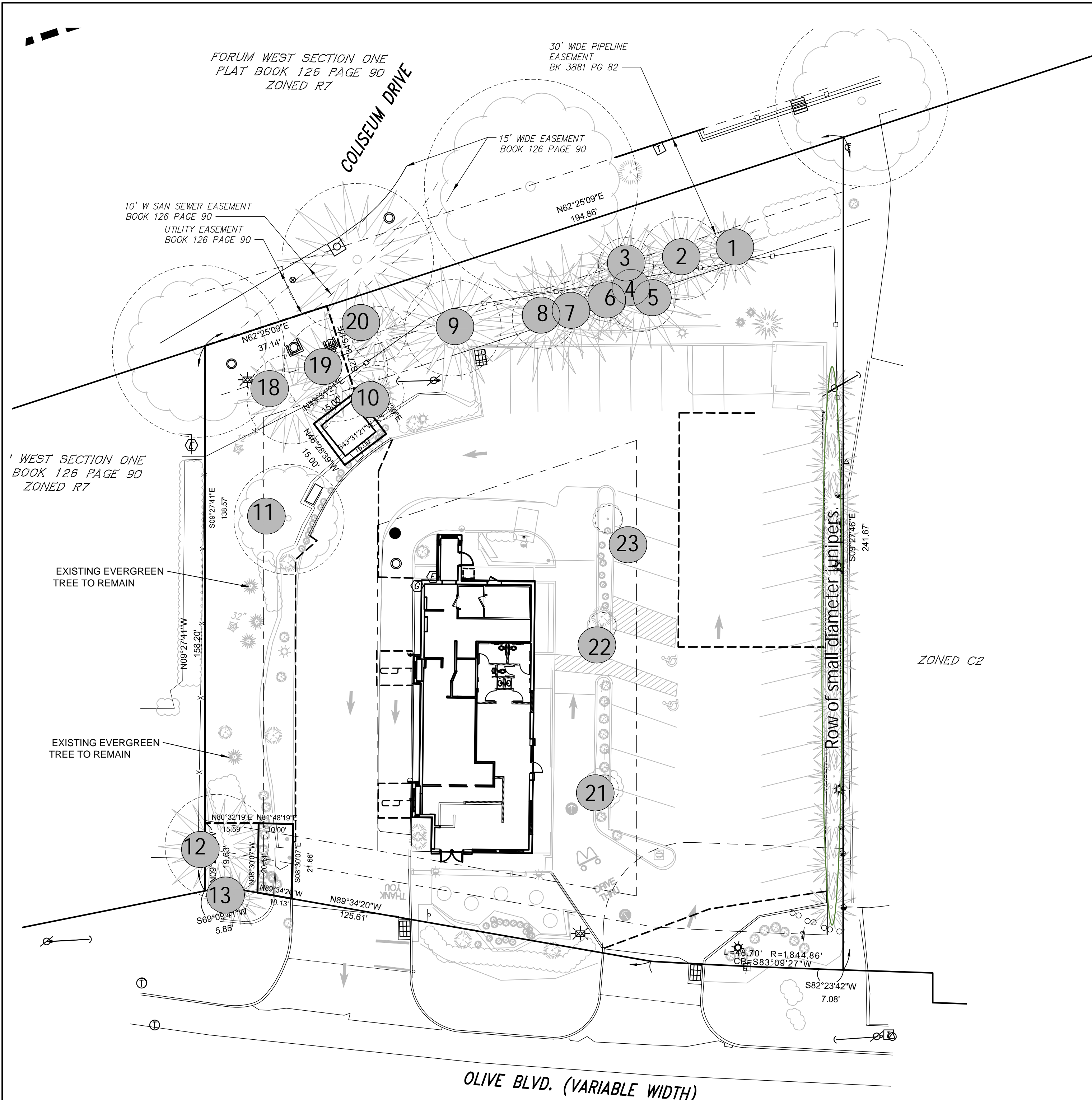
- EVERGREEN & DECIDUOUS SHRUB PLANTING NOTES**
- DO NOT ALLOW POCKETS TO FORM WHILE BACKFILLING.
 - SOAK WITH WATER IMMEDIATELY FOLLOWING INSTALLATION.
 - 730 DO NOT BREAK ROOTBALL WHILE HANDLING.
 - IF B+B MATERIAL, REMOVE BURLAP AND TWINE FROM AROUND TOP 1/3 OF ROOTBALL. IF CONTAINERIZED, LOOSEN ROOT MASS SIGNIFICANTLY AFTER REMOVING FROM CONTAINER BY HAND OR CUT ROOT MASS WITH KNIFE ON 4 SIDES TO A DEPTH OF 1/2" AND CUT BOTTOM OF ROOT MASS IN SAME MANNER IN A 'X' PATTERN.
 - MULCHING: SHRUBS PLANTED WITHIN LANDSCAPE BEDS SHALL RECEIVE THE SAME MULCH AS LANDSCAPE BEDS. SHRUB GROUPINGS PLANTED WITHIN MEADOW OR GRASS AREAS AND THEIR WATERING RING BASIN SHALL BE MULCHED WITH SPECIFIED MULCH AT A 3" MIN. DEPTH. FOLLOW PROPER TECHNIQUE AND DO NOT ALLOW MULCH TO REST AGAINST TRUNK OF SHRUB.
- LANDSCAPE BEDS**
- PROVIDE SHOVEL CUT EDGE AT ALL TURF EDGES UNLESS OTHERWISE INDICATED IN THE DRAWINGS.
 - ALL BEDS TO BE CROWNED SLIGHTLY FOR PROPER DRAINAGE AWAY FROM BUILDINGS AND PAVEMENTS.
 - IMMEDIATELY PRIOR TO PLANTING, AMEND PLANTING BEDS WITH 3" AGED LEAF COMPOST BY BLENDING THE COMPOST INTO THE TOP 8" OF PLANTING MEDIA.
 - AFTER PLANTING, APPLY SHREDDED HARDWOOD MULCH AT A DEPTH OF 3".
 - IMMEDIATELY FOLLOWING MULCH APPLICATION, APPLY A PREVENTIVE HERBICIDE SUCH AS PREEN OR APPROVED EQUAL. WET DOWN PLANTING BEDS THOROUGHLY.
- IRRIGATION NOTES**
- ALL LANDSCAPE AREAS, INCLUDING ISLANDS SHALL BE PROVIDED WITH A MECHANICAL IN-GROUND IRRIGATION SYSTEM.

