



690 Chesterfield Pkwy W • Chesterfield MO 63017-0760
Phone: 636-537-4000 • Fax 636-537-4798 • www.chesterfield.mo.us

Architectural Review Board Staff Report

Project type: Amended Site Plan

Meeting Date: June 14, 2012

From: Kristian Corbin, Project Planner

Location: 114 N Eatherton Road

Applicant: Gray Design Group, Inc.

Description: **Windsor Crossing Community Church:** A 6th Amended Site Plan, Landscape Plan, Lighting Plan, Architectural Elevations and Architect's Statement of Design for a church located on a 35.10 acre "NU" Non-Urban District – zoned property located at 114 N. Eatherton Road.

PROPOSAL SUMMARY

Gray Design Group, Inc on behalf of Windsor Crossing Community Church, has submitted a request for an addition to the southern portions of the existing structure totaling 37,000 square feet in size and 51 feet in height (at its max point). Additionally, the applicant has proposed a maintenance structure on the north portion of the property. The subject site is 35.10 acres in size and governed under the terms and conditions of City of Chesterfield Zoning Ordinance 1003.105.

The proposed building materials for the addition will be tilt-up concrete walls with a roof that will be comprised of a low slope TPO membrane behind parapets. The proposed materials for the addition will match the existing structure. The proposed storage structure on the northern portion of the site will be a pre-finished metal-sided building with a metal roof.

HISTORY OF SUBJECT SITE

The subject site was zoned "NU" Non-Urban District prior to the incorporation of the City of Chesterfield. The site plan was originally approved in 2002 and has had a series of amendments for various phases of the project. The first amendment to the plan occurred in 2003 for an increase in surface parking. In 2005, there was a 16,970 square foot building addition and more

surface parking added to the subject site. In 2007, a 10,000 square foot addition occurred. In 2008 a site plan was approved administratively for the roadway entrance from N. Eatherton Road. Most recently, the monument sign was approved by Planning Commission in 2009.

STAFF ANALYSIS

General Requirements for Site Design:

A. Site Relationship

Addressed as Written *Addressed with Modifications* *Not Applicable*

The subject site is currently developed. The addition will be on the southern portion of the site. The properties surrounding the subject site are undeveloped. Site access will remain unchanged.

B. Circulation and Access

Addressed as Written *Addressed with Modifications* *Not Applicable*

There are no proposed changes to the entrance to the subject site from N. Eatherton Road. Two new walkways leading to building entrances are proposed. One new walkway will be from the existing parking on the western portion of the site leading to the smaller addition. The second proposed walkway will lead from the new surface parking area that contains 308 additional spaces.

C. Topography

Addressed as Written *Addressed with Modifications* *Not Applicable*

Landscape berms will be used at the corners of the building addition. This design has been utilized in other areas of the existing structure. A baptism feature will be added to the southeast portion of the site behind the structure.



Existing Berm

D. Retaining Walls

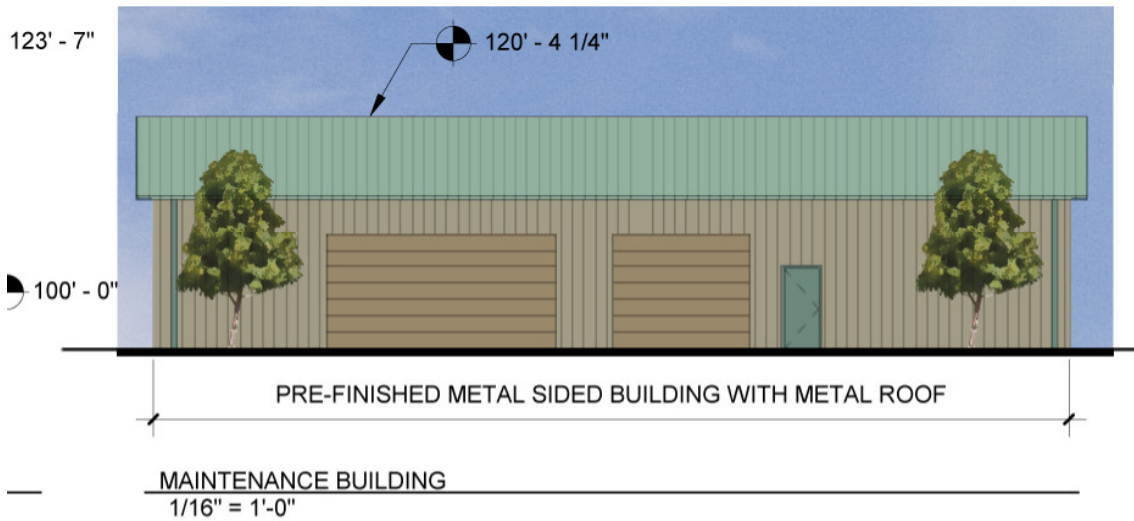
Addressed as Written *Addressed with Modifications* *Not Applicable*

There are no proposed retaining walls for this site.



THE CROSSING - CHESTERFIELD
 EXTERIOR ELEVATIONS

gray | A1



General Requirements for Building Design:

A. Scale

Addressed as Written Addressed with Modifications Not Applicable

The Statement of Design states that the proposed auditorium will be taller than the existing structure. The proposed height is a result of anticipated audience, circulations within the building and sound requirements for those in attendance.

B. Design

Addressed as Written *Addressed with Modifications* *Not Applicable*

The design of the addition will remain consistent with the existing structure.

C. Materials and Colors

Addressed as Written *Addressed with Modifications* *Not Applicable*

As mentioned previously, the building will consist of tilt-up concrete walls that will match the existing building. The earth tone color scheme will remain unchanged and carried out throughout the addition. The proposed maintenance structure will be a pre-finished metal-sided building with a metal roof.

D. Landscape Design and Screening

Addressed as Written *Addressed with Modifications* *Not Applicable*

Large berms with native grasses will wrap the corners of the addition which is a consistent design element with what is existing.

The new dumpster enclosure and service area at the rear of the building will be screened with vegetation. New roof top mechanical equipment will be screened using parapets and not be visible from ground level.

E. Signage

Addressed as Written *Addressed with Modifications* *Not Applicable*

Signage is not included at this time. Signage will be submitted in the future for separate review.

F. Lighting

Addressed as Written *Addressed with Modifications* *Not Applicable*

All proposed light fixtures will be required to adhere to the City of Chesterfield Lighting Ordinance.

Use Type: Commercial and Industrial Architecture

Access: Access to the site will remain unchanged.

Exterior Elements: Addressed above in the Requirements for Building Design.

Landscaping and Screening: Roof top equipment shall be screened by parapets. Ground equipment is proposed to be screened with landscape plantings.

Scale: Addressed above in the Requirements for Building Design.

Site Design: Building equipment and utilities will be located and screened to minimize visibility from the street and neighboring properties.

DEPARTMENTAL INPUT

Staff is reviewing the 6th Amended Site Development Plan, Landscape Plan, Lighting Plan and Architectural Elevations for conformance with the City of Chesterfield Zoning Ordinance Section 1003.105 "NU" Non-Urban District, and all other applicable Zoning Ordinance Requirements. Staff requests action on the 6th Amended Site Development Plan for Windsor Crossing Community Church.

MOTION

The following options are provided to the Architectural Review Board for consideration relative to this application:

- 1) "I move to forward the 6th Amended Site Development Plan, Landscape Plan, Lighting Plan and Architectural Elevations for Windsor Crossing Community Church as presented, with a recommendation for approval (or denial) to the Planning Commission."
- 2) "I move to forward the 6th Amended Site Development Plan, Landscape Plan and Architectural Elevations for Windsor Crossing Community Church to the Planning Commission with the following recommendations..."

Respectfully submitted,



Kristian Corbin
Project Planner

Attachments

1. Architectural Review Packet Submittal



ARCHITECTURAL REVIEW BOARD
Project Statistics and Checklist

Date of First Comment Letter Received from the City of Chesterfield _____

Project Title: The Crossing at Chesterfield - Expansion Location: 114 North Eatherton Road

Developer: NA Architect: Gray Design Group, Inc Engineer: Stock & Associates

PROJECT STATISTICS:

Size of site (in acres): 35.10 Acres Total Square Footage: Exp. 37,000 Building Height: Varies - 51'-0" Max

Proposed Usage: Community Church - Auditorium Addition

Exterior Building Materials: Tilt-up Concrete Walls

Roof Material & Design: Low slope TPO Membrane roof behind Parapets

Screening Material & Design: Tilt-up wall parapets w/ metal screen inserts (some locations) to hide rooftop units

Description of art or architecturally significant features (if any): Various shapes, forms and irregular proportions of spaces that ultimately balance the overall design

ADDITIONAL PROJECT INFORMATION:

Checklist: Items to be provided in an 11" x 17" format

- Color Site Plan with contours, site location map, and identification of adjacent uses.
- Color elevations for all building faces.
- Color rendering or model reflecting proposed topography.
- Photos reflecting all views of adjacent uses and sites.
- Details of screening, retaining walls, etc.
- Section plans highlighting any building off-sets, etc. (as applicable)
- Architect's Statement of Design which clearly identifies how each section in the Standards has been addressed and the intent of the project.
- Landscape Plan.
- Lighting cut sheets for any proposed building lighting fixtures. (as applicable)
- Large exterior material samples. (to be brought to the ARB meeting)
- Any other exhibits which would aid understanding of the design proposal. (as applicable)
- Pdf files of each document required.

THE CROSSING - CHESTERFIELD

Expansion (Phase III)

Architect's Statement of Design

Windsor Crossing Community Church ("The Crossing") in Chesterfield serves as the "main" campus, where most of the staff operates. The Crossing is an expanding community of people (with a new location in Mid Rivers) and now a need to expand their "main" Chesterfield campus.

The proposed expansion at The Crossing in Chesterfield (approximately 37,000 SF) includes a new auditorium, a secondary entrance, lobby space and kid's area addition. It would also include expanded parking to accommodate the building expansion. In addition to the expansion of the building, the interior spaces will be renovated as well.

