



VII. A.

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Phone: 636-537-4000 • Fax 636-537-4798 • www.chesterfield.mo.us

Planning Commission Staff Report

Project Type:	Site Development Plan
Meeting Date:	June 15, 2016
From:	Jessica Henry, Project Planner
Location:	South of Wild Horse Creek Road west of its intersection of Long Road and east of its intersection with Arbor Grove Court.
Applicant:	Wilmas Farm, LLC
Description:	<u>Arbors at Wilmas Farms SDP:</u> A Site Development Plan, Landscape Plan, Tree Stand Delineation, Tree Preservation Plan, and Architectural Elevations for a 50.5 acre tract of land zoned “PUD” Planned Unit Development located south of Wild Horse Creek Road west of its intersection of Long Road and east of its intersection with Arbor Grove Court.

PROPOSAL SUMMARY

Sterling Engineering, Inc., on behalf of Wilmas Farm, LLC, has submitted a Site Development Plan, Landscape Plan, Tree Stand Delineation, Tree Preservation Plan, and Architectural Elevations for a 50.5 acre single family detached residential development to be known as Arbors at Wilmas Farm. The plans would permit the development of forty-seven (47) detached single family homes. Two access points are being proposed for the development; the main entrance off Wild Horse Creek Road and a secondary access off of Deep Forest Drive. Development characteristics of this proposal also include a recreation area, a children’s playground, and a sports field. Each of these amenities will be connected via a walking trail. Common open space is dispersed throughout the site and landscape buffers are provided along each site perimeter.

HISTORY OF SUBJECT SITE

The subject property was zoned “NU” Non-Urban District and “FPNU” Flood Plain Non-Urban District by St. Louis County prior to the incorporation of the City of Chesterfield. The property is currently utilized for agricultural purposes and has been in the past as well. Additionally, there have been no known structures on this site.

On September 9, 2015, the City of Chesterfield approved Ordinances 2868 and 2869, which zoned the subject site from an “NU” Non-Urban District to an “E-1 AC” Estate District and “PUD” Planned Unit Development, respectively, as part of a two-step zoning process in order to obtain entitlements to develop this tract of land as a single-family residential subdivision. In conjunction with the “PUD” Planned Unit Development zoning request, a preliminary plan was prepared and approved during the zoning process and the proposed Site Development Plan is found to substantially conform to the approved preliminary plan.



Figure 1: Subject Site Aerial

Surrounding Land Uses

The land use and zoning for the properties surrounding this parcel are as follows:

- North:** The land uses of the properties to the north are single family residential and are zoned “NU” Non-Urban District and “E-1” Estate One-Acre District.
- South:** The property to the south is Wildhorse subdivision containing single family residential units zoned “R-1/PEU” Residence District with a Planned Environmental Unit.
- East:** Properties east of the site are single family residential as well within the Windridge Estates, Country Lake Estates, and Deepwood subdivisions. Windridge Estates and Country Lake Estates subdivisions are zoned “R-1/PEU” Residence District with a Planned Environmental Unit and the Deepwood subdivision is zoned “NU” Non-Urban District.
- West:** The properties to the west are single-family attached dwellings within the Arbors at Wildhorse subdivision which is zoned “PUD” Planned Unit Development and a church zoned “NU” Non-Urban District.

STAFF ANALYSIS

The subject site is located within Ward 4 of the City of Chesterfield. The City of Chesterfield Land Use Plan indicates this parcel is within the Residential Single-Family land use designation and has a minimum one (1) acre density requirement. Proposed uses and density of the development are therefore compliant with the Land Use Plan. This subject site is not located in any sub-area identified by the Comprehensive Plan; therefore there are no additional development guidelines for this site.

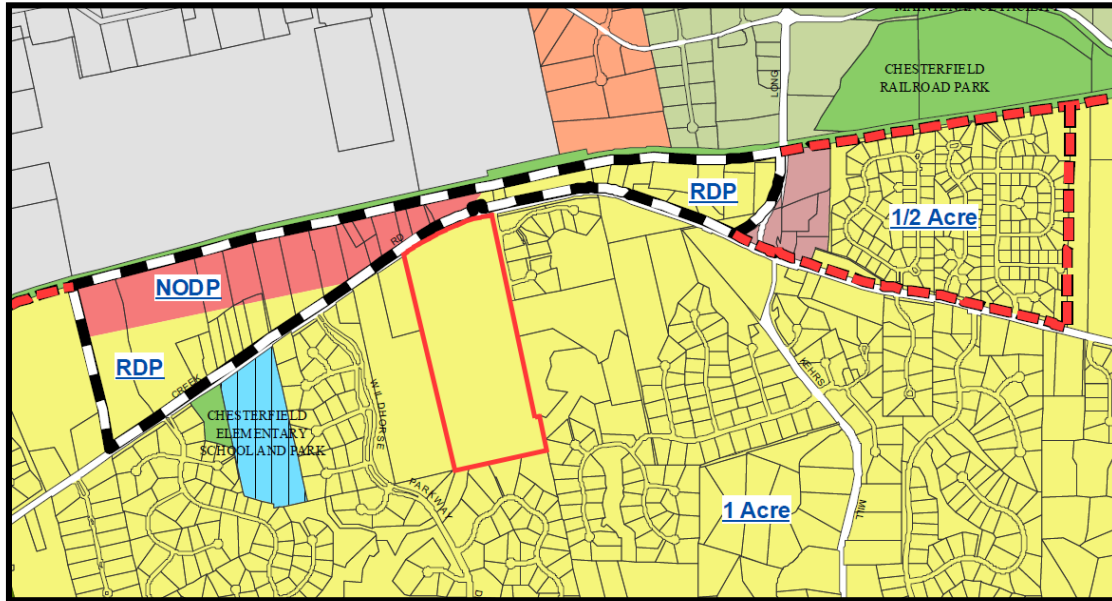


Figure 2: Comprehensive Land Use Plan

In addition to complying with the Residential Single-Family land use designation, a proposed development should be in general compliance with the Residential Development Policies. The following is a list of relevant policies within the Comprehensive Plan:

- **2.1.5 Provide Buffer for Existing Residential Development** - New higher density residential development and non-residential development adjacent to existing residential subdivisions should provide for a substantial landscape buffer and landscaped area between the uses so as not to alter the conditions and environment of existing residential neighborhoods.
- **2.1.6 Reinforce Existing Residential Development Pattern** - New residential development should reinforce existing residential neighborhood patterns by continuing to enforce high quality site and subdivision design, layout, and planning practices.
- **2.1.9 Encourage Planned Residential Development** - Planned residential developments that allow for innovative and flexible site planning, preservation of open space, and a variety of housing opportunities should be encouraged.

- **2.1.12 Residential Subdivision Access** - Residential developments should have more than one (1) access route into and out of the development site or subdivision in order to provide adequate service ability to emergency vehicles. ‘Cut-through’ of non-residential traffic should be discouraged.
- **2.3 Homes in West Sub-Area** - New residential development west of Wilson Road generally should consist of single-family homes.

Zoning

As previously mentioned, the subject site is zoned “PUD” Planned Unit Development and is governed by Ordinance 2869. The proposed plans comply with the development criteria contained within the site-specific ordinance by providing forty-seven (47) single family detached homes. The proposed lots vary between the established minimum of 22,000 square feet and 28,511 square feet in size. The “PUD” district also includes the following two requirements:

- ***Provision of thirty (30) percent Common Open Space to be displaced throughout the site and not concentrated in one (1) area or contain only that portion of the site that would be considered undevelopable.***

The Petitioner is proposing to provide 20.29 acres of Common Open Space, which represents just over 40% of the site; this significantly exceeds the 30% minimum requirement for Common Open Space. The Common Open Space areas are dispersed throughout the site.

- ***Provision of perimeter buffer of at least thirty (30) feet in width.***

The northern landscape buffer, which fronts along Wild Horse Creek Road, will be 50 feet in width. The eastern and western landscape buffers are to be 30’ in width; all of these buffers are located within common ground areas outside of individual lots. The southern landscape buffer is provided via the existing natural wooded area that will remain as a 7.82 acre greenspace preservation area.

Traffic Access and Circulation

There are two access points proposed for the development; the main entrance off Wild Horse Creek Road and a secondary access off of Deep Forest Drive. Deep Forest Drive is a local public road maintained by the City of Chesterfield and Wild Horse Creek Road is a major arterial maintained by the Missouri Department of Transportation. Three new streets that terminate in two cul-de-sacs are proposed within the subdivision. This project was reviewed by the Missouri Department of Transportation, and although a fifteen (15) foot right-of-way dedication strip is provided for future roadway improvements, no additional improvements were required in conjunction with this Site Development Plan.

The Gateway 61 church abuts a portion of the northwestern perimeter of the proposed development. A direct access to the Gateway 61 church property is currently provided from Wild Horse Creek Road; however, as shown on the Site Development Plan for the Arbors at Wilmas Farm development, a 30 foot wide access easement to the Gateway 61 property is being provided. This will permit for a singular shared access point from Wild Horse Creek Road if the Gateway 61 church pursues a zoning map amendment at a future point in time.

Landscaping

A Landscape Plan has been submitted showing the proposed street trees, landscape buffers, and landscape islands to be installed throughout the site. The site specific "PUD" ordinance for this site requires a 50' wide landscape buffer along Wild Horse Creek Road. A 30' wide landscape buffer is required along the eastern, western, and southern perimeters of the site, with the southern landscape buffer requirement being satisfied by the greenspace preservation area. The 30' wide eastern and western landscape buffers are outside of the lots; however, the Metropolitan Sewer District is requiring that these buffers be expanded to 50' in width in order to meet water quality requirements. As such, a portion of this buffer is located within an easement on private lots; however, no portion of this required landscape buffer is located within the buildable area of the lots. As noted on the plans, the HOA is required to maintain this area, and the subdivision indentures will contain maintenance information and requirements.

The proposal also features plantings located throughout the centralized common ground area, cul-de-sacs, and entrance median. The street trees provided along the internal road and Wild Horse Creek Road also meet all City requirements.

Tree and Natural Area Preservation

The City requires that 30% of the existing tree canopy be preserved. Of the 10.9 acres of existing tree canopy, the developer is proposing to preserve 9.6 acres which represents 88% of the existing canopy. This greatly exceeds the City's minimum tree preservation requirements. The majority of the preserved trees are located in the southern woodland area with additional trees being preserved along the western property line as well as a small grouping in the northeastern portion of the site.

As mentioned previously, the southern portion of the site is being maintained in its natural state as a 7.82 acre greenspace preservation area, which will preserve the natural slopes and creek.

Lighting

The plan proposes street lights along the internal drives and within cul-de-sacs as required by City Code. The proposed street lights are the Early American style Ameren UE approved light fixture which meet all City Code requirements. The light will not be less than 16' above grade.

Three dusk-to-dawn street lights are proposed to be mounted on existing utility poles along Wild Horse Creek Road. These fixtures are also Ameren UE approved.

Architectural Elevations

Two separate developers, McBride & Sons Homes and Claymont Estates, LLC, will be constructing homes within the Arbors at Wilmas Farm development. Each developer has submitted two different floor plan models each for a total of four architectural elevations. Staff has reviewed each of the proposed elevations for compliance with the Architectural Review Standards and found that the elevations feature a variety of architectural styles and all utilize durable, high quality materials. The primary exterior materials proposed include brick, stone, architectural shingles, and siding (vinyl and hardie board siding).

The principal façade includes the most variation through materials and the use of architectural elements that offer various setbacks to avoid a monotonous, flat elevation. However, a note has been added to the architectural elevations specifying that the homes on lots visible from roadways will feature rear and side façades that have been designed to include multiple materials in order to be compatible with the principal façade. Four architectural elevations are included in the packet for Planning Review and approval; these elevations represent the architectural standard for this development and portray a range from a base model to an enhanced model. This will permit for customization of each home, which occurs at the time of sale of the lot and subsequent MZA application.

Community Amenities

The Common Open Space areas which are dispersed throughout the site include amenities such as a recreation area, a children’s playground, and a sports field. Each of these amenities will be connected via a walking trail. The trail features multiple linkages to the sidewalks within the proposed development, allowing easy access for homeowners throughout the subdivision.

DEPARTMENT INPUT

Staff has reviewed the Site Development Plan, Landscape Plan, Tree Preservation Plan, Tree Stand Delineation, and Architectural Elevations and has found the proposal to be in compliance with the site specific ordinance, the Comprehensive Plan, and all City Code requirements. Staff recommends approval of the proposal as presented.

MOTION

The following options are provided to the Planning Commission for consideration relative to this application:

- 1) “I move to approve (or deny) the Site Development Plan, Landscape Plan, Tree Preservation Plan, Tree Stand Delineation, and Architectural Elevations for the Arbors at Wilmas Farm subdivision.

- 2) “I move to approve the Site Development Plan, Landscape Plan, Tree Preservation Plan, Tree Stand Delineation, and Architectural Elevations for the Arbors at Wilmas Farm subdivision, with the following conditions...” (Conditions may be added, eliminated, altered or modified)

CC: Aimee Nassif, Planning and Development Services Director

Attachments: Site Development Plan
Landscape Plan
Tree Preservation Plan
Tree Stand Delineation
Architectural Elevations

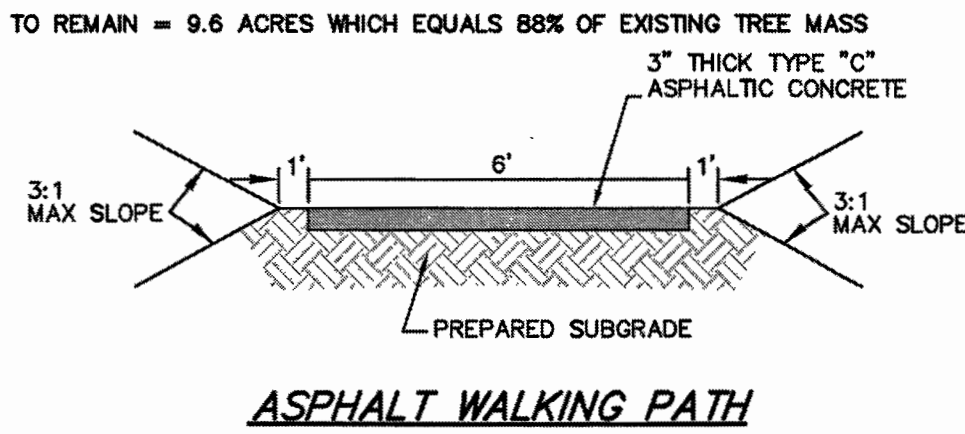
GENERAL NOTES:

- THIS SITE IS IN THE FOLLOWING DISTRICTS:
METROPOLITAN ST. LOUIS SEWER DISTRICT
MONARCH FIRE PROTECTION DISTRICT
ROCKWOOD R-6 SCHOOL DISTRICT
- THIS SITE IS IN THE FOLLOWING UTILITY SERVICE AREAS:
MISSOURI AMERICAN WATER COMPANY
AMEREN UE
AT&T
LACLEDE GAS COMPANY
CHARTER COMMUNICATIONS
- SANITARY SEWER CONSTRUCTION AND CONNECTIONS SHALL BE AS APPROVED BY THE METROPOLITAN ST. LOUIS SEWER DISTRICT AND IN ACCORDANCE WITH THE STANDARD CONSTRUCTION SPECIFICATIONS FOR SEWERS AND DRAINAGE FACILITIES.
- STORM WATER SYSTEM SHALL BE DESIGNED PURSUANT TO THE CITY OF CHESTERFIELD AND METROPOLITAN ST. LOUIS SEWER DISTRICT REQUIREMENTS AND DISCHARGE AT AN ADEQUATE NATURAL DISCHARGE POINT.
- NO SLOPES SHALL EXCEED 3 (HORIZONTAL) TO 1 (VERTICAL), UNLESS JUSTIFIED BY GEOTECHNICAL REPORT WHICH HAS BEEN ACCEPTED/APPROVED BY THE CITY OF CHESTERFIELD. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE APPROVAL OF SLOPES IN EXCESS OF 3:1. STEEP SLOPES ARE SUBJECT TO THE REVIEW AND APPROVAL OF THE CITY OF CHESTERFIELD. REVIEW OF THE PROPOSED STEEP SLOPE WILL BE CONCURRENT WITH THE REVIEW OF THE GRADING PERMIT OR IMPROVEMENT PLANS FOR THE PROJECT.
- THE LOCATION OF STORM AND SANITARY SEWER IMPROVEMENTS ARE APPROXIMATE ONLY. ACTUAL LOCATION SHALL BE DETERMINED BY FIELD CONDITIONS AND SHALL BE INDICATED ON THE IMPROVEMENT PLANS.
- GRADING SHALL BE PER CITY OF CHESTERFIELD STANDARDS. SOURCE OF TOPOGRAPHY FIELD SURVEY AND LIDAR TOPOGRAPHIC DATA.
- STREET TREES AND STREET LIGHTS (UNLESS OTHERWISE DEPICTED) SHALL BE PER CITY OF CHESTERFIELD STANDARDS.
- NEAREST MAJOR INTERSECTION IS WILDHORSE CREEK ROAD AND LONG ROAD.
- ALL SIDEWALKS SHALL BE CONSTRUCTED TO ADA AND THE CITY OF CHESTERFIELD STANDARDS.
- EXISTING OWNERS: WILD HORSE CREEK FARMS INVESTMENTS, LP
129 WINDY ACRES ESTATES DRIVE
BALLWIN, MO 63021
- SITE TO CONFORM TO THE CITY OF CHESTERFIELD TREE REQUIREMENTS.
- MAXIMUM HEIGHT OF THE RESIDENCES WILL NOT EXCEED 50 FEET.
- SITE PLAN WILL MEET ALL CITY OF CHESTERFIELD REQUIREMENTS.
- LANDSCAPE EASEMENTS ARE ESTABLISHED AS A PROTECTED AREA FOR VEGETATIVE LANDSCAPING ONLY. STRUCTURES OF ANY SIZE, WHETHER TEMPORARY OR PERMANENT, ARE NOT PERMITTED WITHIN LANDSCAPE EASEMENTS. TRAILS SHALL BE ALLOWED WITHIN THE LANDSCAPE EASEMENTS. LANDSCAPING AS APPROVED BY THE CITY OF CHESTERFIELD DURING SITE PLAN REVIEW IS REQUIRED TO BE MAINTAINED AND PRESERVED INDEFINITELY BY THE RESIDENT OR A HOME OWNERS ASSOCIATION. FAILURE TO MAINTAIN OR PRESERVE LANDSCAPE EASEMENTS MAY RESULT IN INSPECTION AND ISSUANCE OF FINES BY THE CITY OF CHESTERFIELD. THIS LANGUAGE SHALL BE INCLUDED ON ALL PLANS, PLATS, ORDINANCES, SUBDIVISION INDENTURES, AND OTHER APPROPRIATE (WRITTEN) DOCUMENTS FOR THIS DEVELOPMENT.
- THIS PROJECT IS APPROXIMATELY 2,000 FEET AWAY FROM SPIRIT'S RUNWAY 28L AND THEREFORE AIRCRAFT NOISE WILL BE NOTICEABLE AT THE SITE ON A DAILY BASIS.
- ALL PROPOSED UTILITIES SHALL BE INSTALLED UNDERGROUND.
- ANY MONUMENT SIGNS PROPOSED FOR THE DEVELOPMENT REQUIRES A SEPARATE APPROVAL PROCESS THRU THE CITY.
- STREETS SHALL BE PUBLIC 26' WIDE PAVEMENT IN 50' WIDE R.O.W.
- THE DEVELOPER IS RESPONSIBLE FOR MAINTAINING THE TEMPORARY WALK-OUT TERRACES FOR WEED AND EROSION CONTROL PRIOR TO FINAL HOME CONSTRUCTION.
- THE BUFFER/PRESERVATION AREA SHOWN HEREON AS REQUIRED BY MSD WILL BE MAINTAINED BY THE ARBORS AT WILMAS FARMS HOMEOWNER ASSOCIATION.

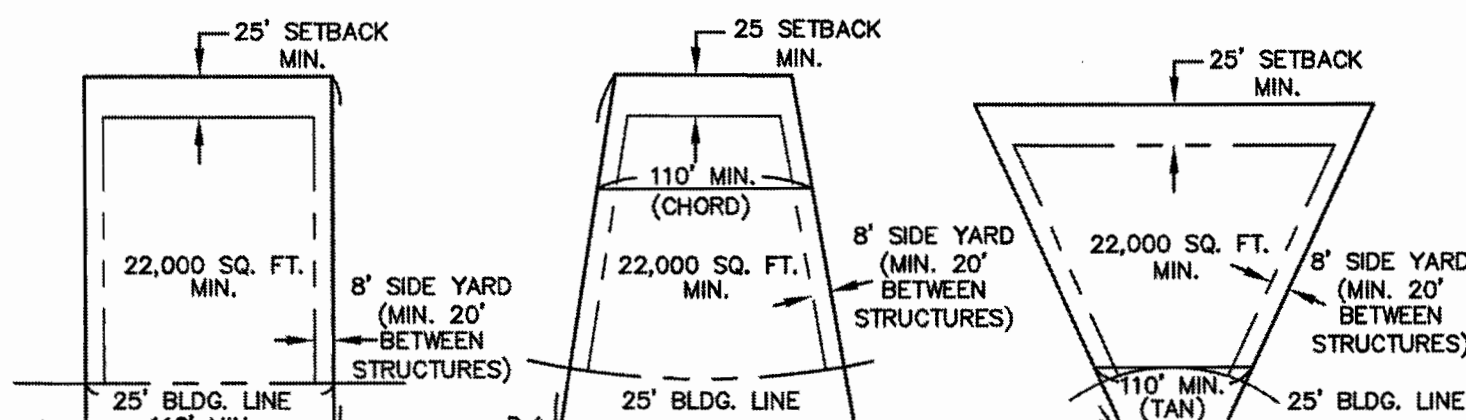
SITE INFORMATION

LOCATOR NUMBERS: 18V330035
 EXISTING ZONING: PUD (PLANNED UNIT DEVELOPMENT)
 GROSS AREA OF SITE: 50.5 ACRES
 DENSITY CALCULATIONS: 50.5 AC X 43,560 SQ.FT./AC. = 50 LOTS ALLOWED
 (43,560 SQ.FT./LOT)
 AVERAGE LOT SIZE: 23,012 S.F.
 MAXIMUM NUMBER OF UNITS ALLOWED: 50
 NUMBER OF UNITS PROPOSED: 47
 LOT DEVELOPMENT REQUIREMENTS:

FRONT YARD SETBACK: 25'
 SIDE YARD SETBACK: 8' (MIN. 20' BETWEEN STRUCTURES)
 REAR YARD SETBACK: 25'
 MIN. LOTS SIZE: 22,000 SQ. FT.
 NUMBER OF PARKING SPACES REQUIRED: TWO PER UNIT = 94 SPACES
 NUMBER OF PARKING SPACES PROVIDED: 94
 PROPOSED STREETS SHALL BE PUBLIC 50' W. R.O.W. WITH 26' W. P.V.M. AND BUILT TO THE CITY OF CHESTERFIELD STANDARDS.
 RIGHT OF WAY AREA = 4.64 ACRES
 MOODY R/W DEDICATION = 0.34 ACRES
 COMMON GROUND = 0.25 ACRES WHICH EQUALS 0.5% OF THE SITE
 COMMON OPEN SPACE = 20.29 ACRES WHICH EQUALS 40.2% OF THE SITE
 FLOOD MAP: FEMA PANEL 29189C0145K DATED: FEB. 4, 2015
 TOTAL EX TREE AREA = 10.9 ACRES
 TOTAL TREE AREA TO REMAIN = 9.6 ACRES WHICH EQUALS 88% OF EXISTING TREE MASS



ASPHALT WALKING PATH
(NOT TO SCALE)

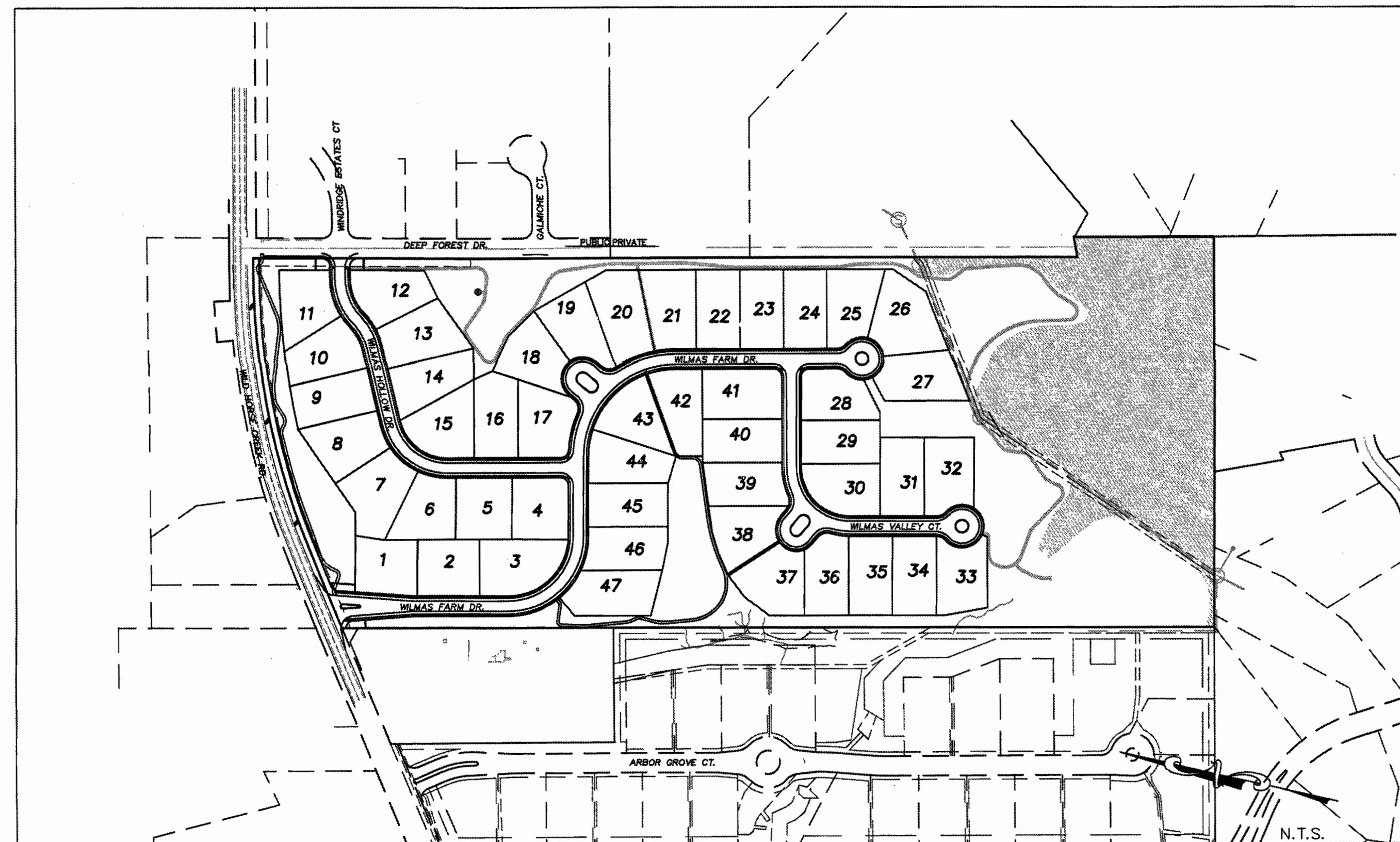


TYPICAL LOTS
(NOT TO SCALE)

The Arbors at Wilmas Farm

A TRACT OF LAND BEING PART OF LOT 21 OF R.H. STEVENS FARM
 RECORDED IN PLAT BOOK 7 PAGE 37 OF THE ST. LOUIS CITY (FORMER COUNTY) RECORDS,
 LOCATED IN U.S. SURVEYS 122, 150, 102 AND 419, TOWNSHIP 45 NORTH, RANGE 3 EAST,
 CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI

SITE DEVELOPMENT PLAN



KEY MAP

PROPERTY DESCRIPTION

A TRACT OF LAND BEING PART OF LOT 21 OF R.H. STEVENS FARM RECORDED IN PLAT BOOK 7 PAGE 37 OF THE ST. LOUIS CITY (FORMER COUNTY) RECORDS, LOCATED IN U.S. SURVEYS 122, 150, 102 AND 419, TOWNSHIP 45 NORTH, RANGE 3 EAST, CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING AT AN IRON PIPE FOUND FOR THE NORTHEAST CORNER OF LOT 2 MARY SCHAEFFER ESTATE ADJUSTMENT AS RECORDED IN PLAT BOOK 352 PAGE 809 OF THE ABOVE MENTIONED RECORDER'S OFFICE, ALSO BEING ON THE SOUTH RIGHT OF WAY LINE OF WILDHORSE CREEK (60' W.) ROAD; THENCE ALONG THE SOUTH LINE OF SAID WILDHORSE CREEK ROAD THE FOLLOWING COURSES AND DISTANCES: NORTH 55°15'36" EAST, 205.89 FEET; ALONG AN ARC TO THE RIGHT HAVING A RADIUS OF 1880.08 FEET, AN ARC LENGTH OF 730.84 FEET AND A CHORD BEARING AND DISTANCE OF NORTH 68°23'46" EAST, 728.25 FEET; NORTH 77°32'38" EAST, 33.09 FEET TO THE INTERSECTION OF THE SOUTH RIGHT OF WAY LINE OF WILDHORSE CREEK ROAD AND THE WEST RIGHT OF WAY LINE OF DEEP FOREST (50' W.) DRIVE; THENCE ALONG THE WEST RIGHT OF WAY LINE OF SAID DEEP FOREST DRIVE, SOUTH 12°02'02" EAST, 544.62 FEET; THENCE CONTINUING ALONG SAID WEST RIGHT OF WAY LINE AND THE WEST LINE OF LOTS 2 AND 3 OF DEEP WOOD AS RECORDED IN PLAT BOOK 170 PAGE 24 OF THE ABOVE MENTIONED RECORDER'S OFFICE, SOUTH 12°28'58" EAST, 1524.13 FEET TO THE SOUTHWEST CORNER OF SAID LOT 3; THENCE ALONG THE SOUTH LINE OF SAID LOT 3, NORTH 67°20'48" EAST, 50.80 FEET TO THE NORTHWEST CORNER OF COMMON GROUND OF COUNTRY LAKE ESTATES AS RECORDED IN PLAT BOOK 345 PAGE 41 OF THE ABOVE MENTIONED RECORDER'S OFFICE; THENCE ALONG THE WEST LINE OF SAID COMMON GROUND AND THE WEST LINE OF LOT 37, SOUTH 12°28'58" EAST, 351.06 FEET TO AN OLD STONE FOUND FOR THE SOUTHEAST CORNER OF U.S. SURVEY 150 ALSO BEING THE NORTHEAST CORNER OF COMMON GROUND OF WILDHORSE VILLAGE B LOT 1 BOUNDARY ADJUSTMENT PLAT AS RECORDED IN PLAT BOOK 352 PAGE 879 OF THE ABOVE MENTIONED RECORDER'S OFFICE; THENCE ALONG THE NORTH LINE OF SAID COMMON GROUND, AND THE NORTH LINE OF ADJUSTED LOT 1 AND THE NORTH LINE OF LOT 603, COMMON GROUND AND LOT 347 OF WILDHORSE VILLAGE A AS RECORDED IN PLAT BOOK 310 PAGE 14 OF THE ABOVE MENTIONED RECORDER'S OFFICE, SOUTH 77°40'33" WEST, 985.34 FEET TO AN IRON PIPE FOUND FOR THE SOUTHEAST CORNER OF COMMON GROUND OF THE ARBORS AT WILDHORSE CREEK AS RECORDED IN PLAT BOOK 360 PAGE 220 OF THE ABOVE MENTIONED RECORDER'S OFFICE; THENCE ALONG THE EAST LINE OF SAID COMMON GROUND AND THE EAST LINE OF THE ABOVE MENTIONED LOT 2 OF MARY SCHAEFFER ESTATE ADJUSTMENT, NORTH 12°22'00" WEST, 2190.06 FEET TO THE POINT OF BEGINNING AND CONTAINING 2,200,997 SQUARE FEET (50,527.9 ACRES), MORE OR LESS, ACCORDING TO A SURVEY BY THE STERLING COMPANY DURING THE MONTH OF OCTOBER, 2013 UNDER ORDER NUMBER 13-08-285
 WILD HORSE CREEK FARMS INVESTMENTS, L.P., THE OWNERS OF THE PROPERTY SHOWN ON THIS PLAN FOR AND IN CONSIDERATION OF BEING GRANTED A PERMIT TO DEVELOP PROPERTY UNDER THE PROVISIONS OF THE CITY OF CHESTERFIELD UNIFIED DEVELOPMENT CODE SECTION 03-04, FOR P.U.D.'S OF THE CITY OF CHESTERFIELD ORDINANCE #2869, DO HEREBY AGREE AND DECLARE THAT SAID PROPERTY FROM THE DATE OF RECORDING THIS PLAN SHALL BE DEVELOPED ONLY AS SHOWN THEREON, UNLESS SAID PLAN IS AMENDED BY THE PLANNING COMMISSION, OR VOIDED OR VACATED BY ORDER OF ORDINANCE OF THE CITY OF CHESTERFIELD COUNCIL.

STATE OF MISSOURI
 COUNTY OF ST. LOUIS

ON THIS _____ DAY OF _____ A.D., 20____, BEFORE ME PERSONALLY APPEARED _____ TO ME KNOWN, WHO, BEING BY ME SWORN IN, DID SAY THAT HE/SHE IS THE _____ OF WILD HORSE CREEK FARMS INVESTMENTS, L.P., A CORPORATION IN THE STATE OF MISSOURI, AND THAT THE SEAL AFFIXED TO THE FOREGOING INSTRUMENTS IS THE CORPORATE SEAL OF SAID CORPORATION, AND THAT SAID INSTRUMENT WAS SIGNED ON BEHALF OF SAID CORPORATION BY AUTHORITY OF ITS BOARD OF DIRECTORS, AND THE SAID _____ ACKNOWLEDGED SAID INSTRUMENT TO BE THE FREE ACT AND DEED OF SAID CORPORATION.

IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY NOTARIAL SEAL, THE DAY AND YEAR FIRST ABOVE WRITTEN.

MY COMMISSION EXPIRES _____

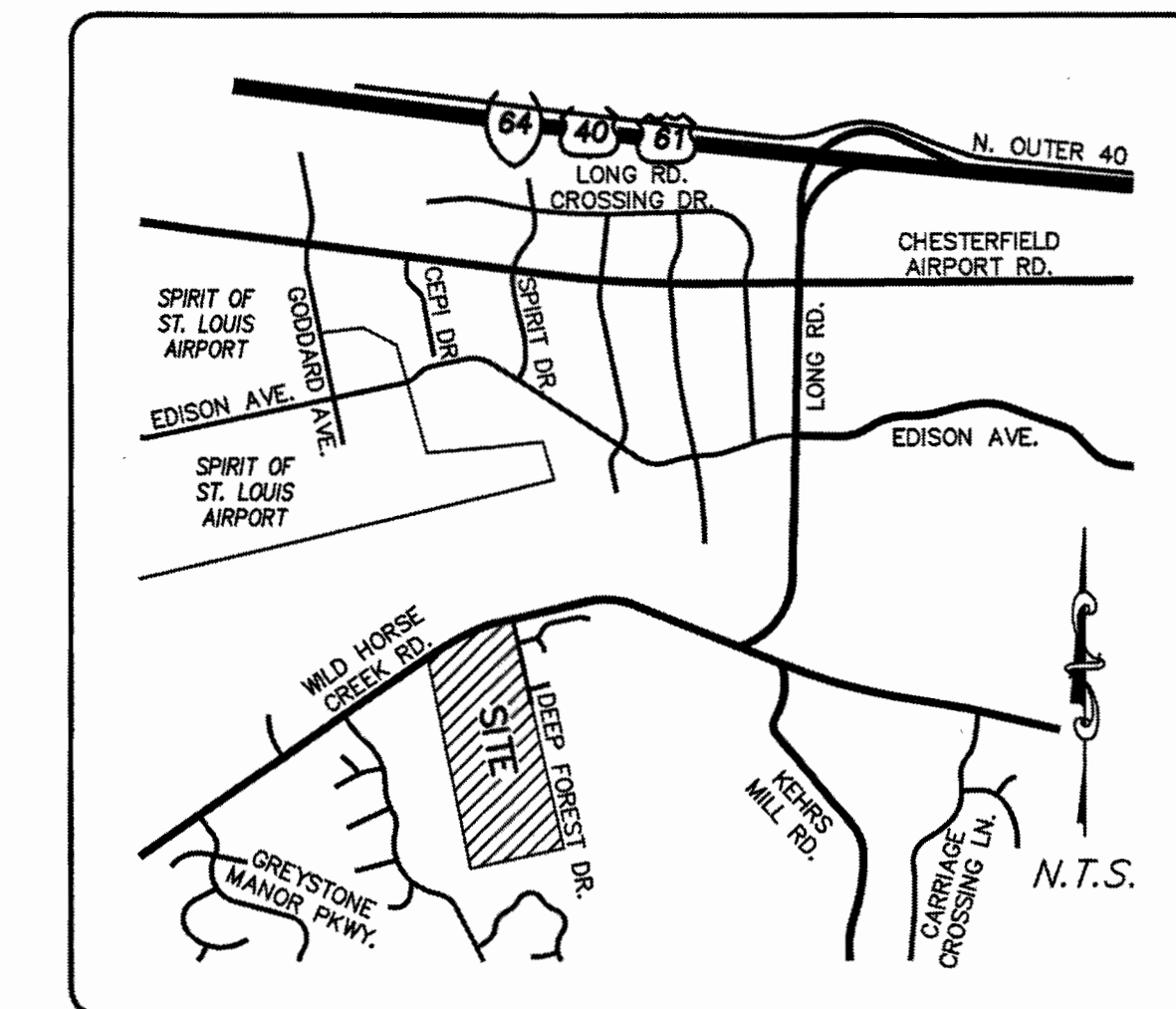
OWNER SIGNATURE _____
 OWNER PRINTED NAME _____

NOTARY PUBLIC

THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE CITY OF CHESTERFIELD PLANNING COMMISSION AND DULY VERIFIED ON THE _____ DAY OF _____ 20____ BY THE CHAIRPERSON OF SAID COMMISSION, AUTHORIZING THE RECORDING OF THIS SITE PLAN PURSUANT TO CHESTERFIELD ORDINANCE NUMBER 2869, AS ATTESTED TO BY THE PLANNING AND DEVELOPMENT SERVICES DIRECTOR AND THE CITY CLERK.