REV	DATE	DESCRIPTION	ISSUE REF
1	1-15-19	CITY COMMENTS	JPB
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7	5-4-20	FOR BIDDING	JPB
8	5-18-20	MSD	JPB
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GREAT PLAINS REGION
 10801 MASTIN BLVD., SUITE 400, OVERLAND PARK, KS 66210
 ADDRESS: 13556 OLIVE BLVD CHESTERFIELD MO 63017

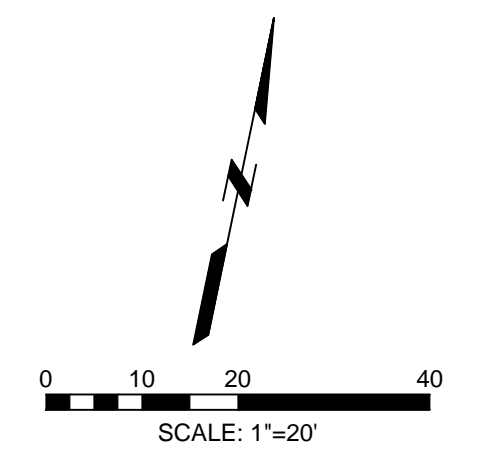
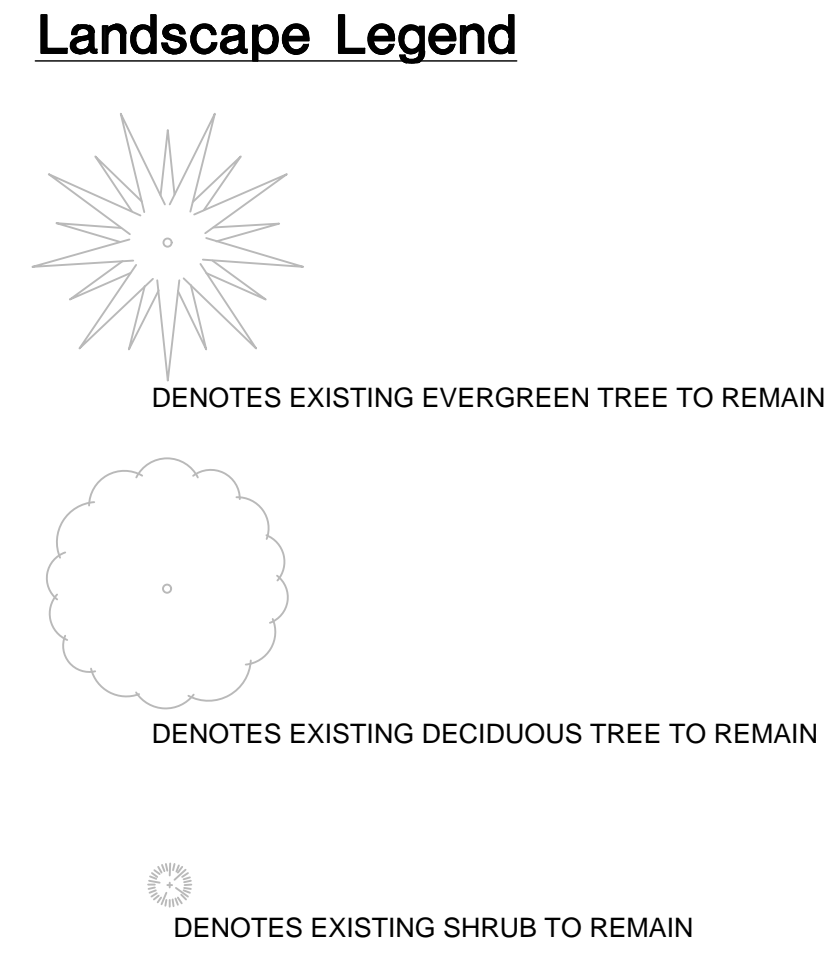
PLAN APPROVAL	DATE	STATUS	DATE	BY
SIGNATURE (2 REQUIRED)		PRELIMINARY	11-1-18	FG
REGIONAL MGR.		FINAL PLAN	-	FG
CONST. MGR.		AS-CONST.		
PROJECT MANAGER				
REAL ESTATE MGR.				
CONTRACTOR				
OWNER				

ALAP-1 LANDSCAPE PLAN



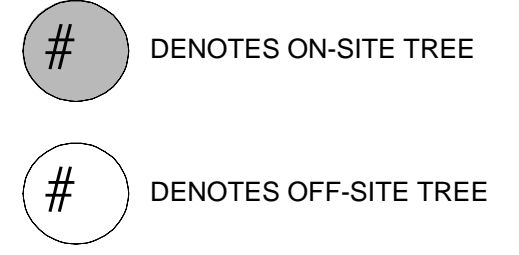
PROPOSED AREA BREAKDOWN

RESTAURANT BUILDING AREA	2,682 SQUARE FEET (7.27%)
PROPOSED PAVED AREA	21,289 SQUARE FEET (57.72%)
PROPOSED LANDSCAPE AREA	12,908 SQUARE FEET (35%)
TOTAL LOT AREA	36,879 SQUARE FEET (100%)
PROPOSED OPEN SPACE AREA	13,658 SQUARE FEET (37%)



DAVEY **Resource Group**
 Meredith Perkins, ISA MW4223AM
Meredith M. Perkins
 Meredith Perkins, ISA MW4223AM