General Requirements for Site Design

Site Relationships:

The color site plan shows how the new expansion mimics the original design of the building with the various shapes, forms and irregular proportions of spaces which ultimately balance the design and provides a seamless transition between phases of the project. The site plan also shows the location of the future outdoor assembly area on the south side of the building and the relocated baptism pond.

The proposed expansion has limited exposure to the neighboring developments as the building is pulled back from the street and the remaining surroundings include farmland and the Spirit of St. Louis Airport. Also, the majority of the expansion is at the backside of the building.

Circulation System and Access:

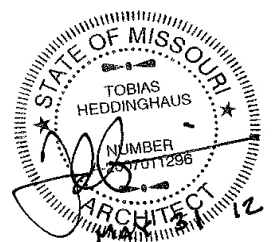
Existing accommodations for bicycle, pedestrian and public transportation will remain, while additional parking and a secondary entrance will add even more circulation around the site and building. There will be new bike racks added along the paved pathway to the courtyard.

Topography:

The topography of the site is level while some landscaped berms will be added to create variety around the site and help with the scale of the building. Existing landscaping will remain and be added upon in areas where the building expands.

Retaining Walls:

There will be no new retaining walls.



General Requirements for Building Design

Scale:

Although portions of the proposed expansion are taller, its unique architecture provides variation, interesting forms and sculptures that blend perfectly with the existing building by gradually stepping the building up to the higher elevation as you move to the back of the building.

The secondary entry is at a smaller scale/ elevation than the main entry. The new kid's area will match the existing elevation of the kid's area.

The proposed auditorium that will be the new main gathering area of the building is at a higher elevation than the existing building as it will house approximately 1,200 people and provide balcony seating. This new auditorium has been thoroughly examined to accommodate the anticipated audience size and the required circulation and sound requirements which led to the proposed height of the auditorium expansion.

Design:

The building elevations illustrate how the proposed expansion will blend with the existing structure where the same materials (tilt-up concrete walls) and colors will be utilized.

The proposed secondary entry will be recessed back to allow a curved sculptured metal roof overhang accent adjacent to a curved stone wall extrusion which is similar to details of the existing building.

Materials and Colors:

The new addition will be tilt-up concrete walls to match the existing building construction. The building elevations show how the colors will match the existing building colors and how each piece of the structure is highlighted using the current color palette.

Landscape Design and Screening:

The landscape treatment for this addition will follow the same design guidelines as the previous construction. Against the building, large berms of native grasses will wrap the corners and, in some cases, align along building walls to give the effect of the building emerging from the landscape. The new building entry will be similar to the entry on the east side of the existing building – two native grass berms framing the entry walk.

In the parking lot, shade trees such as Thornless Honeylocust and Littleleaf Linden will be used in the parking islands. In the drainage swale to the south, water-loving Bald Cypress will be used.

The new dumpster enclosure will be screened with White Spruce and White Pine, as will the new service area at the rear of the new addition. At the building entry, shrubs such as Anthony Waterer Spirea and China Girl Holly will be used as accent plants next to the building.

Flowering trees such as Redbud and Flowering Cherry will also be used to provide seasonal color.



The intention is for the new plantings to blend immediately with the surrounding landscape. The use of similar berming and foundation planting, as well as the framing of patios with flowering trees, will provide a seamless transition between the existing landscape and the proposed.

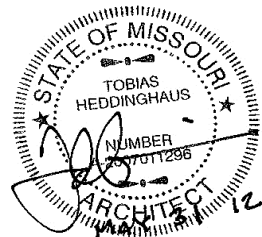
No new rooftop equipment shall be visible from the ground level. Parapets and decorative screens inserted into tilt-up wall cut outs will be used to discretely hide any new equipment as needed.

Signage:

There will be no new large signage as part of the addition, however smaller scale directional signage may be needed and shall match existing signage in size, shape and material.

Lighting:

Some new site lighting will be added at the parking lot. The civil drawings indicate location; also see the photometric drawing and cut sheet for more information.



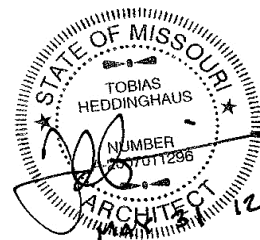


SHEET INDEX

A0	COVER
C-ADSP-01	COLORED SITE PLAN
C-ADSP-02	SITE SECTION + TRASH ENCLOSURE
C-LIGHT-01	PHOTOMETRIC + LIGHT CUT SHEET
L-1	LANDSCAPE PLAN
A1	EXTERIOR ELEVATIONS
A2	EXTERIOR ELEVATIONS
A3	EXTERIOR ELEVATIONS
A4	EXTERIOR RENDERED VIEW
A5	EXTERIOR RENDERED VIEW
A6	EXTERIOR RENDERED VIEW
A7	EXISTING BUILDING PHOTOS
A8	PHOTOS OF ADJACENT SITES
A9	BUILDING SECTION

THE CROSSING - CHESTERFIELD

114 North Eatherton Road
Chesterfield, Missouri 63005



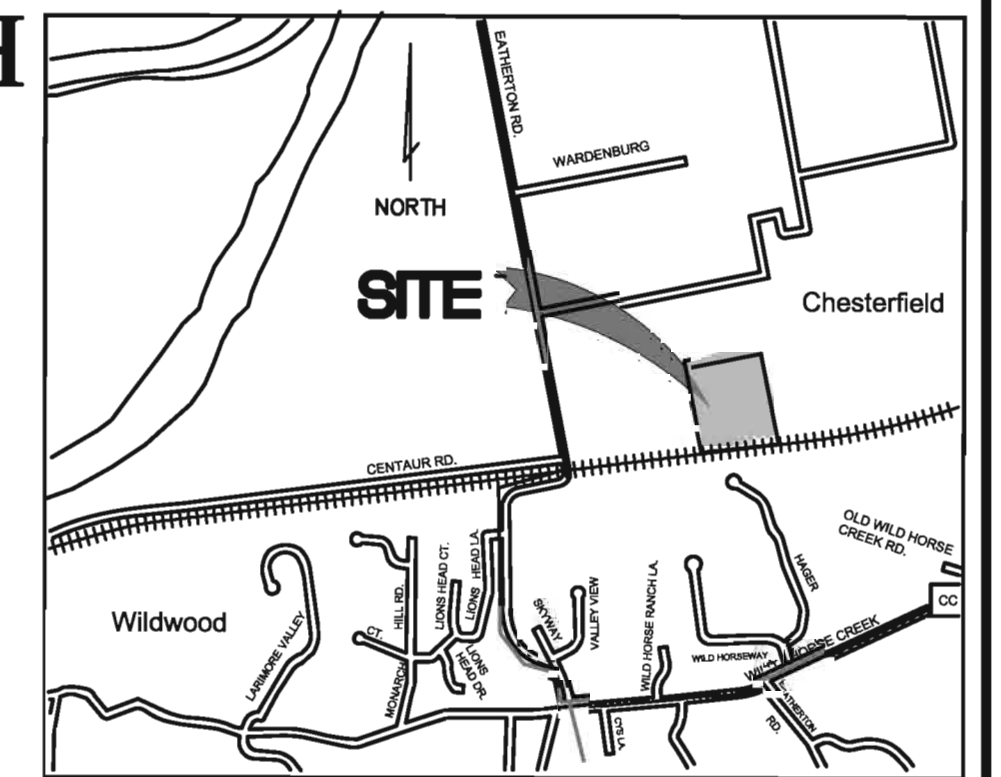
MAY 31, 2012

gray

A0

WINDSOR CROSSING COMMUNITY CHURCH SIXTH AMENDED SITE PLAN

A PARCEL OF LAND BEING PART OF U.S. SURVEY 133 AND 362
TOWNSHIP 45 NORTH, RANGE 3 EAST OF THE FIFTH PRINCIPAL MERIDIAN
CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI



PERTINENT DATA

SITE ACREAGE	= 35.10 ACRES
EXISTING ZONING	= "NU" Non-Urban (present zoning)
FIRE DISTRICT	= MONARCH
SCHOOL DISTRICT	= ROCKWOOD
SEWER DISTRICT	= METROPOLITAN ST. LOUIS SEWER DIST.
WATERSHED AREA	= MISSOURI RIVER
WATER SERVICE	= MISSOURI AMERICAN WATER COMPANY
GAS SERVICE	= LACLIDE GAS
ELECTRIC SERVICE	= AmeriElec
PHONE SERVICE	= SOUTHWESTERN BELL
LOCATOR NUMBER	= 18W 23 0011
OWNER	= WINDSOR CROSSING COMMUNITY CHURCH
	114 N. EATHERTON ROAD CHESTERFIELD, MO 63005 PHONE: (636) 532-1212 FAX: (636) 536-0594

GENERAL NOTES

- BOUNDARY SURVEY PROVIDED BY OTHERS.
- GRADING & STORM WATER PER THE CITY OF CHESTERFIELD AND THE METROPOLITAN ST. LOUIS SEWER DISTRICT (MSD).
- NO SLOPE SHALL EXCEED 3:1, EXCLUDING LANDSCAPE BERMS.
- ALL UTILITIES SHOWN HAVE BEEN LOCATED BY THE ENGINEER FROM AVAILABLE RECORDS. THEIR LOCATION SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR HAS THE RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES, PRIOR TO CONSTRUCTION, TO HAVE EXISTING UTILITIES FIELD LOCATED. SHOULD ANY CONFLICTS BE EVIDENT, THE CONTRACTOR SHALL NOTIFY THE OFFICE OF THE ENGINEER IMMEDIATELY.
- SITE LANDSCAPING PLANS SHALL MEET THE CITY LANDSCAPE REQUIREMENTS PER ORDINANCE 2252.
- SITE LIGHTING PLANS SHALL MEET THE CITY LIGHTING REQUIREMENTS PER ORDINANCE 2228.
- ON-SITE STORM WATER DRAINAGE REQUIREMENTS SHALL BE IN ACCORDANCE WITH THE CHESTERFIELD VALLEY MASTER STORMWATER DRAINAGE PLAN.
- OFF-SITE GRADING EASEMENTS, IF REQUIRED, SHALL BE EXECUTED AND RECORDED PRIOR TO THE COMMENCEMENT OF ANY OFF-SITE GRADING.
- NO ADDITIONAL SIGNAGE IS PROPOSED FOR THIS PHASE OF THE PROJECT.
- STORM WATER SHALL BE DISCHARGED AT AN ADEQUATE NATURAL DISCHARGE POINT. SINKHOLES ARE NOT ADEQUATE DISCHARGE POINTS.

