

Architectural Review Board Staff Report

Project Type:	Amended Site Development Plan
Meeting Date:	June 13, 2019
From:	Mike Knight, Planner
Location:	A 5.0 acre tract of land located south of Chesterfield Airport Road, east of Chesterfield Commons East Road and west of Baxter Road.
Description:	<u>Storage Masters Chesterfield Self Storage (ASDP)</u> : An Amended Site Development Plan, Landscape Plan, Lighting Plan, Architectural Elevations and Architect's Statement of Design for a 5.0 acre tract of land located south of Chesterfield Airport Road, east of Chesterfield Commons East Road and west of Baxter Road. (17T240188).

PROPOSAL SUMMARY

This request is to allow for the demolition of the existing leasing/sales office and replacing it with a new slightly smaller leasing/sales office. The owner's objective is to begin one of a series of property upgrades to the subject site. The site is 5 acres, consisting of 10 buildings with sole access off of Chesterfield Airport Road.

The subject site is currently zoned M3 – Planned Industrial District and governed under the terms and conditions of City of Chesterfield Ordinance 956, approved in October of 1994.

Also included within this scope of work is a sidewalk along Chesterfield Airport Road, additional landscaping along the frontage, and additional parking.



Figure 1: Aerial Site Photo

HISTORY OF SUBJECT SITE

The subject site was zoned “M-3” Planned Industrial District by St. Louis County prior to the City’s incorporation and subsequently amended by St. Louis County on 5 separate occasions.

The City of Chesterfield approved Ordinance 548 and amended the permitted uses by adding the renting of trucks and the outdoor storage of trucks, cars, boats, campers, and other recreational vehicles. This ordinance was amended by City of Chesterfield Ordinance 790 which increased the maximum number of rental trucks to be stored at this site from four to sixteen.

In 1994, the current governing ordinance (City of Chesterfield Ordinance 956) was approved by City Council which added rental center to the permitted uses.

STAFF ANALYSIS

The Subject Site is located in an area of the City’s Comprehensive Land Use Plan known as the Chesterfield Valley with a land use designation of Mixed Commercial Use. The current comprehensive plan not only has a Plan Policies Element, but also a title focused solely on the policies dedicated to the Chesterfield Valley.

The Chesterfield Valley Policies Element discusses general landscape and street improvements. This includes that particular attention should be given to planting of street trees along the subject site and the inclusion of street lights along Chesterfield Airport Road. The landscape plan is currently under review by staff in which street trees and the required 30ft landscape buffer will be reviewed for compliancy. The Lighting Plan that has been submitted does include a streetlight with an Ameren approved fixture to be mounted on an existing pole.

Of particular concern is the image presented by development along I-64 in which specific Chesterfield Valley Design Policies are intended to address this concern. Policies include facades of buildings along arterial roadways in which rear and side facades of buildings along I-64 should be equally uniform in materials and attractiveness as the primary façade. The subject site is positioned along Chesterfield Airport Road which is a major arterial roadway owned and operated by St. Louis County, and given its location, it can be seen traveling along I-64 especially heading west. According to the Chesterfield Valley Design Policies, parking should be primarily located to the side or rear of any building façade facing I-64. Also, in order to promote pedestrian movement, each development is required to address pedestrian circulation within and between all developments.

The Comprehensive Plan also discusses specific Commercial Development and Transportation Policies; some of which are applicable to this request. Transportation Policy 7.2.4 states that sidewalks should be required of all new developments and encouraged along existing roads in the City of Chesterfield. Transportation Policy 7.2.6 states that internal vehicular and pedestrian connections between commercial developments should be encouraged. These transportation policies point towards safe internal pedestrian and vehicular connections within commercial development along major arterial roadways. A sidewalk is being proposed within this scope of work along the frontage of Chesterfield Airport Road connecting to the proposed building. Commercial Development Policy 3.1 states “Commercial developments should positively affect the image of the City, provide employment opportunities, and offer retail and service options to residents”.

General Requirements for Site Design:

All projects should address the following site requirements: Site Relationships, Circulation System and Access, Topography, and Retaining Walls.

A. Site Relationships

Developments should emphasize site relationships to provide a seamless transition between phases of a project, which are compatible with neighboring developments, and which also provide a transition from the street to the building.

The scope of work is limited to a small portion of the site (Figure 2), along the frontage of Chesterfield Airport Road. The proposed structure is situated approximately in the same location as the existing structure with a slightly smaller footprint. The new appearance of the building enhances the compatibility with surrounding commercial developments within the Chesterfield Valley.

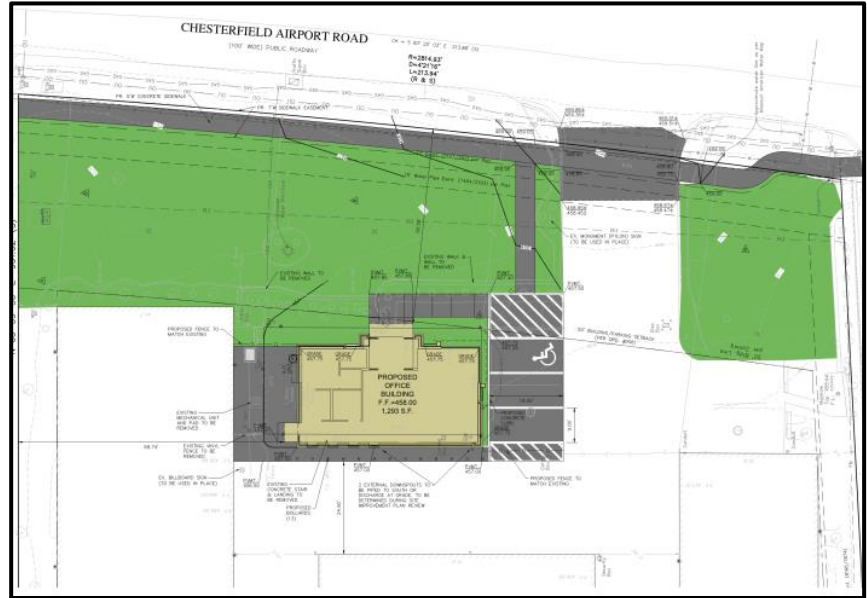


Figure 2: Color Site Plan

B. Circulation and Access

The applicant is largely leaving similar circulation patterns within the development. A new concrete walkway will connect the parking and building to the required public sidewalk located on the north side of the property creating a safe pedestrian circulation system and connection to the community at large. Pedestrian activity is also addressed by providing lighted bollards and a building canopy emphasizing the access point. Vehicles will continue to have one access point, and will now have one additional parking space, a total of five, of which one is ADA accessible. A gate that separates the leasing/office area from the storage units themselves is scheduled to remain (Figure 3).



Figure 3: Existing Gate

C. Topography and Retaining Wall

The subject site is relatively flat in nature. There are two retaining walls within the subject site. The first is a wall mediating the grade differential to the property to the east and scheduled to remain (Figure 4). The second is currently in front of the building scheduled to be removed and not replaced as it is no longer needed in function or design.

General Requirements for Building Design:

All projects should address the following building requirements: Scale, Design, Materials, Colors, Landscape, Screening, and Lighting.