PLANNING AND DEVELOPMENT SERVICES DIRECTOR _____

CITY CLERK _____

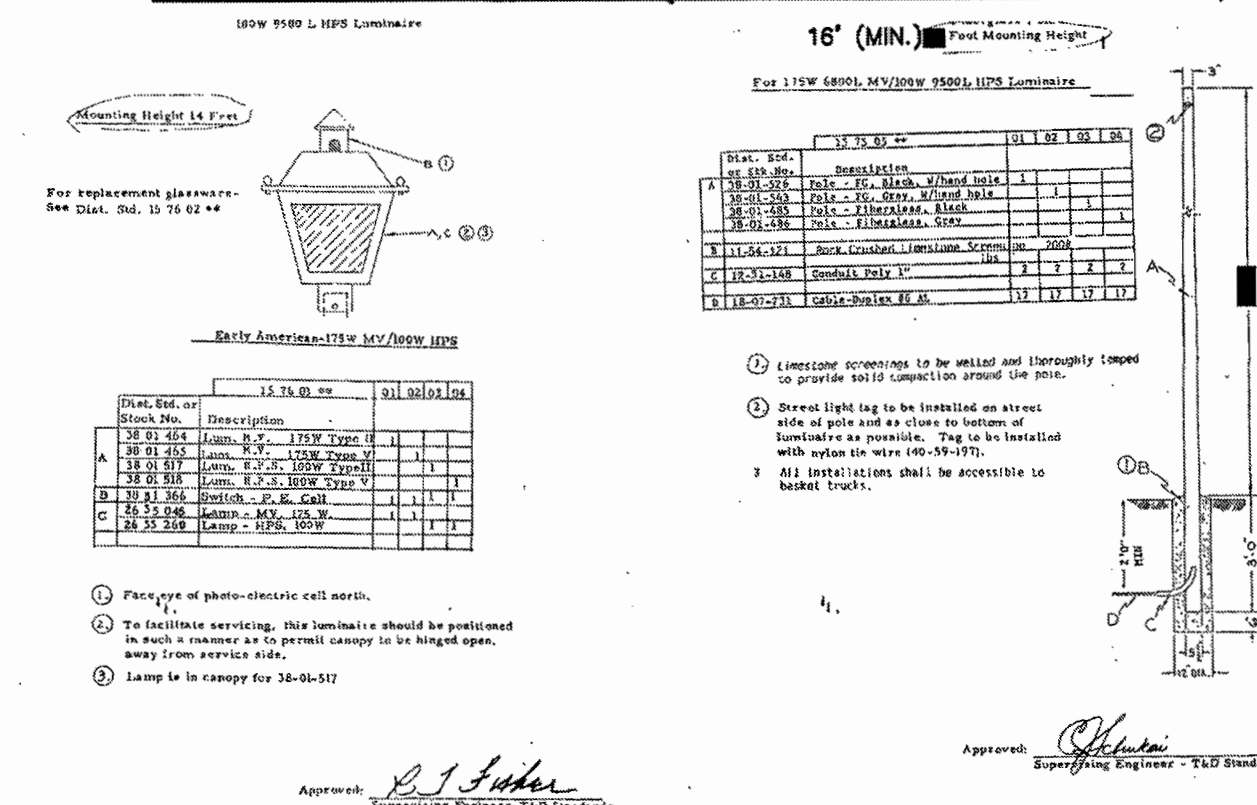


LOCATION MAP
N.T.S.

PROJECT ZIP CODE: 63005

EXISTING		PROPOSED	
542	CONTOURS	(-40)	
X536	SPOT ELEVATIONS	338.0	
---	CENTER LINE	---	
---	BUILDINGS, ETC.	---	
---	TREE LINE	---	
x	FENCE	---	
---	STORM SEWERS	---	
---	SANITARY SEWERS	---	
CB	CATCH BASIN	CB	
AI	AREA INLET	AI	
GI	GRATED INLET	GI	
SM	STORM MANHOLE	SM	
SM	SANITARY MANHOLE	SM	
FE	FLARED END SECTION	FE	
---	CLEANOUT	---	
---	LATERAL CONNECTION	---	
---	UTILITY OR POWER POLE	---	
---	FIRE HYDRANT	---	
---	TEST HOLE	---	
---	PAVEMENT	---	
2" G	GAS MAIN & SIZE	(2" G)	
6" W	WATER MAIN & SIZE	(6" W)	
T	TELEPHONE	(T)	
E	ELECTRIC (U) UNDERGROUND	(E)	
OHW	ELECTRIC (O) OVERHEAD	(OHW)	
E	FLOW LINE	(E)	
---	TO BE REMOVED	TBR	
TC	TOP OF CURB	(TC)	
---	SWALE	---	
---	LIGHT STANDARD	---	

LIGHT STANDARD DETAIL (INTERNAL TO SUBDIVISION)



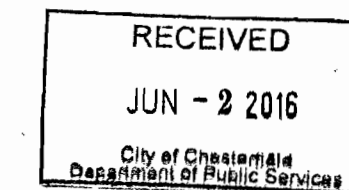
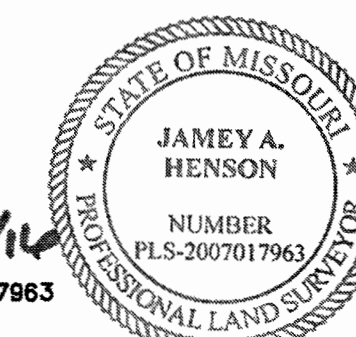
BENCHMARK INFORMATION

COUNTY BENCHMARK: 11-1 ELEVATION = 541.50' (NAVD 88)
 "STANDARD TABLE" STAMPED 96-75 S.L.C. SET IN WEST END OF NORTH HEADWALL OF SMALL DRAIN CROSSING UNDER WILD HORSE CREEK ROAD; 0.4 MILE EAST OF THE CHESTERFIELD SCHOOL, 75' EAST OF GRAVEL DRIVE AT #17531 WILD HORSE CREEK ROAD.
 SITE BENCHMARK: ELEVATION = 542.81' (NAVD 88)
 FOUND IRON PIPE WITH CAP FOUND AT THE NORTHWEST CORNER OF THE SUBJECT TRACT.

SURVEYORS CERTIFICATION

THIS IS TO CERTIFY THAT WE HAVE, DURING THE MONTH OF MAY, 2015, AT THE REQUEST OF WILMAS FARM, L.L.C., PREPARED A PRELIMINARY DEVELOPMENT PLAN OF THE ARBORS AT WILMAS FARM, A TRACT OF LAND BEING PART OF LOT 21 OF R.H. STEVENS FARM RECORDED IN PLAT BOOK 7 PAGE 37 OF THE ST. LOUIS CITY (FORMER COUNTY) RECORDS, LOCATED IN U.S. SURVEYS 122, 150, 102 AND 419, TOWNSHIP 45 NORTH, RANGE 3 EAST, CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI. THIS PLAN IS NOT A SURVEY AND DOES NOT MEET THE "MISSOURI MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS" (10 CSR 30-2 AND 4 CSR 30-16 EFFECTIVE DATE DECEMBER 30, 1994).

THE STERLING COMPANY



GEOTECHNICAL STATEMENT

JACOBI GEOTECHNICAL HAS PROVIDED GEOTECHNICAL SERVICES FOR THE PROJECT PROPOSED. A GEOTECHNICAL INVESTIGATION WAS CONDUCTED DURING SEPTEMBER, 2015. THE DEVELOPMENT PROPOSED HEREON. OUR FINDINGS INDICATE THAT THE EARLY RELATED ASPECTS ARE SUITABLE FOR THE DEVELOPMENT PROPOSED PURSUANT TO THE GEOTECHNICAL RECOMMENDATIONS SET FORTH IN OUR GEOTECHNICAL REPORT DATED SEPTEMBER, 2015.



SHEET INDEX

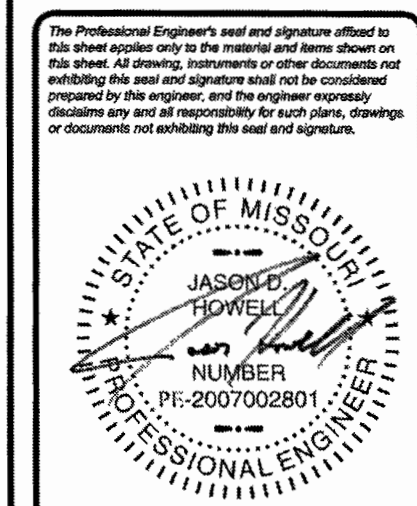
- 1.1 COVER SHEET
- 2.1-2.2 SITE DEVELOPMENT PLAN
- 3.1 ORDINANCE SHEET
- 4.1 NATURAL RESOURCE PLAN
- L1-L3 LANDSCAPE PLAN
- TSD TREE STAND DELINEATION
- TPP TREE PROTECTION PLAN

ISSUE	REMARKS/DATE
1	9-14-15 Initial Submittal
2	10-23-15 Rev. per Monarch Fire & MSD
3	11-3-15 Rev. per City Comments
4	12-23-15 Rev. per City Comments
5	1-20-16 Rev. per City Comments
6	2-05-16 Rev. per City Comments
7	3-07-16 Revised per City Comments
8	3-21-16 Revised per City Comments
9	

WILMAS FARM, L.L.C.
 5091 New Baumgartner Road
 St. Louis, Missouri 63129
 Ph: (314) 487-8617

THE STERLING COMPANY
 ENGINEERS & SURVEYORS
 5055 New Baumgartner Road
 St. Louis, Missouri 63129
 Ph: 314-487-0440 Fax: 314-487-8944
 www.sterling-eng-survey.com
 Corporate Certificate of Authority #001348

The Arbors at Wilmas Farm
 Chesterfield, Missouri
 SITE DEVELOPMENT PLAN



Date: 03/21/2016
 JASON D. HOWELL
 License No. 2007002801
 CIVIL ENGINEER
 Job Number: 15-03-091
 Date: 03/21/2016
 Designed: JH Sheet
 Drawn: PT 1.1
 Checked: JH SDP

MSD Base Map 18-V

N/F
INVESTMENT CONSULTANT GROUP INC.
D.B. 14761 PG. 2492
LOC.# 18V63-0027
17455 WILD HORSE CREEK RD.

LOT 1
N/F
LOVELESS
JOHN F. & CHRISTINE E.
D.B. 12744 PG. 1528
LOC.# 18V62-0073
1500 (TITLE ITEM #6)
17437 GALMICHE CT.

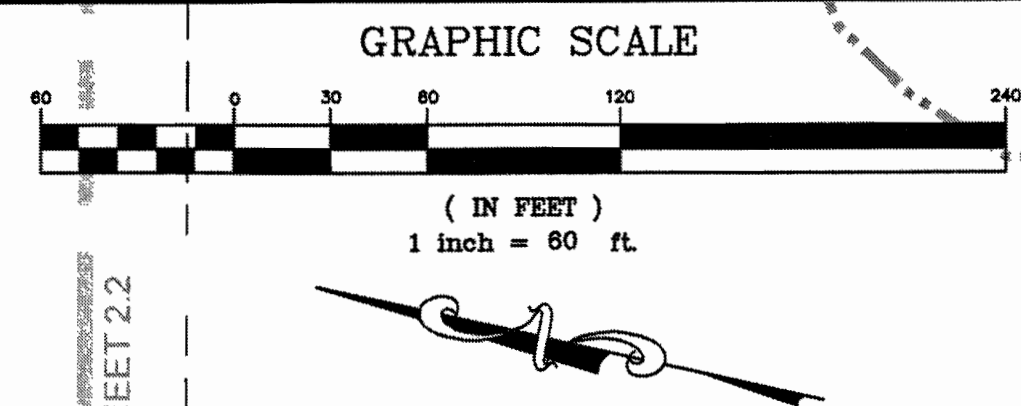
N/F
VESSELL
MICHAEL & CATHI
D.B. 12306 PG. 644
LOC.# 18V61-0062
17436 WINDRIDGE
ESTATES CT.

N/F
ANDERSON
ROBERT T.
D.B. 12402 PG. 1634
LOC.# 18V62-0172
1109 WINDRIDGE
ESTATES LN.

LOT 12
N/F
GALMICHE
JEFFREY V. & DUANNE A.
D.B. 11043 PG. 1090
LOC.# 18V62-0183
17511 GALMICHE CT.

LOT 15
N/F
JONES
JOBIE B.
D.B. 21074 PG. 2205
LOC.# 18V62-0215
17510 GALMICHE CT.

LOT 2
N/F
KENNEDY, MICHAELA
D.B. 16623 PG. 2304
LOC.# 18V62-0051
1122 DEEP FOREST DRIVE

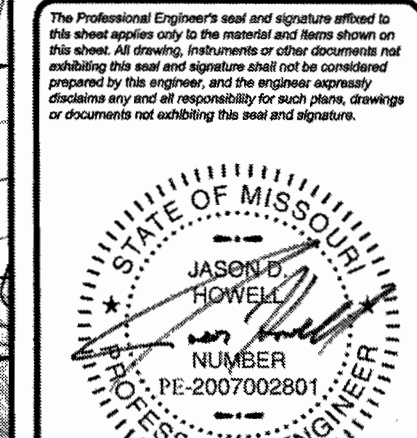


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9	4-05-16 Rev. per City Comments

WILMAS FARM, L.L.C.
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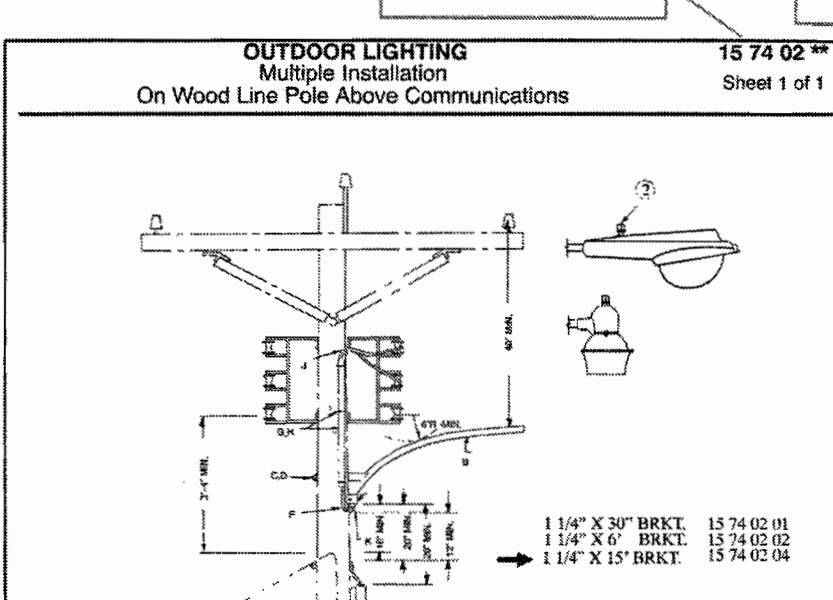
THE STERLING CO.
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Ph 314-487-0440 Fax 314-487-8944
www.sterling-eng-srv.com
Corporate Certificate of Authority #001048

The Arbors at Wilmas Farm
Chestertfield, Missouri
SITE DEVELOPMENT PLAN



Date: 04/05/2016
JASON D. HOWELL
License No. 2007002801
CIVIL ENGINEER

Job Number: 15-03-091
Date: 04/05/2016
Designed: JH Sheet: 2.1
Drawn: PT
Checked: JH SDP



Notes:
1. See Dist. Std. 15.00 01 01 for correct bracket to use.
2. Face eye of photometer north.

Sheet / Sck.	Description	15 74 02	01	02	04
B	30 01 417	Bulk, 8x 11, 1-1/4" x 20"	1	1	1
C	30 01 249	Bulk, 8x 11, 1-1/4" x 20"	1	1	1
D	30 01 700	Bulk, 8x 11, 1-1/4" x 20"	1	1	1
E	30 02 063	Bulk, 8x 11, 1-1/4" x 20"	1	1	1
F	30 02 027	Weather Strips, 2-1/2" x 12"	1	1	1
G	30 02 027	Weather Strips, 2-1/2" x 12"	1	1	1
H	30 02 027	Weather Strips, 2-1/2" x 12"	1	1	1
I	30 02 027	Weather Strips, 2-1/2" x 12"	1	1	1
J	30 02 027	Weather Strips, 2-1/2" x 12"	1	1	1
K	30 02 027	Weather Strips, 2-1/2" x 12"	1	1	1
L	30 02 027	Weather Strips, 2-1/2" x 12"	1	1	1

DISTRIBUTION CONSTRUCTION STANDARDS Ameren ENG:WYV REV. NO. 3 REV. DATE: 01/21/10 Page 15 - 20

DUSK TO DAWN LIGHT DETAIL

N/F
DONALD R. BOWERS
TRUSTEE
D.B. 17925 PG. 1132
LOC.# 18V61-0098
17529 WILD HORSE CREEK RD.

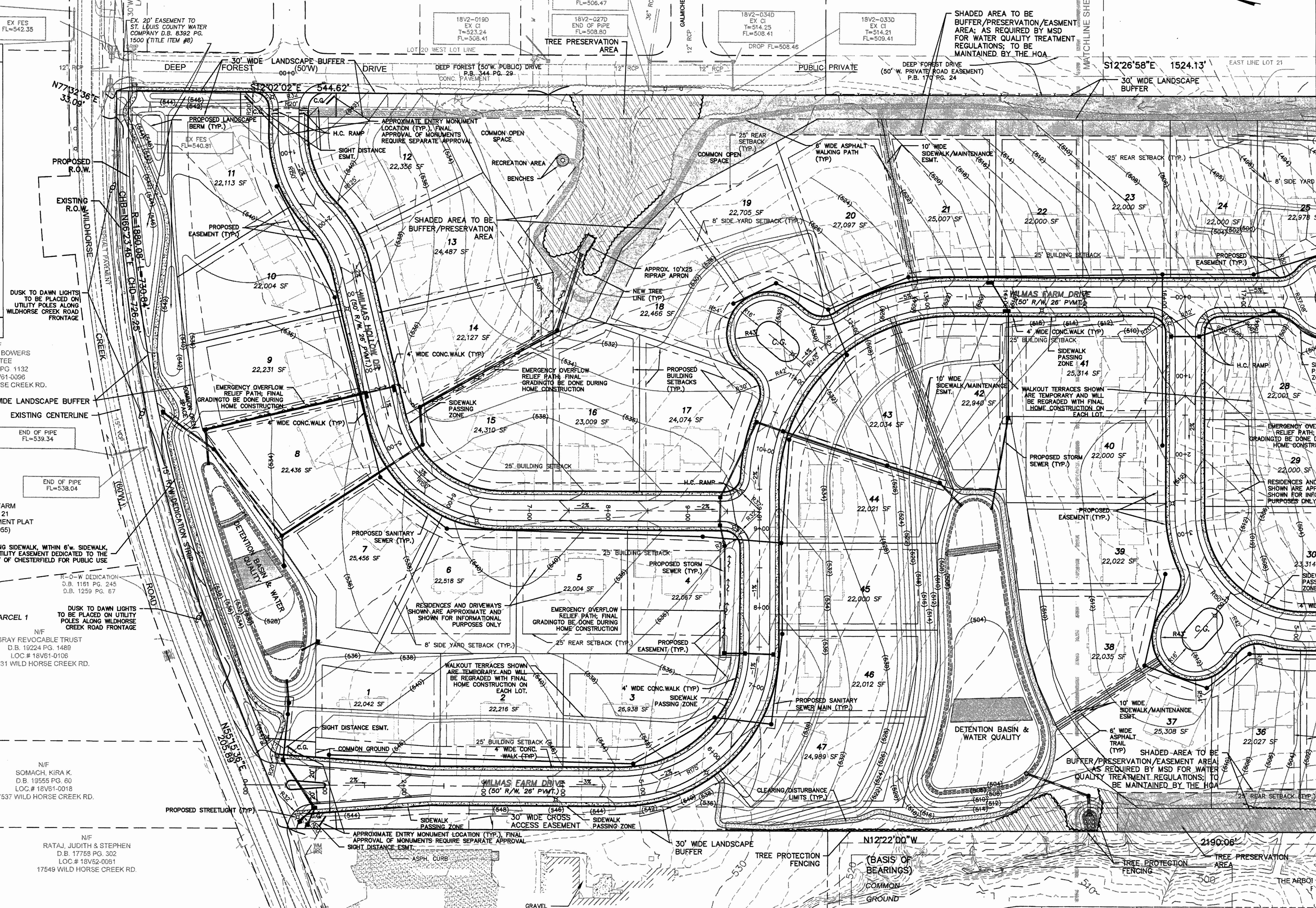
50' WIDE LANDSCAPE BUFFER
EXISTING CENTERLINE

R.H. STEVENS FARM
PART OF LOT 21
BOUNDARY ADJUSTMENT PLAT
(P.B. 353 PG. 955)

N/F
GRAY REVOCABLE TRUST
D.B. 19224 PG. 1489
LOC.# 18V61-0106
17531 WILD HORSE CREEK RD.

N/F
SOMACH, KIRA K.
D.B. 19555 PG. 60
LOC.# 18V61-0018
17537 WILD HORSE CREEK RD.

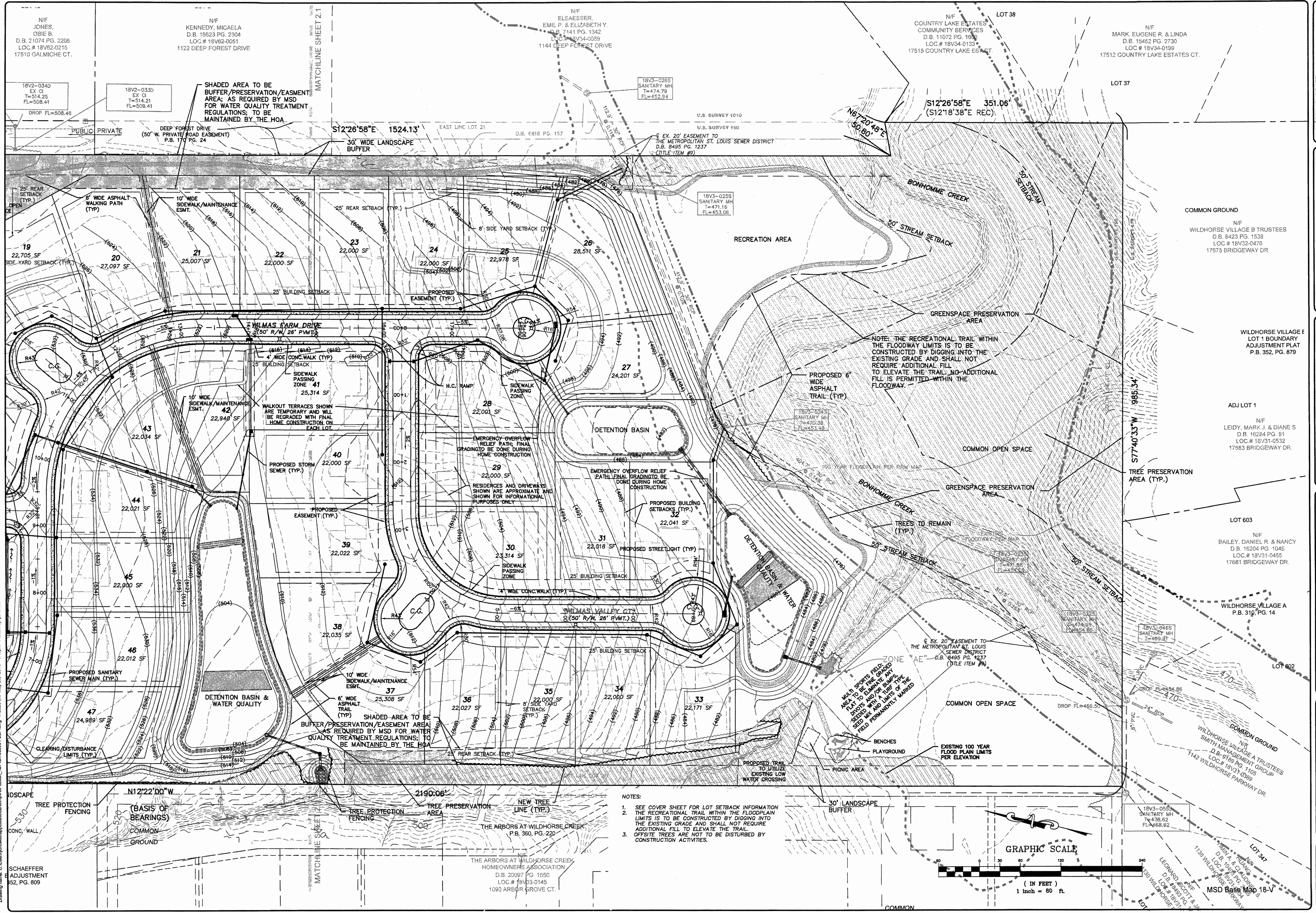
N/F
RATAJ, JUDITH & STEPHEN
D.B. 17759 PG. 302
LOC.# 18V62-0061
17549 WILD HORSE CREEK RD.



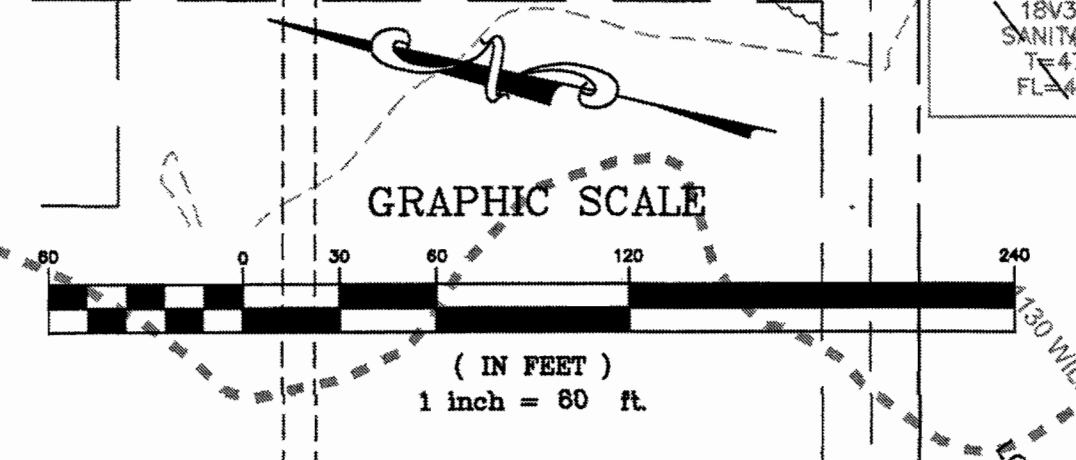
NOTES:
1. SEE COVER SHEET FOR LOT SETBACK INFORMATION
2. OFFSITE TREES ARE NOT TO BE DISTURBED BY CONSTRUCTION ACTIVITIES.

MSD Base Map 18-V
1090 AR

Drawing name: C:\Users\jhowell\appdata\local\temp\1274816150391_SDP.dwg Plotted on: May 28, 2016 - 1:50pm Plotted by: jhowell



- NOTES:
- SEE COVER SHEET FOR LOT SETBACK INFORMATION
 - THE RECREATIONAL TRAIL WITHIN THE FLOODPLAIN LIMITS IS TO BE CONSTRUCTED BY DIGGING INTO THE EXISTING GRADE AND SHALL NOT REQUIRE ADDITIONAL FILL TO ELEVATE THE TRAIL.
 - OFFSITE TREES ARE NOT TO BE DISTURBED BY CONSTRUCTION ACTIVITIES.



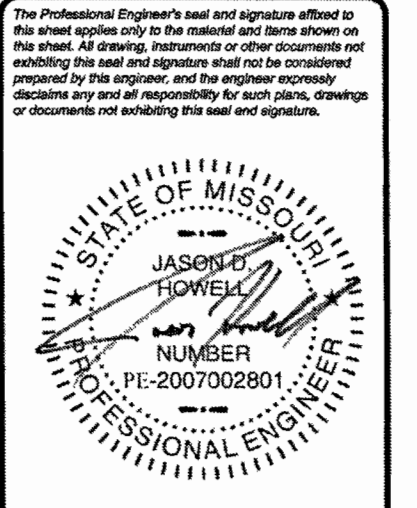
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 Corporate Certificate of Authority #001946

The Arbors at Wilmas Farm
 CHESTERFIELD, MISSOURI
 SITE DEVELOPMENT PLAN



Date: 04/05/2016
 JASON D. HOWELL
 License No. 2007002801
 CIVIL ENGINEER

Job Number: 15-03-091
 Date: 04/05/2016
 Designed: JH Sheet: 2.2
 Drawn: PT
 Checked: JH SDP

Drawing name: C:\Users\jhowell\appdata\local\temp\AutoCAD_Publish_127481503091.SDP.dwg Plotted on: May 26, 2016 - 1:49pm Plotted by: jhowell

AN ORDINANCE AMENDING THE ZONING ORDINANCE OF THE CITY OF CHESTERFIELD BY CHANGING THE BOUNDARIES OF AN "E-1" ESTATE ONE ACRE DISTRICT TO A "PUD" PLANNED UNIT DEVELOPMENT FOR A 50.5279 ACRE TRACT OF LAND LOCATED ON THE SOUTH SIDE OF WILD HORSE CREEK ROAD WEST OF ITS INTERSECTION WITH LONG ROAD AND EAST OF ITS INTERSECTION WITH ARBOR GROVE COURT. (P.Z. 05-2015 ARBORS AT WILMAS FARM (17508 WILD HORSE CREEK ROAD) 18V330035J.

WHEREAS, the petitioner, Wilmas Farm, LLC, by: McBride & Son Acquisitions, LLC has requested a change in zoning from "E-1" Estate One Acre District to "PUD" Planned Unit Development for a 50.5279 acre tract of land located on the south side of Wild Horse Creek Road west of its intersection with Long Road and east of its intersection with Arbor Grove Court; and,

WHEREAS, a Public Hearing was held before the Planning Commission on June 22, 2015; and,

WHEREAS, the Planning Commission, having considered said request recommend approval of the change of zoning; and,

WHEREAS, the Planning and Public Works Committee, having considered said request, recommended approval of the change of zoning; and,

WHEREAS, the City Council, having considered said request voted to approve the change of zoning request.

NOW THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1. City of Chesterfield Unified Development Code and the Official Zoning District Map, which are part thereof, are hereby amended by establishing a "PUD" Planned Unit Development for a 50.5279 acre tract of land located at 17508 Wild Horse Creek Road and as described as follows:

A tract of land being part of Lot 21 of R.H. Stevens Farm recorded in Plat Book 7 Page 87 of the St. Louis City (Former County) records, located in U.S. Surveys 122, 150, 102 and 4 19, Township 45 North Range 3 East, City of Chesterfield, St. Louis County, Missouri and being more particularly described as follows:

Beginning at an iron pipe found for the northeast corner of Lot 2 Mary Schaeffer Estate Adjustment as recorded in Plat Book 352 Page 809 of the above mentioned recorder's office, also being on the south right of way line of Wildhorse Creek (60'w) Road; thence along the south line of said Wildhorse Creek Road the following courses and distances: North 55°15'36" East, 205.89 feet; along an arc to the right having a radius of 1880.08 feet, an arc length of 730.84 feet and a chord bearing and distance of North 66°23'46" East, 726.25 feet; North 77°32'36" East, 33.09 feet to the intersection of the south right of way line of Wildhorse Creek Road and the west right of way line of Deep Forest (50'w) Drive; thence along the west right of way line of said Deep Forest Drive, South 12°02'02" East, 544.62 feet; thence continuing along said west right of way line and the west line of Lots 2 and 3 of Deep Wood as recorded in Plat Book 170 Page 24 of the above mentioned recorder's office, South 12°26'58" East, 1524.13 feet to the southwest corner of said Lot 3; thence along the south line of said Lot 3, North 67°20'48" East, 50.80 feet to the northwest corner of common ground of Country Lake Estates as recorded in Plat Book 345 Page 41 of the above mentioned recorder's office; thence along the west line of said common ground and the west line of Lot 37, South 12°26'58" East, 351.06 feet to an old stone found for the southeast corner of U.S. Survey 150 also being the northeast corner of common ground of Wildhorse Village B Lot 1 Boundary Adjustment Plat as recorded in Plat Book 352 Page 879 of the above mentioned recorder's office; thence along the north line of said common ground, and the north line of Adjusted Lot 1 and the north line of Lot 603, common ground and Lot 347 of Wildhorse Village A as recorded in Plat Book 310 Page 14 of the above mentioned recorder's office, South 77°40'33" West, 985.34 feet to an iron pipe found for the southeast corner of common ground of the Arbors at Wildhorse Creek as recorded in Plat Book 360 Page 220 of the above mentioned recorder's office; thence along the east line of said common ground and the east line of the above mentioned Lot 2 of Mary Schaeffer Estate Adjustment, North 12°22'00" West, 2190.06 feet to the point of beginning and containing 2,200,997 square feet (50.5279 acres), more or less, according to a survey by The Sterling Company during the month of October, 2013 under order number 13-08-265.

Section 2. The preliminary approval, pursuant to the City of Chesterfield Unified Development Code is granted, subject to all of the ordinances, rules and regulations and the specific conditions as recommended by the Planning Commission in its recommendation to the City Council, which are set out in the "Attachment A" and the preliminary plan indicated as "Attachment B" which is attached hereto as and made part of.

Section 3. The City Council, pursuant to the petition filed by Wilmas Farm, LLC, by: McBride & Son Acquisitions, LLC in P.Z. 05-2015, requesting the amendment embodied in this ordinance, and pursuant to the recommendation of the City of Chesterfield Planning Commission that said petition be granted and after a public hearing, held by the Planning Commission on the 22nd day of June 2015, does hereby adopt this ordinance pursuant to the power granted to the City of Chesterfield under Chapter 89 of the Revised Statutes of the State of Missouri authorizing the City Council to exercise legislative power pertaining to planning and zoning.

Section 4. This ordinance and the requirements thereof are exempt from the warning and summons for violations as set out in Section 8 of the City of Chesterfield Unified Development Code.

Section 5. This ordinance shall be in full force and effect from and after its passage and approval.

Passed and approved this _____ day of _____, 2015

MAYOR

ATTEST:

CITY CLERK

P.Z. 05-2015 Arbors at Wilmas Farm (17508 Wild Horse Creek Road) Planning Commission 07/27/20 15 Planning and Public Works Committee 08/06/2015 City Council 08/17/2015 & 09/09/2015

ATTACHMENT A

All provisions of the City of Chesterfield City Code shall apply to this development except as specifically modified herein

I. SPECIFIC CRITERIA

A. PERMITTED USES

- 1. The uses allowed in this Planned Unit Development (PUD) District shall be:
a. Dwellings, Single Family Detached.

B. DENSITY REQUIREMENTS

- 1. The total number of single family residential units shall not exceed forty-seven (47) units.

C. DEVELOPMENT STANDARDS

- 1. Minimum lot size for this development shall be 22,000 square feet.
2. Maximum height of all structures shall be fifty (50) feet.
3. Structure setbacks shall be as follows:
a. Twenty-five (25) feet from the front yard.
b. Eight (8) feet from the side yard with a minimum of twenty (20) feet between structures.
c. Twenty-five (25) feet from the rear yard.
4. No building or structure, other than: a freestanding project identification sign, light standards, retaining walls or flag poles shall be located within the above listed setbacks.

D. PARKING AND LOADING REQUIREMENTS

- 1. Parking and loading spaces for this development will be as required in the City of Chesterfield Code.
2. No construction related parking shall be permitted within the right of way or on any existing roadways surrounding the development including but not limited to Wild Horse Creek Road and Deep Forest Drive. All construction related parking shall be confined to the development.

E. LANDSCAPE AND TREE REQUIREMENTS

- 1. The development shall adhere to the Landscape and Tree Preservation Requirements of the City of Chesterfield Code.
2. Provide a Greenspace Preservation Area on the southern portion of the site as shown on the Preliminary Plan, attached hereto and marked as Attachment B. No structures or paving, other than the pedestrian trail as shown on the Preliminary Plan, are permitted in a Greenspace Preservation Area.
3. Landscape Buffer requirements:
a. A fifty (50) foot Landscape Buffer and Common Open Space area shall be required along the northern perimeter of the PUD as identified on the Preliminary Plan attached hereto and marked as Attachment B.
b. A thirty (30) foot Landscape Buffer shall be required along the southern, eastern, and western perimeters of the PUD as identified on the Preliminary Plan attached hereto and marked as Attachment B.
c. The thirty (30) foot Landscape Buffer requirement on the southern portion of the site shall be met by the inclusion of the Greenspace Preservation Area as shown on the Preliminary Plan, attached hereto and marked as Attachment B.
d. The required Landscape Buffer shall be outside of any developed lot and shall be dedicated as Common Open Space or Greenspace Preservation Area as identified on the Preliminary Plan.
4. Landscape berms along Wild Horse Creek Road shall be required as shown on the Preliminary Plan, attached hereto and marked as Attachment B.
5. A minimum of thirty-nine percent (39.0%) Common Open Space shall be required for this PUD; the Greenspace Preservation Area is included in this calculation.