LEGEND

EXISTING SANITARY SEWER	—
EXISTING STORM SEWER	—
EXISTING TREES	⊙
EXISTING BUILDING	▭
EXISTING CONTOUR	—
SPOT ELEVATION	○
EXISTING UTILITIES	—
FOUND 1/2" IRON PIPE	○
SET IRON PIPE	○
FOUND CROSS	+
FOUND STONE	⊕
FIRE HYDRANT	⊕
LIGHT STANDARD	⊕
SIGN	⊕
GUY WIRE	⊕
POWER POLE	⊕
WATER VALVE	⊕
DENOTES RECORD INFORMATION	()

PARKING CALCULATIONS

PARKING REQUIRED PER ZONING: 1 SPACE FOR EVERY 4 SEATS
PARKING REQUIRED PER CLIENT: 1 SPACE FOR EVERY 1.8 SEATS

EXISTING SPACES:
STD. 9'x19' = 569 SPACES (PAVED)
HANDICAP = 13 SPACES (PAVED)
TOTAL = 582 SPACES

PROPOSED PARKING:
STD. 9'x19' = 308 SPACES (PAVED)
HANDICAP = 0 SPACES (PAVED)
TOTAL = 308 SPACES

PARKING REMOVED UNDER THIS PLAN:
STD. 9'x19' = 4 SPACES (PAVED)
TOTAL = 4 SPACES

TOTAL PARKING UNDER THIS PLAN 886 SPACES

PARKING PROVIDED (ULTIMATE):
STD. 9'x19' = 1329 SPACES
TOTAL = 1329 SPACES

* 8/25/03 PLANNING COMMISSION CONDITION
"ULTIMATE PARKING SHALL NOT EXCEED 1,247"

OPEN SPACE CALCULATIONS

BUILDING & PAVEMENT (UNDER THIS PLAN) : 454,070 SQ. FT.
TOTAL SITE AREA : 1,528,956 SQ. FT.
PERCENT OPEN SPACE : [(1,528,956 - 454,070) / 1,528,956] x 100 = 70.3%

LEGAL DESCRIPTION

A PARCEL OF LAND BEING PART OF U.S. SURVEY 133 AND 362, TOWNSHIP 45 NORTH, RANGE 3 EAST OF THE FIFTH PRINCIPAL MERIDIAN, CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI

GEOTECHNICAL STATEMENT

SCI Engineering, Inc., at the request of Windsor Crossing Community Church has provided geotechnical services for the project proposed herein. A geotechnical investigation was conducted during April 2012 for the development proposed herein. Our findings indicate that the earth-related aspects are suitable for the development proposed pursuant to the geotechnical recommendations set forth in our Geotechnical Report titled "Windsor Crossing Community Church Additions", Chesterfield, Missouri dated April 2012. (SCI No. 2012-008610)

UTILITY NOTE

UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS, RECORDS AND INFORMATION, AND THEREFORE DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NON-EXISTENCE, SIZE, TYPE, NUMBER, OR LOCATION OF THESE FACILITIES, STRUCTURES AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS. THE UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319 RSMo.

SURVEYOR'S CERTIFICATION

THIS IS TO CERTIFY THAT STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC. HAS PREPARED THIS AMENDED SITE PLAN FROM AN ACTUAL FIELD SURVEY AND THIS AMENDED SITE PLAN DOES NOT REPRESENT A PROPERTY BOUNDARY SURVEY. THIS AMENDED SITE PLAN IS A CORRECT REPRESENTATION OF ALL EXISTING AND PROPOSED LAND DIVISIONS.

STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC.
L.S. No. 222-D

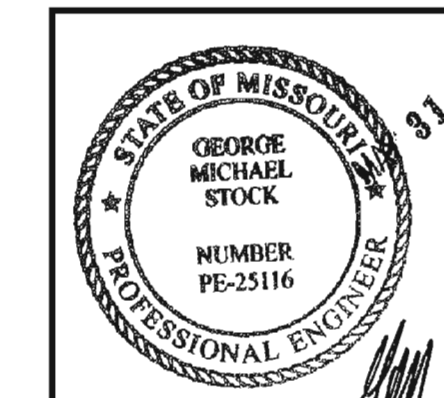
By: DANIEL EHLMANN, MISSOURI L.S. NO. 2215

STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC. AND THE UNDERSIGNED ENGINEER HAVE NO RESPONSIBILITY FOR SERVICES PROVIDED BY OTHERS TO IMPLEMENT THE IMPROVEMENTS SHOWN ON THIS PLAN AND ALL OTHER DRAWINGS WHERE THE UNDERSIGNED ENGINEER'S SEAL APPEARS. THE CONSTRUCTION MEANS AND METHODS ARE THE SOLE RESPONSIBILITY OF THE OWNER AND CONTRACTOR. STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC. HAS NO RESPONSIBILITY TO VERIFY FINAL IMPROVEMENTS AS SHOWN ON THIS PLAN UNLESS SPECIFICALLY ENGAGED AND AUTHORIZED TO DO SO BY THE OWNER OR CONTRACTOR.

05/31/12 - ARB SUBMITTAL
05/29/12 - UPDATED BAPTISMAL FEATURE & SITE LIGHTING
05/14/12 - UPDATED ROOF DRAINS

M.S.D. P.#

BASE MAP # 18-W



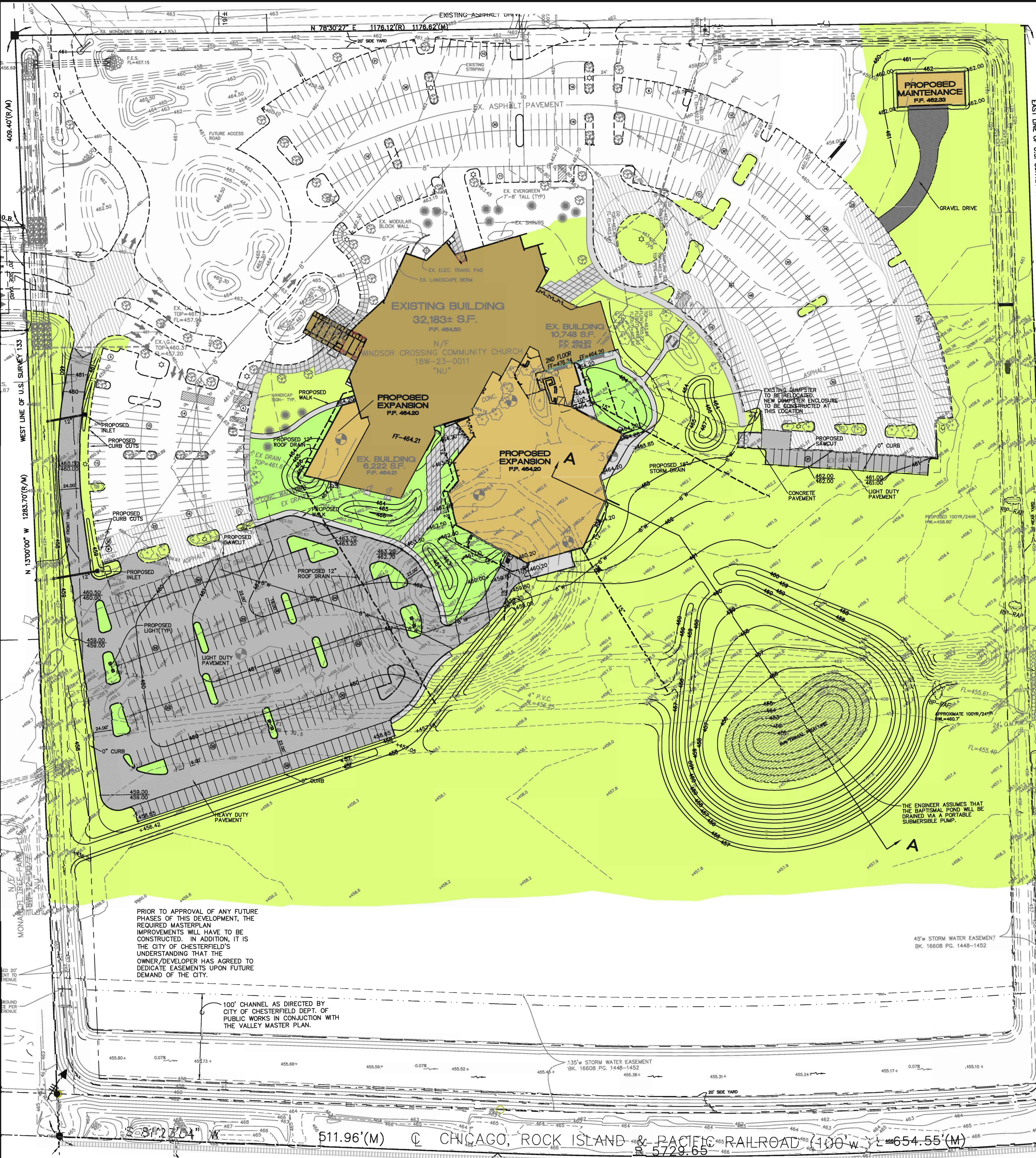
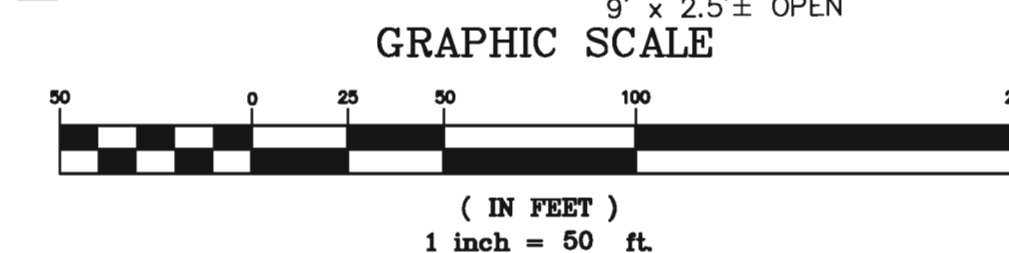
GEORGE M. STOCK
CIVIL ENGINEER
CERTIFICATE OF AUTHORITY
NUMBER: 000996

**WINDSOR CROSSING COMMUNITY CHURCH
SIXTH AMENDED SITE PLAN**

STOCK & ASSOCIATES
Consulting Engineers, Inc.