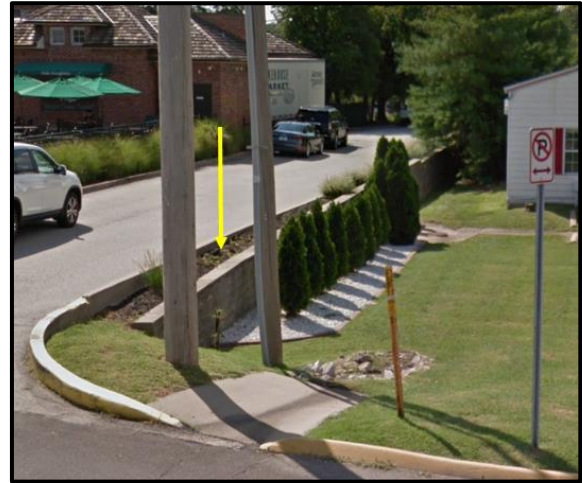


Figure 4: Existing Retaining Wall

A. Scale

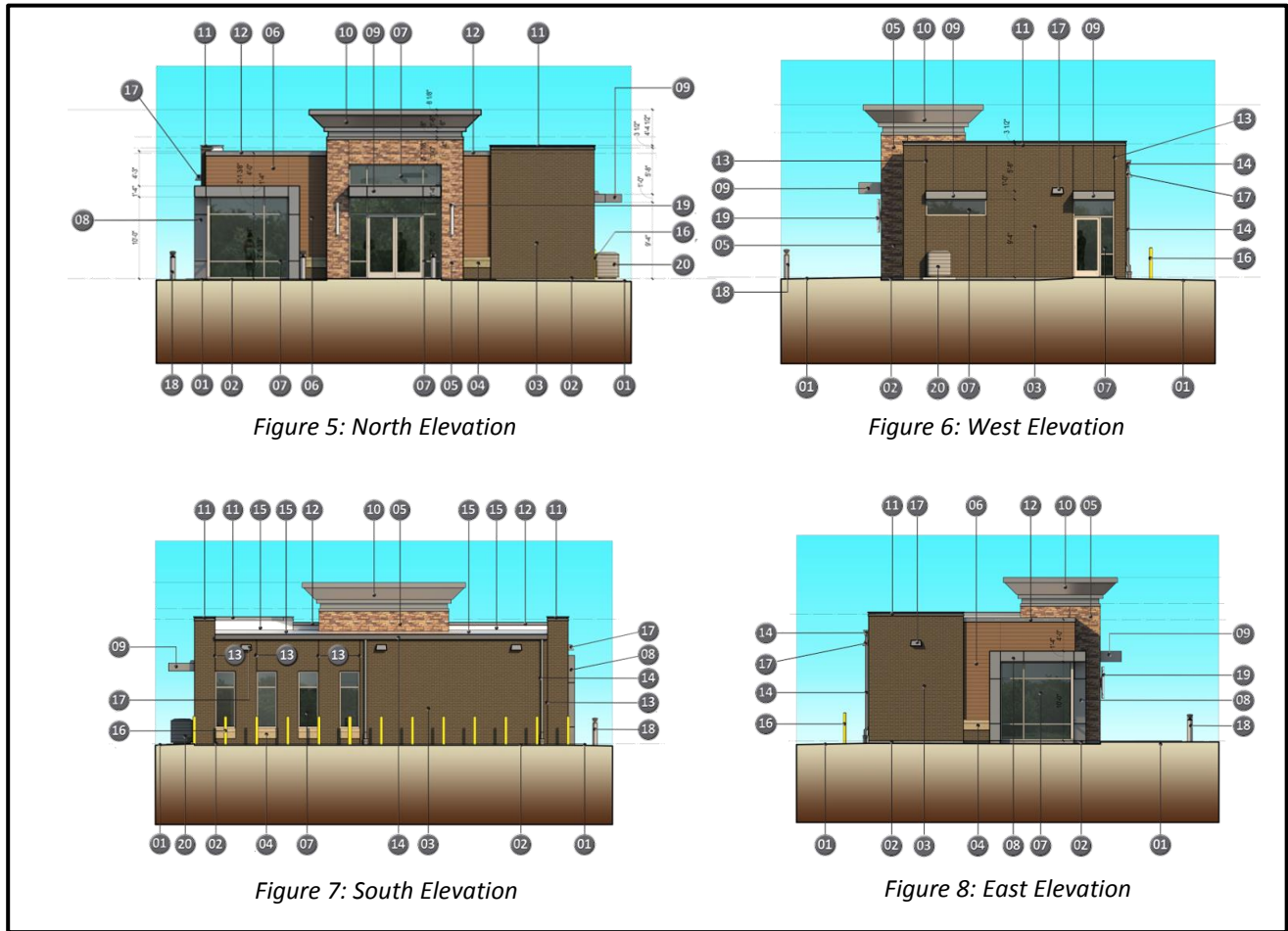
The building remains roughly the same height after the adjustments submitted in this proposal. The maximum building height is 17'4" at the top of the stone veneer parapet. The majority of the building will reside at 16' in height at the top of the brick parapet. This height is slightly smaller than the adjacent buildings but consistent with commercial developments located in the Chesterfield Valley.

B. Design

The intent of this project is to update the leasing/sales office to a more modern design with similar building materials of neighboring structures. The building will change dramatically in color and form, but not in square footage. The building is constructed in a mix of materials mentioned in the next section. As mentioned in the project narrative, the applicant states this is intended to be one of a series of updates to the property.

C. Materials and Colors

The sides and rear of the building consist primarily of brick veneer in Acme Brick Company "Charcoal". Other materials consist of manufactured masonry veneer, fiber cement siding in a "cedar wood" color, and a metal composite material. The front entry has a prefabricated metal canopy with a finish color to match the silver metallic rain screen. The following are all the elevations with material call outs.



Materials Legend							
1	Finished Grade	6	Fiber Cement Siding	11	Metal Coping	16	Concrete Filled Bollard
2	Concrete Foundation	7	Aluminum Storefront	12	Metal Coping	17	Wall Mounted Light
3	Brick Veneer	8	Metal Composite Material	13	Masonry Control Joint	18	Ground Light Bollard
4	Cast Stone	9	Prefab. Metal Canopy	14	Prefab. Metal Gutter	19	Decorative Exterior Fixture
5	Masonry Veneer	10	Metal Composite Material	15	TPO Roofing	20	Mechanical Unit

D. Landscape Design and Screening

The required Landscape Plan has been submitted. A 30ft landscape buffer is required along all major arterials. The applicant has fulfilled this to the east and west of the building, but landscaping is lacking in the front of the building. Street trees are also required along the arterial roadway at 1 tree for every 50ft of frontage which are currently not seen on the plan. Proposed plantings include Juniper, Spruce, Redbud, and Maple.

A new mechanical unit is planned to the west of the building. The proposed landscaping is intended to provide the full screening for the mechanical unit. There are no proposed mechanical units on the top of the building.

E. Lighting

Lighting consists of utilitarian and decorative lighting that is still under review within the Amended Site Development Plan review process. A combination of decorative wall sconces, wall pack mounted lighting and ground mounted lighting bollards are incorporated into the design. The primary intent of the lighting is to provide a safe illuminated pedestrian path as well as general site lighting for the building perimeter and front parking area.

Non-fully shielded flat lensed luminaires require Planning Commission approval. The decorative wall feature and the bollard would both classify under this category. Figure 9 below depicts all three fixtures and their approximate location within the site.



Figure 9: Lighting Plan

Exterior Rendering

The applicant has supplied the required three dimensional exterior rendering and can be seen (Figure 10) on the following page. This is the view point of one entering the site from Chesterfield Airport Road by vehicle.



Figure 10: Exterior Rendering

DEPARTMENT INPUT

Be advised, this project is still going through development review by City Staff and will not proceed to the Planning Commission until all outstanding items have been addressed. All recommendations made by the ARB will be included in Staff's report to the Planning Commission. Staff requests review and recommendation on this submittal for Storage Masters Chesterfield Self Storage (ASDP).

MOTION

The following options are provided to the Architectural Review Board for consideration relative to this application:

- 1) "I move to forward the Amended Site Development Plan, Landscape Plan, Lighting Plan, Architectural Elevations and Architect's Statement of Design for Storage Masters Chesterfield Self Storage (ASDP), as presented, with a recommendation for approval (or denial) to the Planning Commission."
- 2) "I move to forward the Amended Site Development Plan, Landscape Plan, Lighting Plan, Architectural Elevations and Architect's Statement of Design for Storage Masters Chesterfield Self Storage (ASDP), to the Planning Commission with the following recommendations..."