F. SIGN REQUIREMENTS

- 1. Signs shall be permitted in accordance with the regulations of the City of Chesterfield Code.

2. Ornamental Entrance Monument construction, if proposed, shall be reviewed by the City of Chesterfield, and/or MoDOT, for sight distance considerations prior to installation or construction.

G. LIGHT REQUIREMENTS

- 1. Provide a lighting plan and cut sheet in accordance with the City of Chesterfield Code.

H. ARCHITECTURAL

- 1. The development shall adhere to the Architectural Review Standards of the City of Chesterfield Code.

I. ACCESS/ACCESS MANAGEMENT

- 1. Access to the development shall be limited to one access point on Wild Horse Creek Road and another access from Deep Forest Drive. Adequate sight distance shall be provided, as directed by the City of Chesterfield, the Missouri Department of Transportation, and the Monarch Fire District, as applicable.
2. No lot shall be allowed direct access to Deep Forest Drive or Wild Horse Creek Road.
3. If adequate sight distance cannot be provided at the access locations, acquisition of right-of-way, reconstruction of pavement and other off-site improvements may be required to provide the required sight distance as required by the Missouri Department of Transportation and the City of Chesterfield.
4. A thirty-foot-wide cross access easement shall be provided to the adjacent property to the west, as shown on the Preliminary Plan, and as directed by the City of Chesterfield.
J. PUBLIC/PRIVATE ROAD IMPROVEMENTS, INCLUDING PEDESTRIAN CIRCULATION
1. Any request to install a gate at the entrance to this development must be approved by the City of Chesterfield and the agency in control of the right of way of which the entrance is constructed if other than the City of Chesterfield. No gate installation will be permitted on public right of way.
2. If a gate is installed on a street in this development, the streets within the development, or that portion of the development that is gated, shall be private and remain private forever.
3. All roadway and related improvements in each plat or phase of the development shall be constructed and completed prior to issuance of building permits exceeding sixty percent (60%) for that plat or phase. Delays due to utility relocation and/or adjustment, for which the developer is responsible monetarily, shall not constitute a cause to issue permits in excess of sixty percent (60%).
4. Additional right-of-way and road improvements shall be provided, as required by the Missouri Department of Transportation and the City of Chesterfield.
5. Obtain approvals from the City of Chesterfield, the Missouri Department of Transportation and other entities as necessary for locations of proposed curbs cuts and access points, areas of new dedication, and roadway improvements.
6. Provide a five (5) foot side sidewalk, conforming to ADA standards, along the Wild Horse Creek Road frontage of the site. The sidewalk shall provide for future connectivity to adjacent developments and/or roadway projects as well as the existing sidewalk along Deep Forest Drive. The sidewalk may be located within right-of-way controlled by another agency, if permitted by that agency or on private property within a six (6) foot wide sidewalk, maintenance and utility easement dedicated for public use.
7. Provide an on-site pedestrian walking trail throughout the site as shown on the Preliminary Plan attached hereto and marked as Attachment B.
8. All proposed work in Missouri Department of Transportation right of way will require a Missouri Department of Transportation permit.
9. The entrance geometrics and drainage design shall be in accordance with Missouri Department of Transportation standards and shall be reviewed and approved by Missouri Department of Transportation.
10. The petitioner shall provide adequate detention and/or hydraulic calculations for review and approval of all storm water that will affect Missouri Department of Transportation right-of-way.
11. All proposed work in Missouri Department of Transportation right-of-way must comply with Missouri Department of Transportation standards, specifications, conform to Missouri Department of Transportation's Access Management Guidelines with detailed construction plans being received and approved by Missouri Department of Transportation.
12. The proposed driveway locations are subject to meet Missouri Department of Transportation site distance criteria and Access Management Engineering Policy.

K. TRAFFIC STUDY

- 1. Provide a traffic study as directed by the City of Chesterfield and/or Missouri Department of Transportation. The scope of the study shall include internal and external circulation and may be limited to site specific impacts, such as the need for additional lanes, entrance configuration, geometrics, sight distance, traffic signal modifications or other improvements required, as long as the density of the proposed development falls within the parameters of the City's traffic model. Should the density be other than the density assumed in the model, regional issues shall be addressed as directed by the City of Chesterfield.
2. Missouri Department of Transportation will require a scoping meeting to discuss what type of traffic analysis will be needed to determine the necessary roadway improvements. A traffic impact study may be required to assess the impacts of the proposed development to the state highway system.

L. POWER OF REVIEW

Either Councilmember of the Ward where a development is proposed or the Mayor may request that the plan for a development be reviewed and approved by the entire City Council. This request must be made no later than twenty-four (24) hours after Planning Commission review. The City Council will then take appropriate action relative to the proposal. The plan for a development, for purposes of this section, may include the site development plan, site development concept plan, site development concept plan, landscape plan, lighting plans, architectural elevations, sign package or any amendment thereto.

M. STORM WATER

- 1. The site shall provide for the positive drainage of storm water and it shall be discharged at an adequate natural discharge point or connected to an adequate piped system.
2. Detention/retention and channel protection measures are to be provided in each watershed as required by the City of Chesterfield and the Metropolitan St. Louis Sewer District. The storm water management facilities shall be operational prior to paving of any driveways or parking areas in non-residential developments or issuance of building permits exceeding sixty percent (60%) of the approved dwelling units in each plat, watershed or phase of residential developments. The location and types of storm water management facilities shall be identified on all Site Development Plans.
3. The receiving storm system(s) shall be evaluated to ensure adequate capacity and to ensure that the project has no negative impacts to the existing system(s).
4. Emergency overflow drainage ways to accommodate runoff from the 100-year storm event shall be provided for all storm sewers, as directed by the City of Chesterfield.
5. Offsite storm water shall be picked up and piped to an adequate natural discharge point. Such bypass systems must be adequately designed.
6. The lowest opening of all structures shall be set at least two (2) feet higher than the 100-year high water elevation in detention/retention facilities. All structures shall be set at least thirty (30) feet horizontally from the limits of the 100-year high water.
7. Locations of site features such as lakes and detention ponds must be approved by the City of Chesterfield and the Metropolitan St. Louis Sewer District (MSD).
8. Storm sewers shall be as approved by the City of Chesterfield, the Missouri Department of Transportation, the Metropolitan St. Louis Sewer District, and other entities as necessary.
9. Formal project development plans, including a MSD flood plain study, shall be submitted to MSD for review, approval, and permits. These facilities shall be designed in accordance with the MSD Rules and Regulations and Engineering Design Requirements for Sanitary Sewer and Drainage Facilities that apply at the time of formal submission to MSD. Formal plan approval is subject to the requirements of detailed review.
10. Stormwater quality, channel protection, and flood detection requirements will apply. Please note this project will be considered "new development", and controls shall be designed and implemented to reasonably mimic pre-construction runoff conditions (including runoff volume) to the maximum extent practicable. MSD will assess stormwater quality and flood detection effectiveness based on the site's January 2000 pre-construction condition.
11. The rear portions of lots 16-27, walking trail, and multi sports field appear to bypass BMPs and detention facilities. The runoff generated from these improvements should be treated for water quality and managed to demonstrate no increase in flowrate and volume applied to offsite properties, as directed by MSD.
12. Site layout and grading shall provide for an overland flow path should the onsite storm sewer system capacity be exceeded or become blocked.
13. Receiving offsite sewer systems and open channels shall be analyzed for capacity. The developer may be required to improve downstream sewers and open channels if insufficient capacity exists to manage the additional flows generated by the proposed development or cause velocity conditions that would cause stream bank erosion.
14. A 404/401 permit may be required from the U.S. Army Corps of Engineers and Missouri Department of Natural Resources. The developer should investigate for and assess the presence of any jurisdictional features on the site, and confirm with these two agencies the applicability of any requirements. If applicable, approvals from these agencies will be required prior to formal MSD plan approval.

N. SANITARY SEWER

- 1. The receiving sanitary sewer system(s) shall be evaluated to ensure adequate capacity and to ensure the project has no negative impacts to the existing system(s).
2. Sanitary sewers shall be as approved by the Metropolitan St. Louis Sewer District, the City of Chesterfield, and other entities as necessary.
3. Easement to MSD will be required for any public sewers. The project is located in the Caulks Creek Impact area and subject to applicable fees.
4. The placement of fill shall not encroach upon the existing trunk sewer and easement located along the southern portion of the site.

O. GEOTECHNICAL REPORT

Prior to Site Development Plan approval, the developer shall provide a geotechnical report, prepared by a registered professional engineer licensed to practice in the State of Missouri, as directed by the City of Chesterfield. The report shall verify the suitability of grading and proposed improvements with soil and geologic conditions and address the existence of any potential sinkhole, ponds, dams, septic fields, etc., and recommendations for treatment. A statement of compliance, signed and sealed by the geotechnical engineer preparing the report, shall be included on all Site Development Plans and Improvement Plans.

P. MISCELLANEOUS

- 1. All utilities will be installed underground.
2. Prior to record plat approval, the developer shall cause, at his expense and prior to the recording of any plat, the reestablishment, restoration or appropriate witnessing of all Corners of the United States Public Land Survey located within, or which define or lie upon, the outboardries of the subject tract in accordance with the Missouri Minimum Standards relating to the preservation and maintenance of the United States Public Land Survey Corners, as necessary.
3. Prior to final release of subdivision construction deposits, the developer shall provide certification by a registered land surveyor that all monumentation depicted on the record plat has been installed and United States Public Land Survey Corners have not been disturbed during construction activities or that they have been reestablished and the appropriate documents filed with the Missouri Department of Natural Resources Land Survey Program, as necessary.
4. Road improvements and right-of-way dedication shall be completed prior to the issuance of an occupancy permit. If development phasing is anticipated,

the developer shall complete road improvements, right-of-way dedication, and access requirements for each phase of development as directed by the Missouri Department of Transportation and/or the City of Chesterfield. As previously noted, the delays due to utility relocation and adjustments will not constitute a cause to allow occupancy prior to completion of road improvements.

- 5. Obtain any and all necessary determinations, approvals, and permits from USACE, the Missouri Department of Natural Resources, and other entities, as necessary, for work impacting or in close proximity to jurisdictional waterways and/or wetlands.
6. If any development in, or alteration of, the floodplain is proposed, the developer shall submit a Floodplain Study and Floodplain Development Permit/Application to the City of Chesterfield for approval. The Floodplain Study must be approved by the City of Chesterfield prior to the approval of the Site Development Plan, as directed. The Floodplain Development Permit must be approved prior to the approval of a grading permit or improvement plans. If any change in the location of the Special Flood Hazard Area is proposed, the Developer shall be required to obtain a Letter of Map Revision (LOMR) from the Federal Emergency Management Agency. The LOMR must be issued by FEMA prior to the final release of any escrow held by the City of Chesterfield for improvements in the development. Elevation Certificates will be required for any structures within the Special Flood Hazard Area or the Supplemental Protection Area. All new roads within and adjacent to this site shall be constructed at least one (1) foot above the base flood elevation of the Special Flood Hazard area. Improvements to existing roadways shall be required as necessary to provide at least one access route to each lot that is at least one (1) foot above the base flood elevation. Consult Article 5 of the Unified Development Code for specific requirements.
7. A portion of the site is located in the Special Flood Hazard Area or the Supplemental Protection Area related to floodplain. Consult Article 5 of the Unified Development Code for specific requirements. A certification of the actual elevation of the constructed floor will be required prior to occupancy of the building within these areas.

II. TIME PERIOD FOR SUBMITTAL OF SITE DEVELOPMENT CONCEPT PLANS AND SITE DEVELOPMENT PLANS

- A. The developer shall submit a Site Development Plan within eighteen (18) months of City Council approval of the change of zoning.
B. In lieu of submitting a Site Development Plan, the petitioner may submit a Site Development Concept Plan and Site Development Section Plans for the entire development within eighteen (18) months of the date of approval of the change of zoning by the City.
C. Failure to comply with these submittal requirements will result in the expiration of the change of zoning and will require a new public hearing.
D. A Site Development Plan shall be submitted in accordance with the combined requirements for Site Development Section and Concept Plans. The submission of Amended Site Development Plans by sections of this project to the Planning Commission shall be permitted if this option is utilized.
E. Where due cause is shown by the developer, the City Council may extend the period to submit a Site Development Concept Plan or Site Development Plan for eighteen (18) months.

III. COMMENCEMENT OF CONSTRUCTION

- A. Substantial construction shall commence within two (2) years of approval of the Site Development Concept Plan or Site Development Plan, unless otherwise authorized by ordinance.
B. Where due cause is shown by the developer, the City Council may extend the period to commence construction for not more than two (2) additional years.

IV. GENERAL CRITERIA

A. SITE DEVELOPMENT PLAN SUBMITTAL REQUIREMENTS

The Site Development Plan shall include, but not be limited to, the following:

- 1. Location map, north arrow, and plan scale. The scale shall be no greater than one (1) inch equals one hundred (100) feet.
2. Outboundary plat and legal description of property.
3. Density calculations.
4. Parking calculations. Including calculation for all off street parking spaces, required arid proposed, and the number, size and location for handicap designed.
5. Provide open space percentage for overall development including separate percentage for each lot on the plan.
6. Provide Floor Area Ratio (F.A.R.).
7. A note indicating all utilities will be installed underground.
8. A note indicating signage approval is separate process.
9. Depict the location of all buildings, size, including height and distance from adjacent property lines, and proposed use.
10. Specific structure and parking setbacks along all roadways and property lines.
11. Indicate location of all existing and proposed freestanding monument signs.
12. Zoning district lines, subdivision name, lot number, dimensions, and area, and zoning of adjacent parcels where different than site.
13. Floodplain boundaries.
14. Depict existing and proposed improvements within 150 feet of the site as directed. Improvements include, but are not limited to, roadways, driveways and walkways adjacent to and across the street from the site, significant natural features, such as wooded areas and rock formations, and other karst features that are to remain or be removed.
15. Depict all existing and proposed easements and rights-of-way within 150 feet of the site and all existing or proposed off-site easements and rights-of-way required for proposed improvements.
16. Indicate the location of the proposed storm sewers, detention basins, sanitary sewers and connection(s) to the existing systems.
17. Depict existing and proposed contours at intervals of not more than one (1) foot, and extending 150 feet beyond the limits of the site as directed.
18. Address trees and landscaping in accordance with the City of Chesterfield Code.
19. Comply with all preliminary plat requirements of the City of Chesterfield Subdivision Regulations per the City of Chesterfield Code.
20. Signed and sealed in conformance with the State of Missouri Department of Economic Development, Division of Professional Registration, Missouri Board for Architects, Professional Engineers and Land Surveyors requirements.
21. Provide comments/approvals from the appropriate Fire District, Monarch Levee District, Spirit of St. Louis Airport, Metropolitan St. Louis Sewer District (MSD) and the Missouri Department of Transportation.
22. Compliance with Sky Exposure Plane.
23. Compliance with the current Metropolitan Sewer District Site Guidance as adopted by the City of Chesterfield.

V. TRUST FUND CONTRIBUTION

A. The developer shall contribute a Traffic Generation Assessment (TGA) to the Eatherton -- Kehrs Mill Road Trust Fund (No. 552). This contribution shall not exceed an amount established by multiplying the required parking spaces by the following rate schedule:

Table with 2 columns: Type of Development, Required Contribution. TGA Category: Single Family Dwelling, Contribution: \$1,085.70

(Parking Space as required by the site-specific ordinance or by section 1003.165 of the Saint Louis County Zoning Ordinance.)

If types of development proposed differ from those listed, rates shall be provided by the St. Louis County Department of Highways and Traffic.

If a portion of the improvements required herein are needed to provide for the safety of the traveling public, their completion as a part of this development is mandatory.

Allowable credits for required roadway improvements will be awarded as directed by the St. Louis County Department of Highways and Traffic and the City of Chesterfield. Sidewalk construction and utility relocation, among other items, are not considered allowable credits.

B. As this development is located within a trust fund area established by St. Louis County, any portion of the traffic generation assessment contribution which remains following completion of road improvements required by the development shall be retained in the appropriate trust fund.

C. Traffic generation assessment contributions shall be deposited with St. Louis County prior to the issuance of building permits. If development phasing is anticipated, the developer shall provide the traffic generation assessment contribution prior to issuance of building permits for each phase of development. Funds shall be payable to Treasurer, St. Louis County.

D. The amount of these required contributions for the roadway, storm water and primary water line improvements, if not submitted by January 1, 2016, shall be adjusted on that date and on the first day of January in each succeeding year thereafter in accordance with the construction cost index as determined by the St. Louis County Department of Highways and Traffic.

VI. RECORDING

Within sixty (60) days of approval of any development plan by the City of Chesterfield, the approved Plan will be recorded with the St. Louis County Recorder of Deeds. Failure to do so will result in the expiration of the approval of said plan and require re-approval of a plan by the Planning Commission.

VII. ENFORCEMENT

A. The City of Chesterfield, Missouri will enforce the conditions of this ordinance in accordance with the Plan approved by the City of Chesterfield and the terms of this Attachment A.

B. Failure to comply with any or all the conditions of this ordinance will be adequate cause for revocation of approvals/permits by reviewing Departments and Commissions.

C. Non-compliance with the specific requirements and conditions set forth in this Ordinance and its attached conditions or other Ordinances of the City of Chesterfield shall constitute an ordinance violation, subject, but not limited to, the penalty provisions as set forth in the City of Chesterfield Code.

D. Waiver of Notice of Violation per the City of Chesterfield Code.

E. This document shall be read as a whole and any inconsistency to be integrated to carry out the overall intent of this Attachment A.

ISSUE REMARKS/DATE table with 9 columns and 9 rows for tracking revisions.

WILMAS FARM, L.L.C. 5091 New Baumgartner Road St. Louis, Missouri 63129 Ph: (314) 487-5617

THE STERLING CO. ENGINEERS & SURVEYORS 5055 New Baumgartner Road St. Louis, Missouri 63129 Ph 314-487-0440 Fax 314-487-5944 www.sterling-eng-sur.com Corporate Certificate of Authority #001348

The Arbors at Wilmas Farm Chesterfield, Missouri SITE DEVELOPMENT PLAN ORDINANCE

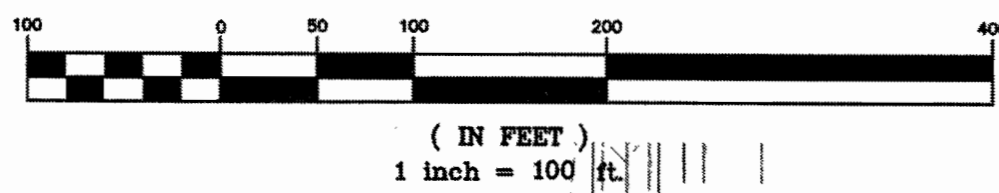
Professional Engineer seal and signature area for Jason D. Howell, License No. 2007002801.

Date: 03/21/2016 Job Number: 15-03-091 Date: 03/21/2016 Designated: JH Sheet: 3.1 Drawn: PT Checked: JH SDP



AERIAL PHOTO
N.T.S.

GRAPHIC SCALE



The Arbors at Wilmas Farm

A TRACT OF LAND BEING PART OF LOT 21 OF R.H. STEVENS FARM
RECORDED IN PLAT BOOK 7 PAGE 37 OF THE ST. LOUIS CITY (FORMER COUNTY) RECORDS,
LOCATED IN U.S. SURVEYS 122, 150, 102 AND 419, TOWNSHIP 45 NORTH, RANGE 3 EAST,
CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI

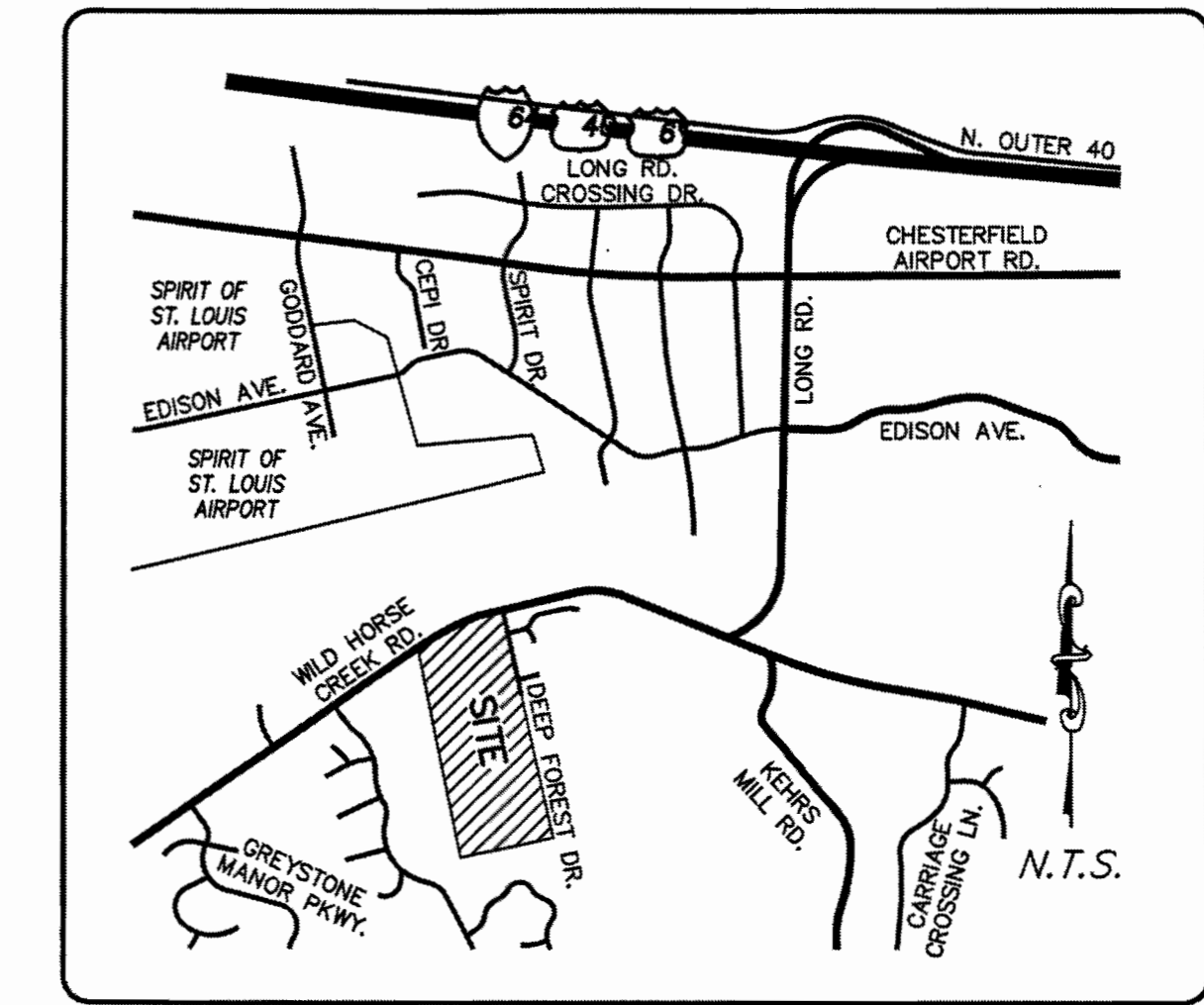
Natural Resource Map

	Existing Tree Mass
	Hydrologic Group "C/D" Soils
	Hydrologic Group "C" Soils
	Areas of Slopes in Excess of 20%
	Regulated Waters

NATURAL RESOURCE	PRESENCE	ADDITIONAL INFORMATION
Wetlands	Yes	Southwest corner of site.
Streams and Floodplains	Yes	Bonhomme Creek tributaries flow through site. Southern portion of site is located in the 100 year floodplain. Stream buffer requirements apply.
Karst	No	
Ponds	No	

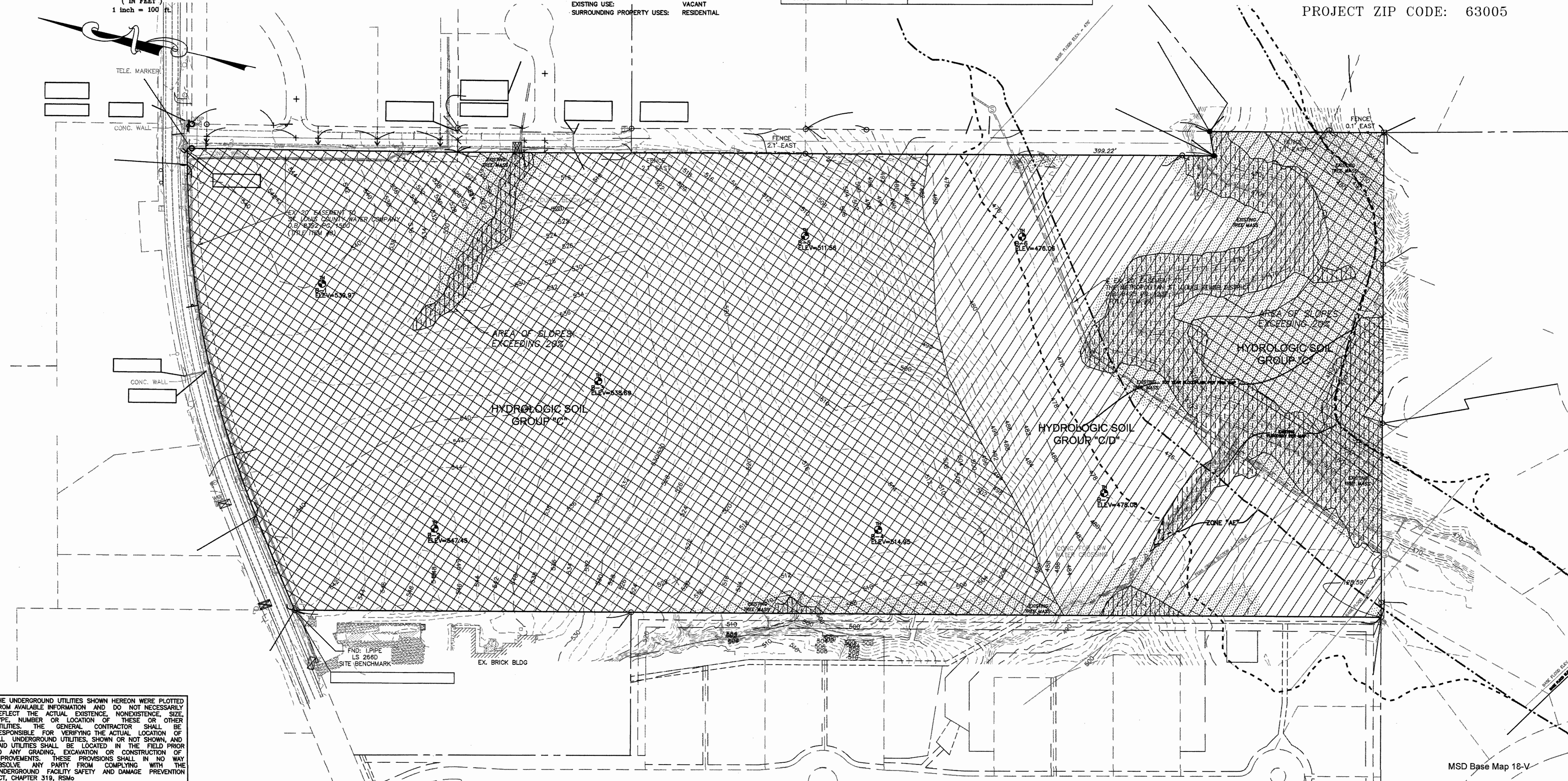
SITE INFORMATION:

EXISTING USE: VACANT
SURROUNDING PROPERTY USES: RESIDENTIAL



LOCATION MAP
N.T.S.

PROJECT ZIP CODE: 63005



THE UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NONEXISTENCE, SIZE, TYPE, NUMBER OR LOCATION OF THESE OR OTHER UTILITIES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND UTILITIES, SHOWN OR NOT SHOWN, AND SAID UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319, RSMo

ISSUE	REMARKS/DATE
1	INITIAL SUBMITTAL 05-01-15
2	Revised Per Chesterfield Comments 6-30-15
3	Revised Per Verbal City Comments 7-21-15
4	
5	
6	
7	
8	
9	

Wilmas Farm, LLC
5091 New Baumgartner Road
St. Louis, Missouri 63129
Ph: (314) 487-5617

THE STERLING CO.
ENGINEERS & SURVEYORS
5055 New Baumgartner Road
St. Louis, Missouri 63129
Ph 314-487-8440 Fax 314-487-8844
Corporate Certificate of Authority #001348

The Arbors at Wilmas Farm
Chesterfield, Missouri
PRELIMINARY DEVELOPMENT PLAN
NATURAL RESOURCE MAP

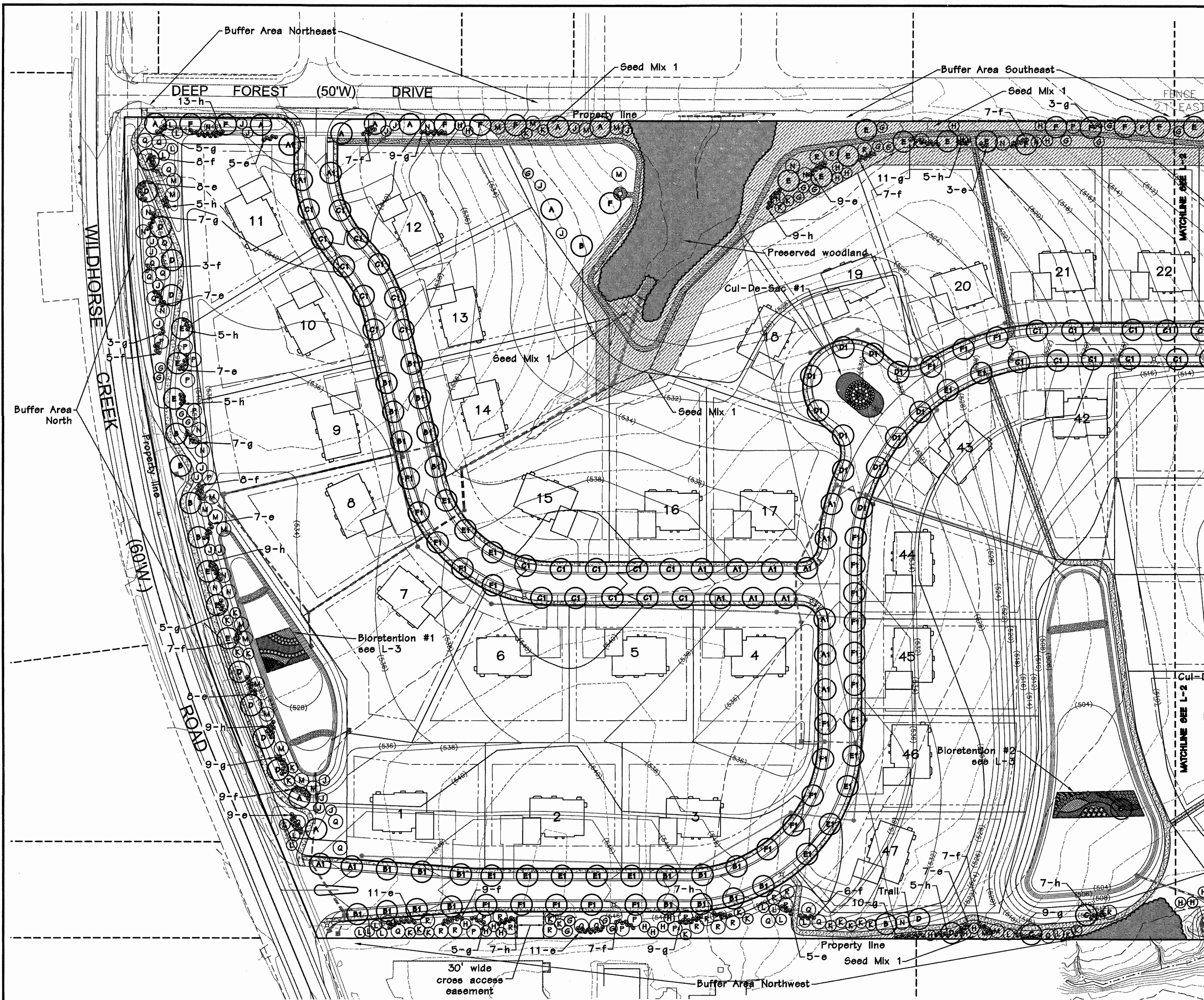
Professional Engineer's seal and signature area. The seal includes the name 'JASON D. HOWELL', 'NUMBER', 'PE-2007002801', and 'PROFESSIONAL ENGINEER'. The signature area contains the name 'Jason D. Howell' and 'Civil Engineer'.

Date: 03-21-16
Jason D. Howell
License No. 2007002801
Civil Engineer

Job Number: 15-03-091
Date: March 21, 2016
Designed: MF Sheet
Drawn: LG 4.1
Checked: SDP

MSD Base Map 18-V

Drawing name: V:\1503091\Landscaping\Drawings\Preliminary\3091\NRM.dwg Plotted on: May 26, 2016 - 1:52pm Plotted by: jhowell



LANDSCAPE PLAN
SCALE 1"=60'

NATIVE PLANTING NOTES AND CONDITIONS:

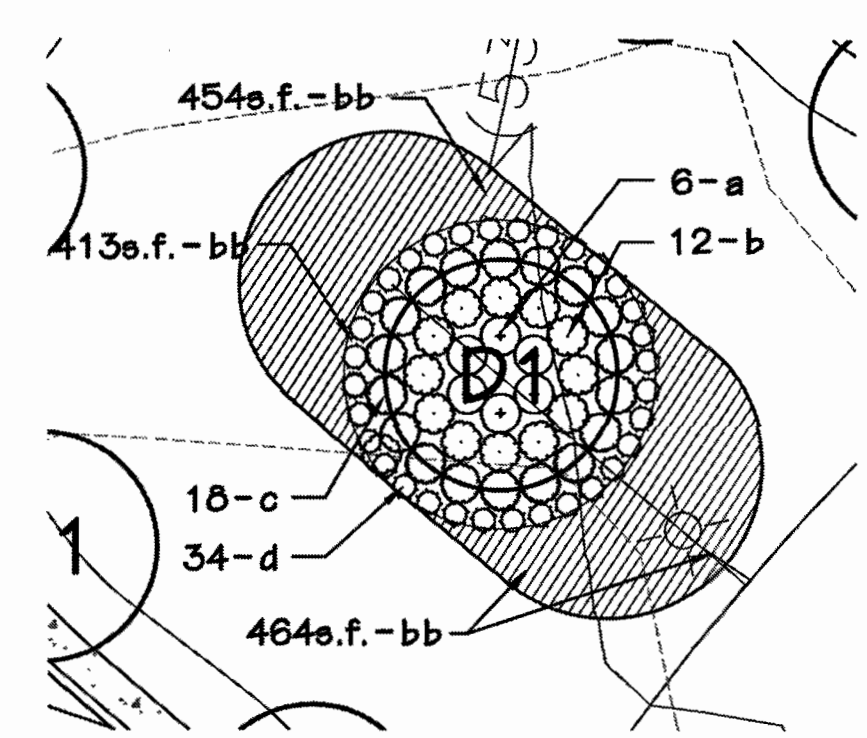
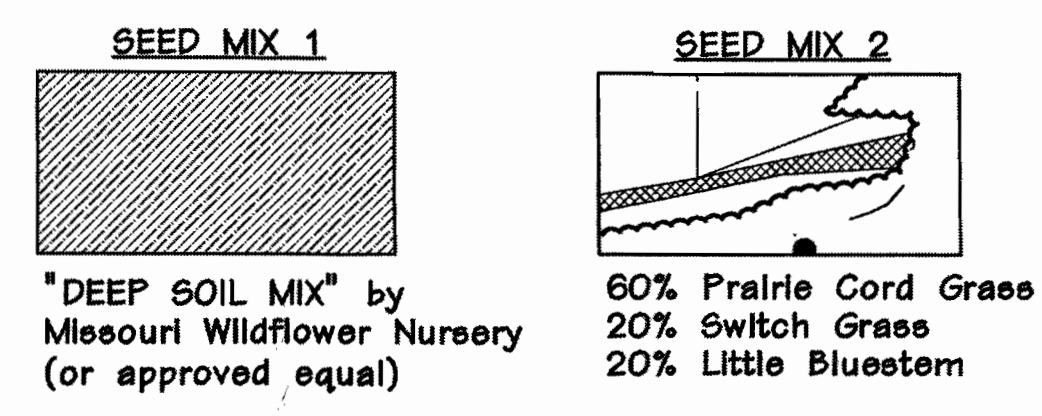
1. Contractor must submit shop drawings to MSD addressing soil prep. and erosion mat placement.
2. Contractor must provide Soil Testing to determine the necessary nutrients to provide optimal plant growth after grading is complete.
3. Contractor to state what herbicides will be used prior to seed placement.
4. Contractor shall provide anticipated schedule of work to be done.
5. When establishing the Native Grass Buffer the Contractor must provide straw on the flat areas, Coir blanket or straw mat on 3:1 slopes, and Exceelor Wood Fiber Mat or approved equal for the swale areas. Apply seed mix, then set the straw and Mat over the mix.

"DEEP SOIL MIX" by Missouri Wildflower Nursery Contains the Following Species:

Indian paintbrush, an aster species, white indigo, large-flowered coreopsis, pale purple coneflower, blue wild indigo, rattlesnake master, wingstem, prairie blazing star, shining blue star, wild quinine, foxglove beardtongue, purple prairie clover, gray-head coneflower, blackeyed susan, sweet coneflower, blue sage, lead plant, slender mountain mint, a milkweed species, false alo, prairie cord grass, switch grass, and little bluestem.