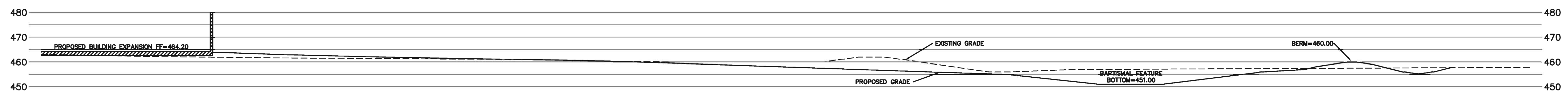
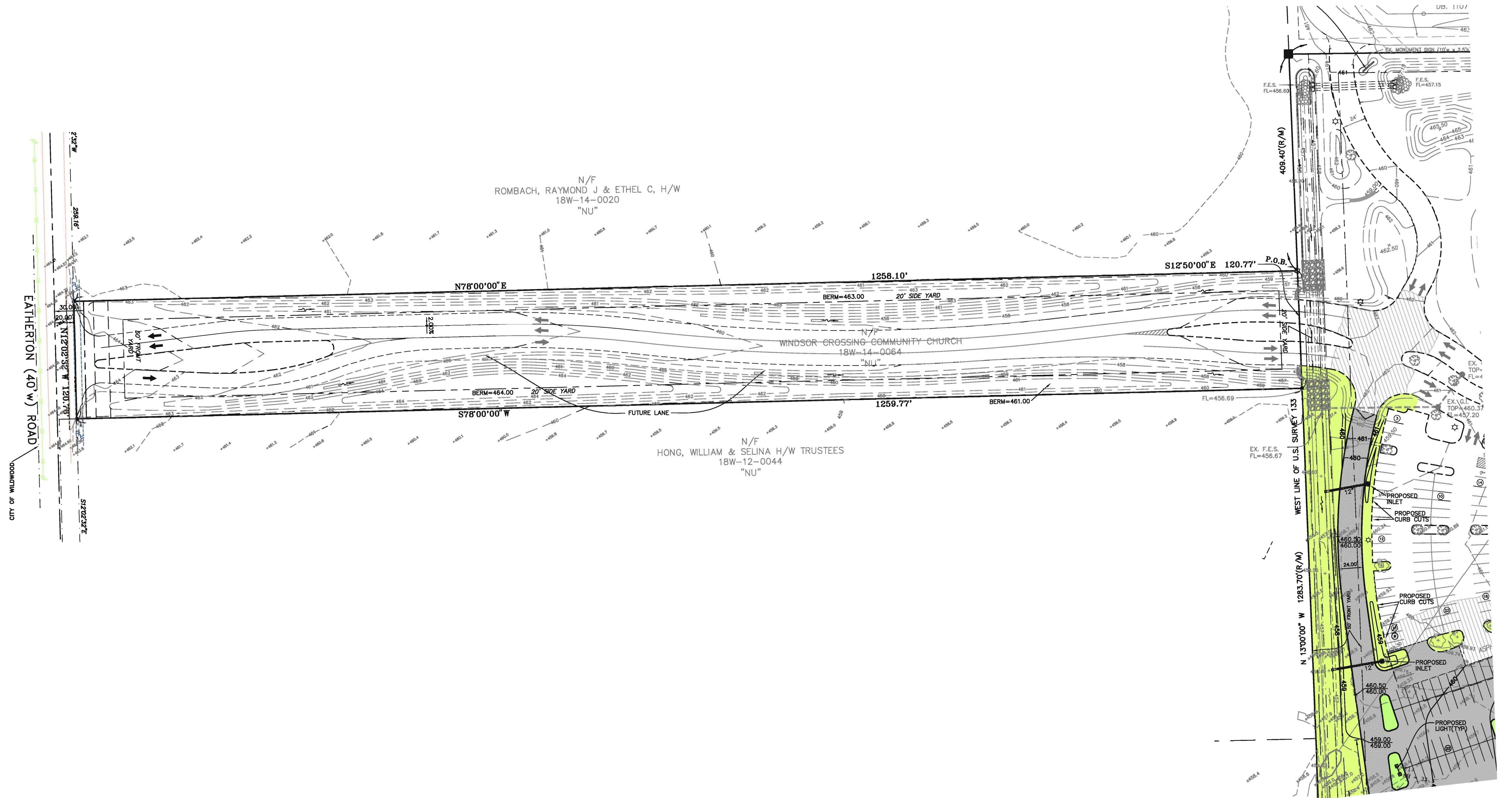
257 Chesterfield Business Parkway
St. Louis, MO 63005
PH: (636) 530-9100
FAX: (636) 530-9130
e-mail: general@stockassoc.com
Web: www.stockassoc.com

DRAWN BY: E.J.F. DATE: 05/03/12 CHECKED BY: D.P.B. DATE: 05/03/12 JOB NUMBER: 211-4817 SHEET: C-ADSP-01

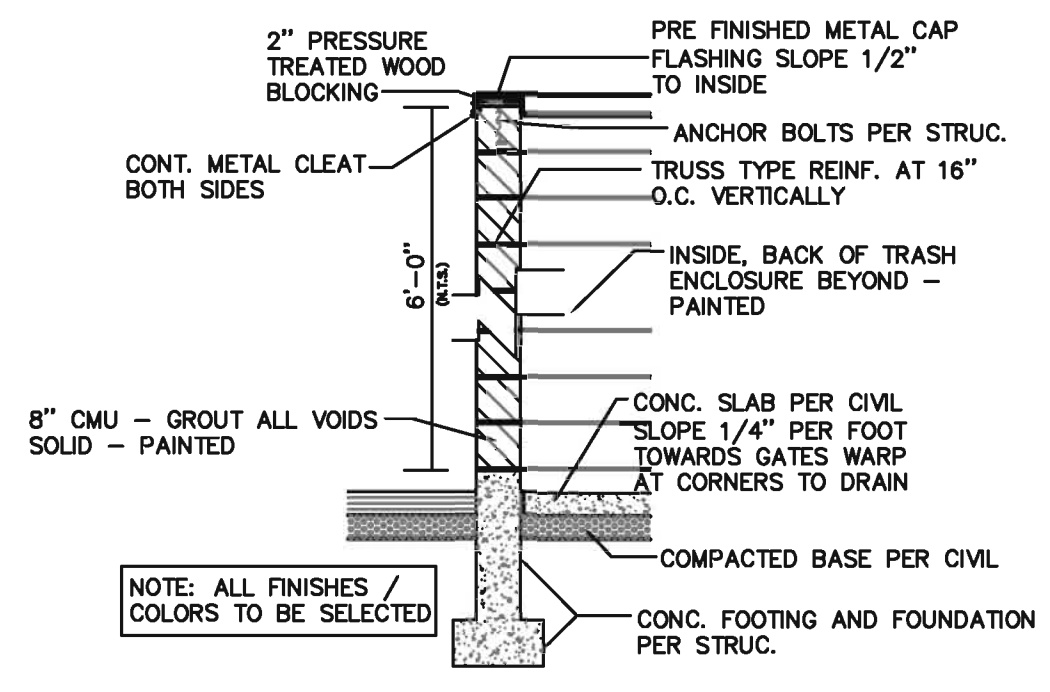


PREPARED FOR:
WINDSOR CROSSING COMMUNITY CHURCH
114 N. EATHERTON ROAD
CHESTERFIELD, MO 63005
PH: (314) 435-4290
CONTACT: ART KUIPERS, P.E.
PHONE: 314-435-4290 (24 HOUR)

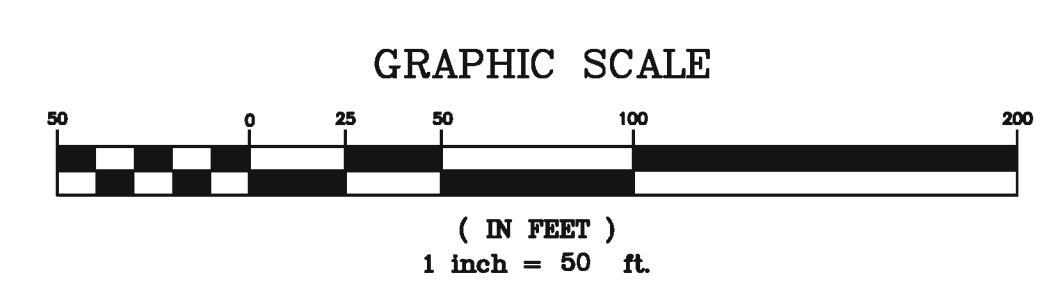
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 PLOT TOTAL SHEETS: 1



SECTION A-A
SCALE: 1"=20' H,V



TRASH ENCLOSURE DETAIL
(NTS)