Attachments

1. Architectural Review Packet Submittal



Architectural Review Board Submittal Package

[13 May 2019] Rev. 31 May 2019

Chesterfield, Missouri

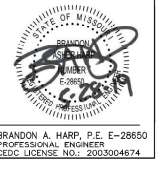
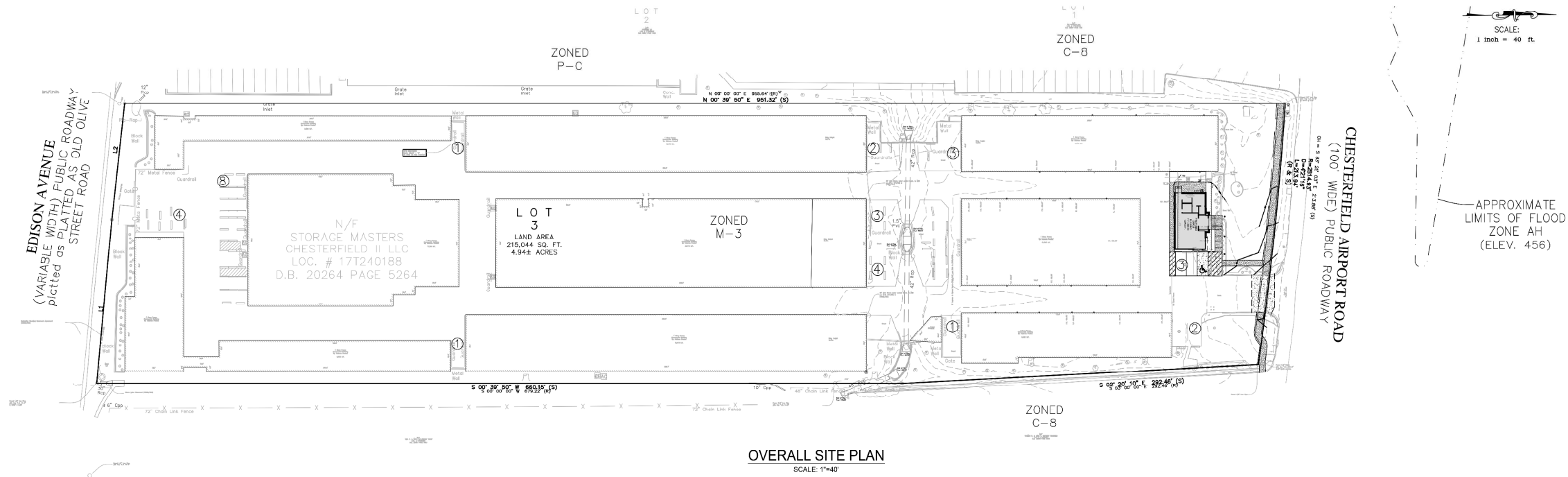
Storage Masters [Chesterfield]



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LINE LABEL CHART
 L1 = N 84° 00' 20" W 134.44' (S)
 N 84° 04' 54" W 134.44' (S)
 L2 = N 83° 00' 04" W 94.77' (S)
 N 83° 04' 54" W 94.66' (R)



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 DESIGN CONSULTANTS

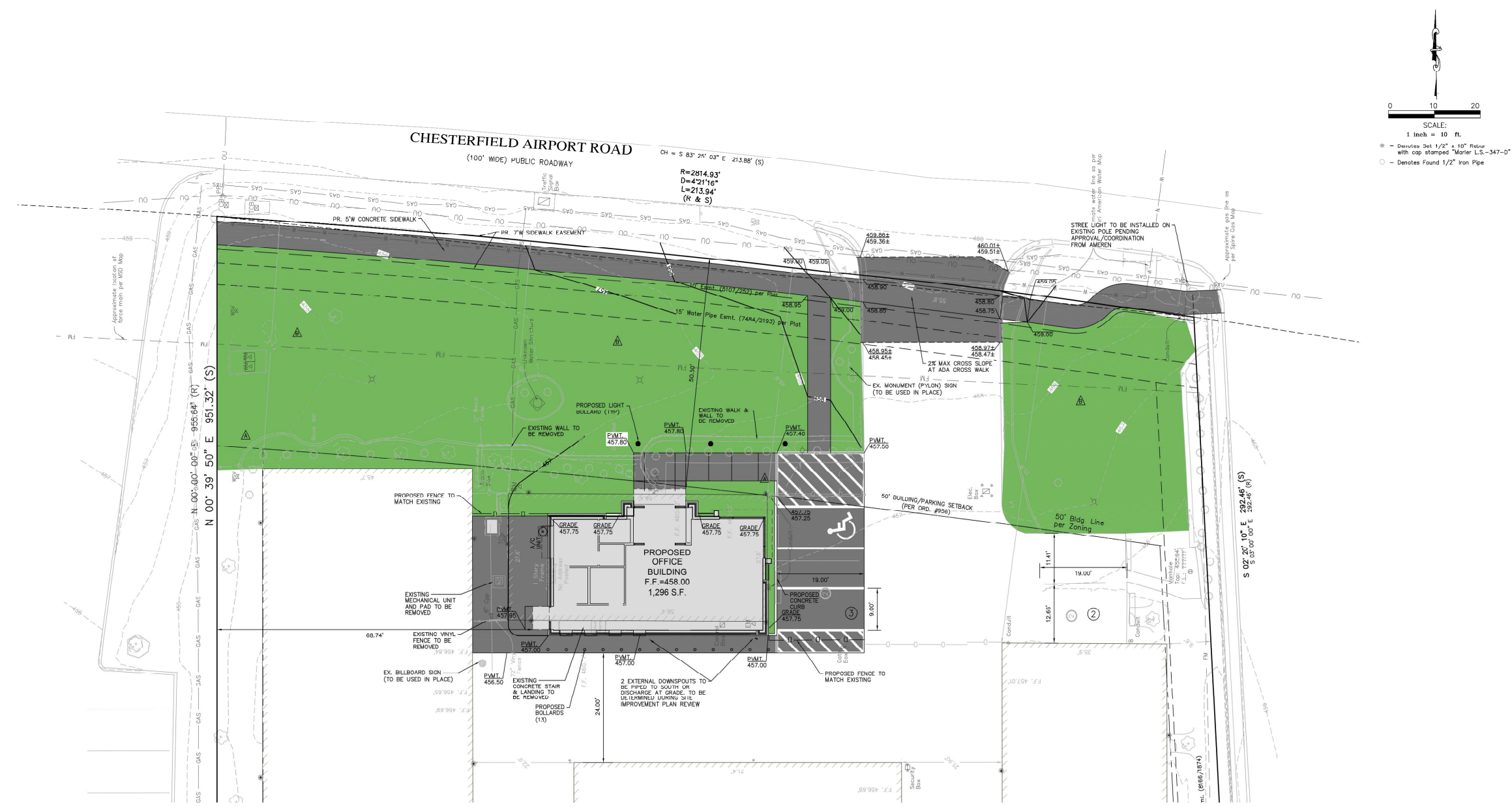
Amended Site Development Plan for
STORAGE MASTERS
 16824 Chesterfield Airport Road
 Chesterfield, Missouri 63005

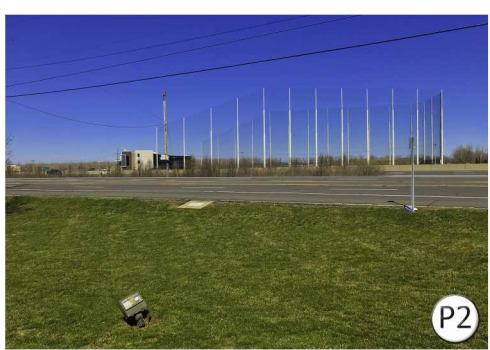
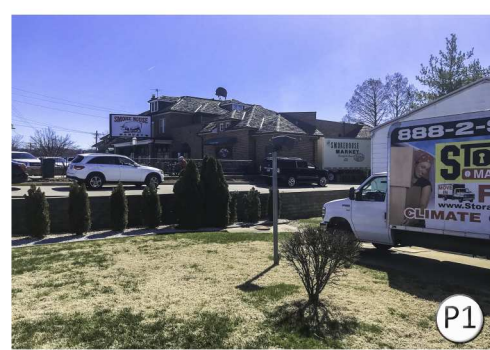
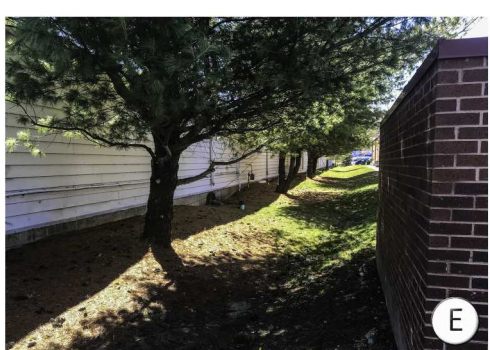
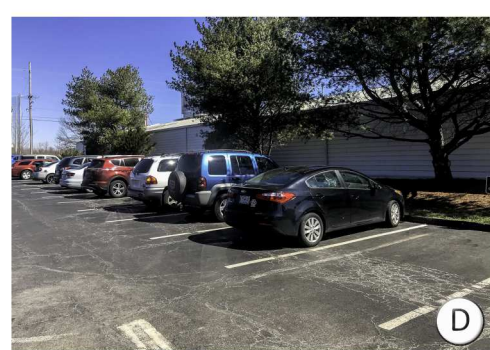
Proj. # 1905

No.	Description	Date
To City		04/11/19
To City		05/20/19
To City		05/28/19

SITE DEVELOPMENT PLAN

C02





Aerial Key Map for Contextual Imagery

Contextual Imagery



Architectural Review Board Submission for:
Storage Masters Chesterfield, Missouri

31 MAY 2019

6400 W. Main St., Ste 10
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 Lenexa, KS 66215
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 St. Louis, MO 63122
 (314) 965-7445



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Architectural Narrative

Introduction

The Storage Masters project is located in the valley at 16824 Chesterfield Airport Road adjacent to the Chesterfield Commons. The site is an existing public storage facility comprised of nine storage warehouses and a leasing/sales office. The property is currently zoned M-3 and is approximately ±5.00 acres.