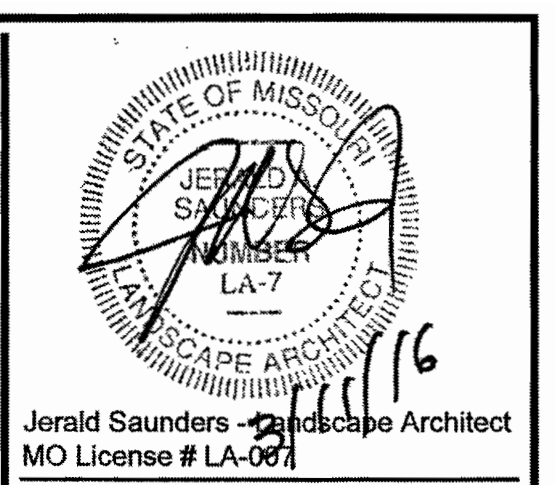
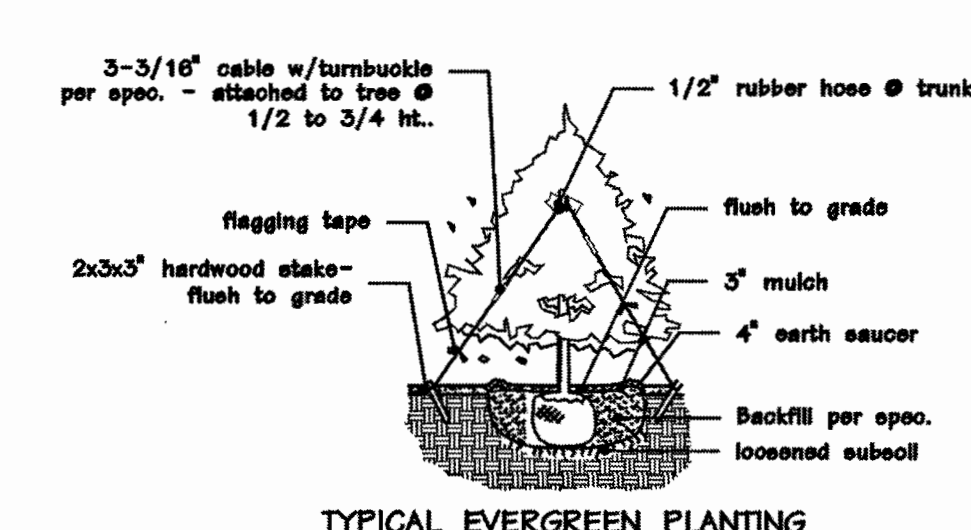
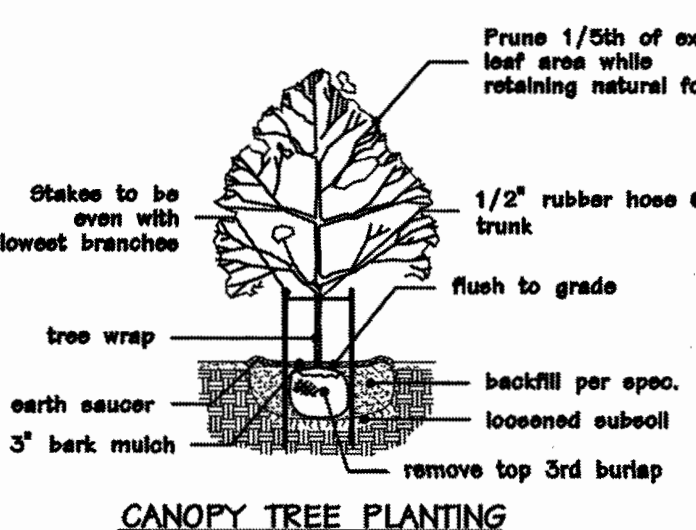
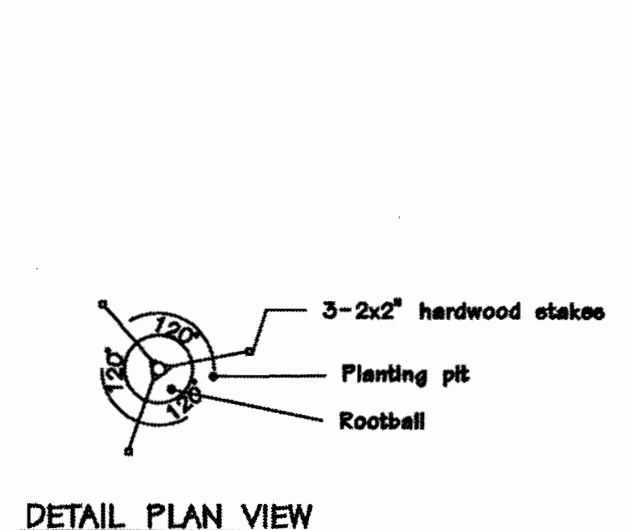
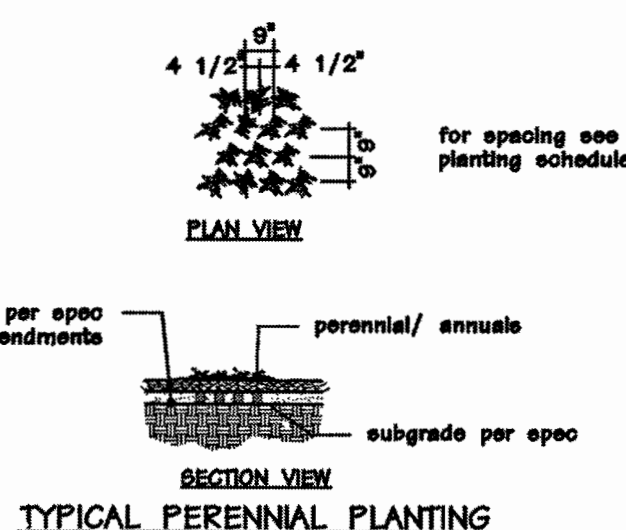
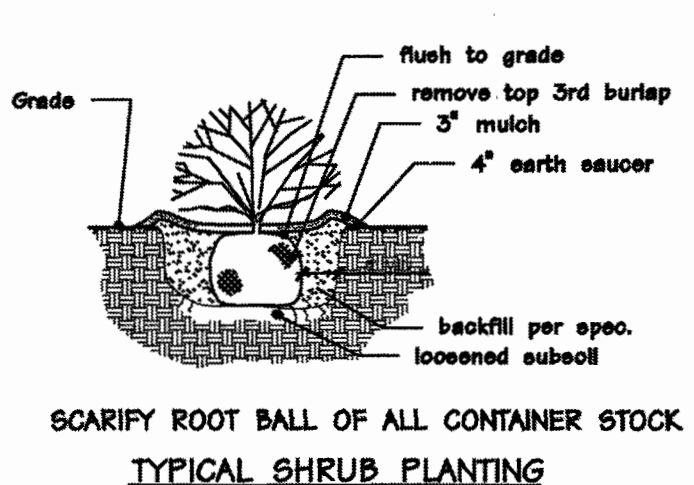
- * Seed Mix 1 to be seeded at a rate of 9 lbs per acre.
- * Seed Mix 2 to be seeded at a rate of 10 lbs per acre.

NOTE:
All non-preserved areas to be cleared and grubbed to allow for installation of new plantings.



CUL-DE-SAC #1
SCALE 1"=20'

NOTE:
Open Space: 20.29 Ac. or 40.2%



Consultants:

The Arbors at Wilmas Farm

Chesterfield, Missouri

Revisions:

Date	Description	No.
12/16/15	City Comments	1
12/24/15	Base Revision	2
1/19/16	City Comments	3
3/11/16	Base Revision	5

Drawn: LH
Checked: JG

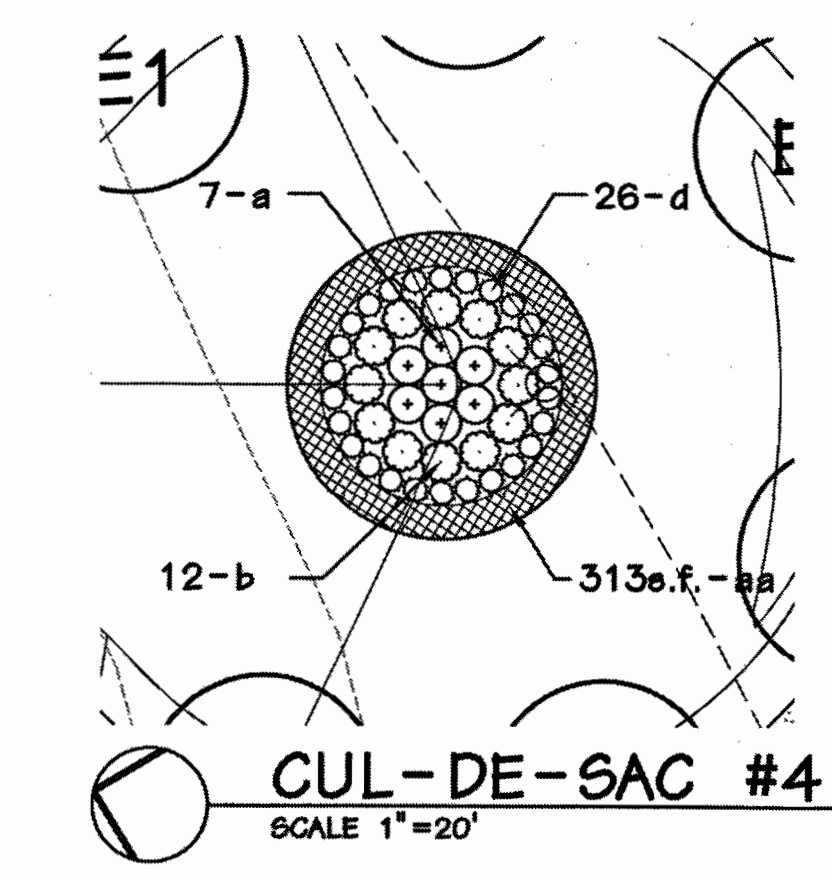
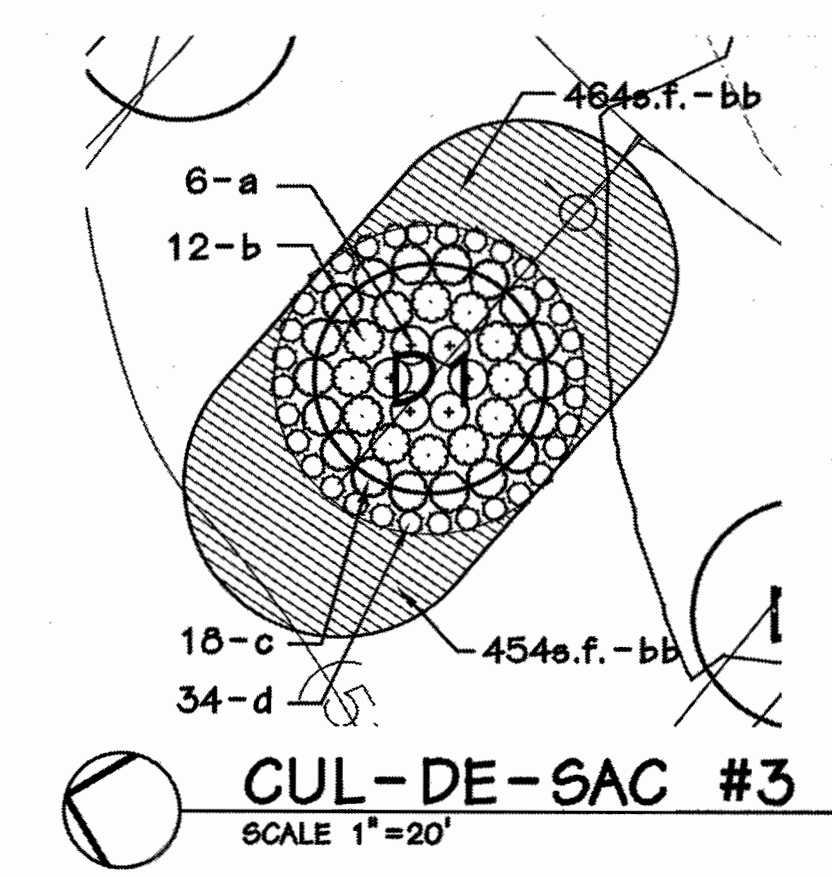
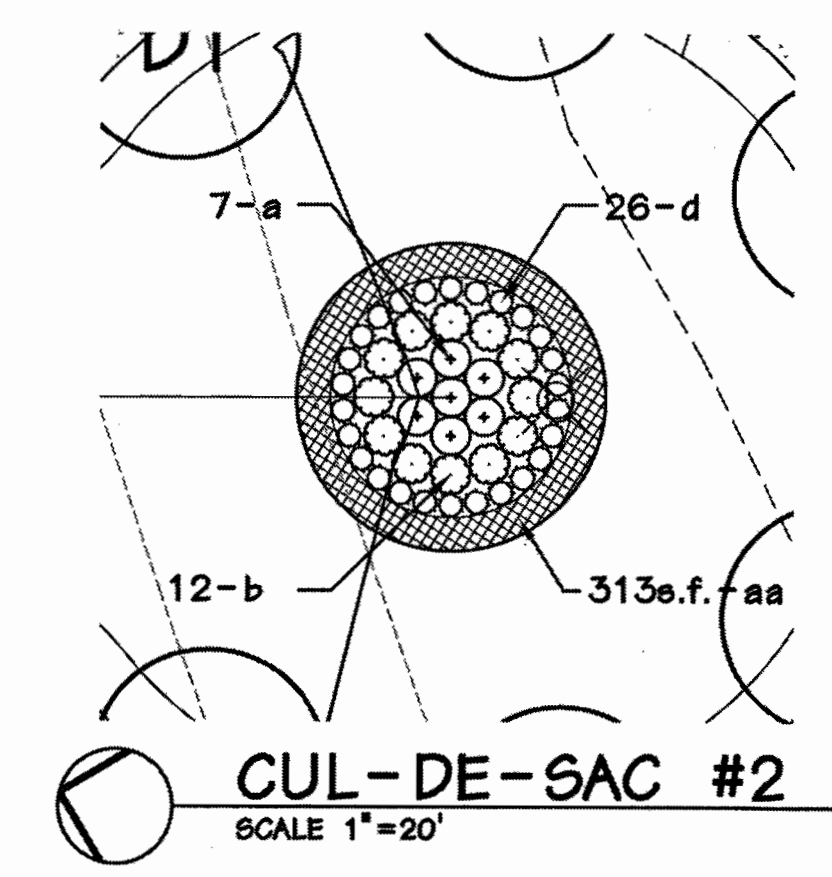
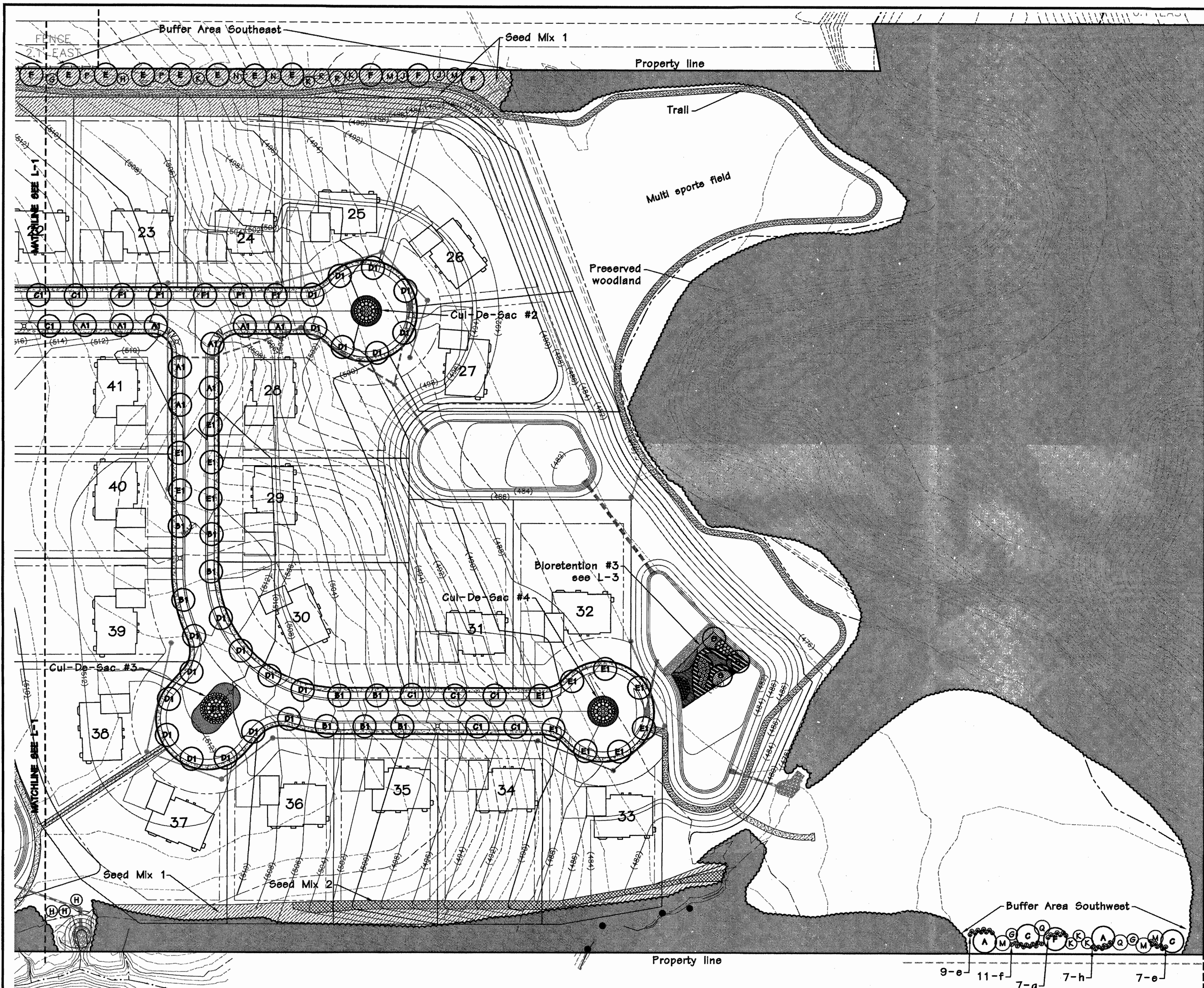
loomisAssociates
Landscape Architects/Planners
207 Spirit of Park Drive, Suite 135
Chesterfield, MO 63051-3665
Tel: 636.519.0757
e-mail: info@loomis-associates.com

Loomis Associates Inc.
Missouri State Certificate of Authority #: LAC #000019

Sheet Title: **Landscape Plan**

Sheet No: **L-1**

Date: 11/13/15
Job #: 955.002

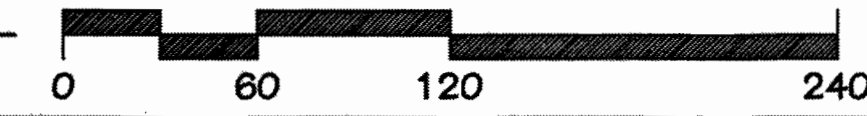


Provided Landscape:

- A) Street Trees**
 1. Street trees shall be installed a minimum of every 40 LF of proposed lot frontage. 7,001 LF ÷ 40 = 175 minimum street trees required at lot frontage (181 provided)
 2. A maximum of twenty percent (20%) of one (1) species may be utilized to meet planting requirements (6 street tree species provided)
 3. Street trees shall not be planted closer than three (3) feet to any curb
- B) Bufferyards**
 1. Minimum 30 foot wide buffer required along property line (2,565 LF total provided at northwest, southwest, northeast, and southeast property line)
 a) Buffer Area Northwest = 845 LF
 b) Buffer Area Southwest = 225 LF
 c) Buffer Area Northeast = 570 LF
 d) Buffer Area Southeast = 925 LF
 2. Minimum 50 foot wide buffer required along north property line.
 a) Buffer Area North = 947 LF
- C) Landscape Islands**
 1. Single islands require one (1) deciduous tree (2 provided as part of street tree total)
 *Two (2) islands contain street lights, limiting the landscaping to shrubs and perennials only.
- D) Total Landscape Tree Selection (471 total trees provided)**
 1. Minimum of thirty percent (30%) of total trees (141 trees) with slow to medium growth rate (338 provided)
 2. Minimum of twenty percent (20%) per tree type/species in three (3) categories:
 Deciduous Trees = 20% minimum (253 trees provided = 54%)
 Evergreen Trees = 20% minimum (117 trees provided = 25%)
 Ornamental Trees = 20% minimum (101 trees provided = 21%)

NOTE:
 All non-preserved areas to be cleared and grubbed to allow for installation of new plantings.

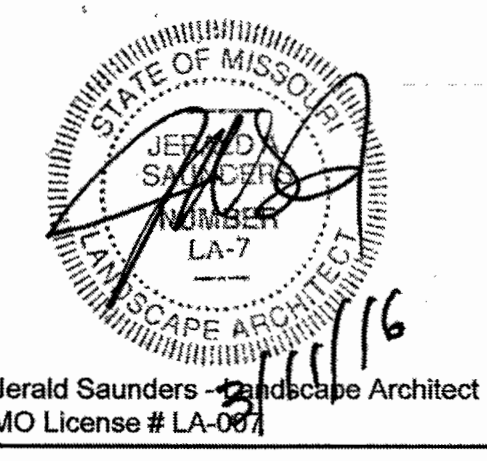
LANDSCAPE PLAN
 SCALE 1"=60'



PLANTING SCHEDULE								
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE	SIZE CLASSIFICATION	GROWTH RATE	
STREET TREES								
A1	26	Acer rubrum	Red Maple	2.5"	Deciduous	Large	Fast	
B1	30	Acer saccharum	Sugar Maple	2.5"	Deciduous	Large	Slow/Medium	
C1	35	Tilia cordata	Littleleaf Linden	2.5"	Deciduous	Large	Slow/Medium	
D1	33	Quercus bicolor	Swamp White Oak	2.5"	Deciduous	Large	Medium	
E1	28	Zelkova serrata 'Green Vase'	Green Vase Japanese Zelkova	2.5"	Deciduous	Large	Fast	
F1	29	Quercus acutisilma	Sawtooth Oak	2.5"	Deciduous	Large	Medium	
	161	TOTAL STREET TREES						100%

CUL-DE-SAC PLANTS				
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	COMMENTS
a	26	Juniperus x pfitzeriana 'Sea Green'	Sea Green Juniper	18-24"
b	48	Weigela florida 'Alexandra'	Wine and Rose Weigela	18-24"
c	36	Spiraea japonica 'Anthony Waterer'	Anthony Waterer Spiraea	18-24"
d	120	Cornus sericea 'Keisey'	Dwarf Red Twig Dogwood	18-24"
aa	626 s.f.	Sporobolus heterolepis	Prairie Dropseed	1qt 24" o.c.
bb	1636 s.f.	Perovskia atriplicifolia 'Little Spire'	Little Spire Russian Sage	1qt 24" o.c.

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE	SIZE CLASSIFICATION	GROWTH RATE
BUFFERYARD/Common Ground Trees							
A	13	Acer rubrum	Red Maple	2.5"	Deciduous	Large	Fast
B	6	Acer saccharum	Sugar Maple	2.5"	Deciduous	Large	Slow/Medium
C	4	Tilia cordata	Littleleaf Linden	2.5"	Deciduous	Large	Slow/Medium
D	10	Quercus bicolor	Swamp White Oak	2.5"	Deciduous	Large	Medium
E	20	Zelkova serrata 'Green Vase'	Green Vase Japanese Zelkova	2.5"	Deciduous	Large	Fast
F	15	Quercus acutisilma	Sawtooth Oak	2.5"	Deciduous	Large	Medium
G	21	Pinus strobus	Eastern White Pine	6' Ht.	Evergreen	Large	Fast
H	25	Picea glauca	White Spruce	6' Ht.	Evergreen	Medium	Medium
J	22	Picea pungens	Colorado Blue Spruce	6' Ht.	Evergreen	Medium	Medium
K	31	Juniperus virginiana	Eastern Redcedar	6' Ht.	Evergreen	Medium	Medium
L	17	Platyclusus orientalis	Oriental Arborvitae	6' Ht.	Evergreen	Medium	Slow
M	25	Cercis canadensis	Eastern Redbud	2.5"	Ornamental	Medium	Fast
N	19	Prunus cerasifera	Purpleleaf Plum	2.5"	Ornamental	Small	Medium
P	15	Crataegus phaenopyrum	Washington Hawthorn	2.5"	Ornamental	Small	Medium
Q	21	Carpinus caroliniana	American Hornbeam	2.5"	Ornamental	Small	Medium
R	20	Prunus sargentii 'Columnaris'	Columnar Sargent Cherry	2.5"	Ornamental	Medium	Medium
S	4	Taxodium distichum	Bald Cypress	2.5"	Deciduous	Large	Medium
BUFFERYARD SHRUBS							
e	113	Viburnum x burkwoodii	Burkwood Viburnum	24"	Deciduous		
f	101	Viburnum rhytidophyllum	Leatherleaf Viburnum	24"	Semi-Evergreen		
g	99	Hamamelis vernalis	Ozark Witchhazel	24"	Deciduous		
h	93	Juniperus virginiana 'Grey Owl'	Grey Owl Juniper	24"	Evergreen		



Consultants:

The Arbors at Wilmas Farm

Chesterfield, Missouri

Revisions:		
Date	Description	No.
12/16/15	City Comments	1
12/24/15	Base Revision	2
1/19/16	City Comments	3
3/11/16	Base Revision	5

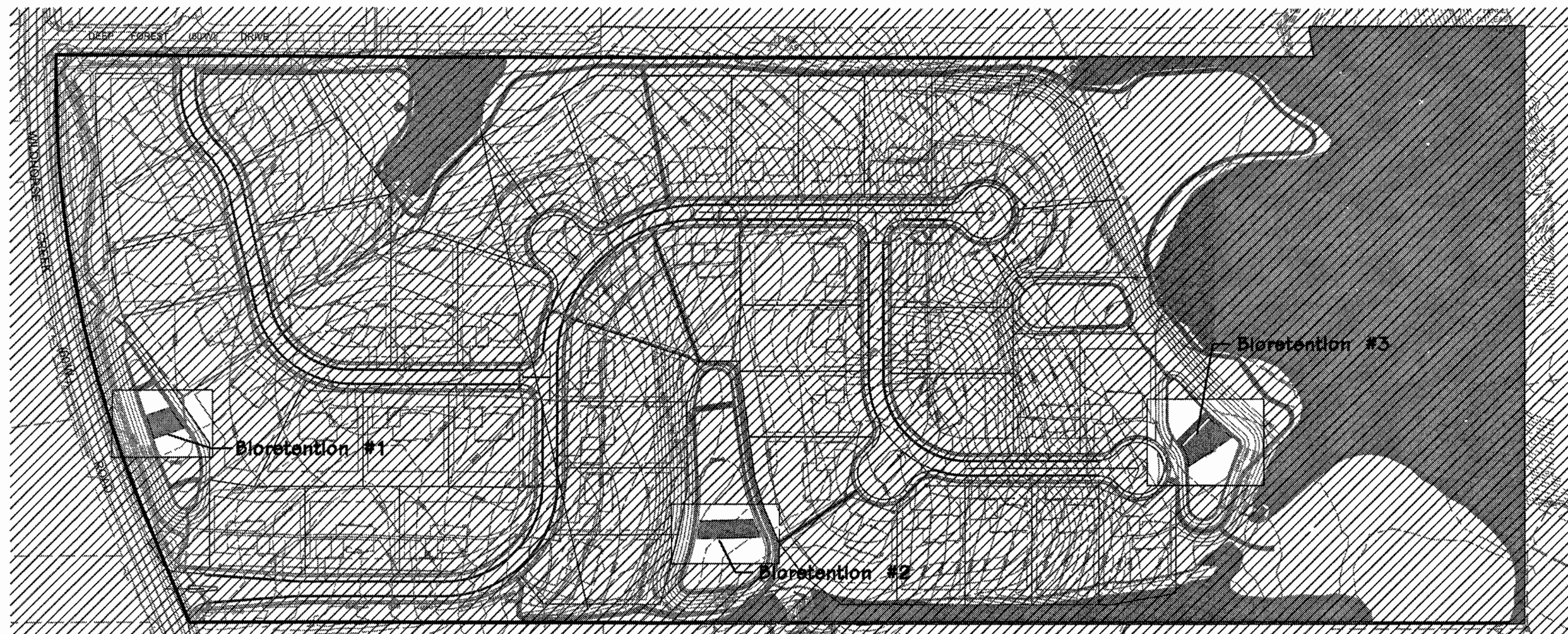
Drawn: LH
 Checked: JG

Ioomis Associates
 Landscape Architects/Planners
 707 Spirit of Park Drive, Suite 105
 Chesterfield, MO 63005
 Phone: (636) 959-1797
 Email: info@ioomis-associates.com

Sheet Title: **Landscape Plan**

Sheet No: **L-2**

Date: 11/13/15
 Job #: 955.002

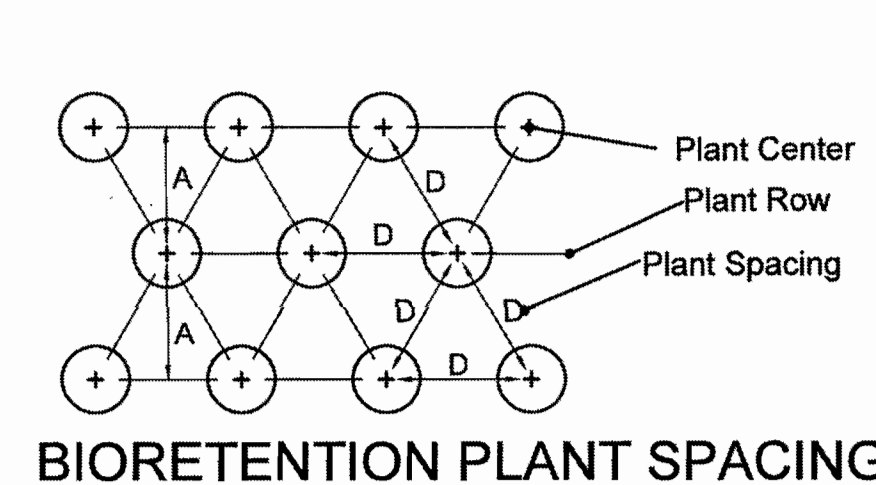


KEY MAP
N.T.S.

TABLE 1: PLANTING, WATER, AND MULCH REQUIREMENTS

WATER AVAILABILITY	REQUIRED PLANTING PERIOD	MINIMUM CONTAINER SIZE	WATER REQUIREMENT FIRST 3 WEEKS	WATER REQUIREMENT AFTER 3 WEEKS*	MAXIMUM MULCH DEPTH****
No ability to water after initial planting	Late Feb.-April only	2.25"x3.75" or larger (plug)	Water each plug immediately after planting		1.5" for plugs
Manual watering with standard eprinkler	Late Feb.-Early June Sept.-October	4.5"x5" (quart) or larger in summer and fall	1" (60 min) every 4 days	1" (60 min) every 7 days until plants established***	1.5" for plugs 2.5" for quarts
Automatic Irrigation (set to water more frequently than normal during first two months after planting)	Late Feb.-Early Oct.	2.25"x3.75" (plug) or larger in spring 4.5"x5" (quart) or larger in summer and fall	1" (60 min) every 4 days in spring and fall 1" (60 min) every 3 days in summer	1" (60 min) every 7 days until plants established***	1.5" for plugs 2.5" for quarts

*This water amount includes natural rainfall. If you get a 1/2 inch of natural rain, then you will need to add a 1/2 inch of water to meet the 1 inch requirement.
 **Requires transport of water to the planting site in large containers and pouring enough water onto each plant (after planting) to moisten the entire planting pit.
 ***Plants are established when roots have grown out of the container soil and into the native soil by 3-5 inches. This normally takes 3-4 months for most perennials and grasses and up to 6-7 months for trees and shrubs.
 ****Shredded leaf compost is recommended for use with perennials and grasses. Shredded bark mulch is recommended for tree and shrub plantings at a depth of 3 inches.



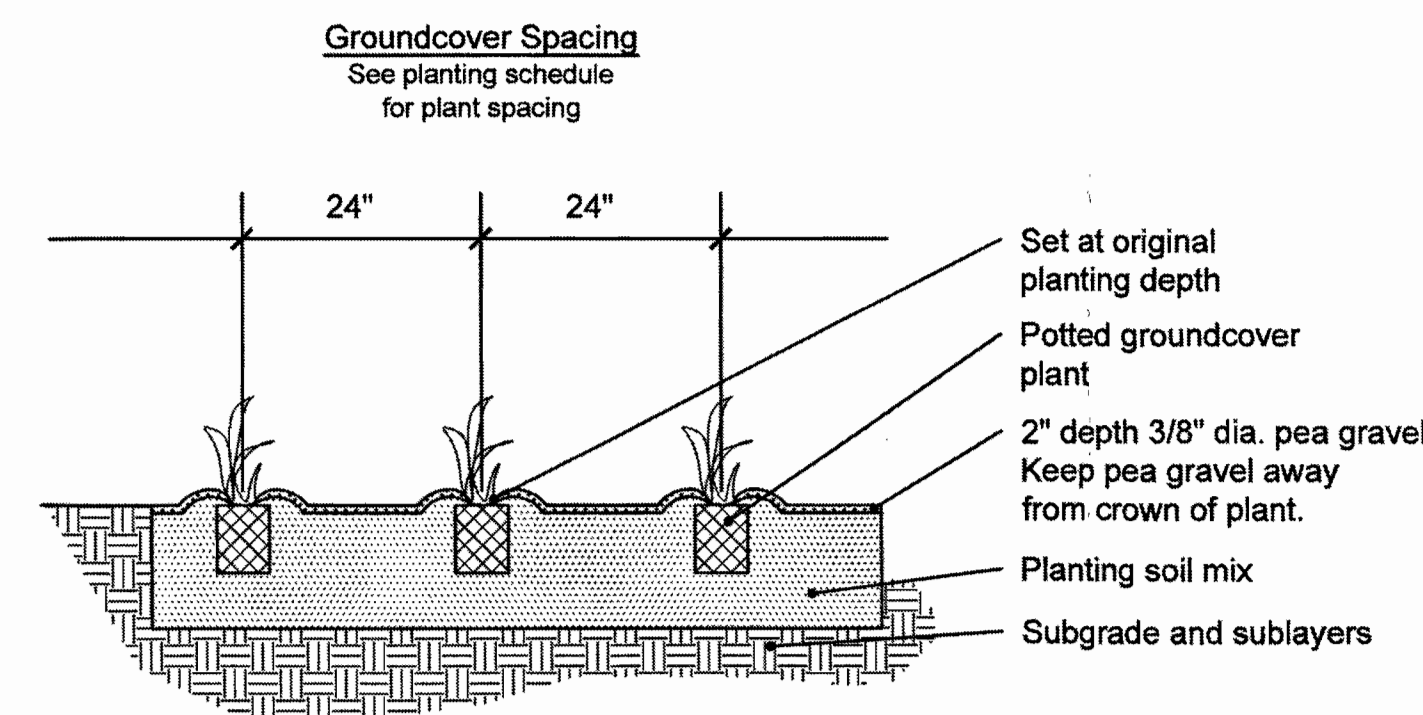
BIORETENTION PLANT SPACING

PLANT SPACING TABLE

SPACING 'D'	ROW 'A'	NUMBER OF PLANTS/SQ.FT.
30"	26"	.16
24"	20.6"	.25
18"	15.6"	.45
15"	13"	.64
12"	10.4"	1.00
10"	8.66"	1.44
8"	6.93"	2.25

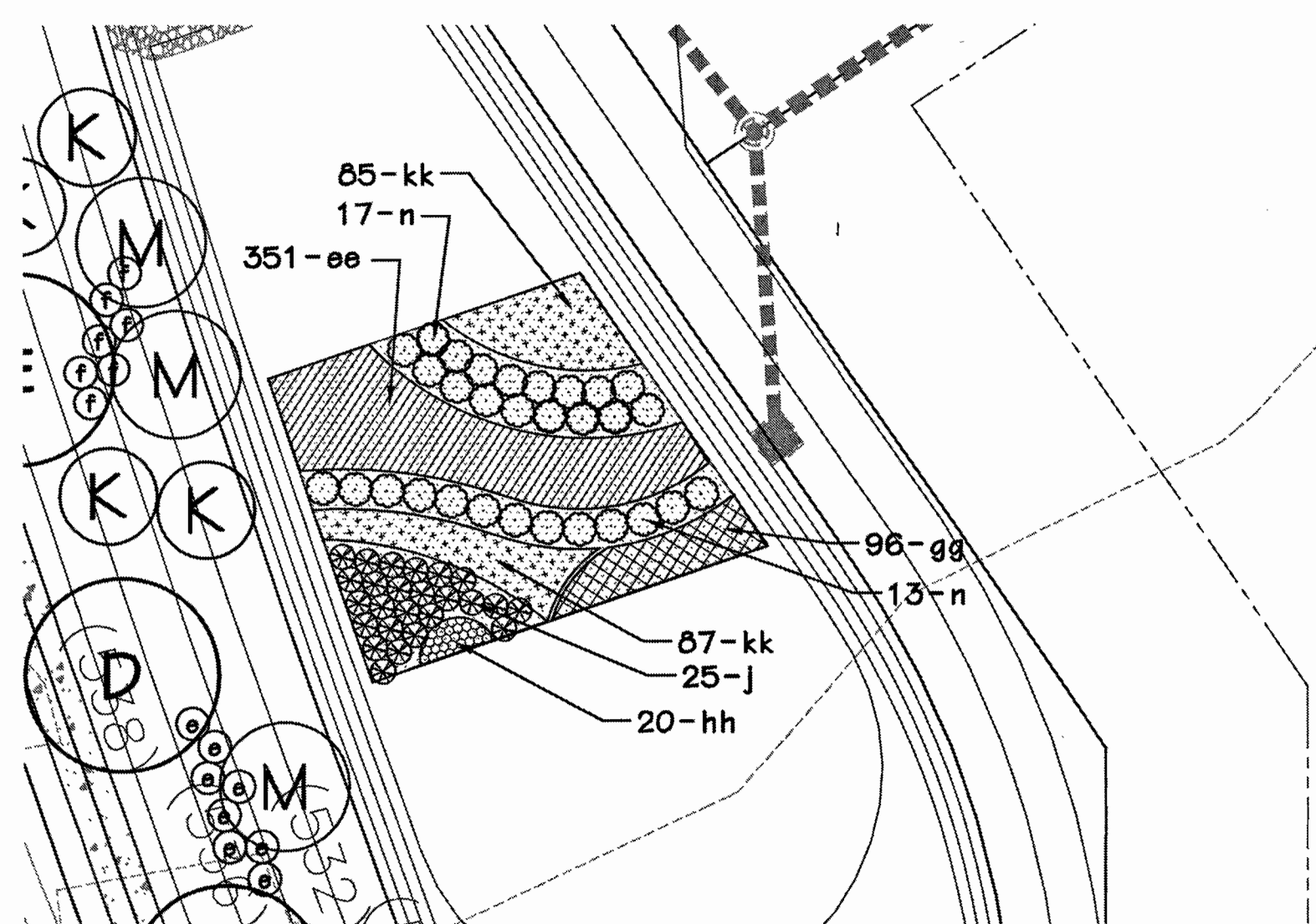
Note: Plant quantities to be determined by multiplying area (sq.ft.) by number of plants/sq.ft. for required spacing. Table and diagram taken from "Landscape Guide for Stormwater Best Management Practice Design" by MSD with a revised date of May 2, 2012.