M.S.D. P# _____
BASE MAP # 18-W

STATE OF MISSOURI
GEORGE MICHAEL STOCK
CIVIL ENGINEER
NUMBER PE-25116
E-25116

GEORGE M. STOCK
CIVIL ENGINEER
CERTIFICATE OF AUTHORITY
NUMBER: 000996

05/31/12 - ARB SUBMITTAL
05/29/12 - UPDATED BAPTISMAL FEATURE & SITE LIGHTING
05/14/12 - UPDATED ROOF DRAINS

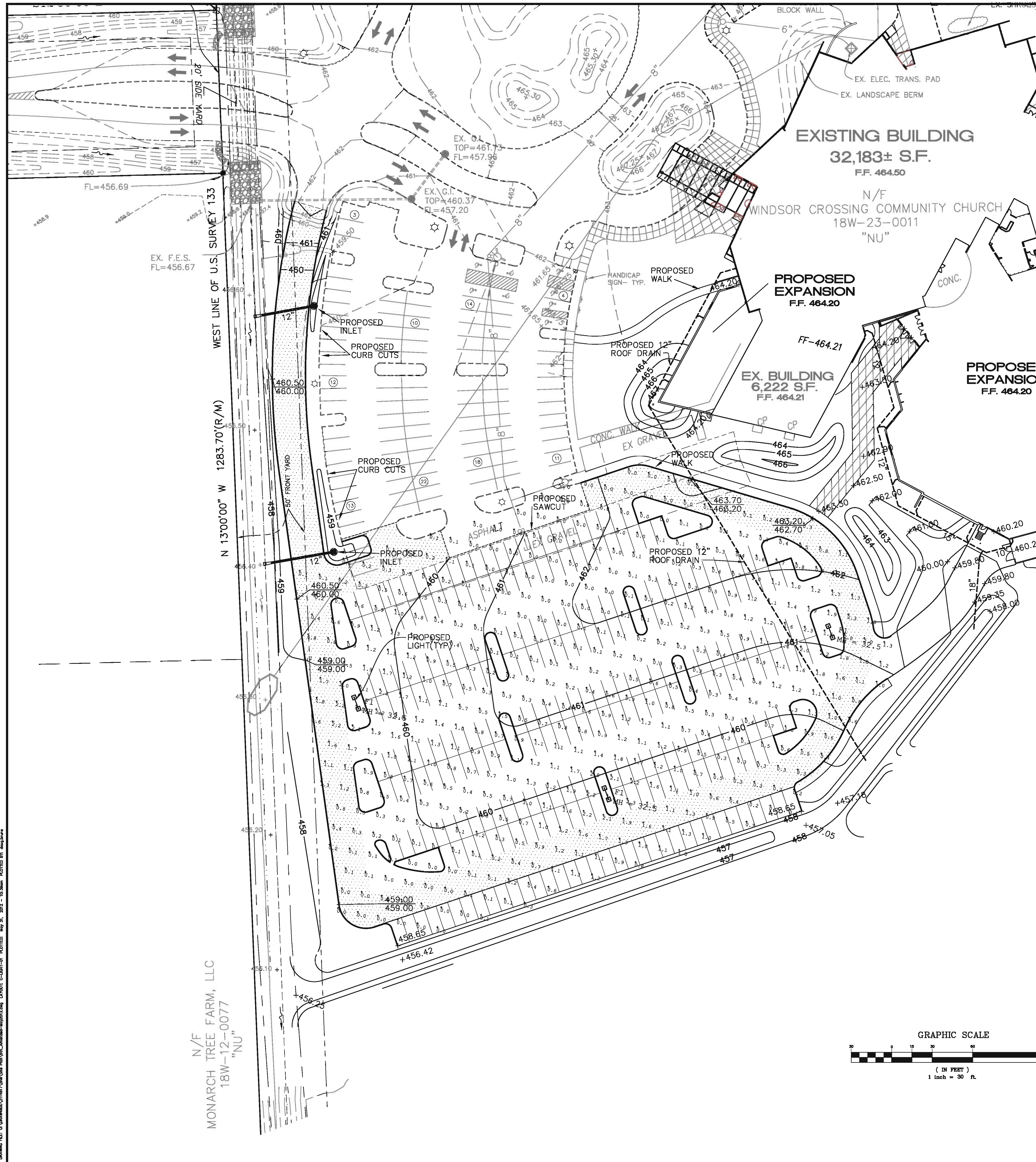
WINDSOR CROSSING COMMUNITY CHURCH
SIXTH AMENDED SITE PLAN

Stock & Associates
Consulting Engineers, Inc.

257 Chesterfield Business Parkway
St. Louis, MO 63005
PH. (636) 530-9100
FAX (636) 530-9130
e-mail: general@stockassoc.com
Web: www.stockassoc.com

DRAWN BY: E.J.F. DATE: 05/03/12
CHECKED BY: D.P.B. DATE: 05/03/12
JOB NUMBER: 211-4817
SHEET: C-ADSP-02

DRAWING FILE: C:\WORK\2012\14817\14817.dwg PLOT FILE: 14817-00.dwg PLOTTED: May 21, 2012 10:45am PLOTTED BY: gstock



FIXTURES MOUNTED ON 30' POLE & 2.5' BASE
LIGHT LEVEL CALCULATED AT GRADE

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	I.F.	Description
	3	F1	BACK-BACK	34000	0.650	GSM-AM-320-MP-MT-AS-PG

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
SITE	illumiance	Fc	0.64	2.3	0.0	N.A.

DESIGN IS BASED ON CURRENT INFORMATION PROVIDED AT THE TIME OF REQUEST. ANY CHANGES IN MOUNTING HEIGHT OR LOCATION, LAMP WATINGS, LAMP TYPE, AND EXISTING FIELD CONDITIONS, THAT AFFECT ANY OF THE PREVIOUSLY MENTIONED, WILL VOID CURRENT LAYOUT AND REQUIRE A CHANGE REQUEST AND RECALCULATION.

PHOTOMETRICS PROVIDED BY OTHERS

McGRAW-EDISON

DESCRIPTION	Type
Galleria's ready-to-use versatility makes it an excellent choice for roadway and general area lighting applications. An aesthetically pleasing, formed aluminum housing gives the Galleria a distinctive look while a variety of mounting options and lamp wattages provide maximum flexibility. Galleria's superior light distribution makes it the optimum choice for a most any small, medium or large area lighting application.	

DESCRIPTION
Galleria's ready-to-use versatility makes it an excellent choice for roadway and general area lighting applications. An aesthetically pleasing, formed aluminum housing gives the Galleria a distinctive look while a variety of mounting options and lamp wattages provide maximum flexibility. Galleria's superior light distribution makes it the optimum choice for a most any small, medium or large area lighting application.

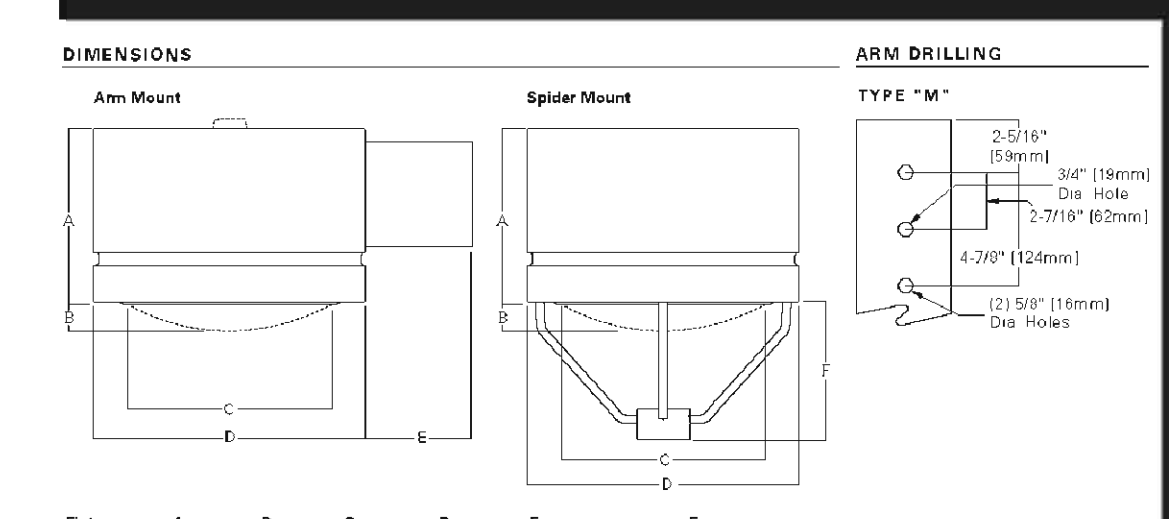
CONSTRUCTION
HOUSING: Formed aluminum housing with standard reveal has interior-welded seams for structural integrity and is finished in premium TGIC polyester powder coat. UL listed and CSA certified for wet locations. 200R: Formed aluminum door has heavy-duty hinges, captive retaining screws and is finished in premium TGIC polyester powder coat. Spider-mount with has steel door.

ELECTRICAL
BALLAST TRAY: Ballast tray is hard-mounted to housing interior for cooler operation.

OPTICAL
REFLECTOR: Choice of 14 high efficiency optical systems utilizing non-toxic and vertical lamp orientations. Optional high efficiency segmented optical systems constructed of premium 85% reflective anodized aluminum sheet. Optical segments are rigidly mounted inside a thick gauge aluminum housing for superior protection. All segment faces are clear of foot heads, tabs or other means of attachment which may cause strabbling in the light distribution. Standard with megajoule socket. All optical modules feature quick disconnect wiring.

PLUG AND ANGLE
Rotatable in 90° increments. LENS: Curved, tempered glass lens or flat glass.

MOUNTING
Extended aluminum arm includes internal bolt guides allowing for easy positioning of fixture during assembly. Specialty arm included mounting for contractor branding, single or double package of housing and arm.