The scope of work is limited to a small portion of site, along the north frontage of the property abutting Chesterfield Airport Road. The owner's objective is to begin one of a series of property upgrades and improvements in order to be more contextual with the newer developments. This project will include demolition of the existing leasing/sales office and replacing it with a new 1,296 s.f. structure, similar in architectural character of the adjacent retail development. Additionally, the existing hardscape will be slightly modified, eliminating the current ramped entry and incorporating a new concrete walkway, and one additional parking space adjacent to the proposed building. The existing landscaping will also be enhanced along the frontage of the site, improving the curb appeal and satisfying the current city landscape ordinance.

Site Relationship

The proposed project is situated approximately in the same location as the razed structure. The scale and fenestration of the proposed structure is compatible with neighboring use groups and surrounding buildings. Pedestrian movement is minimal due to security concerns and type of business conducted on the premises. Furthermore, parking for business patrons is provided adjacent to the public access side of the building.

The building is oriented with the most articulate facades and public accessible portions of the building addressing Chesterfield Airport Road. As designed, this building does not impair or interfere with any surrounding properties or developments.

Circulation System and Access

- Bicycle circulation is not addressed.
- Public Vehicular circulation is situated to the front of the site on the public accessible side of the property
- Landscaped buffer is provided between building and parking in order to create a landscaped foreground for the building.
- Pedestrian orientation is addressed by providing

- lighted bollards, concrete walkways and a building canopy emphasizing the entry access point.
- No on-site connections to public transportation provided on site.
- A new concrete walkway will connect the parking and building to the required public sidewalk located on the north side of the property creating a safe pedestrian circulation system and connection to the community at large.

Topography

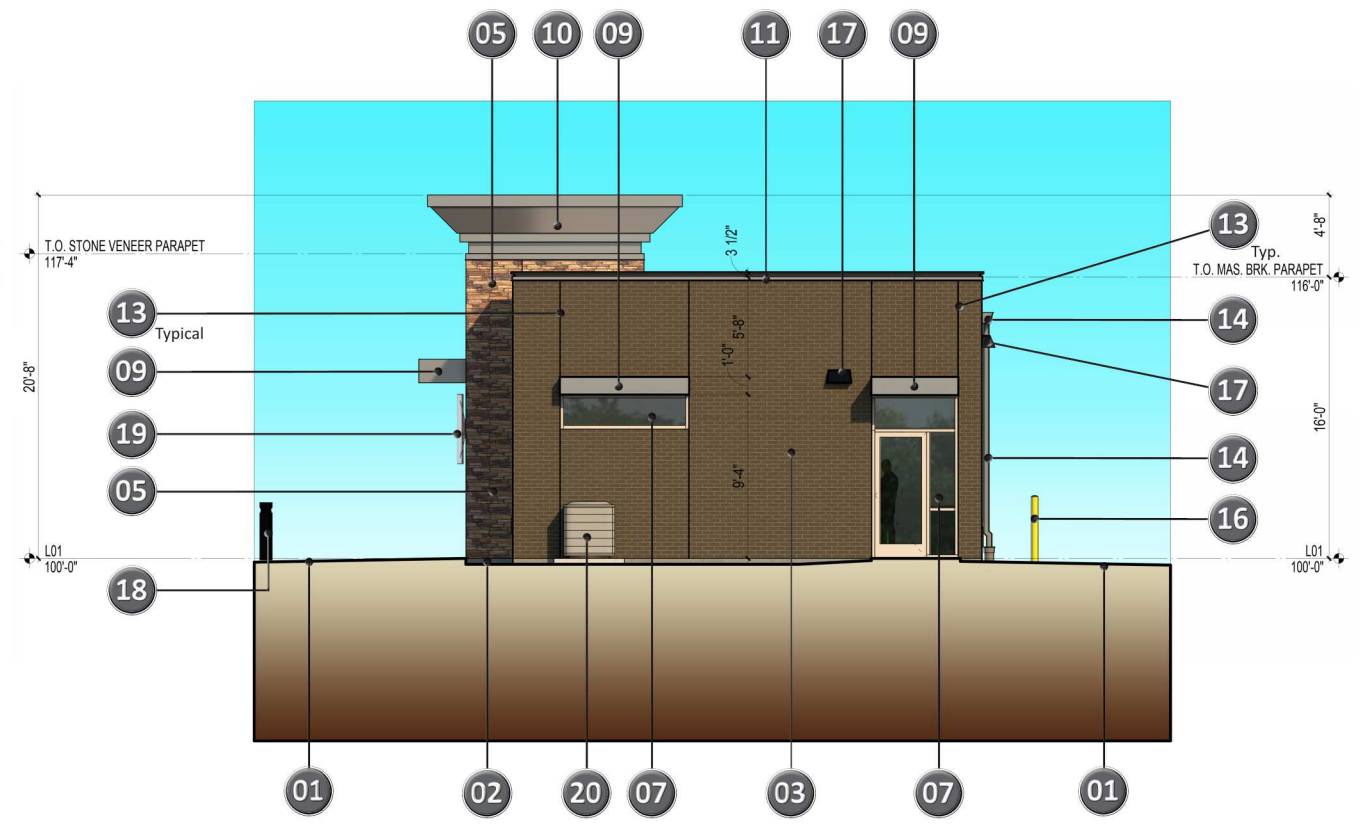
The site is flat nature with a retaining wall mediating the grade differential of the East adjacent property, and topography has not been utilized for screening or buffering purposes. However, we have implemented smaller scale landscaping to assist in some screening and buffering of the storage buildings and small residential size ground mounted mechanical unit.

Material Keynote Legend:

- 01 Finished Grade.
- 02 Exposed Concrete Foundation Wall.
- 03 Brick Veneer: Acme Brick Company "Charcoal", running bond with SGS 22S Tan mortar.
- 04 Cast Stone Sill/Water Table: Continental Cast Stone 1102 with SGS 60H White mortar.
- 05 Manufactured Masonry Veneer: Eldorado Stone Mountain Ledge, Color: Russet.
- 06 Fiber Cement Siding: Nichiha "AWP3030" Vintage Wood, Color: Cedar.
- 07 Aluminum Storefront & Glazing: YKK YES 45 TU thermally broken storefront system w/ 1" insulated glazing Vitro Solarban 60 Clear + Clear. Storefront Color: YS1N Clear Anodized Plus.
- 08 Metal Composite Material (MCM): Alpolic 4MM BSX Silver Metallic rainscreen.
- 09 Prefabricated Metal Canopy and/or Sunshade Device: Finish Color to match Alpolic 4MM BSX Silver Metallic rainscreen.
- 10 Metal Composite Material (MCM) Fascia: Alpolic 4MM BSX Silver Metallic.
- 11 Pre-Fabricated Metal Coping: Metal Era Creative Design Reveal Coping. Color: Silver Metallic.
- 12 Pre-Fabricated Metal Coping and/or Edge: Metal Era Perma-Tite Coping and/or Edge. Color: Silver Metallic.
- 13 3/8" W. Masonry Control Joint.
- 14 Pre-Fabricated Metal Gutter and/or Downspout: Color to match Metal Era: Silver Metallic finish.
- 15 TPO Roofing: 60 mil White Fully adhered TPO roofing.
- 16 6" Dia. Concrete Filled Steel Pipe Bollard : Paint Traffic Yellow.
- 17 Wall Mounted Light Fixture: Wall Mounted Outdoor Light Fixture. -Reference Site Lighting Product Data Sheet E1.2, Type "A" Fixture.
- 18 Ground Mounted Light Bollard: Reference Site Lighting Product Data Sheet E1.2, Type "B" Fixture.
- 19 Decorative Exterior Fixture: Decorative outdoor Entry Sconce Light fixture. Reference Site Lighting Product Data Sheet E1.2, Type "C" Fixture.
- 20 Mechanical Unit: Exterior Ground Mounted Condensing Unit.