13559 Olive Blvd.
Tree Stand Delineation
 Provided to Farnsworth Group
 Provided by Davey Resource Group
 April 16, 2019



Tree Inventory Data DATA COLLECTED DURING SITE VISIT: APRIL 11, 2019

Tree #	DBH (Diameter at 4.5 feet above grade)	Number of Stems	Common Name	Botanical Name	Monarch Tree	Condition Rating %	Condition Rating	Approx Canopy Radius (FT)	Canopy Area (SQFT)
1	7	1	Norway Spruce	<i>Picea abies</i>	No	80	Good	6	113
2	14	1	Austrian Pine	<i>Pinus nigra</i>	No	50	Fair	12	452
3	14	1	Austrian Pine	<i>Pinus nigra</i>	No	50	Fair	8	201
4	14	1	Austrian Pine	<i>Pinus nigra</i>	No	50	Fair	6	113
5	20	1	White Pine	<i>Pinus strobus</i>	No	70	Good	10	314
6	9	1	White Pine	<i>Pinus strobus</i>	No	50	Fair	5	79
7	20	1	White Pine	<i>Pinus strobus</i>	No	60	Fair	9	254
8	14	1	White Pine	<i>Pinus strobus</i>	No	50	Fair	6	113
9	15	1	White Pine	<i>Pinus strobus</i>	No	70	Good	14	615
10	8	1	White Pine	<i>Pinus strobus</i>	No	60	Fair	8	201
11	20	1	Red Maple	<i>Acer rubrum</i>	No	75	Good	16	804
12	26	1	White Pine	<i>Pinus strobus</i>	No	75	Good	15	707
13	6	1	Blue Spruce	<i>Picea pungens</i>	No	55	Fair	4	50
18	18	1	White Pine	<i>Pinus strobus</i>	No	70	Good	13	531
19	20	1	White Pine	<i>Pinus strobus</i>	No	65	Good	15	707
20	11	1	Austrian Pine	<i>Pinus nigra</i>	No	40	Poor	8	201
21	7	1	European Hornbeam	<i>Carpinus betulus</i>	No	70	Good	4	50
22	7	1	European Hornbeam	<i>Carpinus betulus</i>	No	70	Good	4	50
23	8	1	European Hornbeam	<i>Carpinus betulus</i>	No	70	Good	4	50

TOTAL APPROXIMATE CANOPY AREA = 5,605 SQUARE FEET

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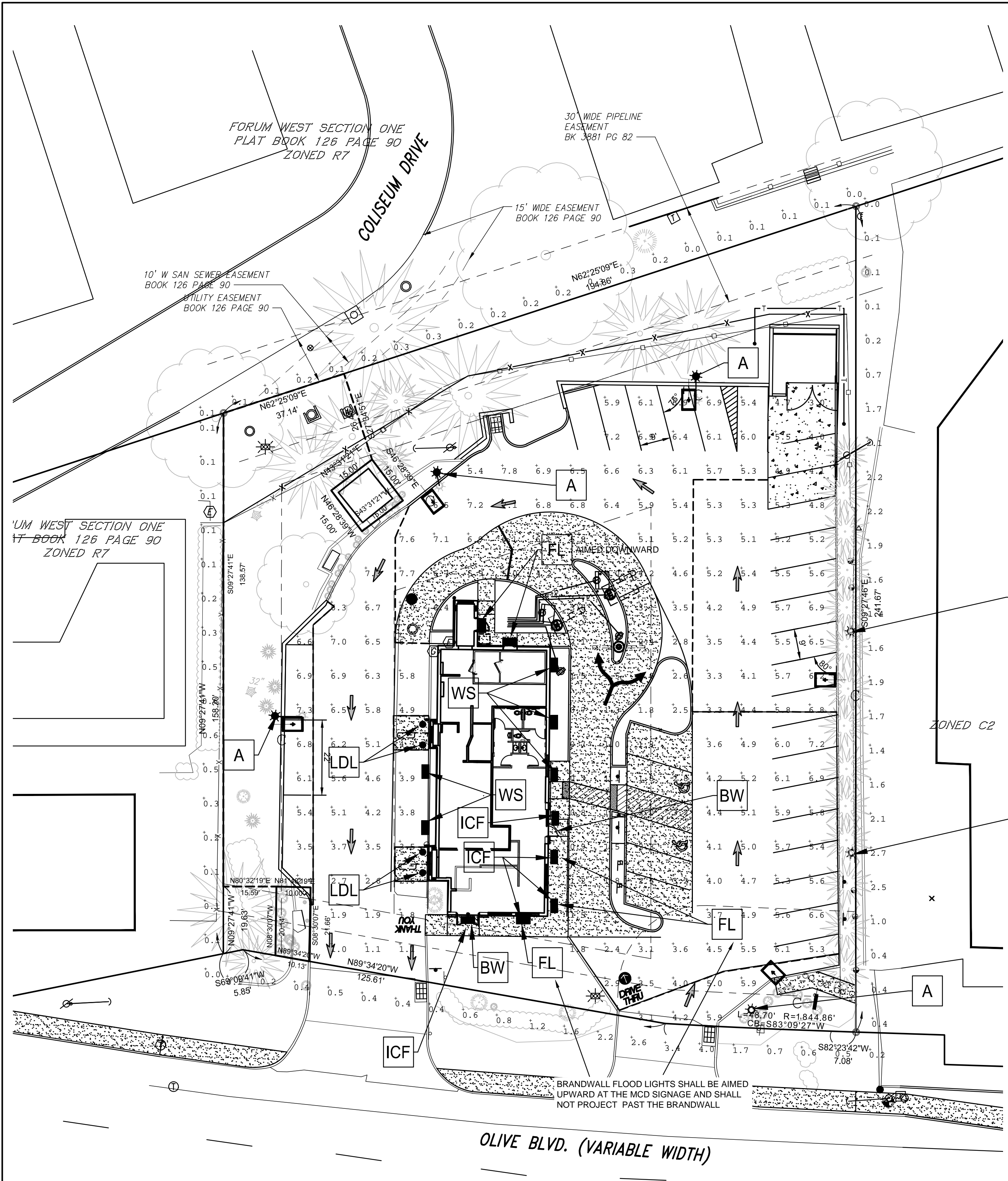
PLAN APPROVAL	DATE
SIGNATURE (2 REQUIRED)	
REGIONAL MGR.	
CONST. MGR.	
PROJECT MANAGER	
REAL ESTATE MGR.	
CO-SIGN SIGNATURES	
CONTRACTOR	
OWNER	

STATUS	DATE	BY
PRELIMINARY	11-1-18	FG
FINAL PLAN	-	FG
AS-CONST.		