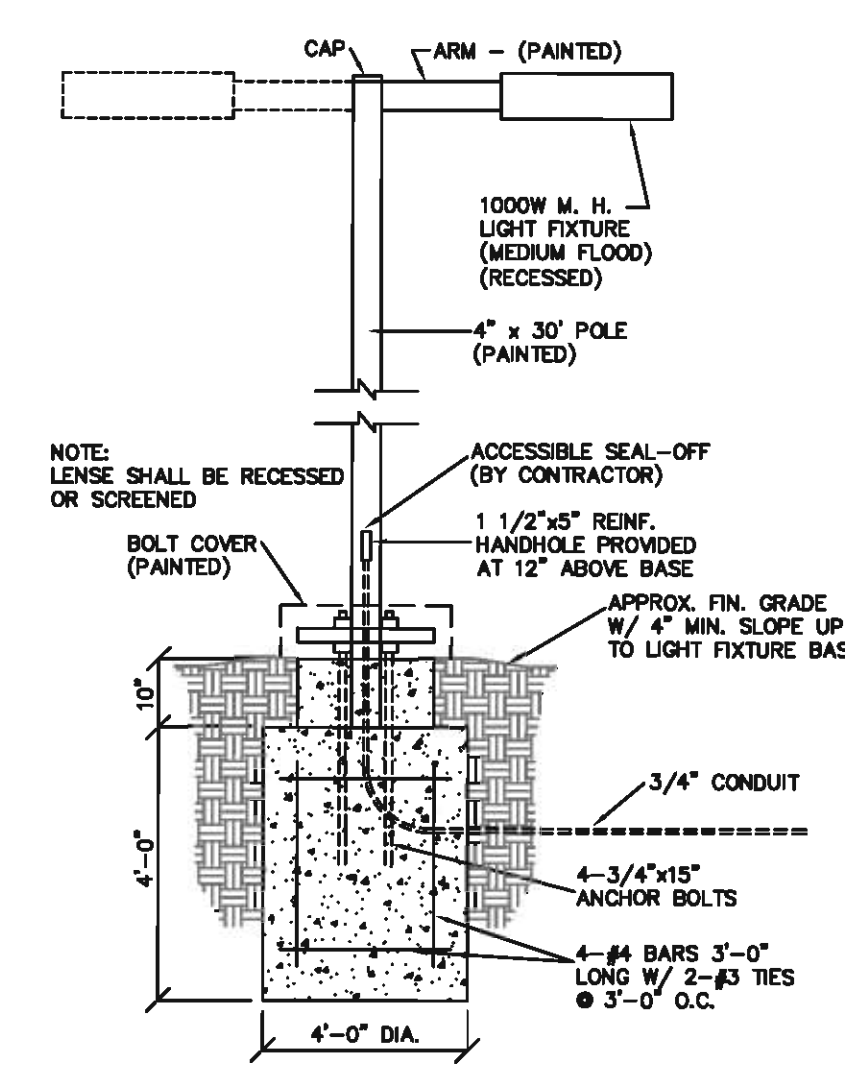
WATTAGE TABLE

Fixture	A	B	C	D	E	F
GSS	110W	110W	110W	110W	110W	110W
GSM	110W	110W	110W	110W	110W	110W
GSL	110W	110W	110W	110W	110W	110W

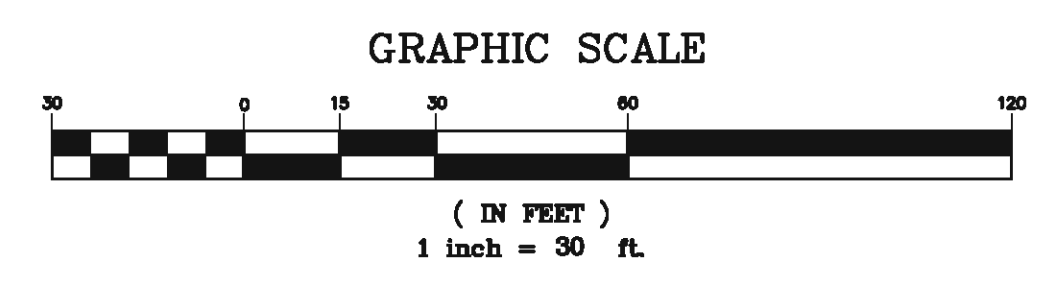
ENERGY DATA

Fixture	Ballast	Ballast Type	Ballast Power	Ballast Efficiency
GSS	Optimal	Optimal	Optimal	Optimal
GSM	Optimal	Optimal	Optimal	Optimal
GSL	Optimal	Optimal	Optimal	Optimal

SHIPPING DATA
Approximate Net Weight:
30 lbs. (14 kg)
30 lbs. (14 kg)
30 lbs. (14 kg)



AREA LIGHT & POLE DETAIL
(n.t.s.)
NOTE: SEE SITE LIGHTING SHOP DRAWINGS FOR SPECIFIC DETAILS.



M.S.D. P# _____
BASE MAP # 18-W _____

WINDSOR CROSSING COMMUNITY CHURCH
LIGHTING PHOTOMETRICS

STOCK & ASSOCIATES
Consulting Engineers, Inc.

257 Chesterfield Business Parkway
St. Louis, MO 63005
PH: (636) 530-9100
FAX: (636) 530-9130
e-mail: general@stockassoc.com
Web: www.stockassoc.com

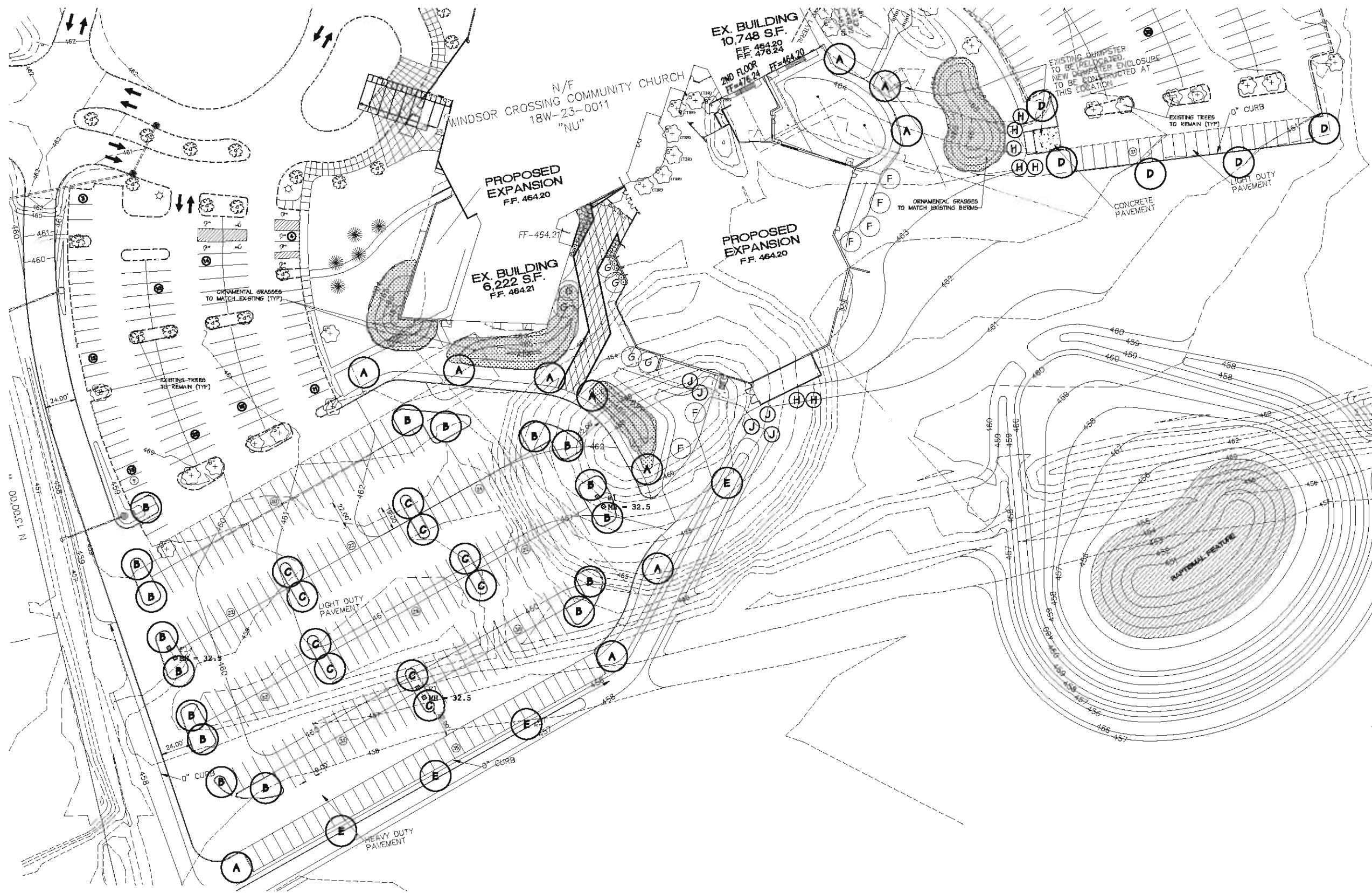
GEORGE M. STOCK
CIVIL ENGINEER
E-25116
CERTIFICATE OF AUTHORITY
NUMBER: 000996

DATE: 05/03/12
CHECKED BY: D.P.B.
DATE: 05/03/12

DRAWN BY: E.J.F.
DATE: 05/03/12

DATE: 05/03/12
JOB NUMBER: 211-4817
SHEET: C-LIGHT-01

DRAWING FILE: C:\WORK\2012\114817\114817.dwg PLOT DATE: 05/03/12 10:30 AM PLOTTED BY: J. MICHAEL



Jerold Saunders - Landscape Architect
 MO License # LA-027
 Consultants:

Windsor Crossing Community Church 6th Amended Site Plan

Chesterfield, MO

Revisions:

Date	Description	No.
3-31-12	ARB Submital	1

Drawn: BAR
 Checked: JAS

loomisAssociates

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 2200 N. Lincoln Hwy., Suite 300
 St. Louis, MO 63114
 Phone: 314.261.1000
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Loomis Associates Inc.
 Missouri State Certificate of Authority # LAC 000018