North Exterior Building Elevation



West Exterior Building Elevation





General Requirements Addressing Building Design

- A. Scale:**
- Building Scale: Building height is consistent with adjacent and neighboring properties.
 - Human Scale: Achieved by the window fenestration and entry canopy.
 - Generic Scale: Based upon adjacent structures and neighboring properties.
- B. Design:**
- The scale of this project is appropriate and consistent with the adjacent building and surrounding area. The orientation and most articulate fenestration of the public portion of the building addresses the primary street frontage. Similar building materials of adjacent structures are incorporated and utilized to maintain a contextual balance with the neighboring architecture and fulfilling the Chesterfield Valley requirements.
- C. Colors:**
- Building colors are earth tone so as to remain neutral within its context.
- D. Landscape design and screening:**
- New landscaping will compliment the site.
 - Building landscape buffers are introduced in limited areas and meet Sec. 31-04-02 of the Tree Preservation & Landscape requirements.
 - Parking landscaping utilized per city requirements.
 - Landscape buffer used to screen ground mounted mechanical unit and some of the existing storage warehouse structures.

- E. Signage:**
- Wall mounted Signage will be located on the northwest exterior wall. All signage will be designed and approved under a separate review process.
- F. Lighting:**
- A combination of decorative wall sconces wall pack mounted lighting and ground mounted lighted bollards are incorporated in the design. These fixtures will be used to provide a safe luminated pedestrian path as well as general site lighting for the building perimeter and front parking area. -Refer to site lighting plans for additional information.

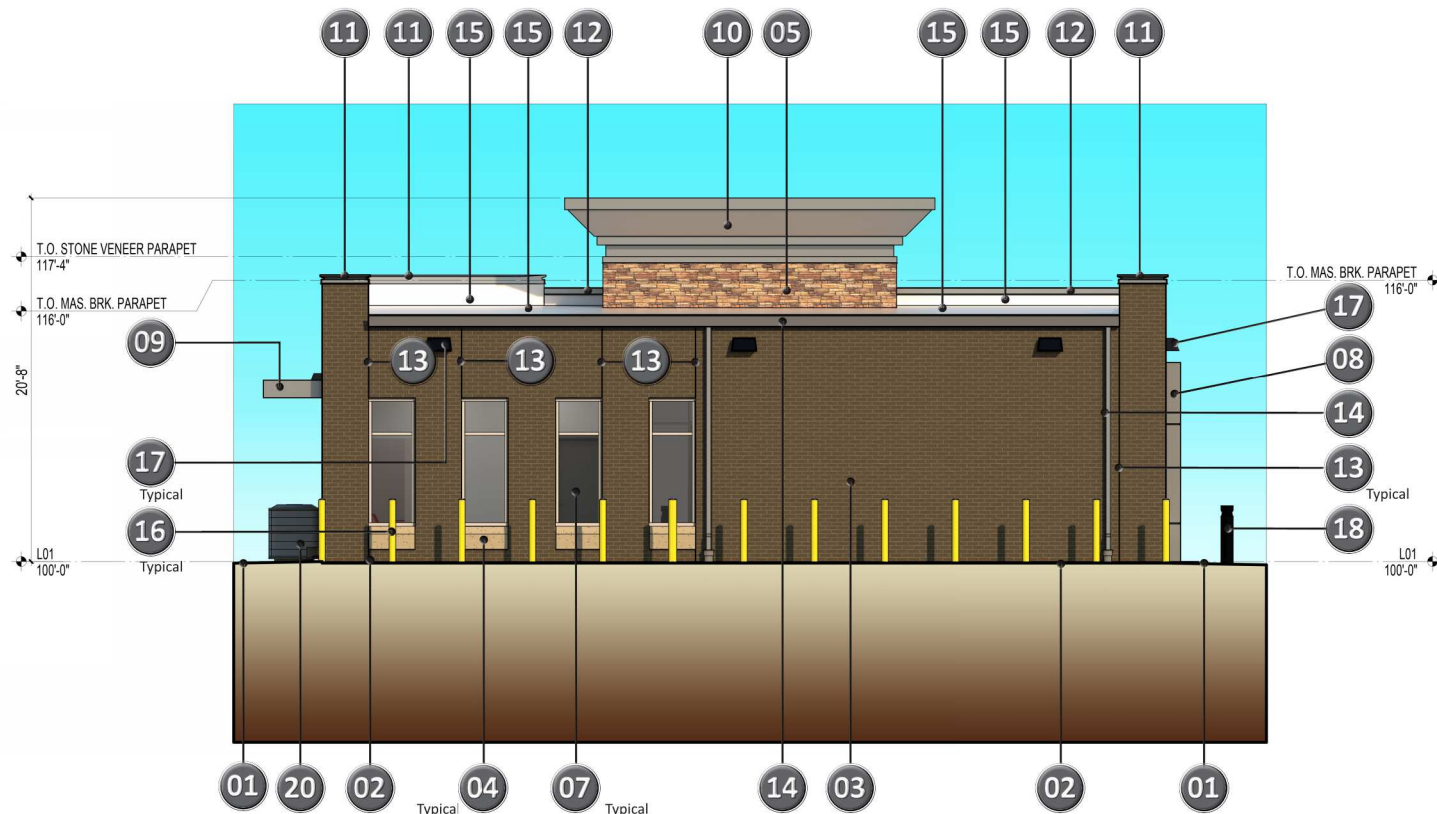
Specific Requirements for the Chesterfield Valley:

- Facades:**
- All facades have been designed to an equal level of detail and quality of the nearest adjacent structures.
- Storage:**
- Storage warehouse structures are existing.
- Utilities:**
- All new utility services will be underground.
- Parking:**
- Property is adjacent or along I-64 corridor.

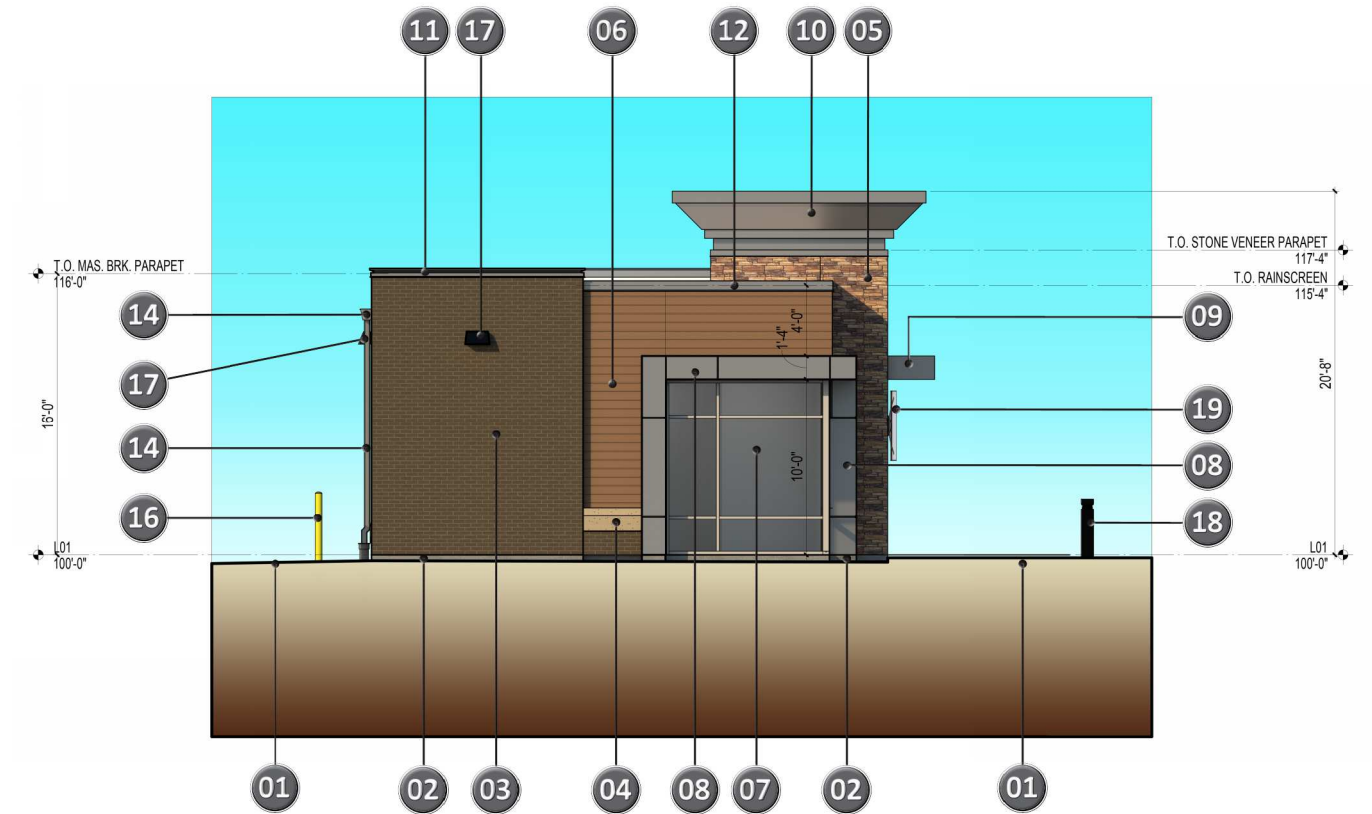
Material Keynote Legend:

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- 19 Decorative Exterior Fixture: Decorative outdoor Entry Sconce Light fixture. Reference Site Lighting Product Data Sheet E1.2, Type "C" Fixture.
- 20 Mechanical Unit: Exterior Ground Mounted Condensing Unit.