PLANTING SCHEDULE					
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
BIORETENTION PLANTS					
j	53	Itea virginica 'Sprich'	Little Henry Virginia Sweetpire	24"	as shown
k	45	Ilex verticillata 'Red Sprite'	Red Sprite Winterberry	24"	as shown
m	9	Ilex verticillata 'Jim Dandy'	Jim Dandy Winterberry	24"	as shown
n	43	Aronia melanocarpa 'Morton'	Iroquois Beauty Black Chokeberry	24"	as shown
p	9	Cephalanthus occidentalis	Butterbush	24"	as shown
cc	102	Panicum virgatum 'Shenandoah'	Shenandoah Switchgrass	2" x 2" x 5" DCP	24" O.C.
dd	366	Schizachyrium scoparium	Little Bluestem	2" x 2" x 5" DCP	18" O.C.
ee	643	Juncus effusus	Soft Rush	2" x 2" x 5" DCP	18" O.C.
ff	753	Carex stricta	Tussock Sedge	2" x 2" x 5" DCP	18" O.C.
gg	571	Iris fulva	Copper Iris	2" x 2" x 5" DCP	18" O.C.
hh	237	Lobelia cardinalis	Cardinal Flower	2" x 2" x 5" DCP	18" O.C.
jj	670	Monarda fistulosa	Wild Bergamot	2" x 2" x 5" DCP	24" O.C.
kk	172	Aesclepias incarnata	Marsh Milkweed	2" x 2" x 5" DCP	24" O.C.



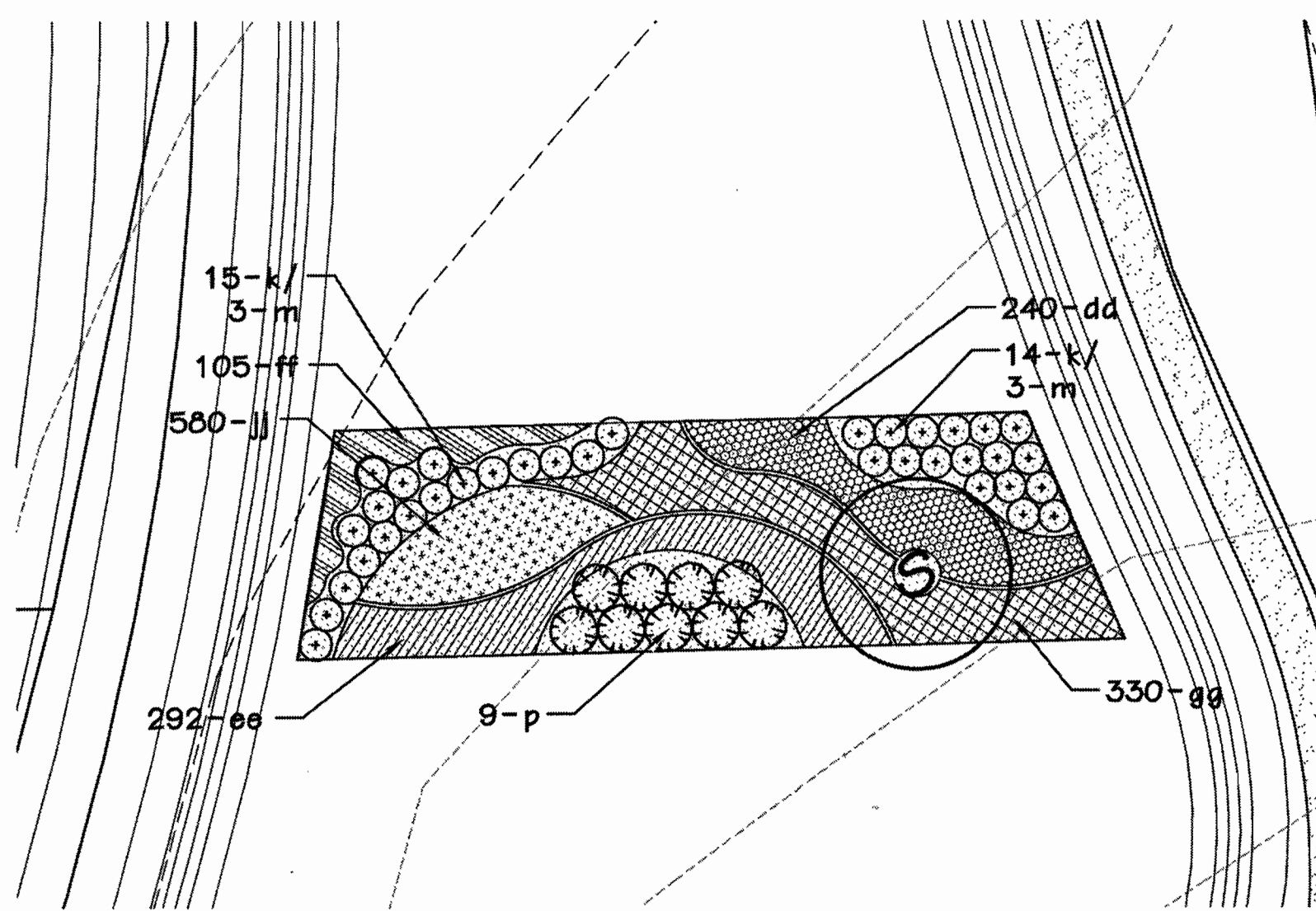
Notes:
 1. Remove spent flowers prior to planting.
 2. Loosen root mass at bottom of rootball.
 3. Top of rootball stripped of 1/4" surface growing media and covered with 1/4" landscape bed mix plus surface mulch.

BIORETENTION PLANT SPACING SECTION



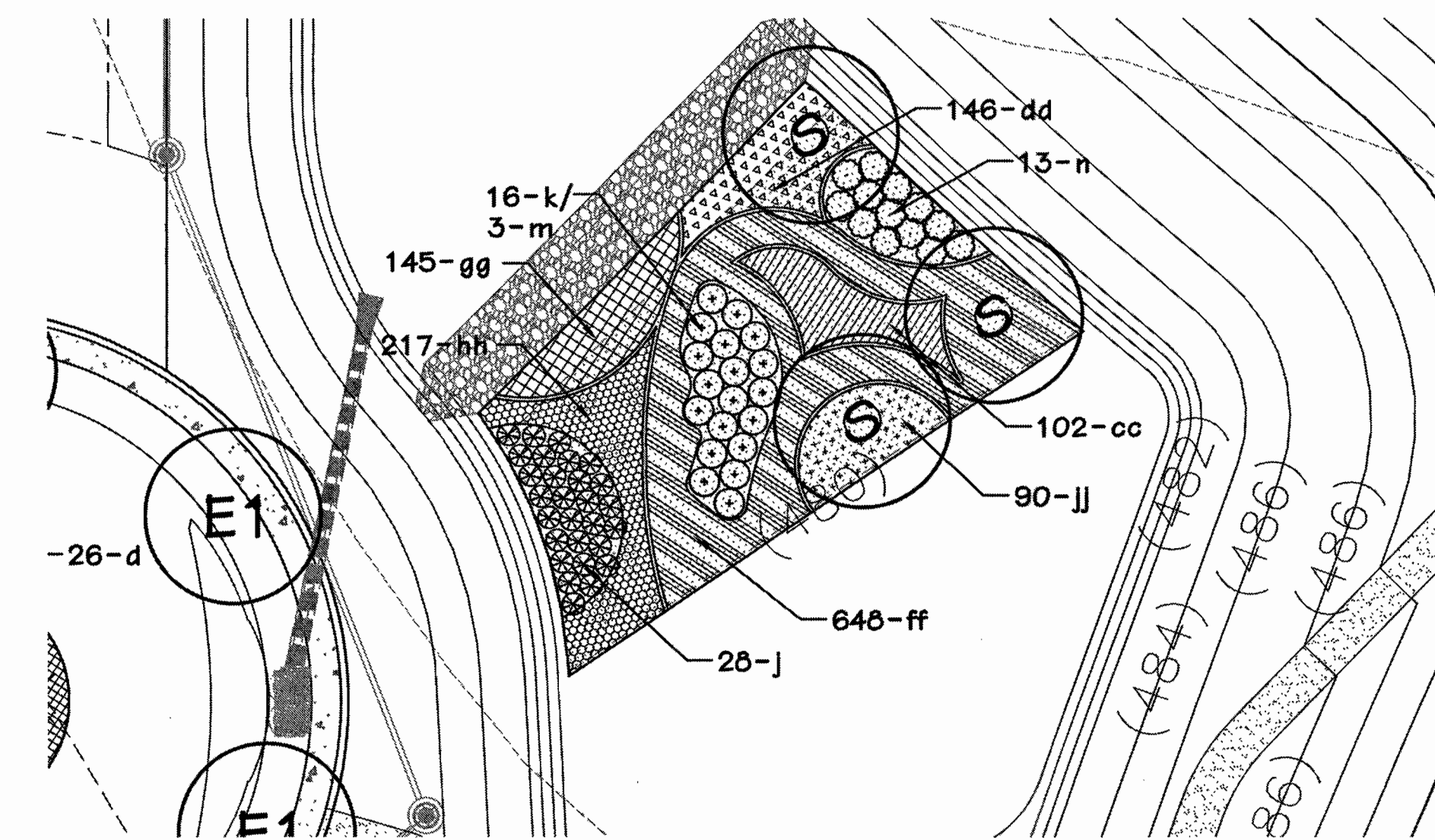
1 BIORETENTION #1

L-3 SCALE 1"=20'
 0 20 40 60



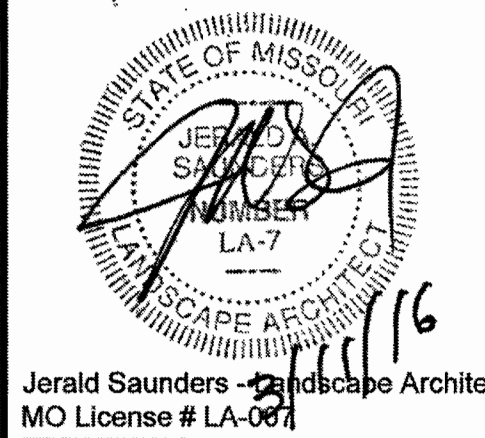
2 BIORETENTION #2

L-3 SCALE 1"=20'



3 BIORETENTION #3

L-3 SCALE 1"=20'



Consultants:

The Arbors at Wilmas Farm

Chesterfield, Missouri

Date	Description	No.
12/16/15	City Comments	1
12/24/15	Base Revision	2
1/19/16	City Comments	3
3/11/16	Base Revision	5

Drawn: LH
 Checked: JG

loomisAssociates
 landscape architects/planners
 707 Spirit-40 Park Drive, Suite B5
 Chesterfield, Missouri 63005-1954
 Phone: 636.863.1100
 Email: info@loomis-associates.com

Sheet Title: **BMP Plan**

Sheet No: **L-3**

Date: 11/13/15
 Job #: 955.002

Consultants:

The Arbors at Wilmas Farm

Chesterfield, Missouri

Revisions:

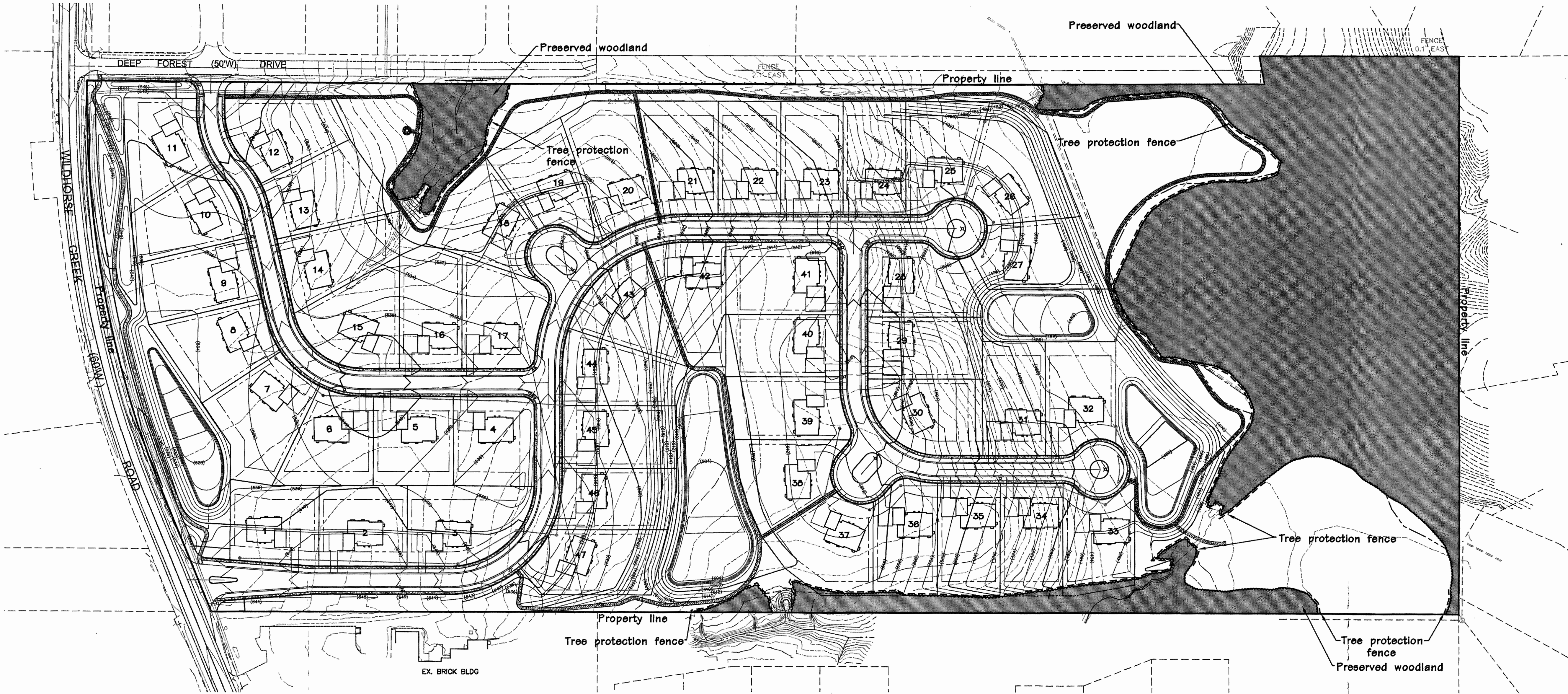
Date	Description	No.
12/16/15	City Comments	1
12/24/15	Base Revision	2
1/19/16	City Comments	3
2/9/16	City Comments	4
3/11/16	Base Revision	5

Drawn: LH
Checked: JS



loomisAssociates
Landscape Architects/planners
707 Spirit of Park Drive, Suite 105
Chesterfield, MO 63005
Phone: (636) 514-5028 Fax: (636) 514-0757
e-mail: info@loomis-associates.com

Missouri State Certificate of Authority #: LAC #000018

Sheet Title: **Tree Preservation Plan**
Sheet No.: **TPP**
Date: 11/13/15
Job #: 955.002



TREE PRESERVATION PLAN
SCALE 1" = 100'

KEY
 Woodland areas to be preserved
 Tree protection fence

TREE PROTECTION NOTES:

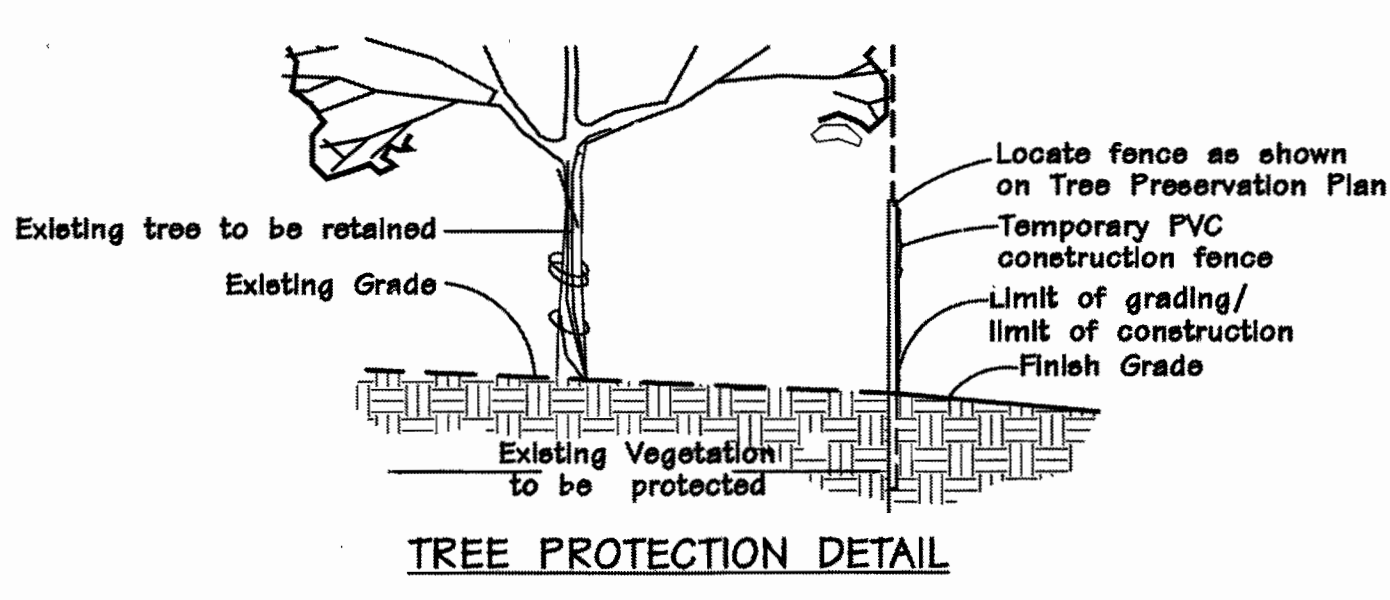
- 1) Preserved woodland is delineated with shading.
- 2) Pre-construction meeting to be held on-site to include a presentation of tree protection measures to operators; construction supervisors; developer's representative; and city zoning inspector.
- 3) Clearing Limits to be rough staked in order to facilitate location for installation of protection fencing. No early maintenance schedule is required. Required siltation devices to be installed along limit of disturbance line.
- 4) No clearing or grading shall begin in areas where the treatment and preservation measures have not been completed including the installation of tree protection fencing along all "Limit of Disturbance" lines shown on the plan.
- 5) Tree Protection Fencing shall be 4-foot high chain link fencing with dust fabric. No equipment traffic/parking, concrete washout, material storage or other such construction activity shall be permitted to penetrate the protection fencing or disrupt the Protected Woodland Area except for the removal of dead or invasive plant material. Any proposed plantings shall be subject to the review and approval of the City Arborist. All ground plane shall be mulched with hardwood bark mulch. Tree Protection Signage will be placed along the Protection Fencing as shown as the dashed line on the plan.
- 6) Tree protection measures to be maintained throughout construction sequence.

TREE PROTECTION ACTION KEY SEQUENCE:

- 1) Survey limit of disturbance.
- 2) Install tree protection fencing.
- 3) Post tree protection signage on fence (No signs will be posted on trees).
- 4) Maintain tree protection area as an off-limits zone.

CALCULATIONS:

Total Site Area = 51.2 Ac.
 Existing Tree Canopy Coverage = 475,856 sq. ft. or 10.9 Ac.
 Total Canopy proposed for removal = 48,869 sq. ft. or 1.1 Ac. (10.2%)
 Total Canopy proposed for preservation = 426,987 sq. ft. or 9.8 Ac. (89.7%)
 475,856 sq. ft. x .30 = 142,757 sq. ft of tree canopy preservation required





LEFT ELEVATION

NOTE:
 THE HOMES BUILT ON LOTS 1, 7, 8, 9, 10, 11, & 12 WILL INCLUDE ARCHITECTURAL TREATMENTS ON THE SIDE OF EACH HOME FACING EITHER WILD HORSE CREEK ROAD OR DEEP FOREST DRIVE (AS APPLICABLE) WHICH ARE SIMILAR TO THE ARCHITECTURAL TREATMENTS ON THE FRONT OF EACH HOME.



FRONT ELEVATION



DATE
12-1-16
 REVISED

PREPARED BY
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 Saint Louis, Missouri, 63146
 (314)548-6156 edward@emstarchitect.com
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COLOR EXTERIOR ELEVATIONS OF THE
MELROSE II
 CLAYMONT DEVELOPMENT, LLC

FRONT ELEVATION
 LEFT SIDE ELEVATION



RIGHT ELEVATION



REAR ELEVATION

NOTE:
 THE HOMES BUILT ON LOTS 1, 7, 8, 9, 10, 11, & 12
 WILL INCLUDE ARCHITECTURAL TREATMENTS ON
 THE SIDE OF EACH HOME FACING EITHER WILD
 HORSE CREEK ROAD OR DEEP FOREST DRIVE
 (AS APPLICABLE) WHICH ARE SIMILAR TO THE
 ARCHITECTURAL TREATMENTS ON THE FRONT OF
 EACH HOME.



DATE:
12-1-15

REVISED

PREPARED BY:
 Edward M. Stevens Architects, LLC
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 Saint Louis, Missouri, 63146
 (314) 548-6156 edward@emsaarchitects.com

COLOR EXTERIOR ELEVATIONS OF THE
MELROSE II
 CLAYMONT DEVELOPMENT, LLC

REAR ELEVATION
 RIGHT SIDE ELEVATION

2

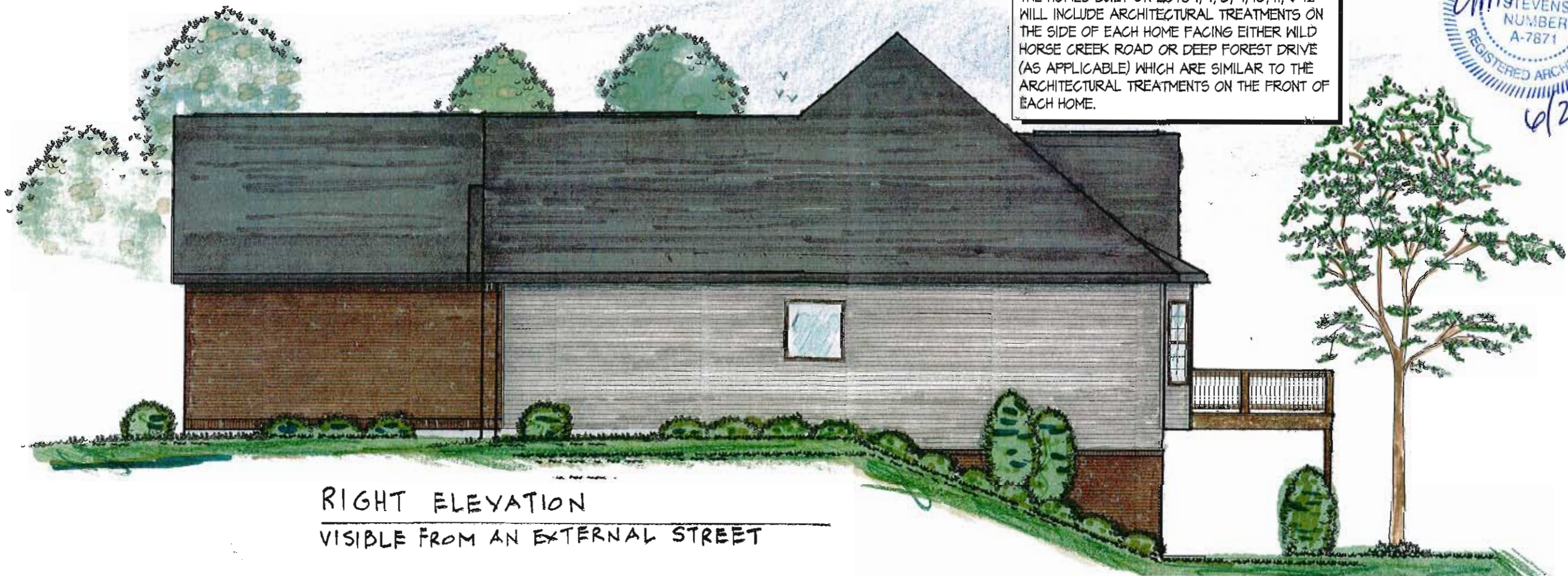
PREPARED BY:
Edward M. Stevens Architects, LLC
734 Westport Plaza Dr., Suite #275
Saint Louis, Missouri, 63146
edward@emarchitects.com
(314)548-6156



LEFT ELEVATION
VISIBLE FROM AN EXTERNAL STREET

NOTE:

THE HOMES BUILT ON LOTS 1, 7, 8, 9, 10, 11, & 12 WILL INCLUDE ARCHITECTURAL TREATMENTS ON THE SIDE OF EACH HOME FACING EITHER WILD HORSE CREEK ROAD OR DEEP FOREST DRIVE (AS APPLICABLE) WHICH ARE SIMILAR TO THE ARCHITECTURAL TREATMENTS ON THE FRONT OF EACH HOME.



RIGHT ELEVATION
VISIBLE FROM AN EXTERNAL STREET

COLOR EXTERIOR ELEVATIONS OF THE
MELROSE II
CLAYMONT DEVELOPMENT, LLC

LEFT SIDE ELEVATION
RIGHT SIDE ELEVATION



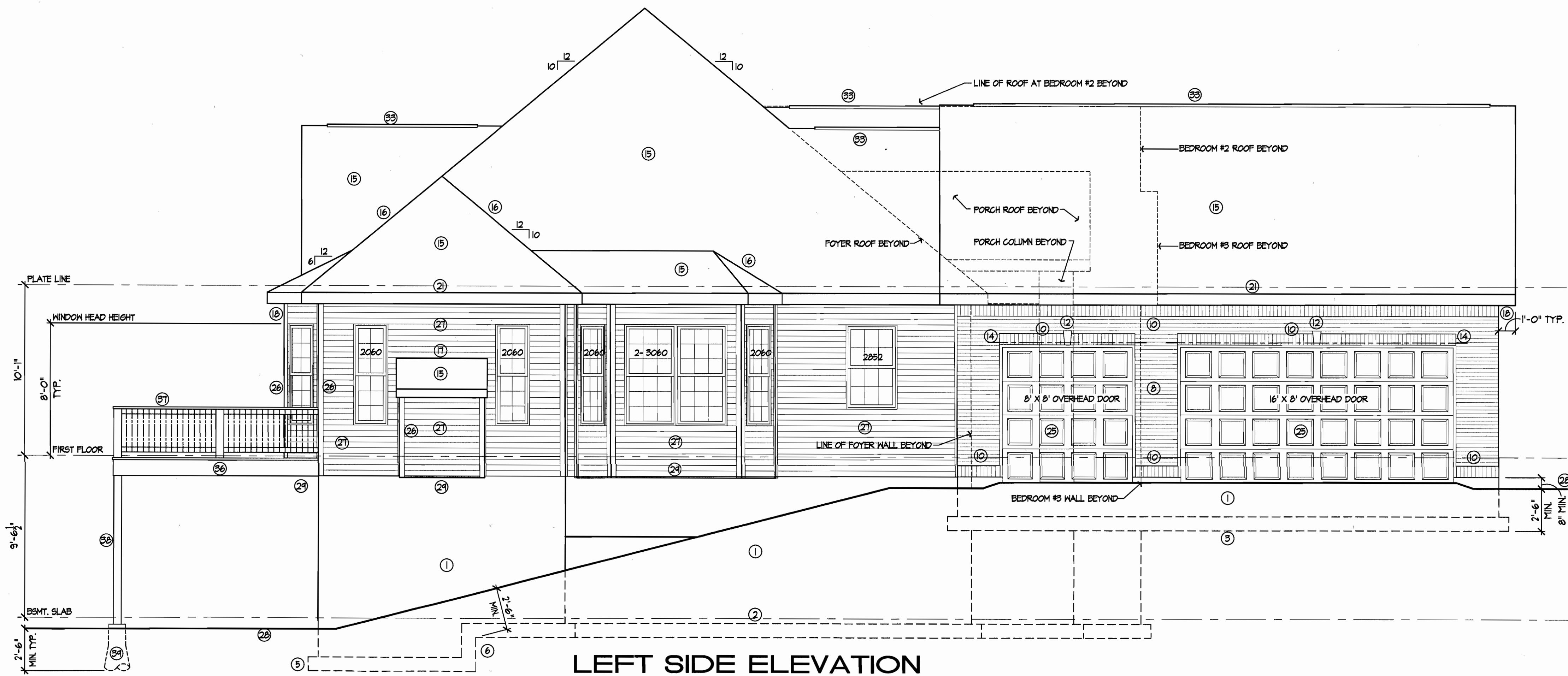
REAR ELEVATION
 VISIBLE FROM AN EXTERNAL STREET

NOTE:
 THE HOMES BUILT ON LOTS 1, 7, 8, 9, 10, 11, & 12 WILL INCLUDE ARCHITECTURAL TREATMENTS ON THE SIDE OF EACH HOME FACING EITHER WILD HORSE CREEK ROAD OR DEEP FOREST DRIVE (AS APPLICABLE) WHICH ARE SIMILAR TO THE ARCHITECTURAL TREATMENTS ON THE FRONT OF EACH HOME.

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COLOR EXTERIOR ELEVATIONS OF THE
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 CLAYMONT DEVELOPMENT, LLC

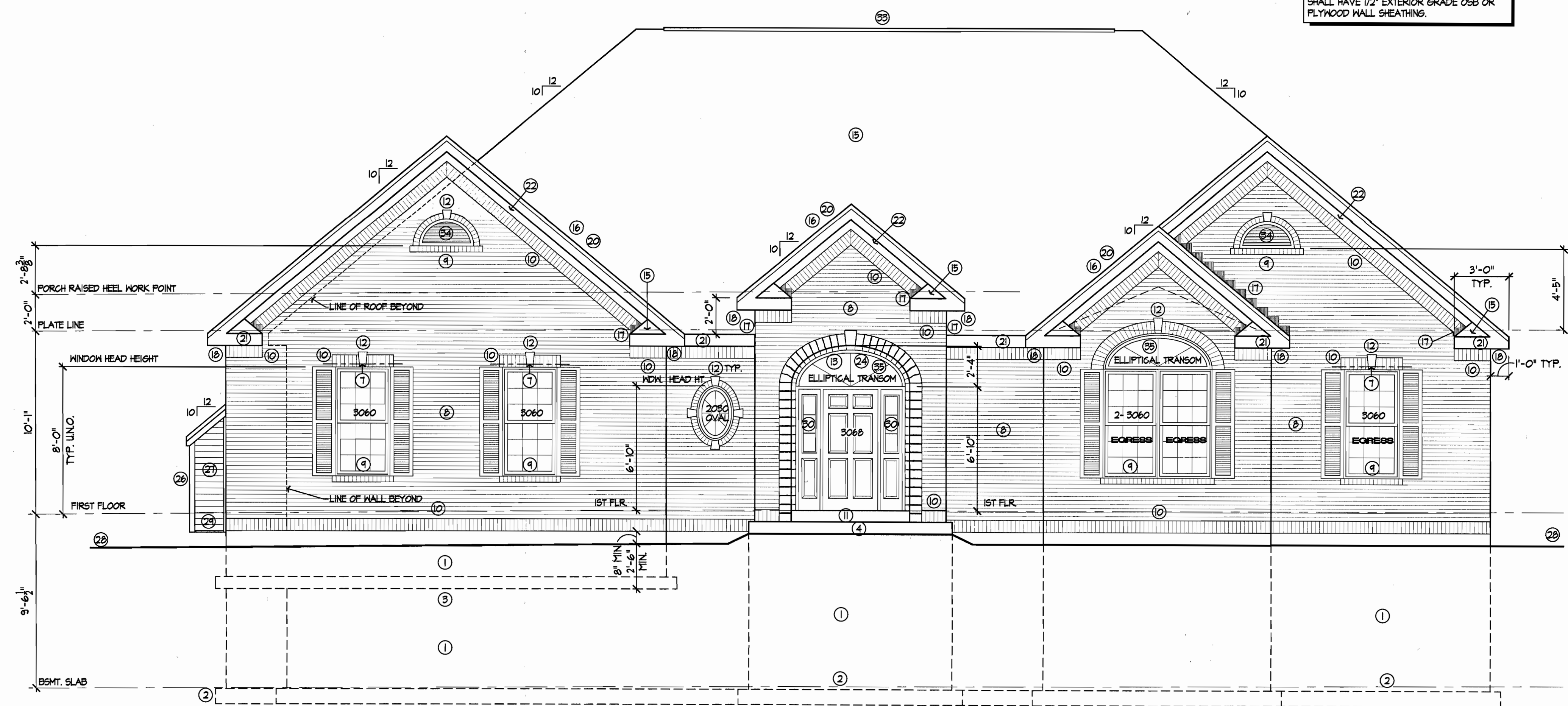
REAR ELEVATION



LEFT SIDE ELEVATION

SCALE 1/4" = 1'-0"

NOTE:
ALL EXTERIOR WALLS, INCLUDING GABLES, ETC. SHALL HAVE 1/2" EXTERIOR GRADE OSB OR PLYWOOD WALL SHEATHING.