TSD-1
TREE STAND DELINEATION PLAN
LANDSCAPE PLAN

Meredith Perkins
 THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.
GREAT PLAINS REGION
 10801 MASTIN BLVD., SUITE 400, OVERLAND PARK, KS 66210
 ADDRESS: 13559 OLIVE BLVD CHESTERFIELD MO 63017

20MSD-00148



EXTERIOR LIGHT FIXTURE SCHEDULE

MARK	DESCRIPTION	QUANTITY	FINISH	REMARKS
A	SITE AREA LIGHT EXISTING MOUNTING HEIGHT = ± 18'	6	NOTE 1	FLAT LENS, FULLY SHIELDED, REFER TO DETAIL ON SHEET ALP-3
LDL	LED DOWN LIGHT	4	SILVER	FLAT LENS, FULLY SHIELDED, REFER TO DETAIL ON SHEET ALP-3
WS	WALL SCONCE	5	SILVER	FLAT LENS, FULLY SHIELDED, REFER TO DETAIL ON SHEET ALP-3
BW	BRAND WALL	2		FLAT LENS, FULLY SHIELDED, REFER TO DETAIL ON SHEET ALP-3
FL	FLOOD LIGHT	5	WHITE	FLAT LENS, FULLY SHIELDED, REFER TO DETAIL ON SHEET ALP-3
ICF	INTEGRATED TRELLIS LIGHTS	4	WHITE	NO CUT SHEET AVAILABLE

NOTE 1
V POLYESTER POWDER COAT EKTROSTATICALLY APPLIED AND THERMOURED. FINISH WILL CONSIST OF A FIVE STAGE PRETREATMENT TRIGEMEN WITH A POLYMER PRIMER SEALER AND TOP COATED WITH A THERMOSTAT SUPER TGIC POLYESTER POWDER COAT FINISH, COLOR TO BE COMPATIBLE WITH EXISTING AREA LIGHT POLES.

NOTE 2
NOT USED

NOTE 3 THE FIXTURE INDICATED AS ICF IS AN INTEGRATED FIXTURE WITH THE TRELLIS, NO CUT SHEET IS AVAILABLE IT IS SHOWN ON THE TRELLIS LIGHT IMAGE ON SHEET C3.4

NOTE 4
"NON-SECURITY LIGHTING, OTHER THAN THAT USED FOR SPECIAL AND INFREQUENT OCCASIONS, SHALL NOT BE ON PAST APPROVED HOURS OF OPERATION, IF ANY, OR 11:00 P.M., WHICHEVER IS LATER".

NOTES:

- THE FOOTCANDLE LEVELS AS SHOWN ARE BASED ON THE FOLLOWING CRITERIA. ANY SUBSTITUTIONS IN SPECIFIED FIXTURES OR CHANGES TO LAYOUT WILL AFFECT LIGHTING LEVELS SHOWN AND WILL NOT BE THE RESPONSIBILITY OF SECURITY LIGHTING.
- DISTANCE BETWEEN READINGS 10'

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PAVED SURFACE READINGS	Illuminance	Fc	4.63	7.8	0.7	6.61	11.14
PROPERTY LINE READINGS	Illuminance	Fc	0.75	4.0	0.0	N.A.	N.A.

Symbol	Qty	Label	LLF	Description
☐	5	C	1.000	REFER TO SHEET ALP-3

2300 Golf Road, Suite 400, Rolling Meadows, IL 60009
1-800-344-4849

UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE IN INCHES

SCALE: 1" = 20' 0"

DRAWN BY: MW

POINT-BY-POINT FOOTCANDLE PLOT FOR
MCDONALDS
13559 OLIVE ST RD
CHESTERFIELD, MO

NATIONAL STORE NUMBER:
7990

DATE: 1/28/19 DRAWING NUMBER: 41587

SCALE: 1"=20'

RECEIVED
City of Chesterfield
Jun 16 2020
Department of Public Services

ROBERT E. POLK # 0-20082
ENGINEER
EXPIRES 12/31/20
THIS SHEET HAS BEEN SIGNED, SEALED, AND DATED ELECTRONICALLY

GREAT PLAINS REGION
10801 MASTIN BLVD., SUITE 400, OVERLAND PARK, KS 66210
ADDRESS: 13559 OLIVE BLVD CHESTERFIELD MO 63017

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7	5-4-20	MSD	JPB	
8	5-18-20	MSD	JPB	
9	5-21-20	CITY COMMENT	JPB	

PARKING INFORMATION			
TOTAL SPACES 31	1 - SPACES	9'-0" X 19'	@ 90°
	17 - SPACES	9'-0" X 19'	@ 80°
	3 - SPACES	8'-0" X 22'	@ 180°
	8 - SPACES	9'-0" X 19'	@ 75°
	2 - HCP SPACES	9'-0" X 19'	@ 75°

UTILITY INFORMATION			
SANITARY SEWER	SIZE	TYPE	LOCATION
-	-	-	-
WATER	-	-	-
STORM SEWER	-	-	-
ELECTRIC	-	-	-
GAS	-	-	-

SURVEY INFORMATION			
PREPARED BY:	Farnsworth GROUP	20 ALLEN AVENUE, SUITE 200 ST. LOUIS, MISSOURI 63119 (314) 992-7000 / (314) 992-1253 Fax www.f-w.com	
DATE:			

LEGEND			
SANITARY SEWER	WATER	LOT LIGHT	GAS
STORM SEWER	ELECTRIC	EXISTING ELEVATION (76.5)	PROPOSED ELEVATION (77.0)

PLAN SCALE: 1"=20'	
CITY	STATE
CHESTERFIELD	MISSOURI
COUNTY	
ST. LOUIS COUNTY	
REGIONAL DWG. NO	NATIONAL NUMBER
024-0272	-

STATUS	DATE	BY
PRELIMINARY	11-1-18	FG
FINAL PLAN	-	FG
AS-CONST.		

REGIONAL MGR.	CONST. MGR.	PROJECT MANAGER	REAL ESTATE MGR.	CONTRACTOR	OWNER

ALP-1
PHOTOMETRIC PLAN

HIRAF HIGH EFFICIENCY LINEAR LED FAÇADE FIXTURE



The HIRAF Linear Façade Lighting System is a modern LED lighting solution designed from a clean slate to maximize the lighting effect for marketing your building as your brand while keeping energy usage and maintenance to an absolute minimum. Thanks to its reusable plug and play mounting design with integral driver system, installation is quick and simple and only requires that power be brought to one fixture or exactly continuous row. The long life LED source minimizes maintenance to only an occasional cleaning of outer lens surfaces. This system is truly a "set it and forget it" solution only from Security Lighting!