Existing Building Imagery



South Exterior Building Elevation



East Exterior Building Elevation





Exterior Building Rendering



Architectural Review Board Submission for:
Storage Masters Chesterfield, Missouri

31 MAY 2019

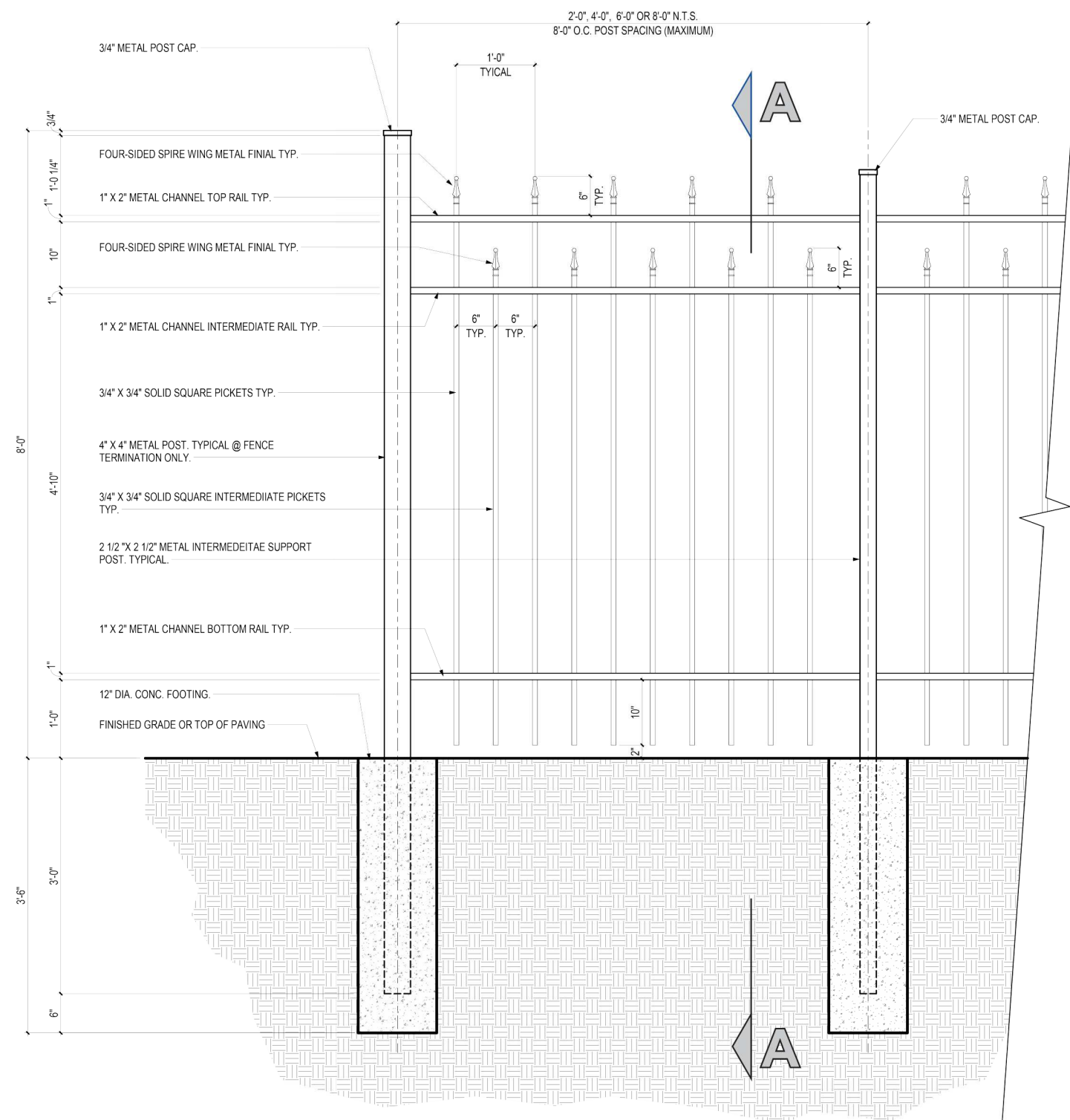
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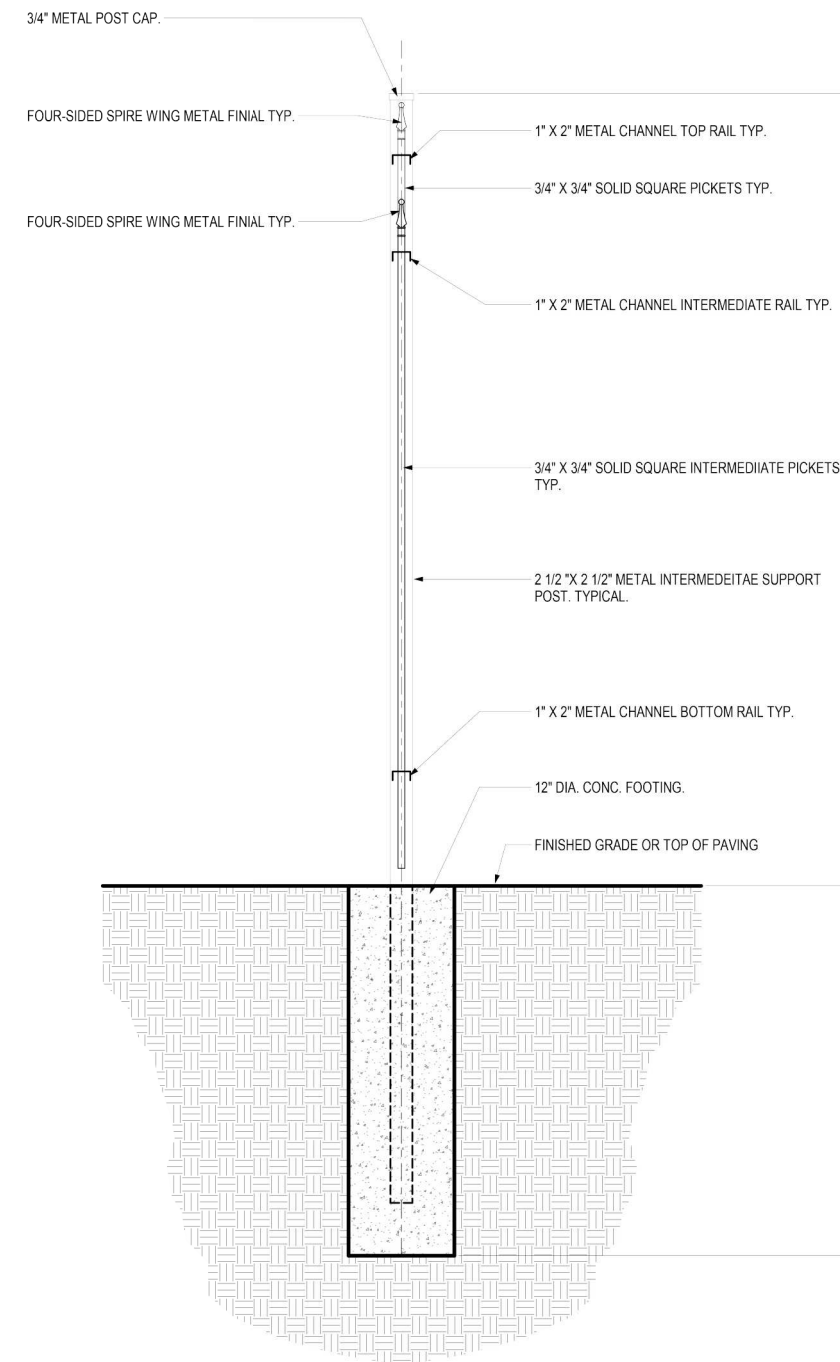
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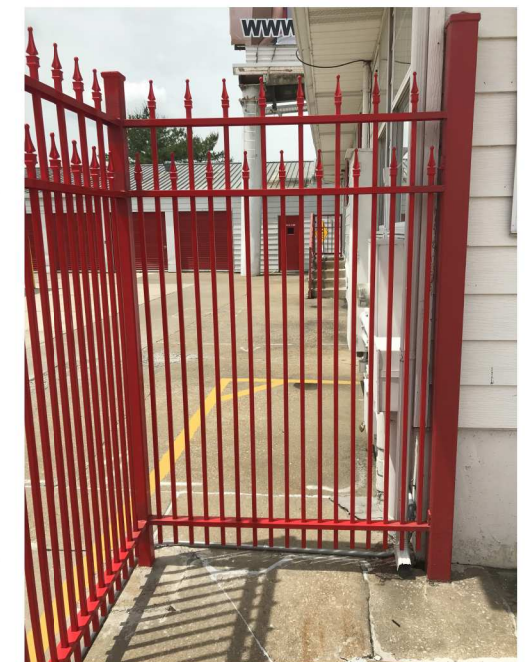
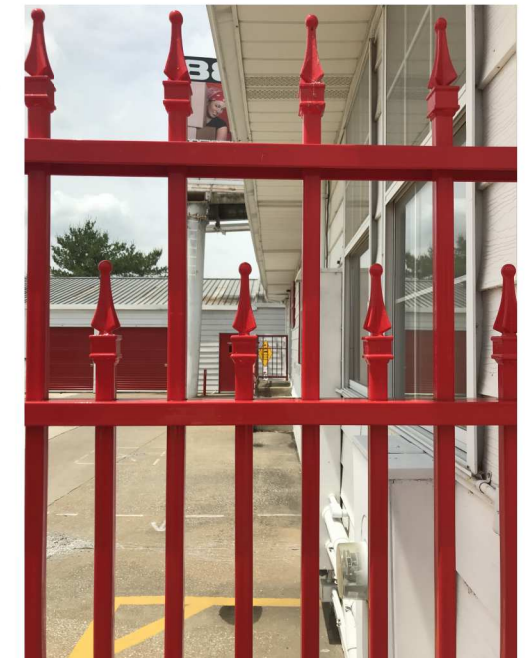