FRONT ELEVATION

SCALE 1/4" = 1'-0"

KEYED ELEVATION NOTES

- ① 10" CONCRETE FOUNDATION WALL (SEE GENERAL FDN. NOTE #6)
- ② 23" X 10" CONCRETE FOOTING AT FRAME WALL, 26" X 10" CONCRETE FOOTING AT AREAS W/ BRICK OR STONE VENEER ABOVE (SEE GENERAL FDN. NOTE #6)
- ③ 20" X 10" CONCRETE FOOTING AT GARAGE LOW FOUR
- ④ 4" CONCRETE SLAB PATIO (OR PORCH); SLOPE 1/4" PER 12" AWAY FROM FOUNDATION WALL
- ⑤ CONCRETE FOUNDATION WALL AND FOOTING @ WALKOUT CONDITION
- ⑥ FIELD DETERMINE EXACT LOCATION OF FOOTING "STEP-DOWN" AT JOB SITE
- ⑦ 5" X 3 1/2" X 3/8" STEEL ANGLE BRICK LINTEL (BEARING 8" MIN. EACH SIDE)
- ⑧ BRICK VENEER
- ⑨ SLOPED BRICK ROWLOCK SILL W/ FLASHING
- ⑩ BRICK SOLDIER COURSE (PROJECT 3/8") - SEE PLAN FOR COURSE WIDTH
- ⑪ CONCRETE STAIRS (OR SILL)
- ⑫ KEYSTONE
- ⑬ STRUCTURAL STONE SOLDIER ARCH/ SURROUND W/ KEYSTONES AS SHOWN (PROJ. 3/8" EA)
- ⑭ 8" X 4" X 1/2" STEEL ANGLE BRICK LINTEL (BEARING 8" MIN. EACH SIDE)
- ⑮ FIBERGLASS SHINGLES WITH SEALED DOWN TABS OVER 1 LAYER OF 15# BUILDERS FELT
- ⑯ INTERLACE SHINGLES OVER 15# ROLLED ROOFING
- ⑰ METAL FLASHING AT ROOF / WALL INTERSECTION
- ⑱ ENCLOSED ALUMINUM SOFFIT (VENTED 6 S.I. PER L.F.)
- ⑲ OVERFRAMED SADDLE AS REQUIRED (HATCHED)
- ⑳ SHINGLE MLDG. OVER 2 X 8 RAKE BOARD WITH ALUMINUM WRAP
- ㉑ GUTTER OVER 2 X 8 FASCIA BOARD WITH ALUMINUM WRAP
- ㉒ 2X6 SHADOW BOARD W/ ALUMINUM WRAP (3 1/2" EXPOSED)
- ㉓ ALUMINUM WRAP PORCH BEAM
- ㉔ 7/16" O.S.B. PORCH CEILING WITH ALUMINUM SOFFIT
- ㉕ ALUMINUM WRAP GARAGE DOOR FRAME
- ㉖ VINYL CORNER TRIM
- ㉗ DOUBLE 4" VINYL SIDING
- ㉘ GRADE - SLOPE DOWN 6" WITHIN THE FIRST 10 FEET OR TO A SHALE
- ㉙ CANTILEVER; PROVIDE EXTERIOR GRADE SOFFIT, INSULATE TO R-14 MIN. AND VENT FLOOR JOISTS CAVITY.
- ㉚ 12" X 80" SIDELIGHT WITH TEMPERED INSULATED GLASS
- ㉛ 16/20, 2-LITE, STEEL SASH, HOPPER TYPE BASEMENT WINDOW.
- ㉜ NOT USED
- ㉝ CONTINUOUS RIDGE VENT (COR-A-VENT 300 = 13.5 S.I. PER L.F.) OR EQUAL
- ㉞ 36" HALF ROUND LOUVER, "TYFON" HRLV36X18 (NON FUNCTIONAL)
- ㉟ TRANSOM UNIT TO MATCH UNIT WIDTH BELOW
- ㊱ WOOD DECK - SEE DETAIL
- ㊲ 36" HIGH WOOD GUARDRAIL WITH 2X2 WOOD BALLUSTERS AT 4" APART, MAX.
- ㊳ 6X6 CEDAR DECK POST ON METAL STAND-OFF POST SHOE ANCHORED 8" MIN. INTO CONCRETE POST PIER
- ㊴ 12" DIA. CONCRETE POST PIER - SEE FOUNDATION PLAN FOR FLARED DIMENSION AT BOTTOM

GENERAL ELEVATION NOTES

1. INSTALL 15# BUILDERS FELT ON ENTIRE ROOF (2- LAYERS ON ROOFS WITH 4/12 PITCH OR LESS)
2. SEE BASE PLANS / ELEVATIONS AND DETAIL SHEET FOR ADDITIONAL INFORMATION.
3. SECURELY BARRICADE DOORS TO DECK, UNTIL DECK IS BUILT AND APPROVED.
4. SEE THE GENERAL NOTES FOR INSULATION REQUIREMENTS FOR THE BUILDING ENVELOPE, INCLUDING BASEMENT WALLS.
5. WINDOW DESIGNATIONS ARE THOSE OF "ANDERSON" 200 SERIES UNLESS NOTED OTHERWISE.
6. ALL BEDROOM WINDOWS TO HAVE 57 SQ. FT. MINIMUM NET CLEAR OPENING AREA (5.0 SQ. FT. AT GRADE FLOOR WINDOWS). WINDOWS TO HAVE 20" MINIMUM CLEAR OPENING WIDTH AND 24" MINIMUM NET CLEAR OPENING HEIGHT. 44" MAX HEIGHT TO BOTTOM OF CLEAR OPENING.
7. ROOF FLASHING: PROVIDE CORROSION RESISTANT METAL FLASHING AT ALL ROOF VALLEYS, WALL AND CHIMNEY INTERSECTIONS, PORCHES, DECKS, ETC.. ROLLED ROOFING OR TWO LAYERS OF TYPE I UNDERLAYMENT MAY BE SUBSTITUTED FOR FLASHING AT ROOF VALLEYS PROVIDED THE SHINGLES ARE INTERLACED.
8. ALUMINUM DOWNSPOUTS TO BE LOCATED BY INSTALLER AND SHALL MEET ALL APPLICABLE CODES. ALL DOWNSPOUTS SHALL TERMINATE INTO SPLASH BLOCKS OR OTHER APPROVED EROSION CONTROL.
9. ALL EXTERIOR WALLS, INCLUDING GABLES, ETC SHALL HAVE APA RATED 1/2" EXTERIOR GRADE OSB OR PLYWOOD SHEATHING
10. PROPERLY CAULK / SEAL AROUND ALL DOORS AND WINDOW TRIM.
11. ALL MAN DOORS AND GLAZING WITHIN A 24" ARC OF DOOR REQUIRE TEMPERED GLASS.
12. DOORS & WINDOWS IN THE THERMAL ENVELOPE SHALL HAVE A MAXIMUM U- FACTOR OF 0.40.

RECEIVED
JUN - 2 2016
City of Chesterfield
Department of Public Services

DATE
4-30-13

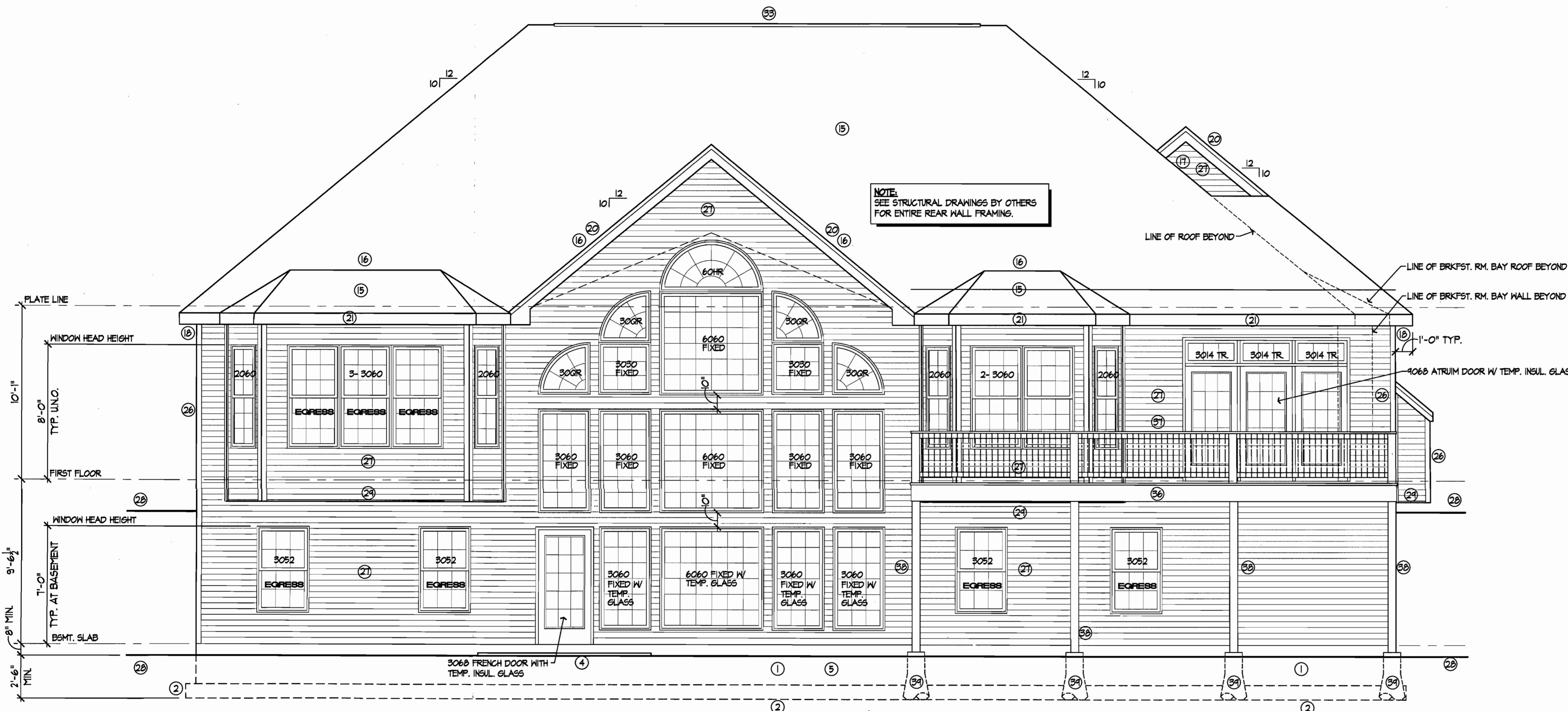
REVISED

PREPARED BY:
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Missouri, 63367
(636) 561-2420 FAX (636) 561-9194
Certificate of Authority No. 2012004124
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PROPOSED MASTER PLAN FOR THE
MELROSE II
2009 International Residential Code
CLAYMONT DEVELOPMENT, LLC

FRONT ELEVATION
LEFT SIDE ELEVATION

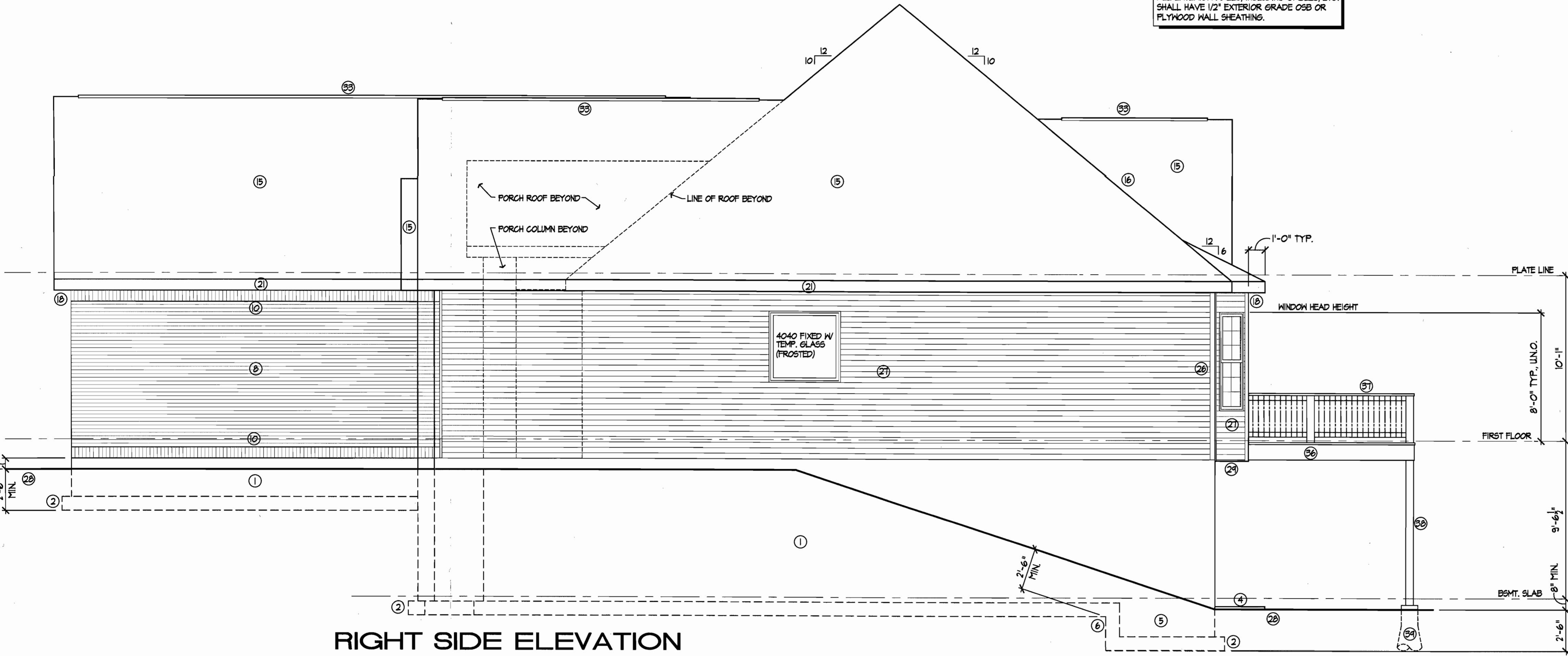
SHEET
5



REAR ELEVATION

SCALE 1/4" = 1'-0"

NOTE:
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RIGHT SIDE ELEVATION

SCALE 1/4" = 1'-0"

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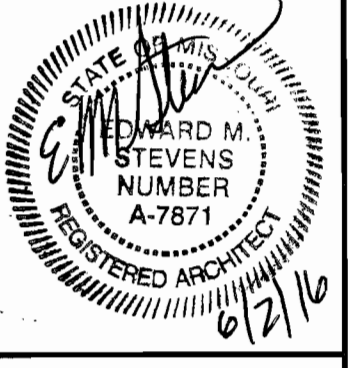
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12. DOORS & WINDOWS IN THE THERMAL ENVELOPE SHALL HAVE A MAXIMUM U-FACTOR OF 0.40.

DATE
4-30-13

REVISED

PREPARED BY:
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Certificate of Authority No. 2012004124
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PROPOSED MASTER PLAN FOR THE
MELROSE II
2009 International Residential Code
CLAYMONT DEVELOPMENT, LLC

REAR ELEVATION
RIGHT SIDE ELEVATION

SHEET

6



LEFT ELEVATION



FRONT ELEVATION

NOTE:
 THE HOMES BUILT ON LOTS 1, 7, 8, 9, 10, 11, & 12
 WILL INCLUDE ARCHITECTURAL TREATMENTS ON
 THE SIDE OF EACH HOME FACING EITHER WILD
 HORSE CREEK ROAD OR DEEP FOREST DRIVE
 (AS APPLICABLE) WHICH ARE SIMILAR TO THE
 ARCHITECTURAL TREATMENTS ON THE FRONT OF
 EACH HOME.



DATE
 11-2-15

REVISED

PREPARED BY:
 Edward M. Stevens Architects, LLC
 734 Westport Plaza Dr., Suite #275
 Saint Louis, Missouri, 63146
 (314)548-6156 edward@emsaarchitects.com
 COPYRIGHT PAK DATE

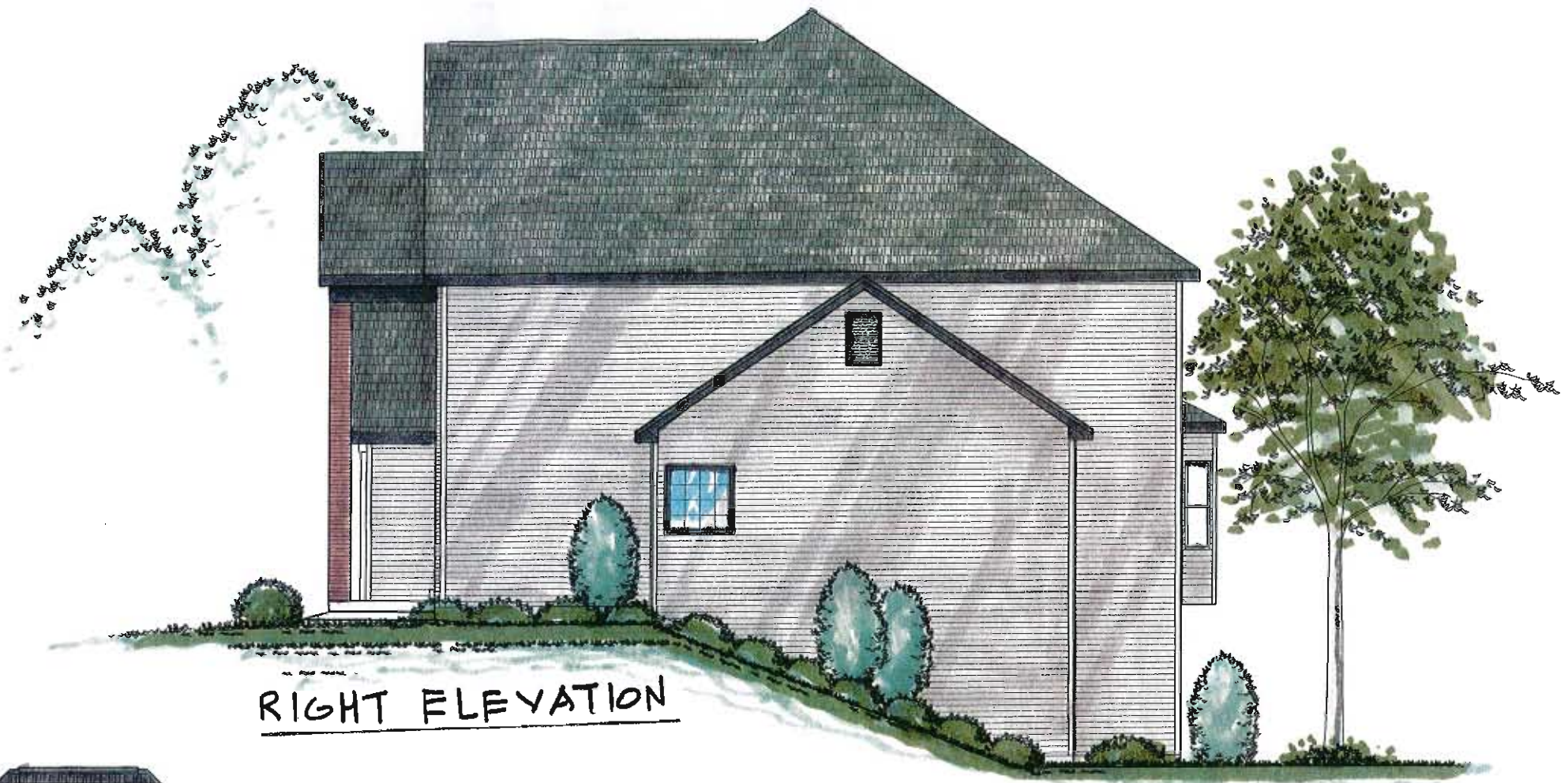
COLOR EXTERIOR ELEVATIONS OF THE
WYNGATE II
 CLAYMONT DEVELOPMENT, LLC

FRONT AND LEFT SIDE
 ELEVATIONS

SHEET
1

PREPARED BY:
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Saint Louis, Missouri, 63146
(314) 248-6156 edward@emstevens.com
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NOTE:
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ARCHITECTURAL TREATMENTS ON THE FRONT OF
EACH HOME.



RIGHT ELEVATION



REAR ELEVATION



COLOR EXTERIOR ELEVATIONS OF THE
WYNGATE II
CLAYMONT DEVELOPMENT, LLC

REAR AND RIGHT SIDE
ELEVATIONS

DATE
11-2-15

REVISED

PREPARED BY:
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Saint Louis, Missouri, 63146
(314)548-6156 edward@emstarchitects.com
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COLOR EXTERIOR ELEVATIONS OF THE
WYNGATE II
CLAYMONT DEVELOPMENT, LLC

FRONT ELEVATION
ELEVATIONS

SHEET
3





REAR ELEVATION
VISIBLE FROM AN EXTERNAL STREET

NOTE:
 THE HOMES BUILT ON LOTS 1, 7, 8, 9, 10, 11, & 12
 WILL INCLUDE ARCHITECTURAL TREATMENTS ON
 THE SIDE OF EACH HOME FACING EITHER WILD
 HORSE CREEK ROAD OR DEEP FOREST DRIVE
 (AS APPLICABLE) WHICH ARE SIMILAR TO THE
 ARCHITECTURAL TREATMENTS ON THE FRONT OF
 EACH HOME.



DATE
 4-18-18

REVISED

PREPARED BY
 Edward M. Stevens Architects, LLC
 734 Westport Plaza Dr., Suite #275
 Saint Louis, Missouri, 63146
 (314) 548-6156 edward@emsaarchitects.com
 COMPANY: PER OATR

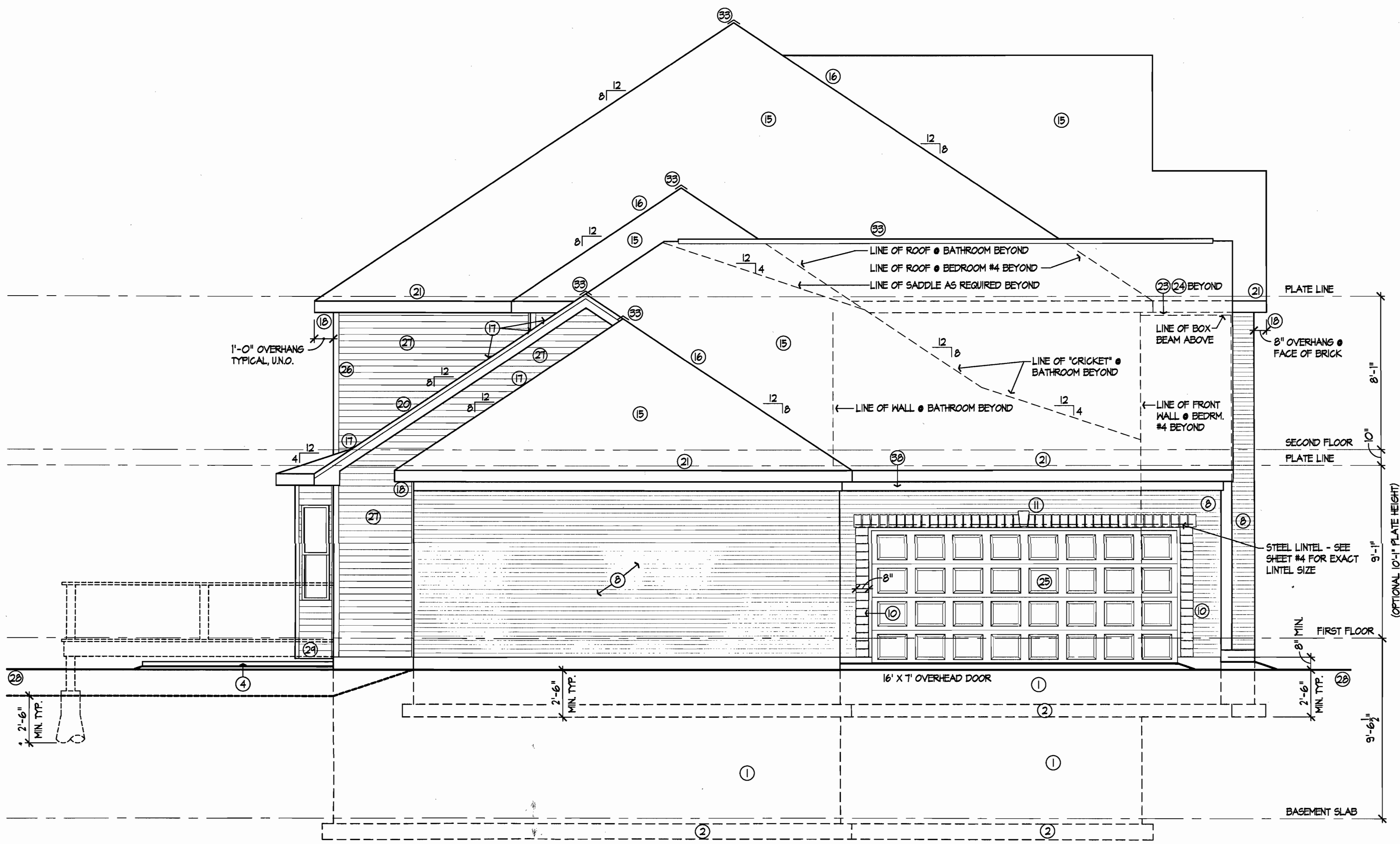
COLOR EXTERIOR ELEVATIONS OF THE
WYNGATE II
 CLAYMONT DEVELOPMENT, LLC

REAR AND RIGHT SIDE
 ELEVATIONS

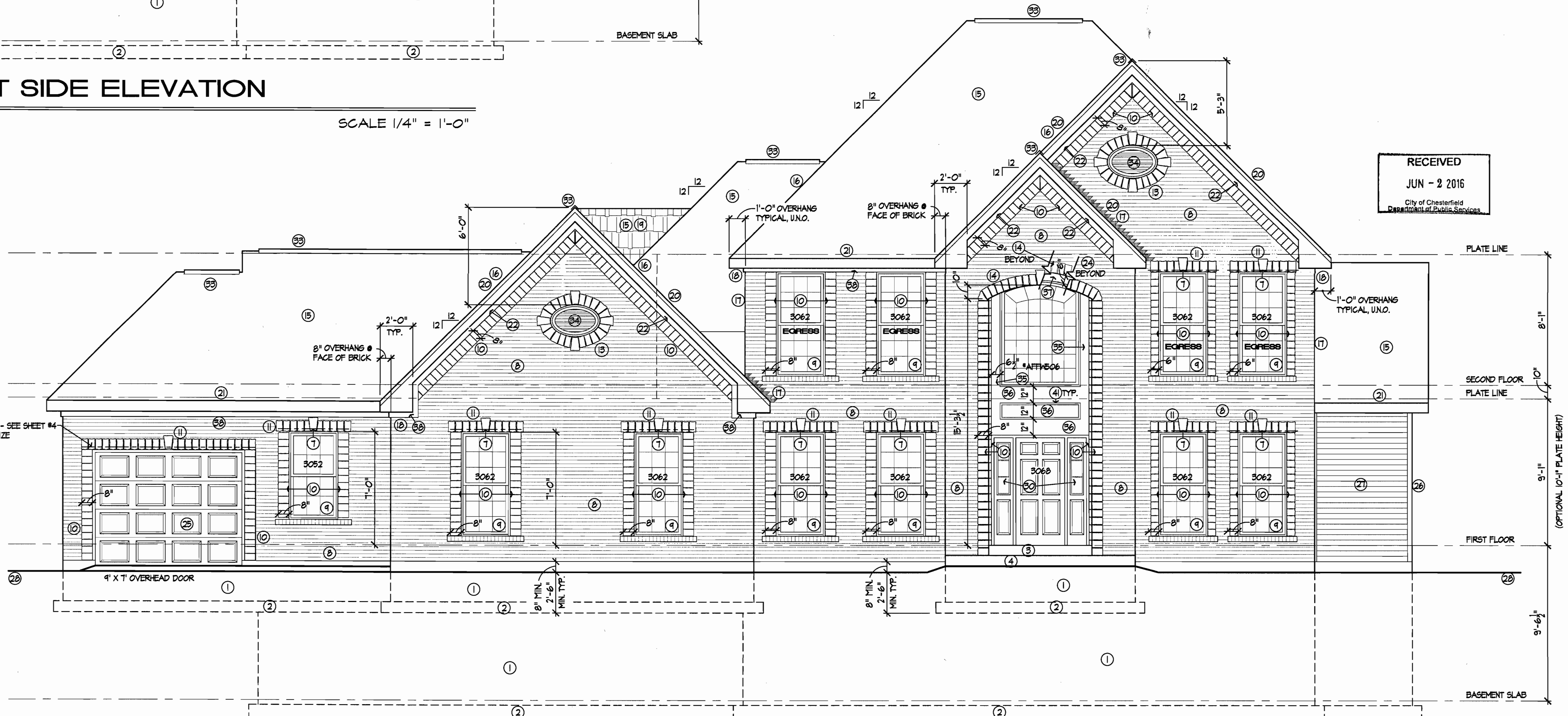
SHEET
4A

KEYED ELEVATION NOTES

- 1 10' CONCRETE FOUNDATION WALL (SEE GENERAL FDN. NOTE #6)
- 2 26" X 10' CONCRETE FOOTINGS AT FRAME WALL, 32" X 10' CONCRETE FOOTING AT AREAS W/ BRICK OR STONE VENEER ABOVE (SEE GENERAL FDN. NOTE # 6)
- 3 CONCRETE STAIRS (OR SILL)
- 4 4' CONCRETE SLAB PATIO (OR PORCH). SLOPE 1/4" PER 12" AWAY FROM FOUNDATION WALL
- 5 CONCRETE FOUNDATION WALL AND FOOTING @ WALKOUT OPTION
- 6 FIELD DETERMINE EXACT LOCATION OF FOOTING "STEP-DOWN" AT JOB SITE
- 7 5" X 3 1/2" X 3/8" STEEL ANGLE BRICK LINTEL
- 8 BRICK VENEER
- 9 SLOPED BRICK ROWLOCK SILL W/ FLASHING
- 10 BRICK HEADER COURSE (PROJECT 3/8") - SEE PLAN FOR COURSE WIDTH
- 11 STONE SOLDIERS COURSE W/ KEYSTONE AS SHOWN (PROJ. 3/8")
- 12 NOT USED
- 13 STRUCTURAL STONE SOLDIER ARCH/ SURROUND W/ KEYSTONES AS SHOWN (PROJ. 3/8" EA)
- 14 STRUCTURAL STONE SOLDIER ARCH W/ KEYSTONE AS SHOWN (PROJ. 3/8")
- 15 FIBERGLASS SHINGLES WITH SEALED DOWN TABS OVER 1 LAYER OF 15# BUILDERS FELT
- 16 INTERLACE SHINGLES OVER 15# ROLLED ROOFING
- 17 METAL FLASHING AT ROOF / WALL INTERSECTION
- 18 ENCLOSED ALUMINUM SOFFIT (VENTED 6 S.I. PER L.F.)
- 19 OVERFRAMED SADDLE AS REQUIRED (HATCHED)
- 20 SHINGLE MLDG. OVER 2 X 8 RAKE BOARD WITH ALUMINUM WRAP
- 21 GUTTER OVER 2 X 8 FASCIA BOARD WITH ALUMINUM WRAP
- 22 1 X 4 SHADON BOARD WITH ALUMINUM WRAP @ BRICK
- 23 ALUMINUM HRAP PORCH BEAM
- 24 1/16" O.S.B. PORCH CEILING WITH ALUMINUM SOFFIT
- 25 ALUMINUM HRAP GARAGE DOOR FRAME
- 26 VINYL CORNER TRIM (SEE ELEVATION FOR WIDTH)
- 27 DOUBLE 4" VINYL SIDING
- 28 GRADE - SLOPE DOWN 6" WITHIN THE FIRST 10 FEET OR TO A SHALE
- 29 CANTILEVER, PROVIDE EXTERIOR GRADE SOFFIT, INSULATE TO R-19 MIN. AND VENT FLOOR JOISTS CAVITY.
- 30 12" X 80" SIDELIGHT WITH TEMPERED INSULATED GLASS
- 31 16/20, 2- LITE, STEEL SASH, HOPPER TYPE BASEMENT WINDOW
- 32 24" X 36" ALUMINUM SCREENED LOUVER WITH INSECT SCREEN
- 33 CONTINUOUS RIDGE VENT (COR-A-VENT 500 = 13.5 S.I. PER L.F.) OR EQUAL
- 34 "TYTON" OVALYDISH HORIZONTAL OVAL LOUVER (NON FUNCTIONAL)
- 35 1X8 WOOD TRIM (PAINTED) RIPPED AS REQUIRED - SEE ELEVATION FOR EXACT WIDTH
- 36 1X2 WOOD TRIM - PAINTED
- 37 1X WOOD TRIM (PAINTED) WITH RADIUS CUT AS SHOWN
- 38 1 X 4 FRIEZE BOARD WITH ALUMINUM WRAP (BLOCKING AS REQUIRED TO OVERHANG BRICK)
- 39 "PRECISE FORMS INC." MALESTIC DOUBLE GLAZED 48" X 48" SLIDER WINDOW. BOTTOM OF WINDOW OPENING SHALL BE 44" MAX. ABOVE FINISHED FLOOR. PROVIDE 2-15 REBARS AROUND WINDOW EXTENDING 24" MIN. PAST WINDOW OPENING (W/ "PRECISE FORMS INC. 18 GA. GALVANIZED EGRESS STEEL AREA WALLS IF REQ'D BY GRADE) OR EQUAL. INSTALL PER MFG'S SPECS. (SEE #41) FOR WINDOW WELL DRAINAGE INFORMATION)
- 40 TRANSOM UNIT TO MATCH UNIT WIDTH BELOW
- 41 PANEL MOULDING - PAINTED



LEFT SIDE ELEVATION
SCALE 1/4" = 1'-0"



FRONT AND LEFT SIDE ELEVATIONS
SCALE 1/4" = 1'-0"

GENERAL ELEVATION NOTES

1. INSTALL 15# BUILDERS FELT ON ENTIRE ROOF (2- LAYERS ON ROOFS WITH 4/12 PITCH OR LESS)
2. SEE BASE PLANS / ELEVATIONS AND DETAIL SHEET FOR ADDITIONAL INFORMATION.
3. SECURELY BARRICADE DOORS TO DECK, UNTIL DECK IS BUILT AND APPROVED.
4. SEE THE GENERAL NOTES FOR INSULATION REQUIREMENTS FOR THE BUILDING ENVELOPE, INCLUDING BASEMENT WALLS.
5. WINDOW DESIGNATIONS ARE THOSE OF "ANDERSEN" 200 SERIES, UNLESS NOTED OTHERWISE.
6. ALL BEDROOM WINDOWS TO HAVE 5.7 SQ. FT. MINIMUM NET CLEAR OPENING AREA (5.0 SQ. FT. AT GRADE FLOOR WINDOWS). WINDOWS TO HAVE 20" MINIMUM CLEAR OPENING WIDTH AND 24" MINIMUM NET CLEAR OPENING HEIGHT. 44" MAX HEIGHT TO BOTTOM OF CLEAR OPENING.
7. ROOF FLASHING: PROVIDE CORROSION RESISTANT METAL FLASHING AT ALL ROOF VALLEYS, WALL AND CHIMNEY INTERSECTIONS, PORCHES, DECKS, ETC.. ROLLED ROOFING OR TWO LAYERS OF TYPE I UNDERLAYMENT MAY BE SUBSTITUTED FOR FLASHING AT ROOF VALLEYS PROVIDED THE SHINGLES ARE INTERLACED.
8. ALUMINUM DOWNSPOUTS TO BE LOCATED BY INSTALLER AND SHALL MEET ALL APPLICABLE CODES. ALL DOWNSPOUTS SHALL TERMINATE INTO SPLASH BLOCKS OR OTHER APPROVED DRAINAGE CONTROL.
9. ALL EXTERIOR WALLS, INCLUDING GABLES, ETC SHALL HAVE APA RATED 1/2" EXTERIOR GRADE OSB OR PLYWOOD SHEATHING
10. PROPERLY CAULK / SEAL AROUND ALL DOORS AND WINDOW TRIM.
11. ALL MAIN DOORS AND GLAZING WITHIN A 24" ARC OF DOOR REQUIRE TEMPERED GLASS.
12. DOORS & WINDOWS IN THE THERMAL ENVELOPE SHALL HAVE A MAXIMUM U-FACTOR OF 0.40.