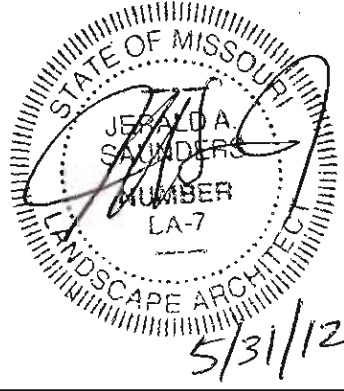
Sheet Title: Landscape Plan

Sheet No: **L-1**

Date: 05/03/12
 Job #: B13.030

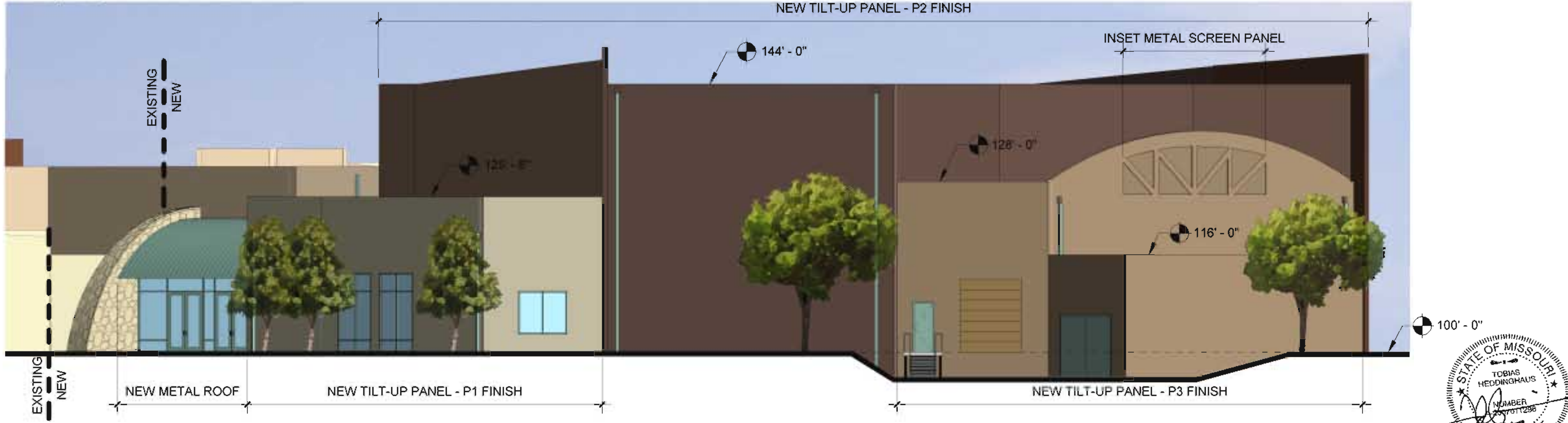
LANDSCAPE PLAN
 SCALE 1" = 30'

SYMBOL	QUANTITY	SCIENTIFIC NAME	COMMON NAME	SIZE	FINISH	DATE	MATURE HEIGHT
A	11	Acer rubrum 'Red Sunset'	Red Sunset Maple	2 1/2'	B&B	FAST	45'+
B	17	Gleditsia triacanthos 'Inermis'	Thornless Honeylocust	2 1/2'	B&B	FAST	45'+
C	10	Tilia cordata	Littleleaf Linden	2 1/2'	B&B	SLOW	45'+
D	5	Acer x freemanii 'Jeffered'	Autumn Blaze Maple	2 1/2'	B&B	MED.	45'+
E	4	Taxodium distichum	Bald Cypress	2 1/2'	B&B	MED.	45'+
F	6	Prunus serrulata	Flowering Cherry	2 1/2'	B&B	MED.	25-35'
G	6	Cercis canadensis	Redbud	2 1/2'	B&B	FAST	25-30'
H	7	Picea glauca	White Spruce	6-8'	B&B	MED.	30-40'
J	5	Pinus strobus	Eastern White Pine	6-8'	B&B	FAST	45'+
⊙		Ornamental Grasses	(varies)	3 gal.	24" p.c.		
⊙	10	Ilex x meserveae 'Mesog'	China Girl Holly	3 gal.			
⊙	26	Spiraea x bumalda 'Anthony Waterer'	Anthony Waterer Spiraea	3 gal.			

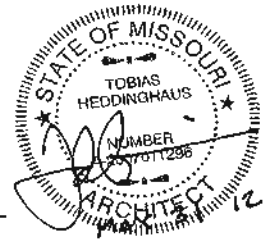




AUDITORIUM - NORTHWEST EXTERIOR
1/16" = 1'-0"



AUDITORIUM - SOUTHWEST EXTERIOR
1/16" = 1'-0"