- FEATURES:**
- Extruded aluminum construction, finished in weather proof powder-coat paint
 - Tempered glass lenses
 - Fully integrated driver for completely self-contained lighting system
 - Aluminum mounting brackets are finished in powder-coat paint and each order ships with a formed drilling template
 - Power feed required only at beginning of each continuous row, subsequent fixtures plug together in series
 - Fixtures available in up and down light, down light only or up light only
 - 60,000 hour long life LED illumination
 - 5000K color temperature standard +/-50 CCT
 - 80 CRI standard
 - Linear Façade Fixture (14 watts per foot)

SAMPLE CATALOG NUMBER

HIRAF-HE-LED-XX - XX - X - XX

Series	Size	Distribution	Voltage	Finish
96 8-foot	UD up and down light	U = universal	120 to 277 volt	PS Platinum Silver
72 6-foot	UD up and down light		120 to 277 volt	DB Dark Bronze
48 4-foot	DD down light only			WH White
36 3-foot	BS 5-watts per foot			BK Black
24 2-foot	UD up light only			RAL and custom color
				Consist factory

NEW ENHANCEMENTS:

- Increased light uniformity
- Low-power LED's to provide 50% reduced energy consumption
- Cooler operating temps increases driver life
- Ease of installation
- Ease of Serviceability
- All new construction and design for enhanced product lifetime performance and reliability.

Security Lighting Systems, a division of Hubbell Lighting, Inc. 2100 Golf Road, Suite 460, Rolling Meadows, IL 60008

1 BRAND WALL LIGHTING (BW)

Scale: NOT TO SCALE

EL218 Micro-Flood® LED

The Micro Flood compact size, hardy construction, and unique sealed module ensures superior durability, quality and uncompromising performance make it an unsurpassed option for most landscape and architectural lighting applications. The versatility of the Micro Flood is the full 180° range of motion and the full range of Wide, Spot and Narrow Flood light distribution to choose from.

- With feature features, the IP66 silicone gasket between the PMMA acrylic optic and housing keeps moisture out and the large heat sink on the back of the optic to keep the fixture cool will ensure years of moisture free performance.
- Unique sealed mount provides superior aiming without loosening over time.
 - Die-cast aluminum with powder coat finish for excellent value and rugged service.
 - 2000K, 4000K, and 5000K standard CCT
 - Wide Flood has 350mA drive current up to 993 lumens or 550mA to 1,622 lumens
 - Wide Flood has main beam candle up to 1066
 - IP66 certified to keep out and moisture



Certifications/Listings

Ordering Information Ordering Example: EL218-X-X-8L-XX-UV-XXX-JW

EL218	8L	UV	JW
Fixture	Distribution	Color Current	Electrical Module
Linear Façade	Spot	3 350mA, 100	Spot (3 x 3)
Flare	Narrow Flood	5 550mA, 100	Narrow Flood (6 x 4)
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2 FLOOD LIGHTING (FL)

Scale: NOT TO SCALE

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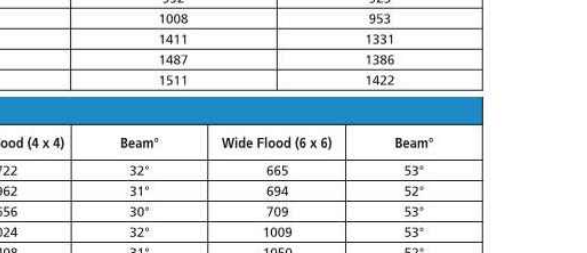
3 LED DOWN LIGHTING (LDL)

Scale: NOT TO SCALE

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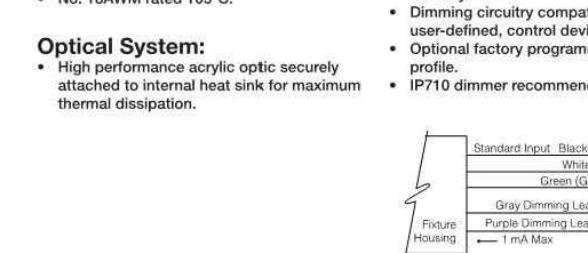
4 WALL SCENCE (WS)

Scale: NOT TO SCALE

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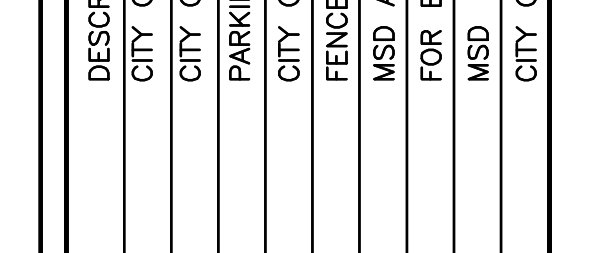
6 WALL SCENCE (WS)

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7 WALL SCENCE (WS)

Scale: NOT TO SCALE

LB6LEDA10L LED Downlight Module (1038 Lumens)

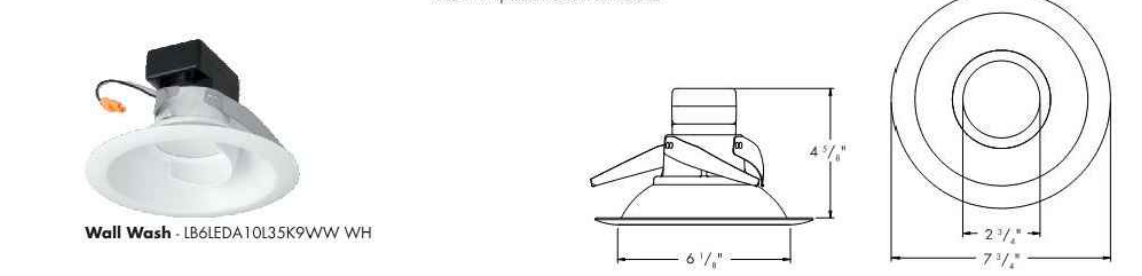
12W High Efficacy Wet Location

APPLICATIONS: All LED modules are designed for use in new construction as well as search applications with existing recessed or competing LED housings. Lenses and distribution components to a 75W PAR white containing only 12 watts minimum of energy consumption. Can be used in conjunction with California Title 24 ECC with per square foot requirements. Suitable for use with continuous room side ambient temperature up to 25°C. Fixture free dimming to 15% with most standard dimmers. (See Dimming Notes).