DATE
2-28-12

REVISED

12-16 GARAGE BRICK SIDE/REAR

PREPARED BY:
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PROPOSED MASTER PLAN FOR THE
WYNGATE II
2009 International Residential Code
CLAYMONT DEVELOPMENT, LLC

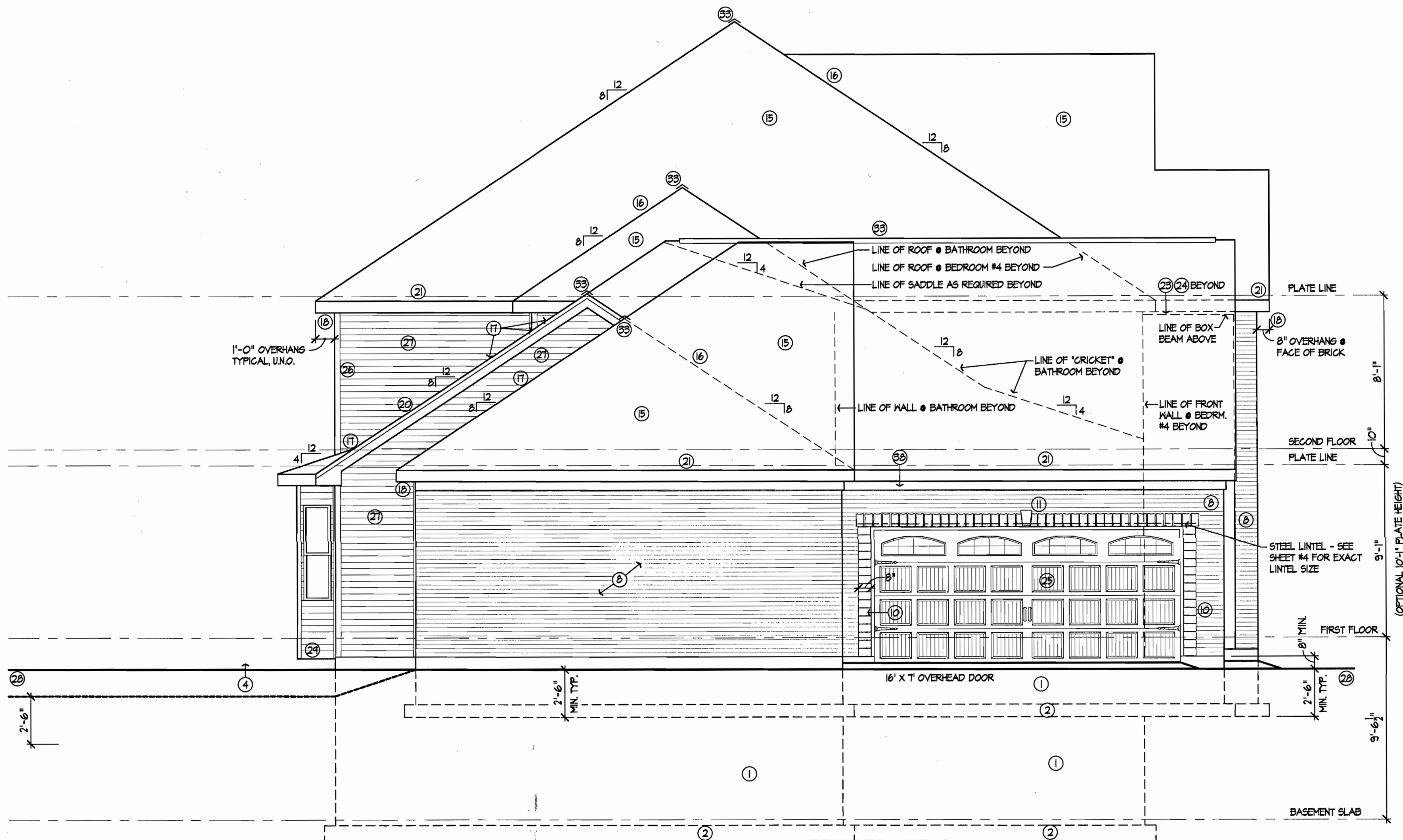
FRONT AND LEFT SIDE ELEVATIONS

SHEET
8

RECEIVED
JUN - 2 2016
City of Chesterfield
Department of Public Services

KEYED ELEVATION NOTES

- 1 10' CONCRETE FOUNDATION WALL (SEE GENERAL FDN. NOTE #6)
- 2 26" X 10" CONCRETE FOOTING AT FRAME WALL, 32" X 10" CONCRETE FOOTING AT AREAS W/ BRICK OR STONE VENEER ABOVE (SEE GENERAL FDN. NOTE # 6)
- 3 CONCRETE STAIRS (OR SILL)
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- 29 CANTILEVER, PROVIDE EXTERIOR GRADE SOFFIT, INSULATE TO R-14 MIN. AND VENT FLOOR JOISTS CAVITY.
- 30 12" X 80" SIDELIGHT WITH TEMPERED INSULATED GLASS
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- 32 24" X 36" ALUMINUM SCREENED LOUVER WITH INSECT SCREEN
- 33 CONTINUOUS RIDGE VENT (COR-A-VENT 300 = 135 S.I. PER L.F.) OR EQUAL
- 34 "TYFON" OVLSTXSH HORIZONTAL OVAL LOUVER (NON FUNCTIONAL)
- 35 1X8 WOOD TRIM (PAINTED) RIPPED AS REQUIRED - SEE ELEVATION FOR EXACT WIDTH
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- 40 TRANSOM UNIT TO MATCH UNIT WIDTH BELOW
- 41 PANEL MOULDING - PAINTED

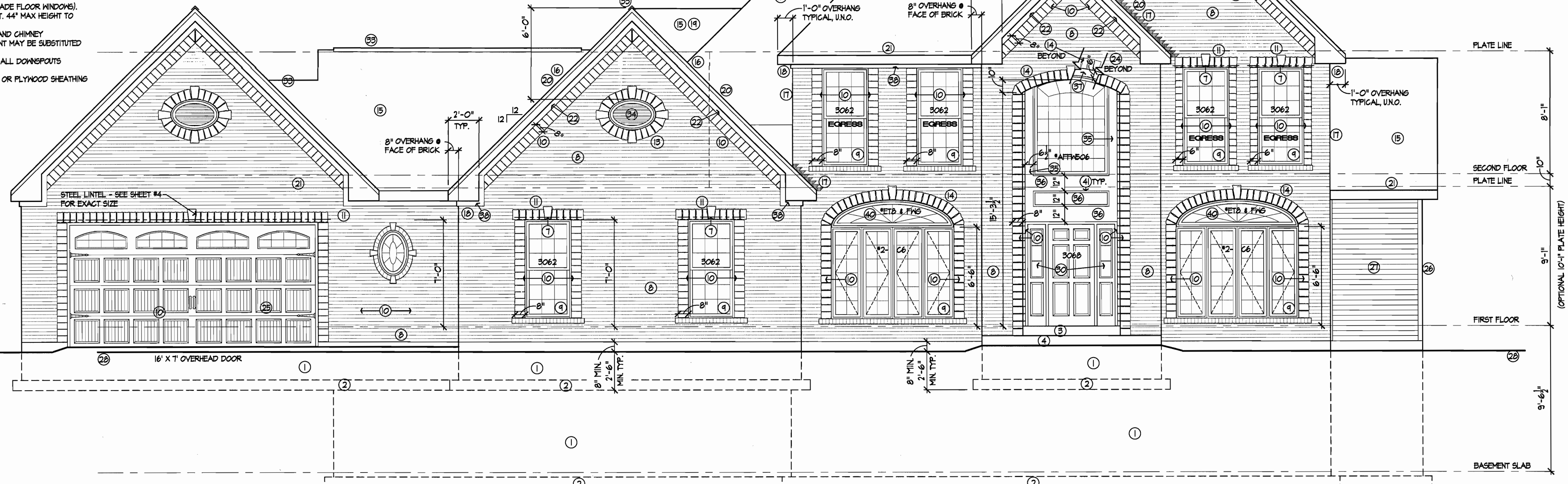


LEFT SIDE ELEVATION

SCALE 1/4" = 1'-0"

GENERAL ELEVATION NOTES

- 1. INSTALL 15# BUILDERS FELT ON ENTIRE ROOF (2- LAYERS ON ROOFS WITH 4/12 PITCH OR LESS)
- 2. SEE BASE PLANS / ELEVATIONS AND DETAIL SHEET FOR ADDITIONAL INFORMATION.
- 3. SECURELY BARRICADE DOORS TO DECK, UNTIL DECK IS BUILT AND APPROVED.
- 4. SEE THE GENERAL NOTES FOR INSULATION REQUIREMENTS FOR THE BUILDING ENVELOPE, INCLUDING BASEMENT WALLS.
- 5. WINDOW DESIGNATIONS ARE THOSE OF "ANDERSEN" 2000 SERIES, UNLESS NOTED OTHERWISE.
- 6. ALL BEDROOM WINDOWS TO HAVE 57 SQ. FT. MINIMUM NET CLEAR OPENING AREA (5.0' SQ. FT. AT GRADE FLOOR WINDOWS). WINDOWS TO HAVE 20" MINIMUM CLEAR OPENING WIDTH AND 24" MINIMUM NET CLEAR OPENING HEIGHT. 44" MAX HEIGHT TO BOTTOM OF CLEAR OPENING.
- 7. ROOF FLASHING, PROVIDE CORROSION RESISTANT METAL FLASHING AT ALL ROOF VALLEYS, HALL AND CHIMNEY INTERSECTIONS, PORCHES, DECKS, ETC.. ROLLED ROOFING OR TWO LAYERS OF TYPE I UNDERLAYMENT MAY BE SUBSTITUTED FOR FLASHING AT ROOF VALLEYS PROVIDED THE SHINGLES ARE INTERLACED.
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- 9. ALL EXTERIOR WALLS, INCLUDING GABLES, ETC SHALL HAVE APA RATED 1/2" EXTERIOR GRADE OSB OR PLYWOOD SHEATHING
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- 11. ALL MAIN DOORS AND GLAZING WITHIN A 24" ARC OF DOOR REQUIRE TEMPERED GLASS.
- 12. DOORS & WINDOWS IN THE THERMAL ENVELOPE SHALL HAVE A MAXIMUM U-FACTOR OF 0.40.



FRONT AND LEFT SIDE ELEVATIONS

SCALE 1/4" = 1'-0"

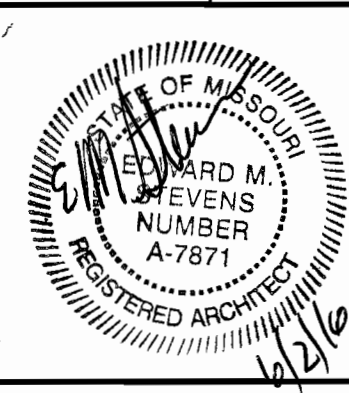
DATE
2-28-12

REVISED

12-16 GARAGE BRICK SIDE/REAR

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Michael White - Structural Engineer
86 Meadowbrook Country Club, Ballwin, MO 63011
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PROPOSED MASTER PLAN FOR THE
WYNGATE II
2009 International Residential Code
CLAYMONT DEVELOPMENT, LLC

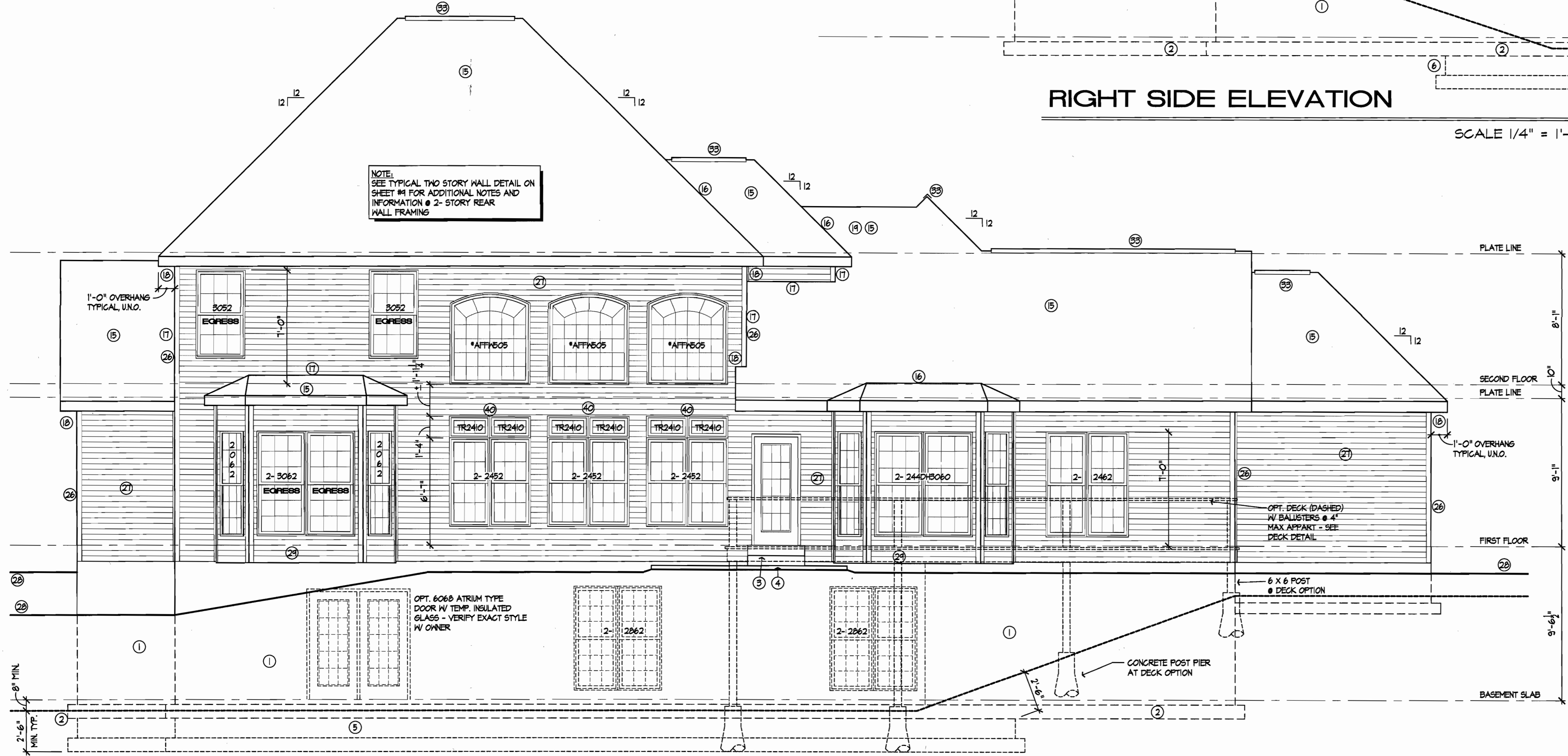
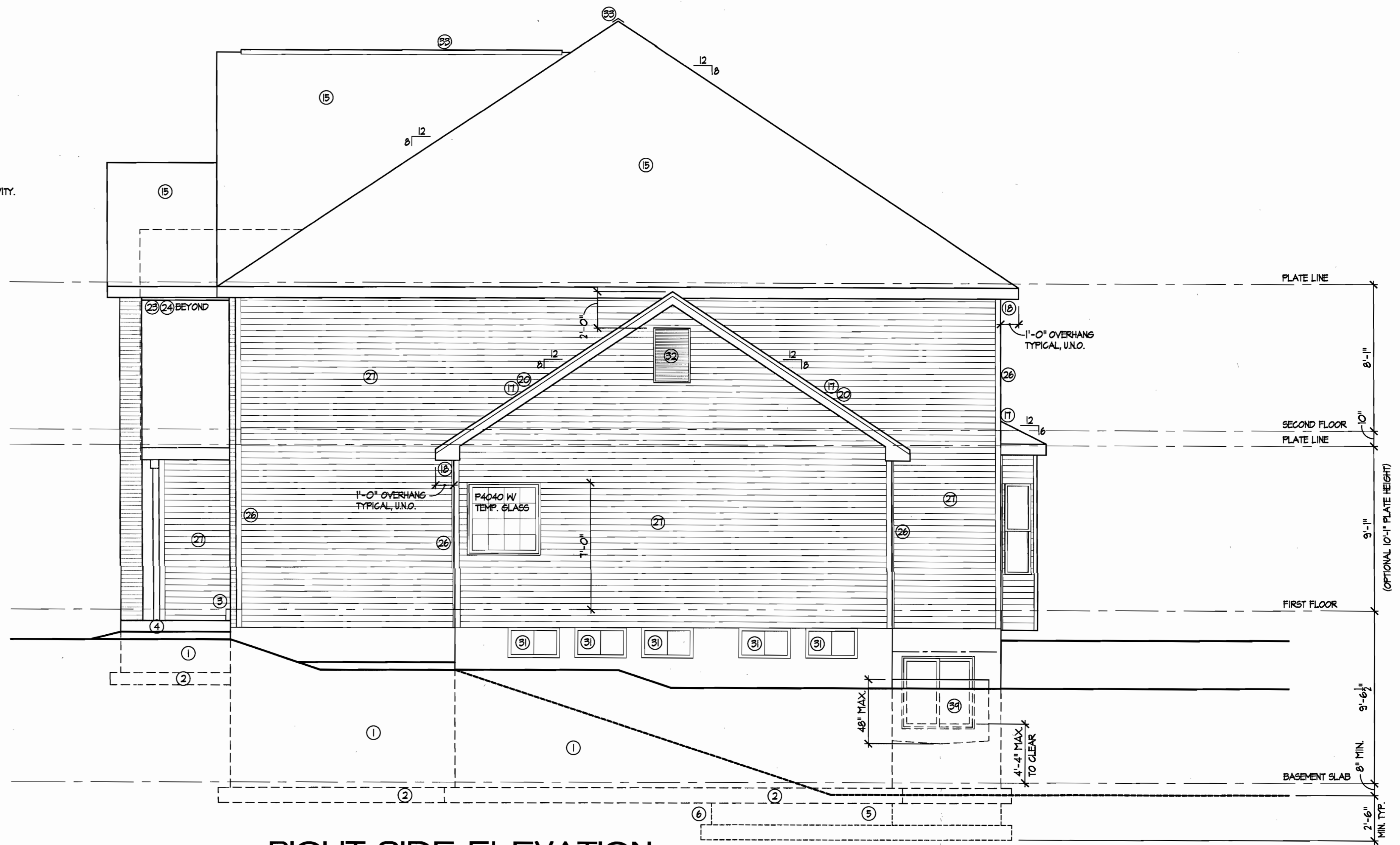
FRONT AND LEFT SIDE ELEVATIONS

SHEET

8A

KEYED ELEVATION NOTES

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- ② 26" X 10" CONCRETE FOOTING AT FRAME WALL, 32" X 10" CONCRETE FOOTING AT AREAS W/ BRICK OR STONE VENEER ABOVE (SEE GENERAL FDN. NOTE # 6)
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- ④ 4" CONCRETE SLAB PATIO (OR PORCH). SLOPE 1/4" PER 12" AWAY FROM FOUNDATION WALL.
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- ⑥ FIELD DETERMINE EXACT LOCATION OF FOOTING "STEP-DOWN" AT JOB SITE
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- ⑧ BRICK VENEER
- ⑨ SLOPED BRICK ROWLOCK SILL W/ FLASHING
- ⑩ BRICK HEADER COURSE (PROJECT 3/8") - SEE PLAN FOR COURSE WIDTH
- ⑪ STONE SOLDIERS COURSE W/ KEYSTONE AS SHOWN (PROJ. 3/8")
- ⑫ NOT USED
- ⑬ STRUCTURAL STONE SOLDIER ARCH SURROUND W/ KEYSTONES AS SHOWN (PROJ. 3/8" EA)
- ⑭ STRUCTURAL STONE SOLDIER ARCH W/ KEYSTONE AS SHOWN (PROJ. 3/8")
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- ⑯ INTERLACE SHINGLES OVER 1/4" ROLLED ROOFING
- ⑰ METAL FLASHING AT ROOF / WALL INTERSECTION
- ⑱ ENCLOSED ALUMINUM SOFFIT (VENTED @ 5.1 PER L.F.)
- ⑲ OVERFRAMED SADDLE AS REQUIRED (HATCHED)
- ⑳ SHINGLE MLDG. OVER 2 X 8 RAKE BOARD WITH ALUMINUM WRAP
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- ㉜ 24" x 36" ALUMINUM SCREENED LOUVER W/ INSECT SCREEN
- ㉝ CONTINUOUS RIDGE VENT (COR-A-VENT 300 = 15.5 S.I. PER L.F.) OR EQUAL
- ㉞ "PYFON" OVL.VSTXZSH HORIZONTAL OVAL LOUVER (NON FUNCTIONAL)
- ㉟ 1X8 WOOD TRIM (PAINTED) RIPPED AS REQUIRED - SEE ELEVATION FOR EXACT WIDTH
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- ㊲ 1X WOOD TRIM (PAINTED) WITH RADIUS CUT AS SHOWN
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- ㊴ "PRECISE FORMS INC." MAJESTIC DOUBLE GLAZED 48" X 48" SLIDER WINDOW. BOTTOM OF WINDOW OPENING SHALL BE 44" MAX. ABOVE FINISHED FLOOR. PROVIDE 2- #5 REBARS AROUND WINDOW EXTENDING 24" MIN. PAST WINDOW OPENING (W/ "PRECISE FORMS, INC. 1/8 GA. GALVANIZED STRESS STEEL AREA WALLS IF REQ'D BY GRADE) OR EQUAL. INSTALL PER MFG.'S SPECS. (SEE #41) FOR WINDOW WELL DRAINAGE INFORMATION)
- ㊵ TRANSCOM UNIT TO MATCH UNIT WIDTH BELOW
- ㊶ PANEL MOULDING - PAINTED



NOTE:
SEE TYPICAL TWO STORY WALL DETAIL ON SHEET #1 FOR ADDITIONAL NOTES AND INFORMATION @ 2-STORY REAR WALL FRAMING

GENERAL ELEVATION NOTES

1. INSTALL 1/4" BUILDERS FELT ON ENTIRE ROOF (2- LAYERS ON ROOFS WITH 4/12 PITCH OR LESS)
2. SEE BASE PLANS / ELEVATIONS AND DETAIL SHEET FOR ADDITIONAL INFORMATION.
3. SECURELY BARRICADE DOORS TO DECK, UNTIL DECK IS BUILT AND APPROVED.
4. SEE THE GENERAL NOTES FOR INSULATION REQUIREMENTS FOR THE BUILDING ENVELOPE, INCLUDING BASEMENT WALLS.
5. WINDOW DESIGNATIONS ARE THOSE OF "ANDERSON 200" SERIES, UNLESS NOTED OTHERWISE.
6. ALL BEDROOM WINDOWS TO HAVE 5.1 SQ. FT. MINIMUM NET CLEAR OPENING AREA (5.0 SQ. FT. AT GRADE FLOOR WINDOWS). WINDOWS TO HAVE 20" MINIMUM CLEAR OPENINGS WIDTH AND 24" MINIMUM NET CLEAR OPENING HEIGHT. 44" MAX HEIGHT TO BOTTOM OF CLEAR OPENING.
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DATE
2-28-12

REVISED

PREPARED BY:
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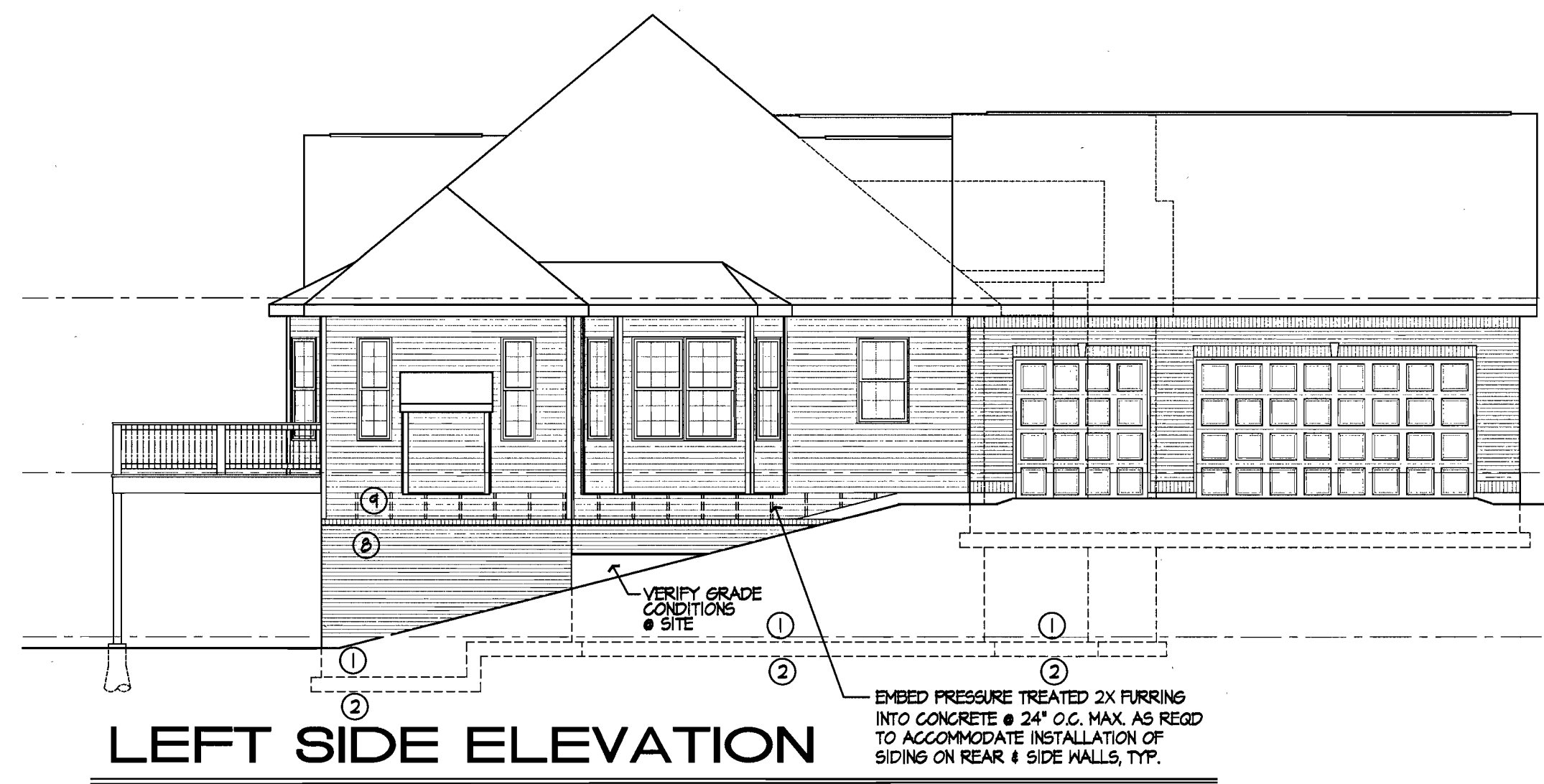
Michael White - Structural Engineer
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PROPOSED MASTER PLAN FOR THE
WYNGATE II
2009 International Residential Code
CLAYMONT DEVELOPMENT, LLC

REAR AND RIGHT SIDE ELEVATIONS

SHEET
10



LEFT SIDE ELEVATION

SCALE 1/8" = 1'-0"

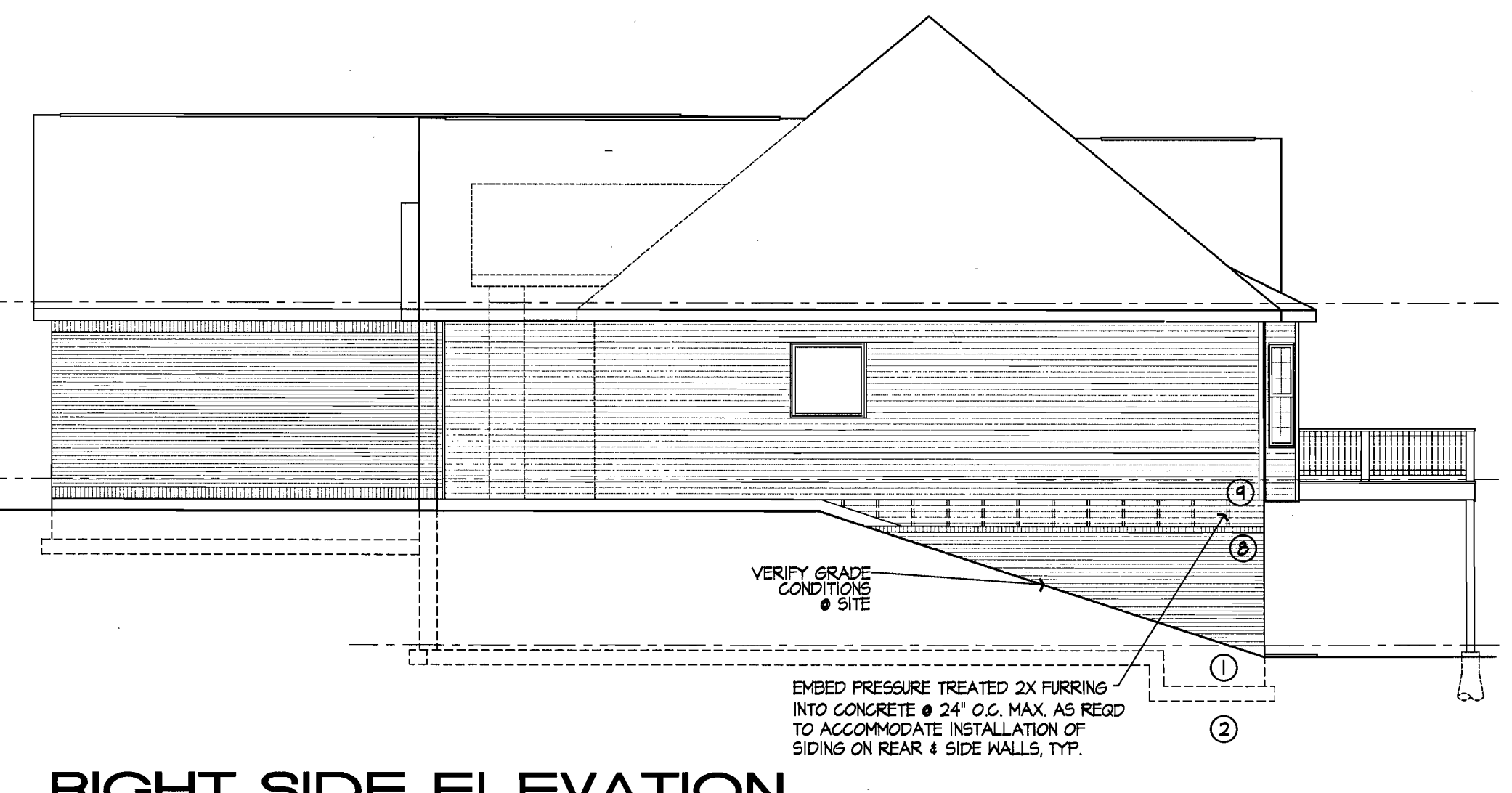
VERIFY GRADE CONDITIONS @ SITE
 EMBED PRESSURE TREATED 2X FURRING INTO CONCRETE @ 24" O.C. MAX. AS REQD TO ACCOMMODATE INSTALLATION OF SIDING ON REAR & SIDE WALLS, TYP.



REAR ELEVATION

SCALE 1/8" = 1'-0"

NOTE:
 SEE BASE ELEVATIONS FOR ADDITIONAL NOTES & INFORMATION.



RIGHT SIDE ELEVATION

SCALE 1/8" = 1'-0"

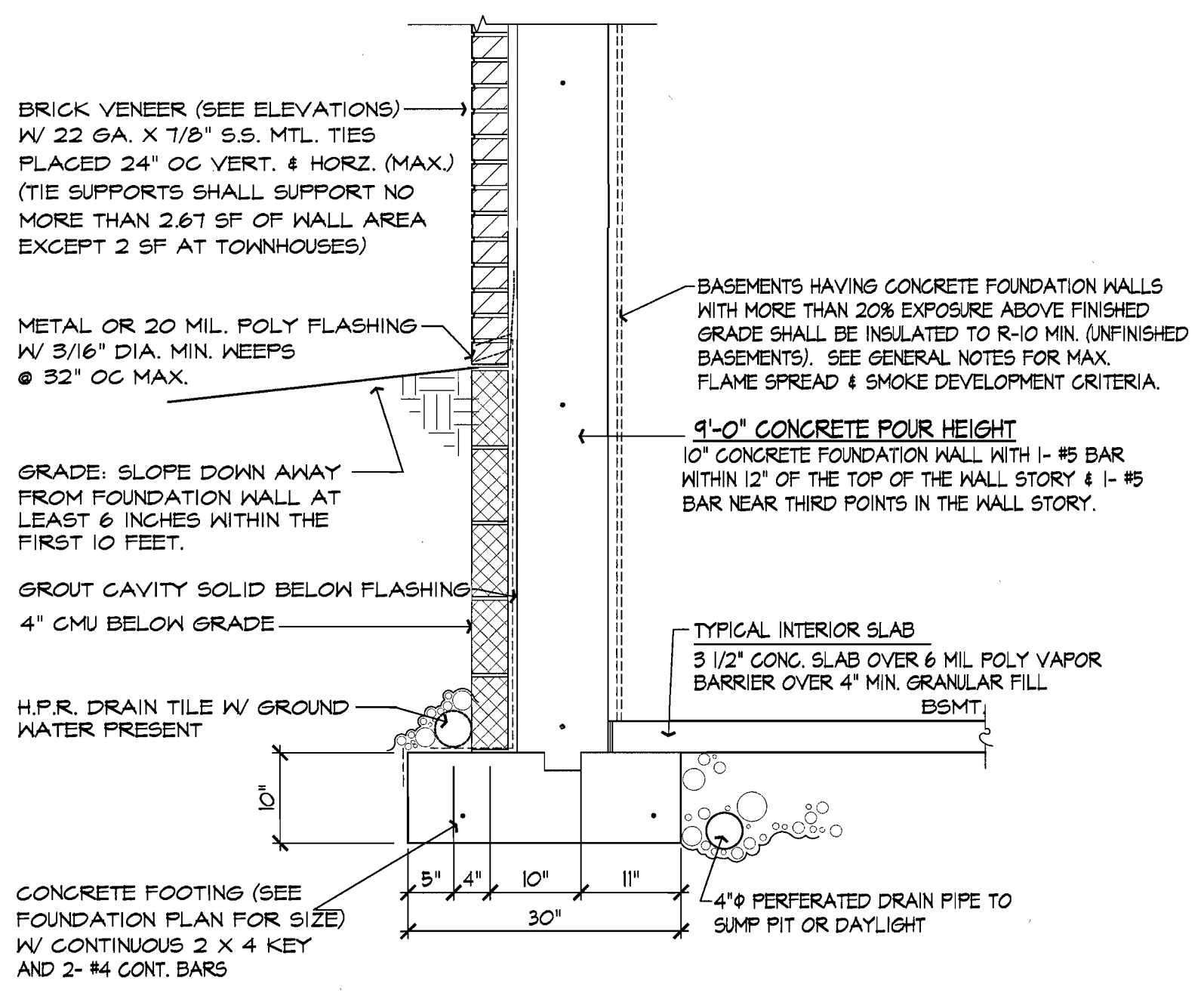
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NOTE:
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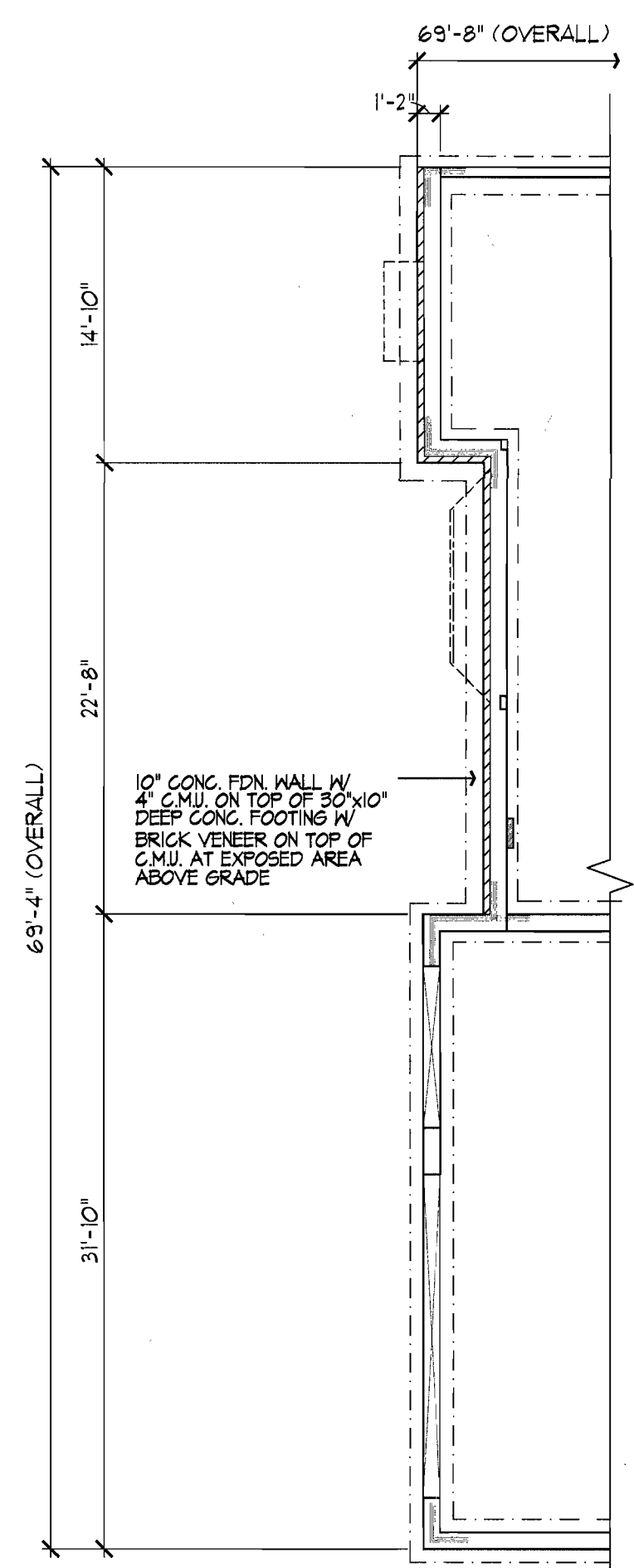
NOTE:
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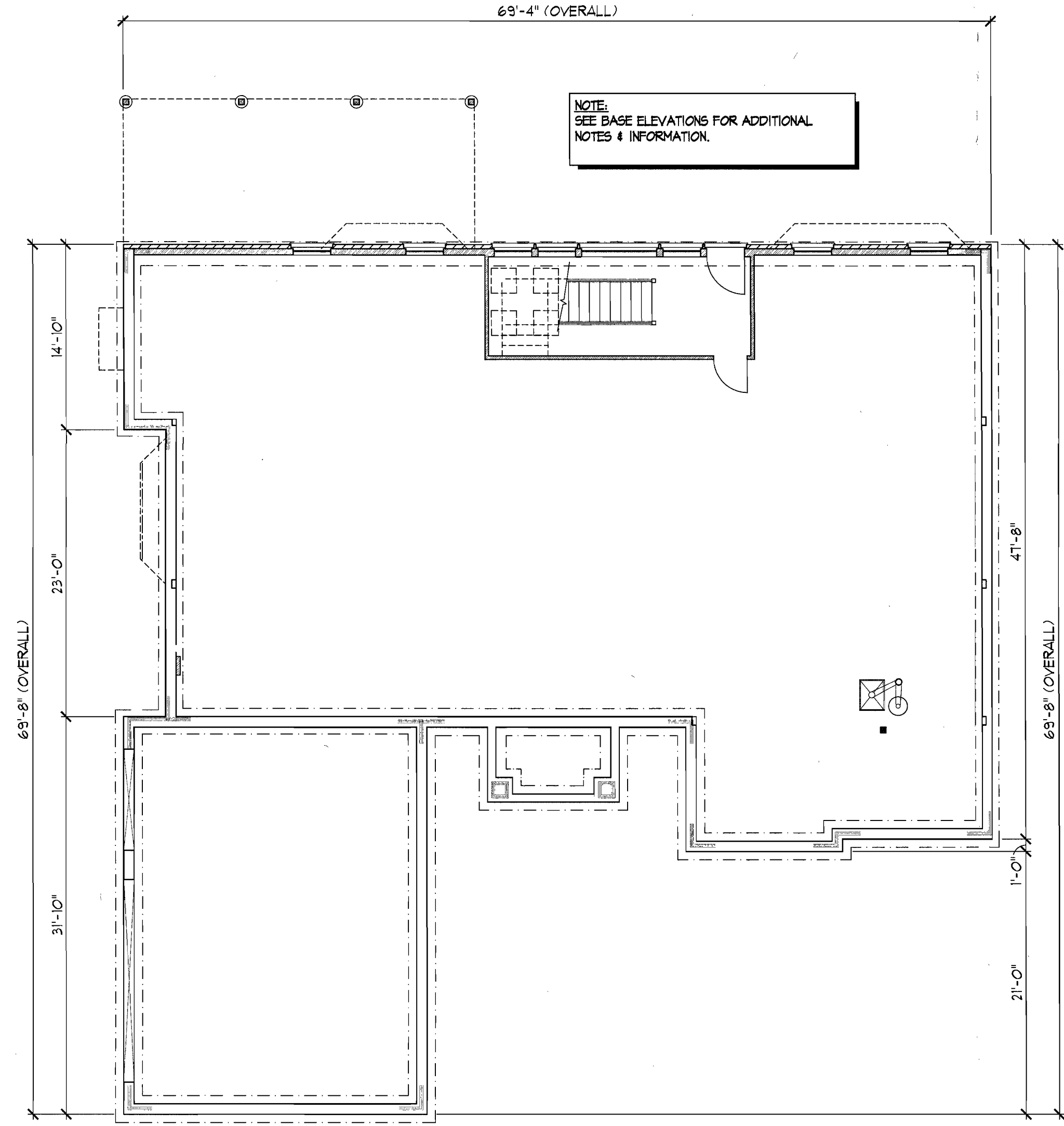
SECTION @ BSMT. FOUNDATION

SCALE 3/4" = 1'-0"



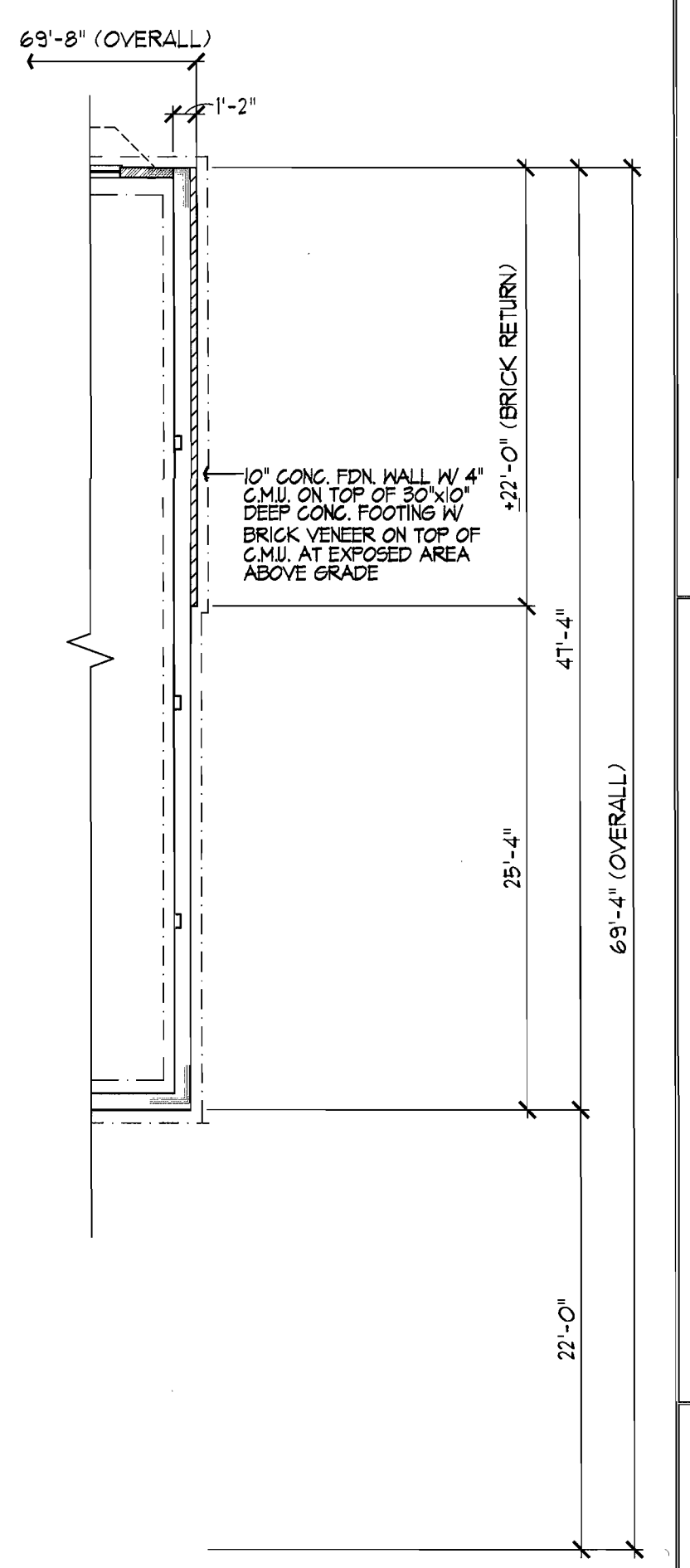
PARTIAL FDN. PLAN

BRICK ADDED TO LEFT SIDE SCALE 1/8" = 1'-0"



FOUNDATION PLAN

BRICK ADDED TO REAR SCALE 1/8" = 1'-0"

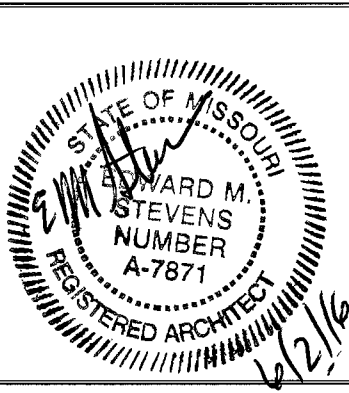


PARTIAL FDN. PLAN

BRICK ADDED TO RIGHT SIDE SCALE 1/8" = 1'-0"

DATE: 9-20-13
REVISED
4-4-16 ALT. BRICK ELEV.