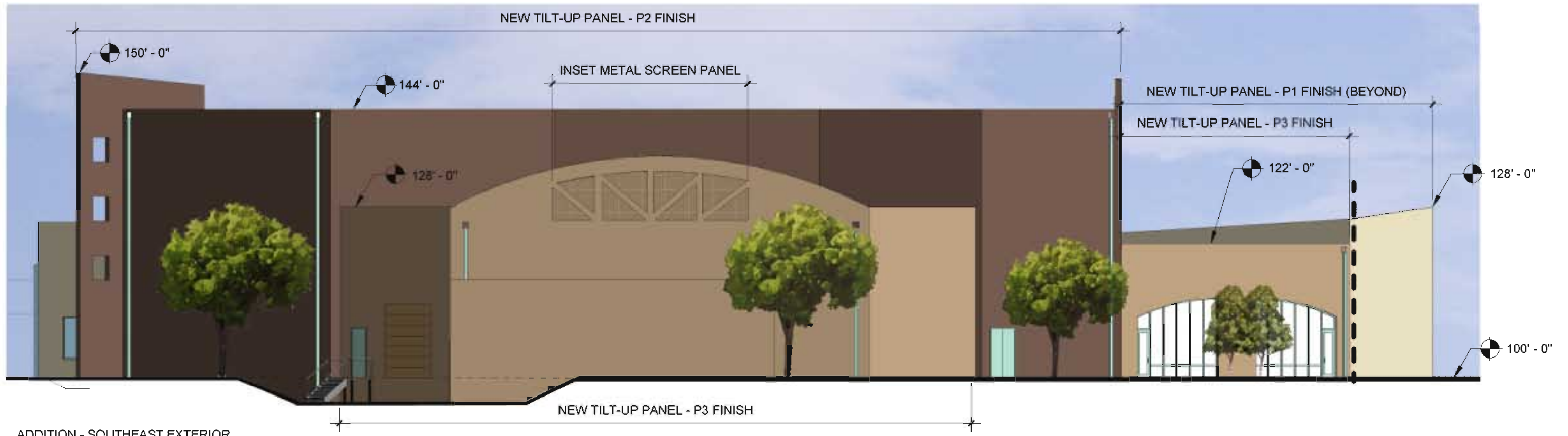


MAY 31, 2012

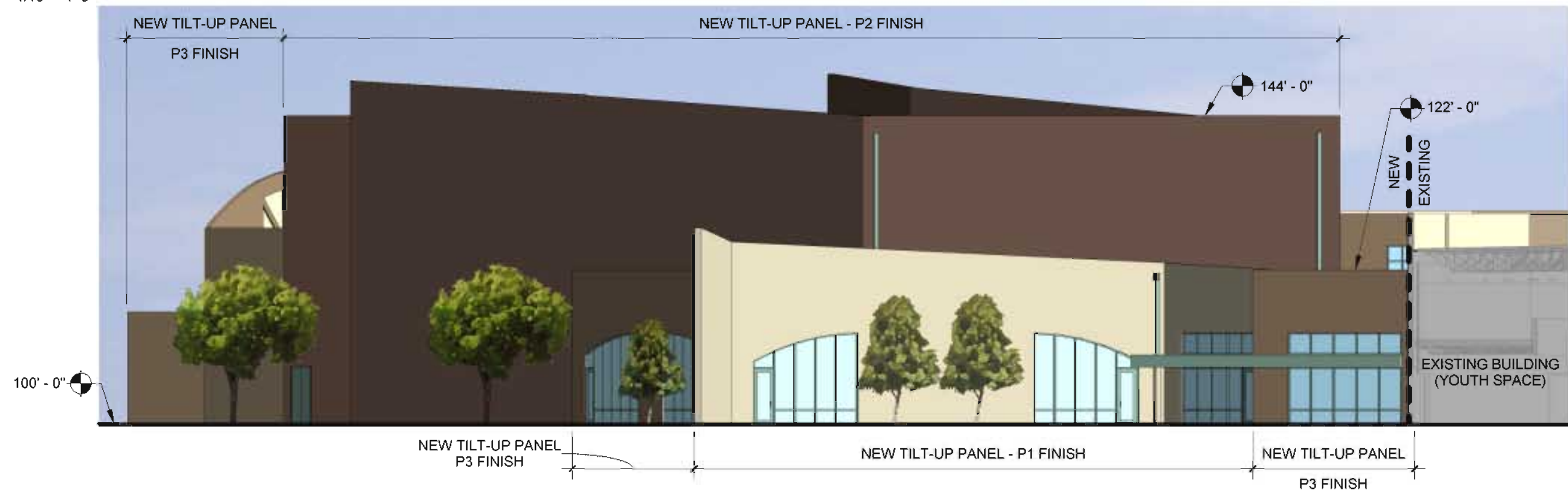


THE CROSSING - CHESTERFIELD
EXTERIOR ELEVATIONS

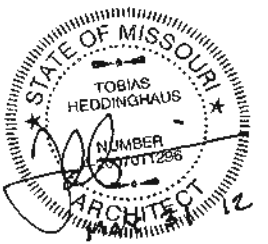
gray A1

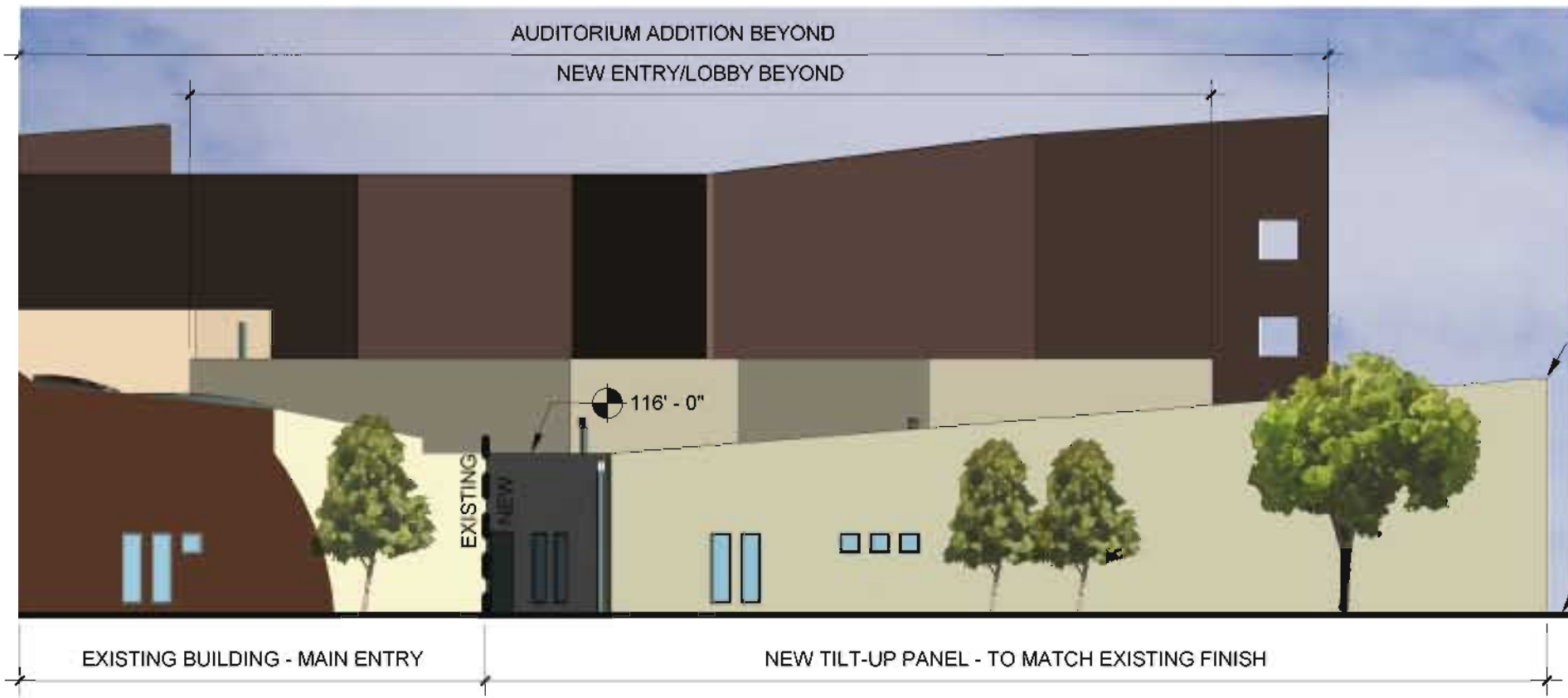


ADDITION - SOUTHEAST EXTERIOR
1/16" = 1'-0"

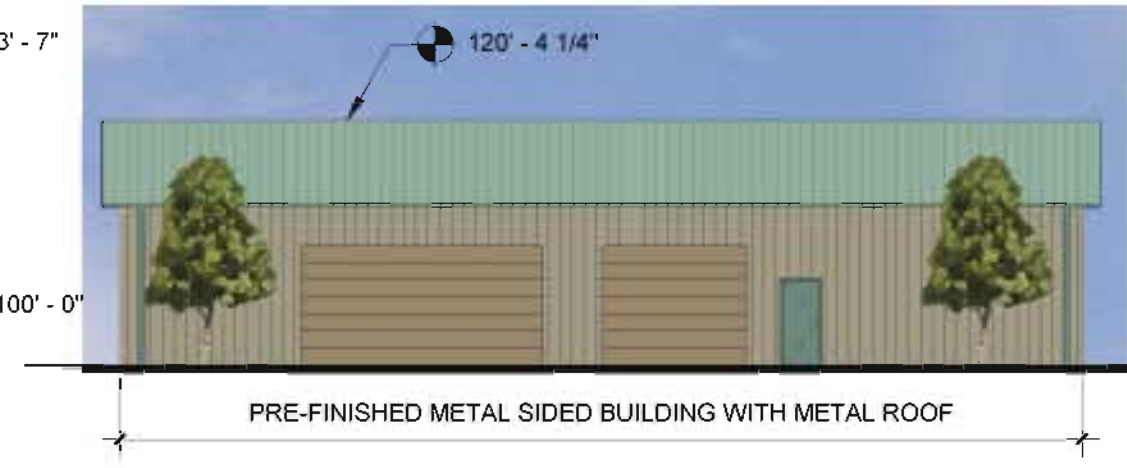


ADDITION - NORTHEAST EXTERIOR
1/16" = 1'-0"

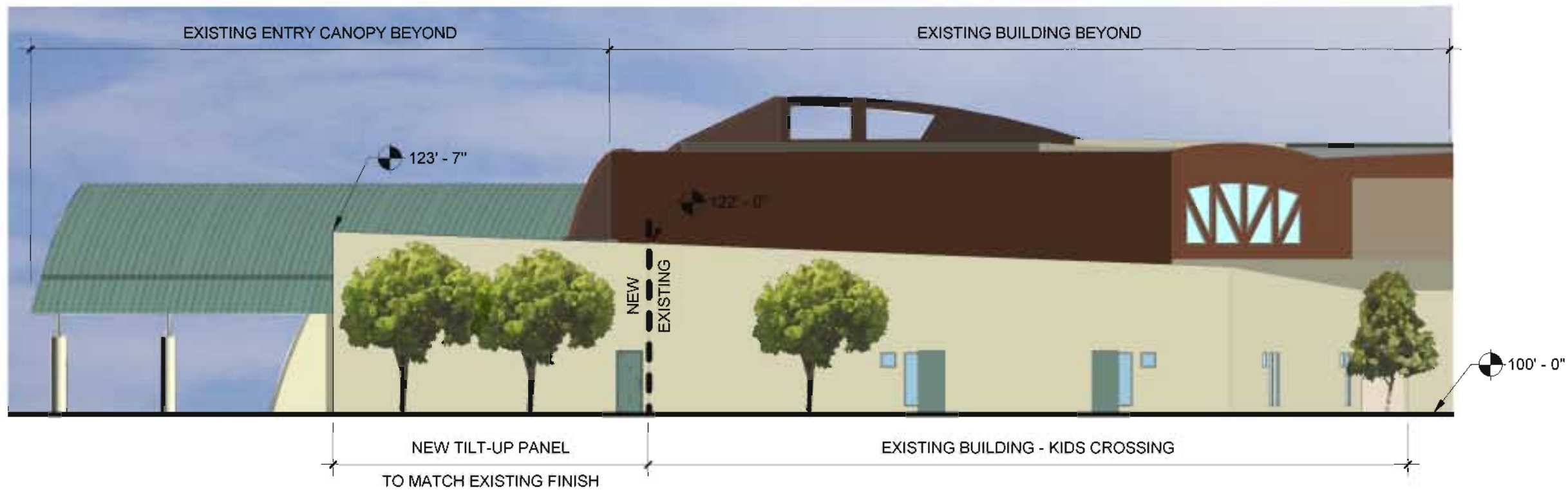




KIDS CROSSING - NORTHWEST EXTERIOR
1/16" = 1'-0"



MAINTENANCE BUILDING
1/16" = 1'-0"



KIDS CROSSING - SOUTHWEST EXTERIOR
1/16" = 1'-0"



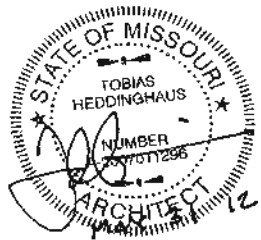
MAY 31, 2012



THE CROSSING - CHESTERFIELD
EXTERIOR ELEVATIONS



NEW ENTRY & AUDITORIUM



MAY 31, 2012

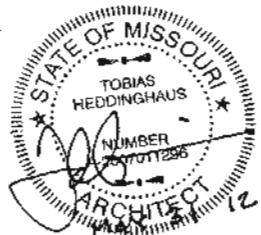


THE CROSSING - CHESTERFIELD
EXTERIOR RENDERED VIEW

gray | **A4**



COURTYARD



MAY 31, 2012



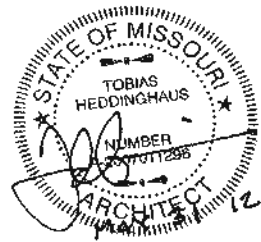
THE CROSSING - CHESTERFIELD
EXTERIOR RENDERED VIEW

gray

A5



KIDS CROSSING

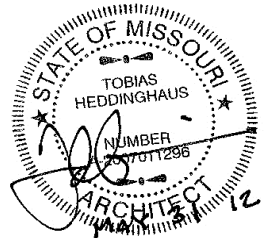


MAY 31, 2012



THE CROSSING - CHESTERFIELD
EXTERIOR RENDERED VIEW

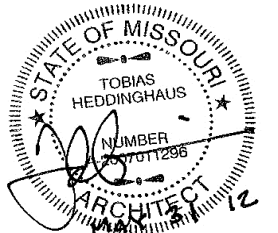
gray | **A6**



MAY 31, 2012



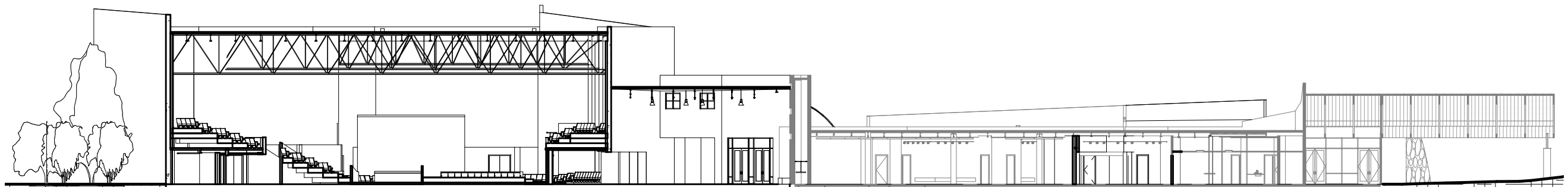
THE CROSSING - CHESTERFIELD
EXISTING BUILDING PHOTOS



MAY 31, 2012

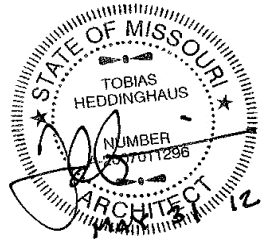


THE CROSSING - CHESTERFIELD
PHOTOS OF ADJACENT SITES



Level 1
100' - 0"

BUILDING SECTION THROUGH EXISTING MAIN ENTRY AND NEW AUDITORIUM
1/32" = 1'-0"



MAY 31, 2012



THE CROSSING - CHESTERFIELD
BUILDING SECTION

gray | **A9**