Typical Fence Detail



Section "A-A"

Fence Details

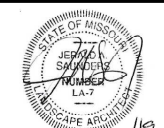


Existing Fence Imagery

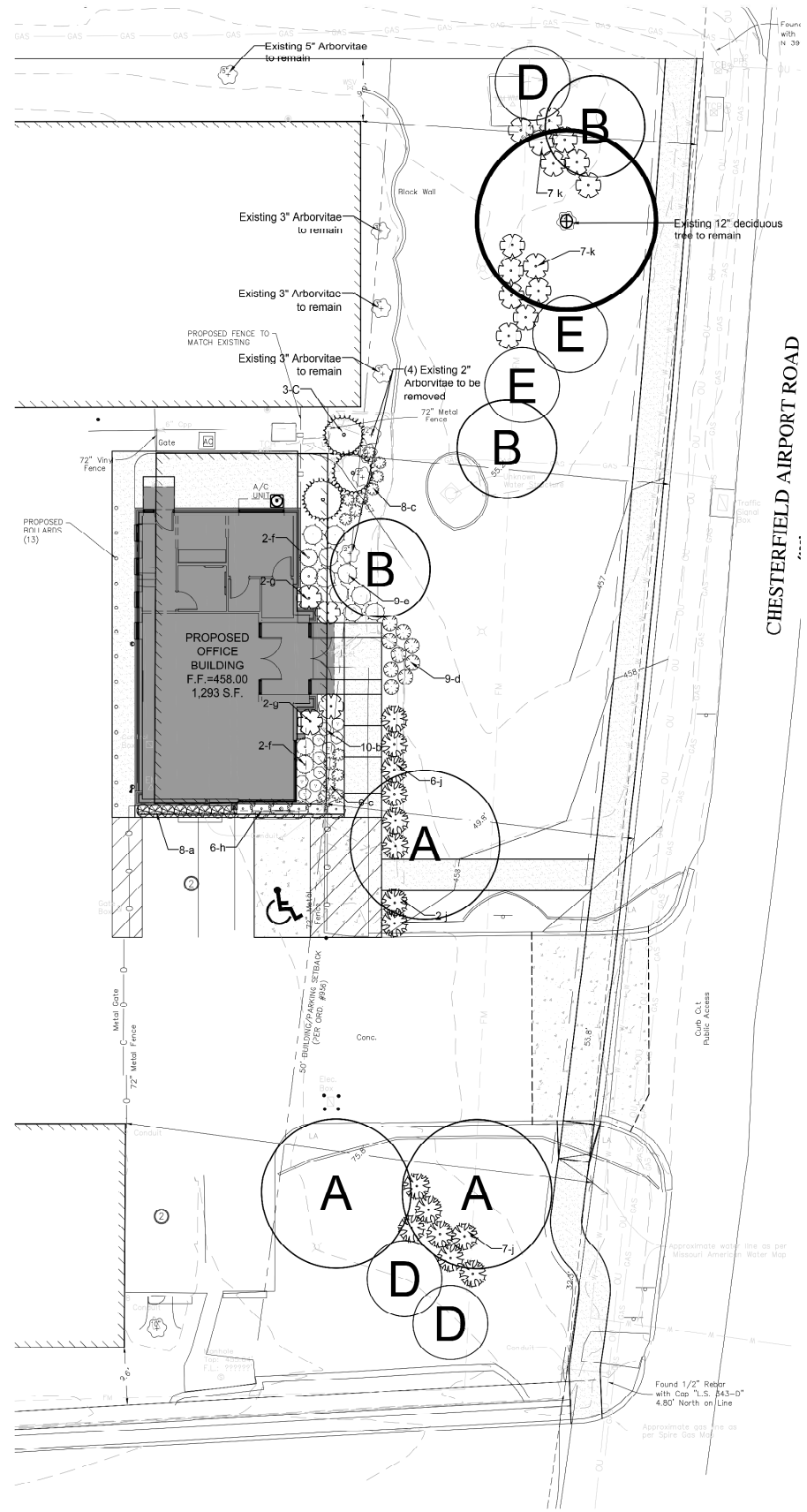
Typical Fencing Notes:

- All dimensions indicated shall match the existing fence and shall be field verified prior to fabrication.
- All fencing material and components shall be painted red to match existing fence.

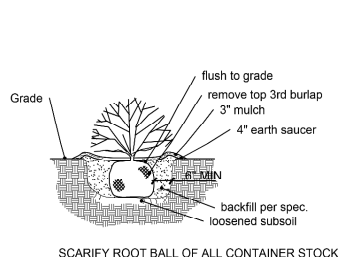




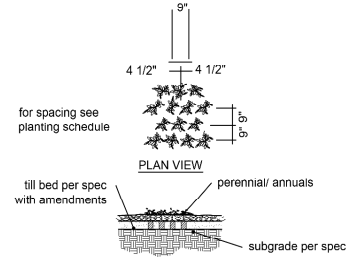
Gerald Saunders - Landscape Architect
 MO License # LA-007
 Consultants:



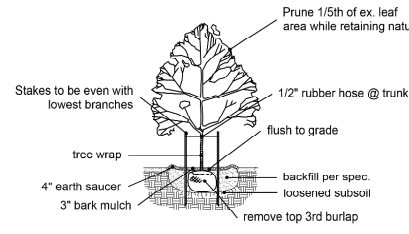
PLANTING SCHEDULE						
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	
A	3	Acer miyabei 'Morton'	Slate Street Maple	3"	B&B	
B	3	Cercis canadensis	Redbud	2.5"	B&B	
C	3	Thuja 'Green Giant'	Green Giant Arborvitae	5-6"	B&B	
D	3	Picea abies	Norway Spruce	6"	R&R	
E	2	Picea pungens 'Glauca'	Blue Colorado Spruce	6"	B&B	
a	8	Buxus microphylla 'Green Pillow'	Green Pillow Boxwood	24"		
b	10	Spirea 'Ogon'	Mellow Yellow Spirea	24"		
c	14	Juniperus horizontalis 'Blue Chip'	Blue Chip Juniper	24"		
d	9	Abelia x grandiflora 'Kaleidoscope'	Kaleidoscope Abelia	24"		
e	9	Syringa patula 'Miss Kim'	Miss Kim Lilac	24"		
f	4	Physocarpus opulifolius 'SMPOTW' Tiny Wine	Tiny Wine Ninebark	24"		
g	4	Viburnum opulus 'Nanum'	European Cranberrybush	2-3'		
h	6	Ilex mesog 'China Girl'	China Girl Holly	24"		
j	15	Juniperus phitzieriana 'Sea Green'	Sea Green Juniper	2-3'		
k	14	Viburnum dentatum	Arrowwood Viburnum	2-3'		