LIGHT ENGINE: High efficiency LED light engine, 3000K, 3500K and 5000K, 90+ CRI, integrated with durable aluminum heat sink for excellent thermal management. System designed for optimal life and lumen maintenance (60,000 hours @70% lumen maintenance per T921).

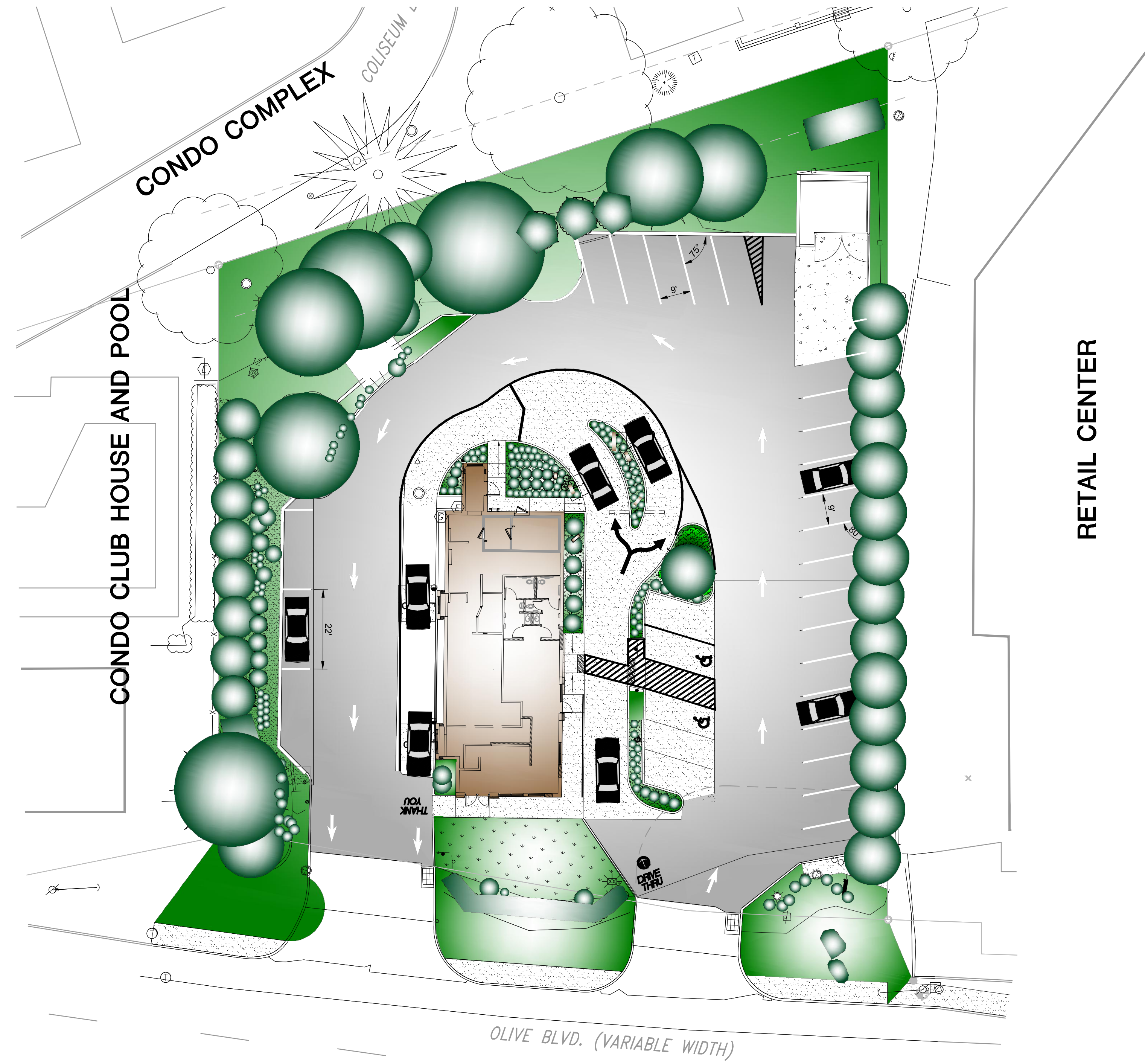
LENS/REFLECTOR: All LED modules are provided standard with a diffuse optical grade acrylic lens for uniform illumination and superior glare control. Safety powder coat finish creates aesthetic ceiling appearance and visually comfortable 55° beam.

LED DRIVER: 2 year warranty. Additional information on page 3. See www.precorite.com for details.

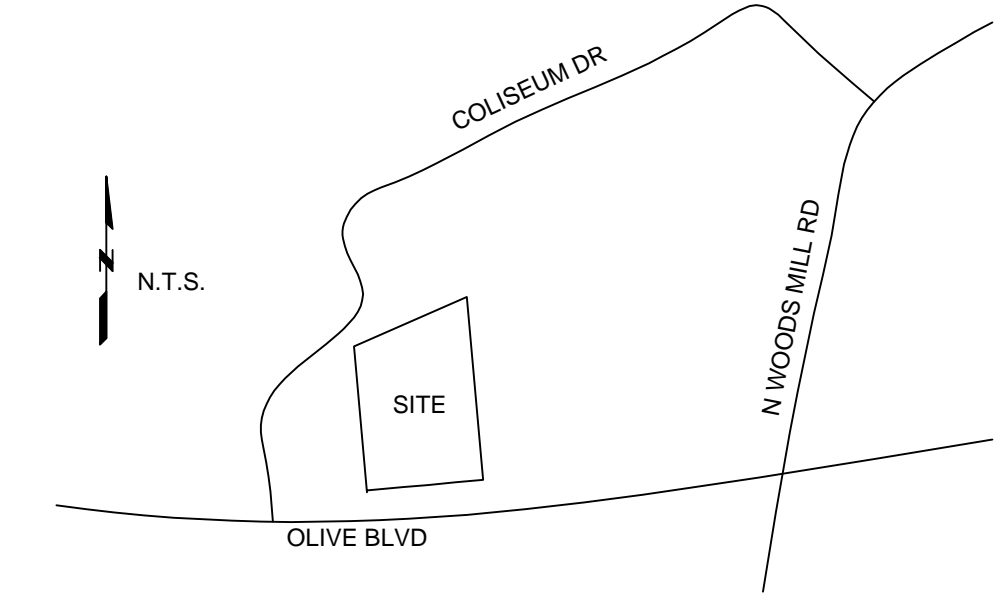
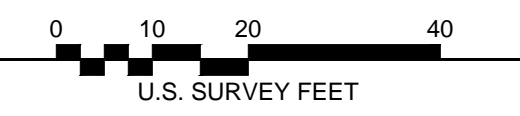