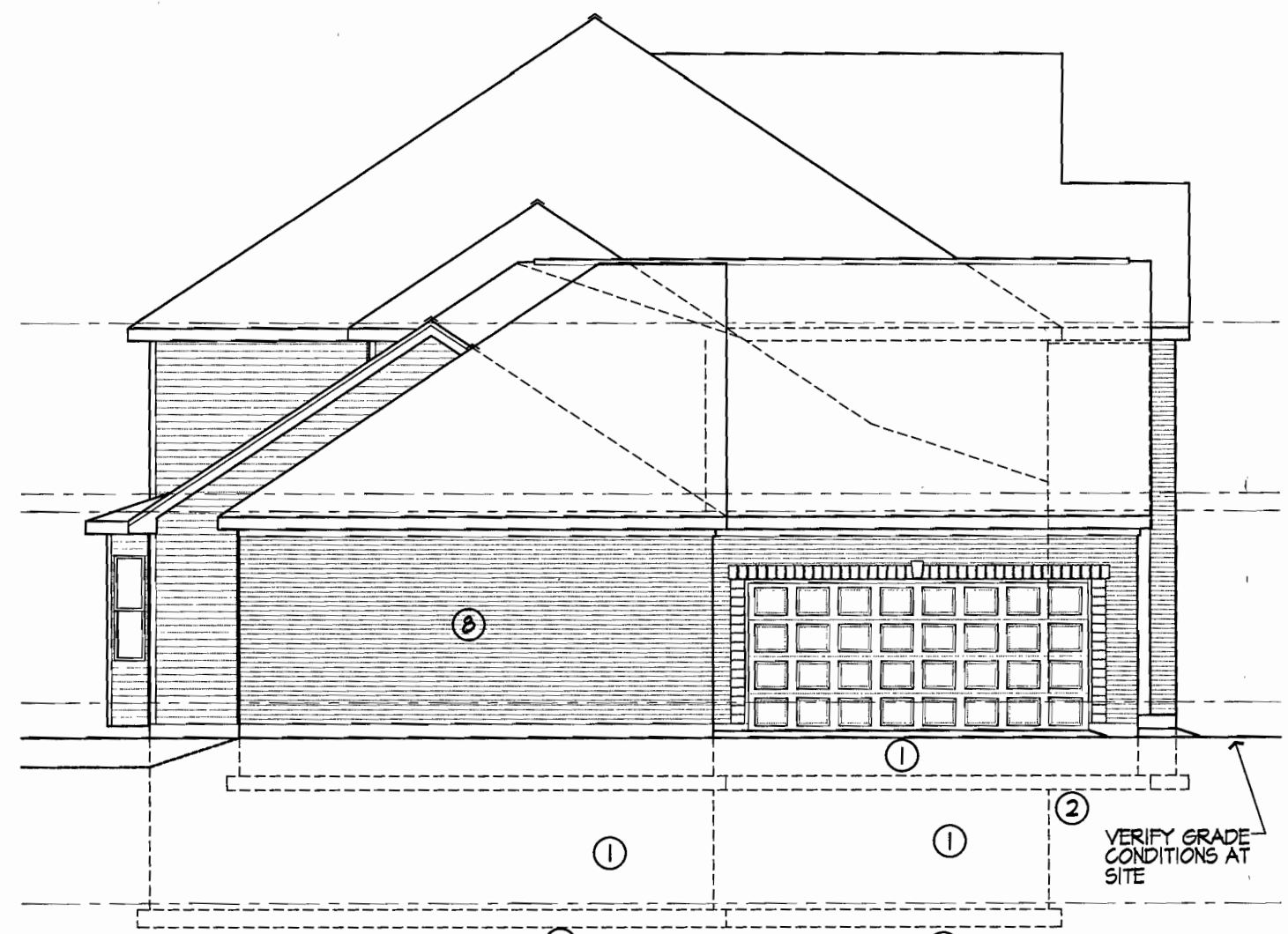
PREPARED BY:
 Edward M. Stevens Architects, LLC
 150 Rue Grand Drive, Lake St. Louis
 Missouri, 63367
 (636) 561-2420 FAX (636) 561-9194
 Certificate of Authority No. 2012004124
 COPYRIGHT PER DATE



PROPOSED MASTER PLAN FOR THE:
MELROSE II
 2009 International Residential Code
 CLAYMONT DEVELOPMENT, LLC

ALT. BRICK ELEVATIONS
 ALT. BRICK FDN. PLAN
 DETAIL

SHEET
12



LEFT SIDE ELEVATION

EMBED PRESSURE TREATED 2X FURRING INTO CONCRETE @ 24" O.C. MAX AS REQD. TO ACCOMMODATE INSTALLATION OF SIDING ON REAR & SIDE WALLS, TYP.

10" CONC. FDN. WALL W/ 4" CMU ON TOP OF 30"x10" DEEP CONC. FOOTING W/ BRICK VENEER ON TOP OF CMU @ EXPOSED AREA ABOVE GRADE

VERIFY GRADE CONDITIONS AT SITE



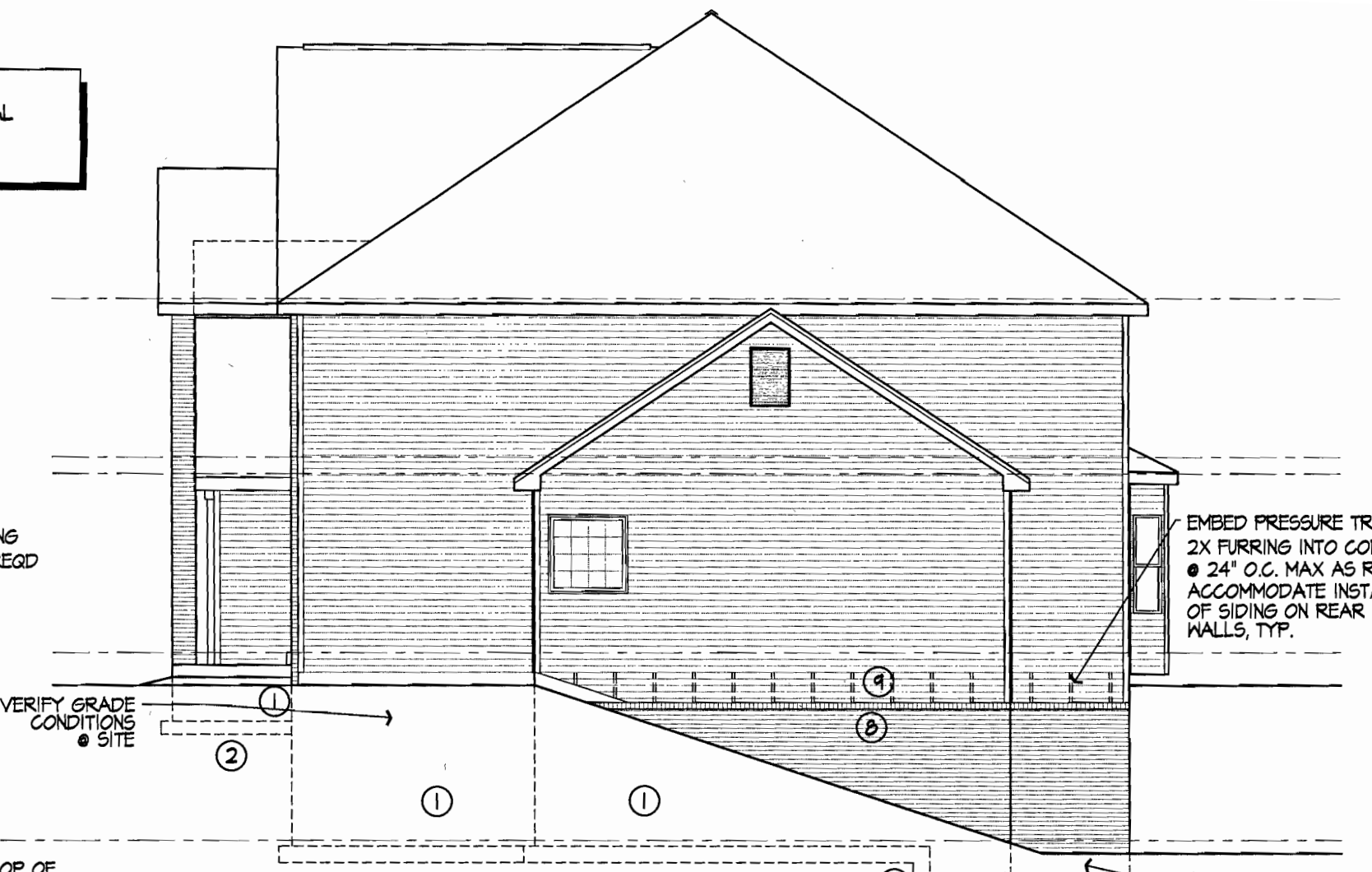
REAR ELEVATION

NOTE:
SEE BASE ELEVATIONS FOR ADDITIONAL NOTES & INFORMATION.

EMBED PRESSURE TREATED 2X FURRING INTO CONCRETE @ 24" O.C. MAX AS REQD. TO ACCOMMODATE INSTALLATION OF SIDING ON REAR & SIDE WALLS, TYP.

VERIFY GRADE CONDITIONS AT SITE

10" CONC. FDN. WALL W/ 4" CMU ON TOP OF 30"x10" DEEP CONC. FOOTING W/ BRICK VENEER ON TOP OF CMU @ EXPOSED AREA ABOVE GRADE

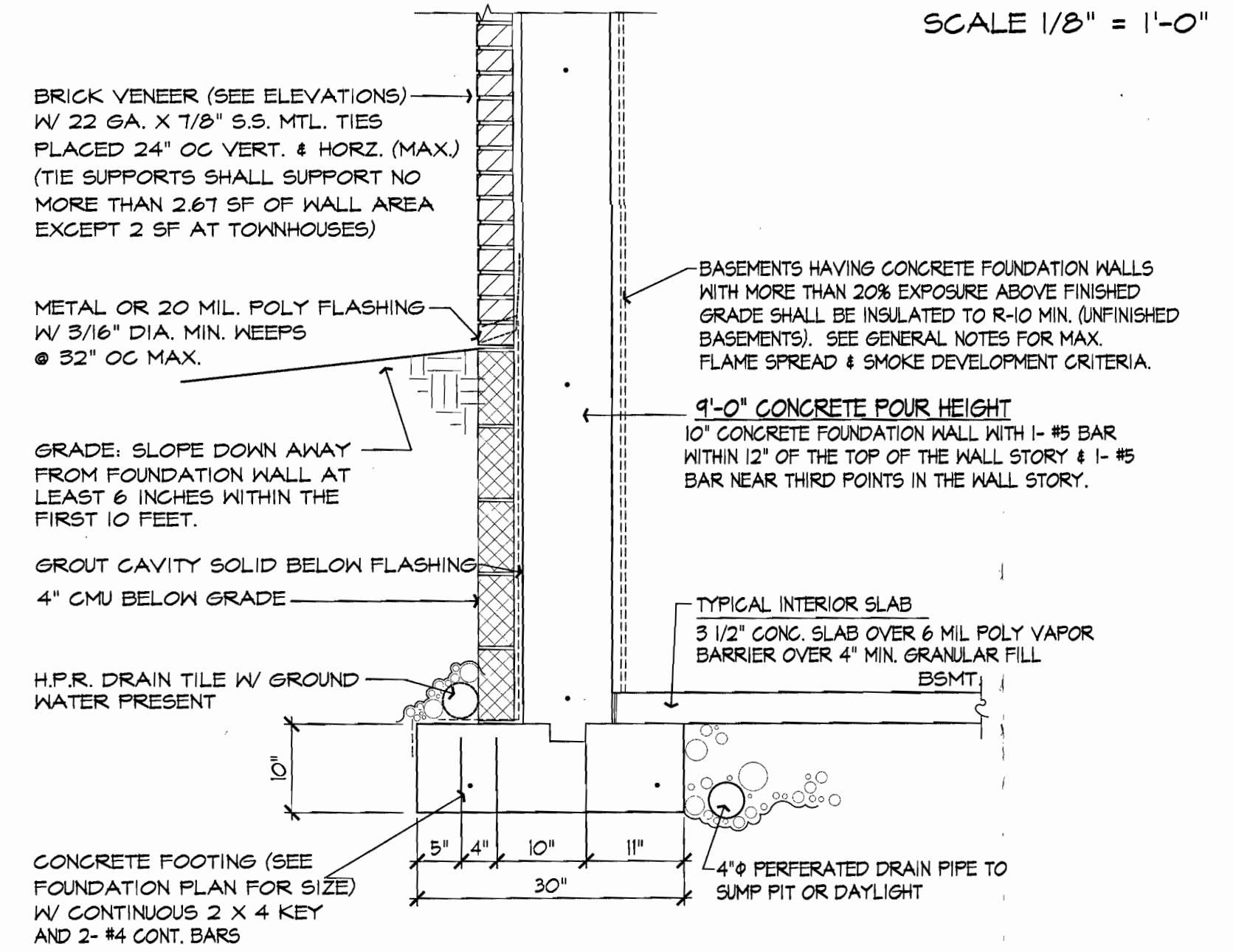


RIGHT SIDE ELEVATION

EMBED PRESSURE TREATED 2X FURRING INTO CONCRETE @ 24" O.C. MAX AS REQD. TO ACCOMMODATE INSTALLATION OF SIDING ON REAR & SIDE WALLS, TYP.

VERIFY GRADE CONDITIONS AT SITE

10" CONC. FDN. WALL W/ 4" CMU ON TOP OF 30"x10" DEEP CONC. FOOTING W/ BRICK VENEER ON TOP OF CMU @ EXPOSED AREA ABOVE GRADE



SCALE 1/8" = 1'-0"

BRICK VENEER (SEE ELEVATIONS) W/ 22 GA. X 1/8" S.S. MTL. TIES PLACED 24" OC VERT. & HORZ. (MAX) (TIE SUPPORTS SHALL SUPPORT NO MORE THAN 2.67 SF OF WALL AREA EXCEPT 2 SF AT TOWNHOUSES)

METAL OR 20 MIL. POLY FLASHING W/ 3/16" DIA. MIN. KEEPS @ 32" OC MAX.

GRADE: SLOPE DOWN AWAY FROM FOUNDATION WALL AT LEAST 6" INCHES WITHIN THE FIRST 10 FEET.

GROUT CAVITY SOLID BELOW FLASHING 4" CMU BELOW GRADE

H.P.R. DRAIN TILE W/ GROUND WATER PRESENT

BASEMENTS HAVING CONCRETE FOUNDATION WALLS WITH MORE THAN 20% EXPOSURE ABOVE FINISHED GRADE SHALL BE INSULATED TO R-10 MIN. (UNFINISHED BASEMENTS) SEE GENERAL NOTES FOR MAX. FLAME SPREAD & SMOKE DEVELOPMENT CRITERIA.

9'-0" CONCRETE POUR HEIGHT

10" CONCRETE FOUNDATION WALL WITH 1-#5 BAR WITHIN 12" OF THE TOP OF THE WALL STORY & 1-#5 BAR NEAR THIRD POINTS IN THE WALL STORY.

TYPICAL INTERIOR SLAB

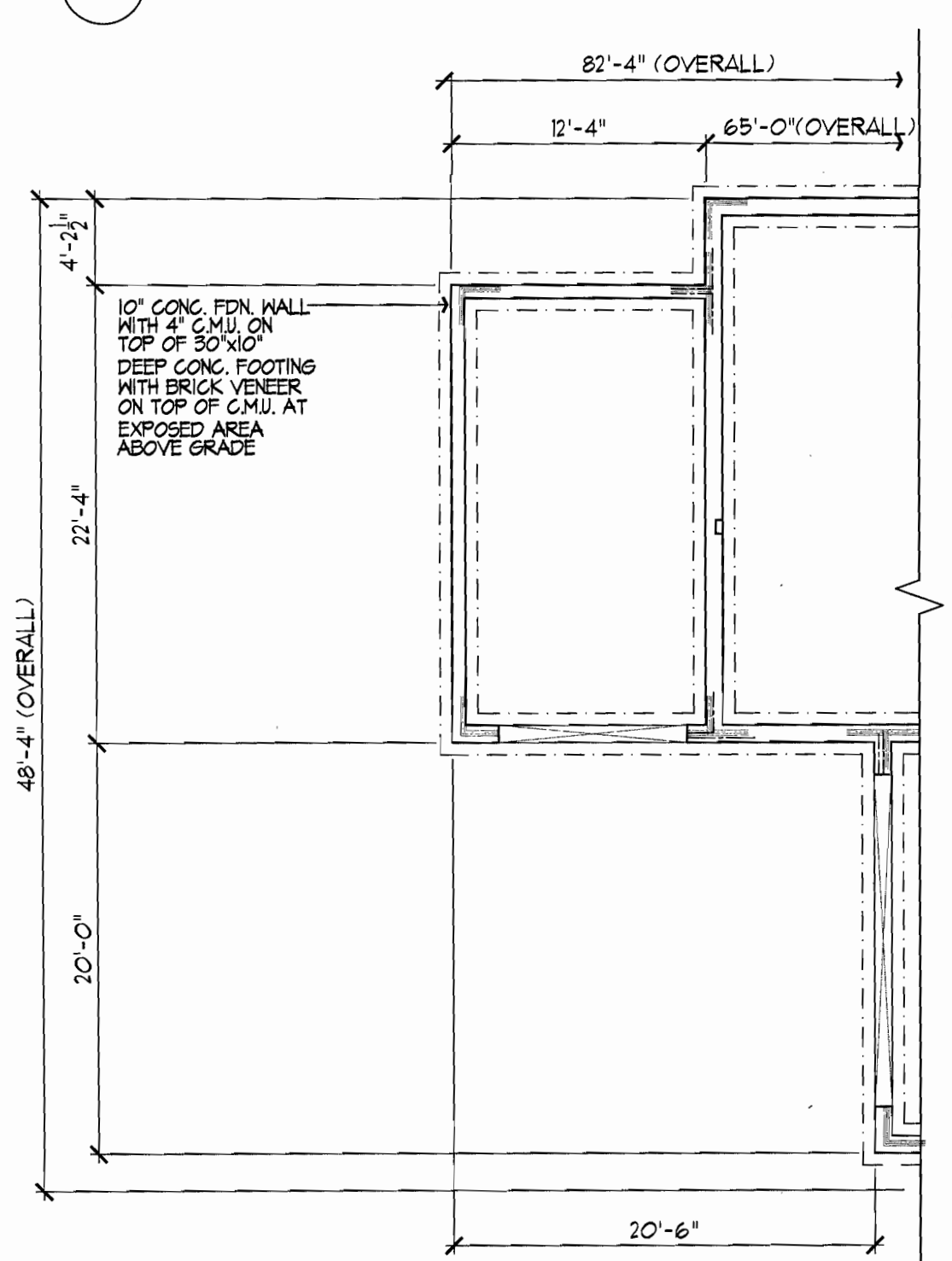
3 1/2" CONC. SLAB OVER 6 MIL POLY VAPOR BARRIER OVER 4" MIN. GRANULAR FILL BSMT.

CONCRETE FOOTING (SEE FOUNDATION PLAN FOR SIZE) W/ CONTINUOUS 2 X 4 KEY AND 2-#4 CONT. BARS

4" PERFORATED DRAIN PIPE TO SUMP PIT OR DAYLIGHT

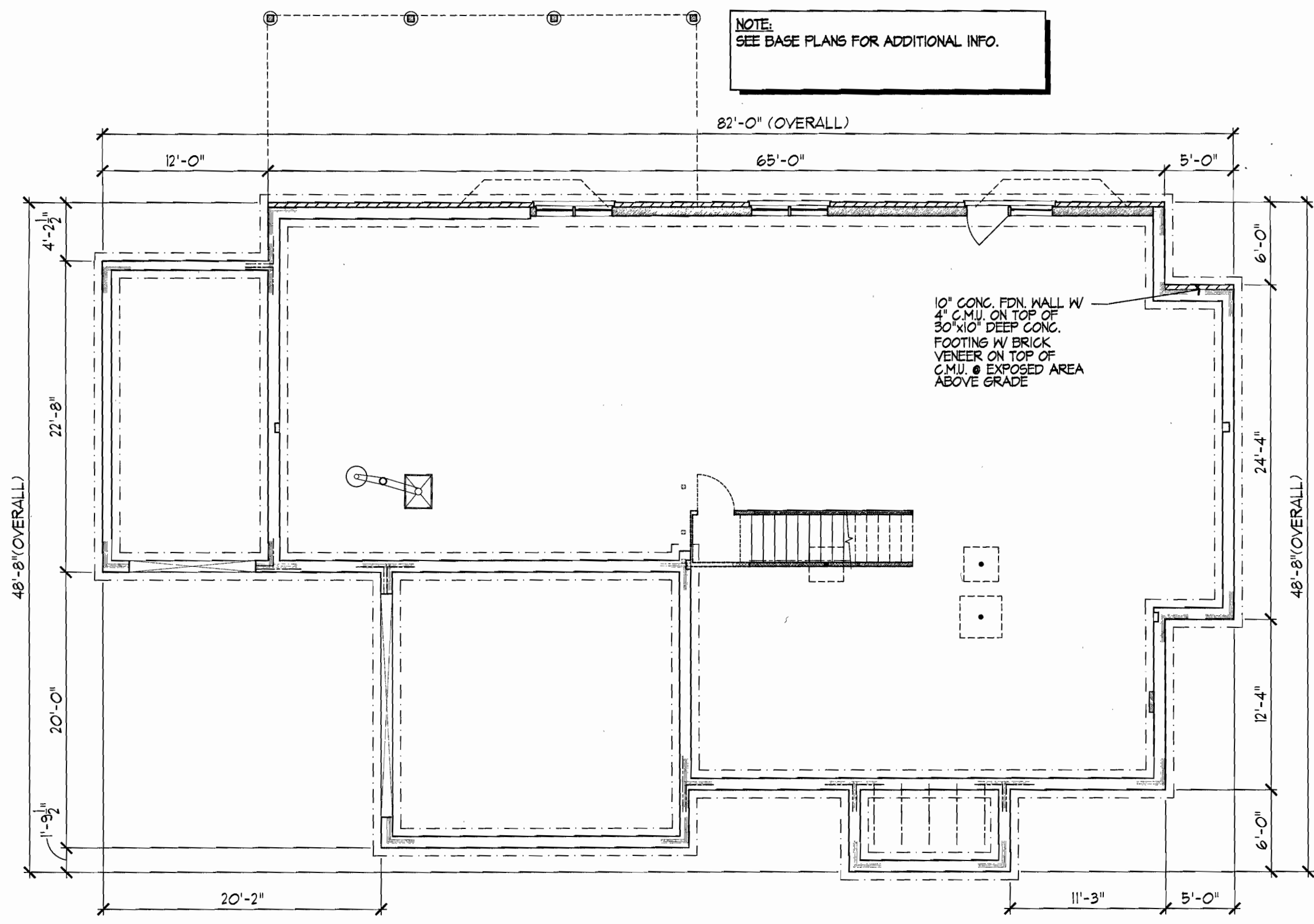
SECTION @ BSMT. FOUNDATION

SCALE 3/4" = 1'-0"



PARTIAL FDN. PLAN

BRICK ADDED TO LEFT SIDE
SCALE 1/8" = 1'-0"



FOUNDATION PLAN

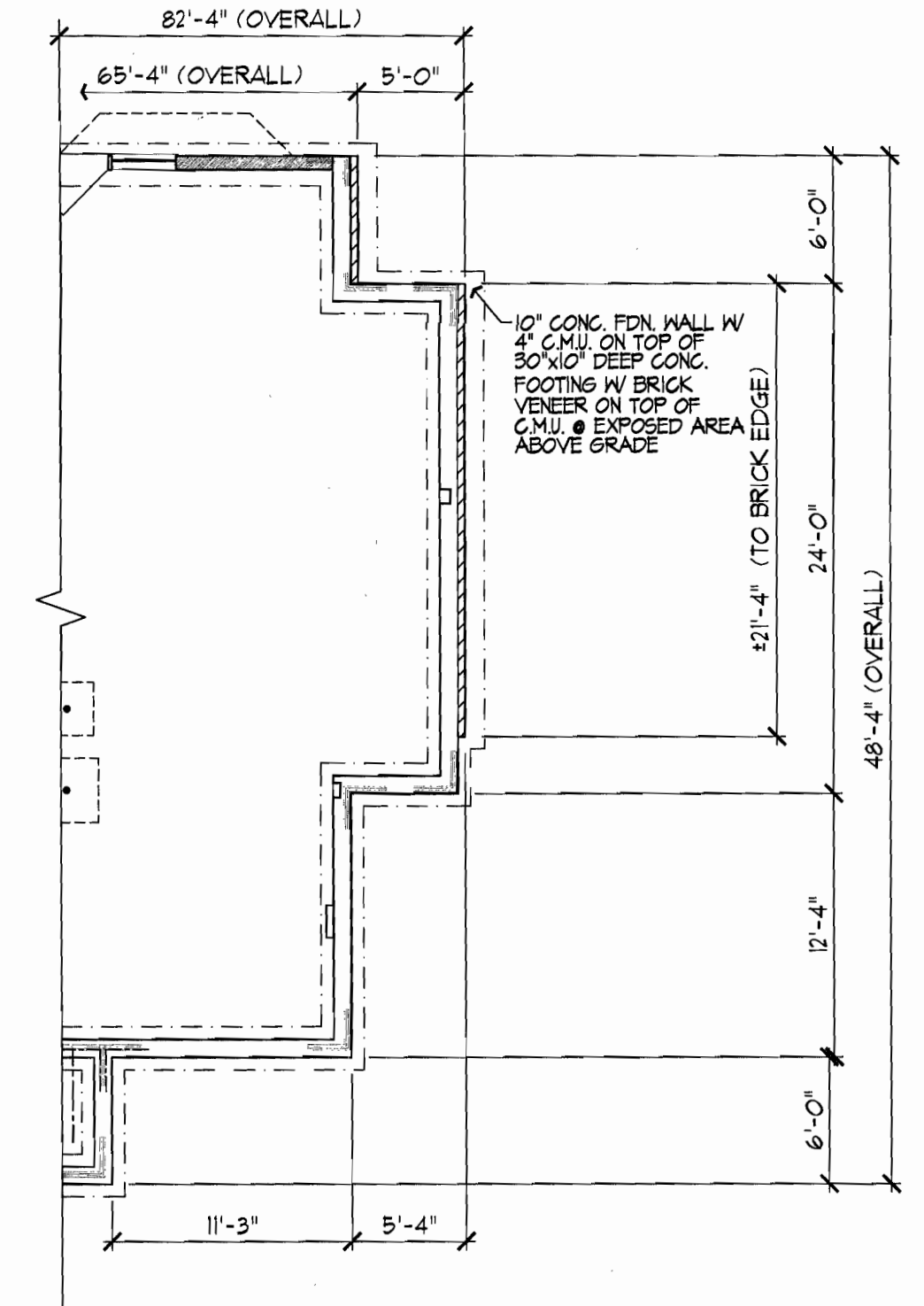
BRICK ADDED TO REAR

SCALE 1/8" = 1'-0"

NOTE:
THE HOMES BUILT ON LOTS 1, 7, 8, 9, 10, 11, & 12 WILL INCLUDE ARCHITECTURAL TREATMENTS ON THE SIDE OF EACH HOME FACING EITHER HILD HORSE CREEK ROAD OR DEEP FOREST DRIVE (AS APPLICABLE) WHICH ARE SIMILAR TO THE ARCHITECTURAL TREATMENTS ON THE FRONT OF EACH HOME.

NOTE:
SEE BASE PLANS FOR ADDITIONAL INFO.

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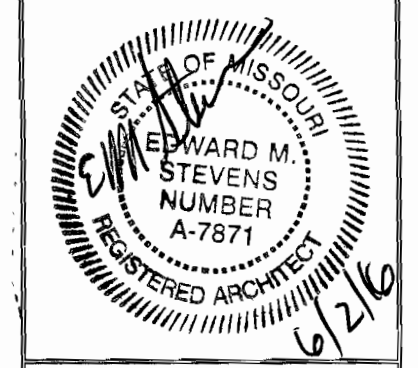


PARTIAL FDN. PLAN

BRICK ADDED TO RIGHT SIDE
SCALE 1/8" = 1'-0"

PREPARED BY:
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(314) 548-6156 edward@emstevens.com
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Michael White - Structural Engineer
86 Meadowbrook Country Club, Ballwin, MO 63011
(314) 609-1419 FAX (636) 230-6319



PROPOSED MASTER PLAN FOR THE
WYNGATE II
2009 International Residential Code
CLAYMONT DEVELOPMENT, LLC

ALT. BRICK ELEV.
ALT. BRICK FDN. PLAN
DETAIL

RECEIVED
 MAY 31 2016
 City of Chesterfield
 Department of Public Services

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ARCHITECTURAL SHINGLES

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CUMBERLAND II - 270 PLAN

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 WILMAS
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NOTE:
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 EACH HOME (AS APPLICABLE) WHICH INCLUDE
 SOME ARCHITECTURAL TREATMENTS FROM THE
 FRONT OF EACH HOME.

ELEVATION "A" - COLONIAL

COMPUTER DWG.
JOB NUMBER
DATE
SHEET REV.
OF



ARCHITECTURAL SHINGLES

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ELEVATION "A" - COLONIAL - REAR ELEV. CUMBERLAND II - 270 PLAN

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 www.mcsa.com

COMPUTER DWG

JOB NUMBER

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ARCHITECTURAL SHINGLES

JAMES HARDIE SIDING

5.24.16
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 [Signature]

NOTE:
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ELLINGTON - 320 PLAN

ELEVATION "F" - ENGLISH TUDOR LEFT ELEV.

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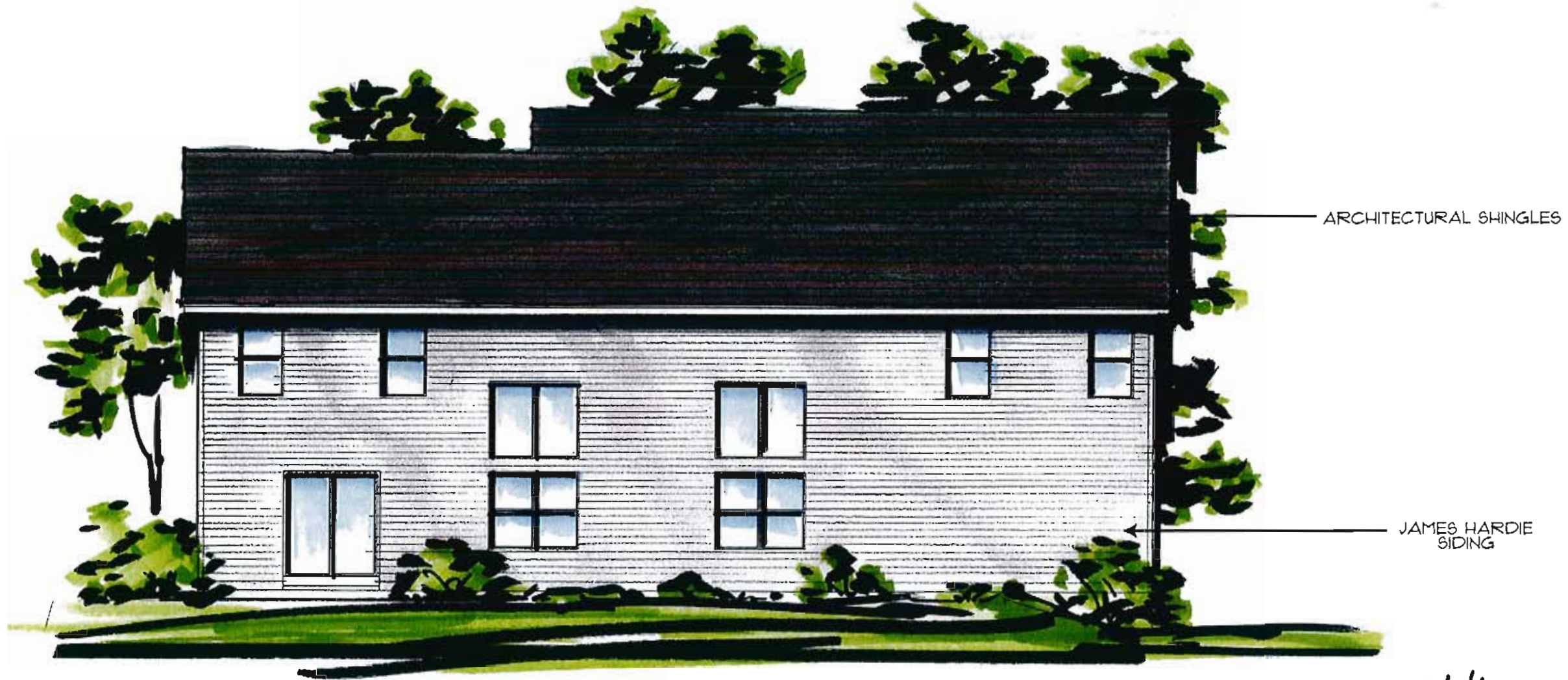
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JAMES HARDIE SIDING

ELLINGTON - 320 PLAN

ELEVATION "F" - ENGLISH TUDOR REAR ELEV.

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ELLINGTON - 320 PLAN

ELEVATION "F" - ENGLISH TUDOR RIGHT ELEV.

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