CATALOG NUMBER EXAMPLE: LB6LEDA10LWSWW WH

TRIM	LED COLOR	CRI	TRIM	TRIM COLOR	ACCESSORIES
LB6LEDA10L	300K	90+	Blank	Black	LB6LEDA10L
LB6LEDA10L	3500K	90+	Blank	Black	LB6LEDA10L
LB6LEDA10L	5000K	90+	Blank	Black	LB6LEDA10L
LB6LEDA10L	300K	90+	Blank	Black	LB6LEDA10L
LB6LEDA10L	3500K	90+	Blank	Black	LB6LEDA10L
LB6LEDA10L	5000K	90+	Blank	Black	LB6LEDA10L
LB6LEDA10L	300K	90+	Blank	Black	LB6LEDA10L
LB6LEDA10L	3500K	90+	Blank	Black	LB6LEDA10L
LB6LEDA10L	5000K	90+	Blank	Black	LB6LEDA10L
LB6LEDA10L	300K	90+	Blank	Black	LB6LEDA10L
LB6LEDA10L	3500K	90+	Blank	Black	LB6LEDA10L
LB6LEDA10L	5000K	90+	Blank	Black	LB6LEDA10L
LB6LEDA10L	300K	90+	Blank	Black	LB6LEDA10L
LB6LEDA10L	3500K	90+	Blank	Black	LB6LEDA10L
LB6LEDA10L	5000K	90+	Blank	Black	LB6LEDA10L
LB6LEDA10L	300K	90+	Blank	Black	LB6LEDA10L
LB6LEDA10L	3500K	90+	Blank	Black	LB6LEDA10L
LB6LEDA10L	5000K	90+	Blank	Black	LB6LEDA10L
LB6LEDA10L	300K	90+	Blank	Black	LB6LEDA10L
LB6LEDA10L	3500K	90+	Blank	Black	LB6LEDA10L
LB6LEDA10L	5000K	90+	Blank	Black	LB6LEDA10L
LB6LEDA10L	300K	90+	Blank	Black	LB6LEDA10L
LB6LEDA10L	3500K	90+	Blank	Black	LB6LEDA10L
LB6LEDA10L	5000K	90+	Blank	Black	LB6LEDA10L
LB6LEDA10L	300K	90+	Blank	Black	LB6LEDA10L
LB6LEDA10L	3500K	90+	Blank	Black	LB6LEDA10L
LB6LEDA10L	5000K	90+	Blank	Black	LB6LEDA10L
LB6LEDA10L	300K	90+	Blank	Black	LB6LEDA10L
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LB6LEDA10L	5000K	90+	Blank	Black	LB6LEDA10L
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LB6LEDA10L	3500K	90+	Blank	Black	LB6LEDA10L
LB6LEDA10L	5000K	90+	Blank	Black	LB6LEDA10L
LB6LEDA10L	300K	90+	Blank	Black	LB6LEDA10L
LB6LEDA10L	3500K	90			



SITE RENDER
SCALE: 1"=20'




LOCATION MAP

PLAN APPROVAL		DATE	DESCRIPTION	BY	ISSUE REF
REGIONAL MGR.	SIGNATURE (2 REQUIRED)		CITY COMMENTS	JPB	
CONST. MGR.			CITY COMMENTS	JPB	
PROJECT MANAGER			PARKING COUNT	JPB	
REAL ESTATE MGR.			CITY COMMENTS	JPB	
CONTRACTOR					
OWNER					

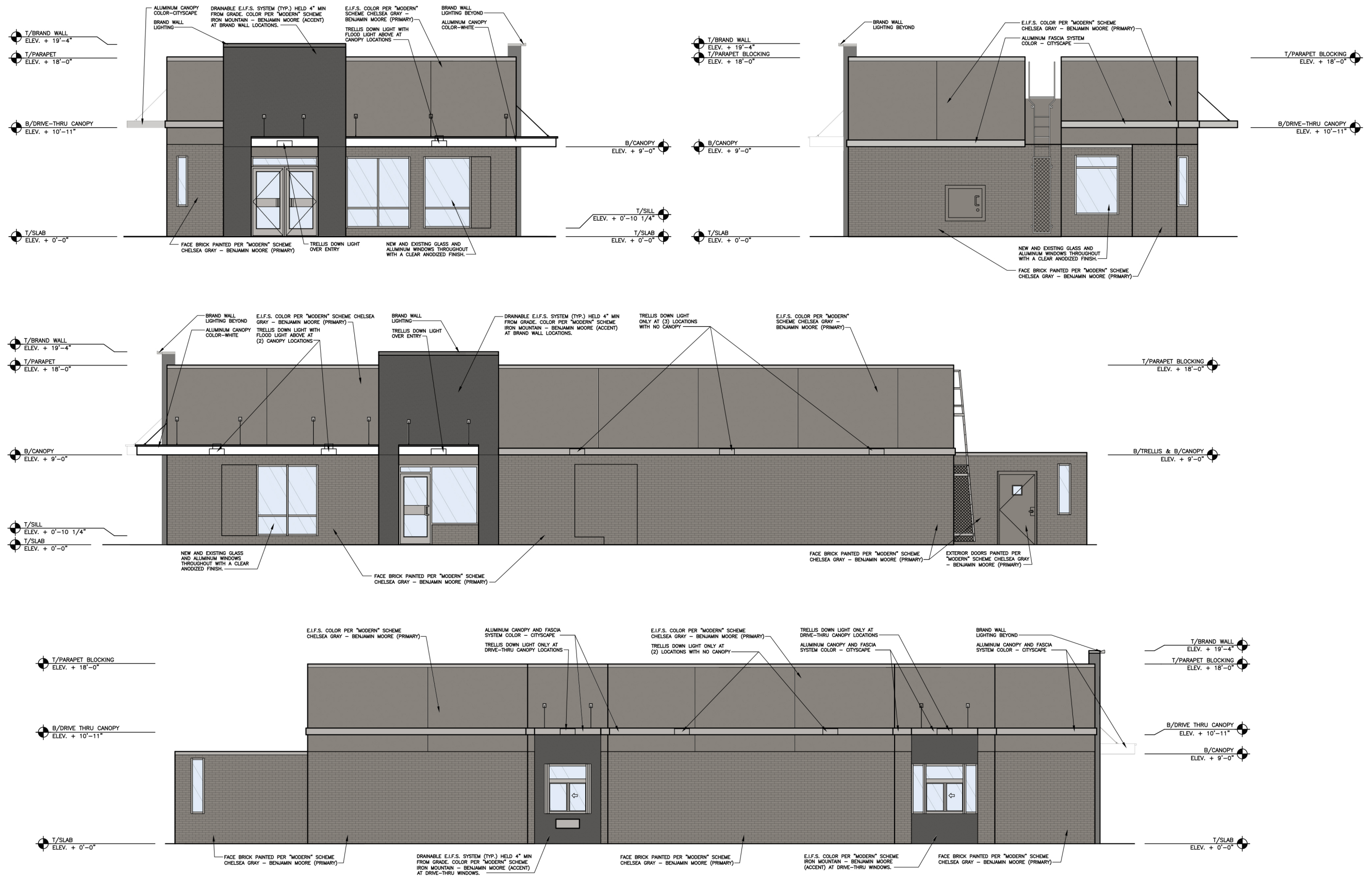
STATUS	DATE	BY
PRELIMINARY	11-1-18	FG
FINAL PLAN	-	FG
AS-CONST.		

SR-1	
SITE RENDER	



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GREAT PLAINS REGION
10801 MASTIN BLVD., SUITE 400, OVERLAND PARK, KS 66210

ADDRESS | 13556 OLIVE BLVD CHESTERFIELD MO 63017



EXELEV-1

McDonald's Olive Blvd.

ARCHITECTURAL ELEVATIONS
CHESTERFIELD, MO | FEBRUARY 27, 2019

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City of Chesterfield
Apr 08 2020
Department of Public Services

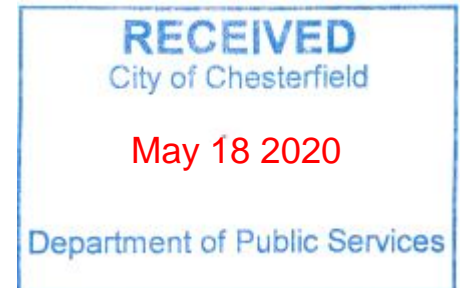
McDonald's Olive Blvd.

EXTERIOR RENDERING
CHESTERFIELD, MO | FEBRUARY 27, 2019

McDONALD'S USA, LLC |  Farnsworth
GROUP
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April 21, 2020 (rev)

City of Chesterfield
690 Chesterfield Pkwy W
Chesterfield, MO 63017
Attn: Mike Knight, Assistant City Planner



Re: Parking Demand Study
13559 Olive Blvd. (McDonald's) 2nd Amended SDP (0180691.00)

1. Parking Required (PC Zoning) = 41 spaces
2. Parking provided = 31 spaces onsite
3. Rationale for Reduction in Parking Spaces
 - a. The existing drive-thru window at this location accounts for 79% of transactions at the restaurant. With the construction of the proposed side x side order stations, it can be expected that will increase to at least 85% based on national experienced increases, therefore only 15% of transactions are at the indoor counter, greatly reducing the need for parking spaces below current requirements.
 - b. Olive Blvd is a major route for Metro buses with a scheduled bus stop opposite McDonald's at the 4 Seasons Shopping Center. Both weekdays and weekends there are roughly 35 eastbound stops and 33 westbound stops between the hours of 4:30am and 11:30pm. The operator of the restaurant confirms that many of his employees use the bus system as well as well as being dropped off. This reduces the required number of parking spaces for employees.
4. Actual Restaurant over-the counter Transactions for 2019 at this Location
 - a. The average daily counter transactions for the weekday hour period 11a - noon was 25.
 - b. The average daily counter transactions for the weekday hour period noon – 1pm was 28.
 - c. Counter transactions for breakfast and dinner were less.
 - d. Weekday transactions are higher than weekend transactions.
 - e. Assuming a conservative transaction ratio of 1.2 transactions/car plus recognition of walk-in customers, it can be argued the actual number of cars is approximately 80% of the transactions, resulting in 20 cars distributed during the hour between 11am – noon and 23 cars distributed between the hour of noon – 1pm. If you further assume the peak 15-minute period is 75% of the total hour count, the number of parked cars is then 15-18 during that peak.
5. Verified Parking Counts – Tuesday, March 5, 2019 (15-minute intervals)
 - a. Breakfast (7am – 9am) – average 9, max 12 (8:15am)
 - b. Lunch (11am – 1pm) – average 16, max 24 (12:15 pm)
 - c. Dinner (5pm – 6pm) – average 7, max 9 (5:00 pm)
6. Findings – The City requirement for 41 parking spaces is in our opinion excessive for the current restaurant use for the reasons noted above. With a daily average actual parking count of 11 cars or less and a daily maximum actual count of only 24 for a brief 15-minute duration, plus a calculated average annual lunch peak of 18 cars based on actual inside counter transactions,

these numbers indicate 41 spaces are not necessary. Keep in mind this analysis is prior to the proposed second order station which will increase drive thru transactions and decrease counter transactions. We estimate a 5-10% drop in counter transactions which only further reduces the actual and calculated 2019 parking count numbers above. Therefore, our client respectfully requests the City approve a parking reduction to the 31 spaces indicated on the 2nd Amended Site Development Plan.

Sincerely,

Farnsworth Group, Inc.



Bob Polk PE, LEED AP
Principal/Center Manager