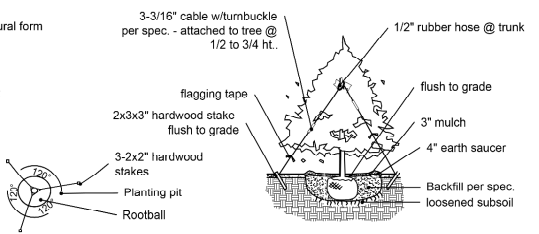
TYPICAL SHRUB PLANTING



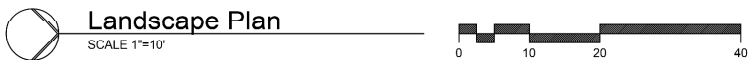
TYPICAL PERENNIAL PLANTING



CANOPY TREE PLANTING



TYPICAL EVERGREEN PLANTING



Storage Masters
 Chesterfield, Missouri

Revisions:		
Date	Description	No
05-14-19	City Comments	1
05-29-19	City Comments	2

Drawn: BR
 Checked: RS

loomisAssociates
 landscape architects/planners
 607 South 4th Street, Suite 105
 St. Louis, MO 63101-3542
 Phone: 314.591.1007
 Fax: 314.591.1007
 Email: info@loomisassociates.com
 Website: www.loomisassociates.com

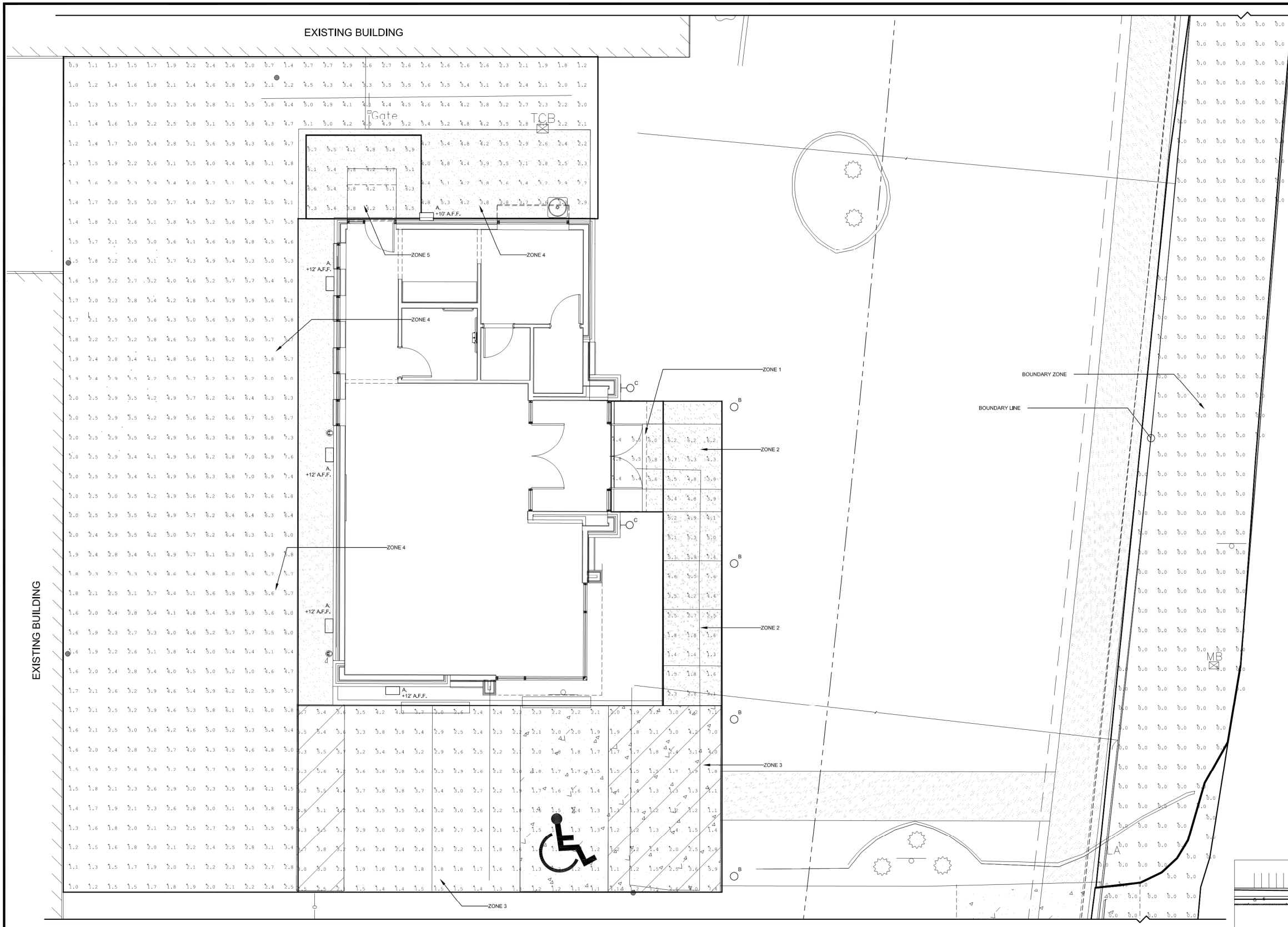
Loomis Associates Inc.
 Missouri State Certificate of Authority #: LAC #0001019

Sheet Title: Landscape Plan
 Sheet No: L-1
 Date: 4/11/19
 Job #: 584.031

SEE E1.1 FOR CONTINUATION

GENERAL NOTES

1. PARKING LOT LIGHTING WILL NOT BE LOWER THAN 10FT ABOVE GRADE. ALSO MOUNTING HEIGHTS OF LIGHTING FIXTURES SHALL NOT EXCEED 20FT.

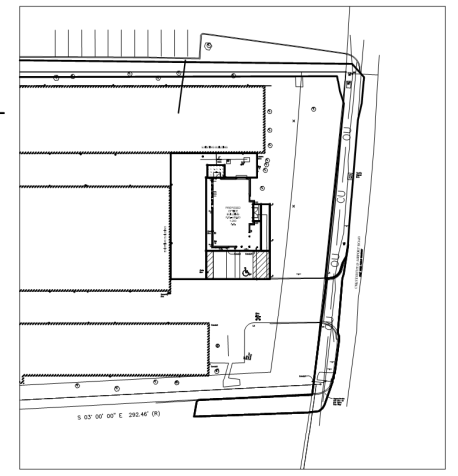


SEE E1.1 FOR CONTINUATION

LIGHTING FIXTURE SCHEDULE						
FIXTURE MARK	MANUFACTURER	MODEL	VOLTAGE	LED	MOUNTING	DESCRIPTION
A	COOPER	BT-AF-60K-LED-E-L-1-40-8K-CWB	120 V	34W, 4000K LED, 4189L	WALL MOUNTED	LED WALL MOUNT FIXTURE, PROVIDE EMERGENCY BATTERY PACK FOR EGRESS, SEE SITE PLAN FOR MOUNTING HEIGHTS.
B	VISTAPRO	1470-B-42-1Q-40-AMV-010	120 V	7W, 4000K LED, 383L	BASE MOUNTED	LED 42" BOLLARD.
C	VISA LIGHTING	OSWS203-4-40K-H-MVOLT-BSL	120 V	33W, 4000K LED, 3700L	WALL MOUNTED	LED WALL MOUNT FIXTURE, MOUNT BOTTOM OF FIXTURE AT 5'-6" ABOVE GRADE, PROVIDE EMERGENCY BATTERY PACK FOR EGRESS.

LIGHTING ZONE CALCULATIONS						
ZONE	ILLUMINANCE	AVERAGE	MAXIMUM	MINIMUM	AVG/MIN	MAX/MIN
BOUNDARY	FC	0.00	0.00	0.00	0.00	0.00
ZONE 1	FC	5.02	5.5	4.4	1.14	1.25
ZONE 2	FC	4.17	7.6	1.3	5.85	
ZONE 3	FC	2.53	7.4	1.1	2.30	6.73
ZONE 4	FC	3.73	7.6	0.7	5.31	10.86
ZONE 5	FC	5.18	7.3	3.8	1.36	1.92

1 ELECTRICAL SITE PLAN - LIGHTING
SCALE: 1/4" = 1'-0"



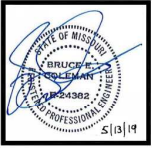
NO.	DATE	DESCRIPTION

ISSUANCE

100 E. WASHINGTON
SUITE 220
ST. LOUIS, MO 63102
TEL: 618.277.5020
FAX: 618.277.5227

BRIC
PARTNERSHIP, LLC
CONSULTING ENGINEERS

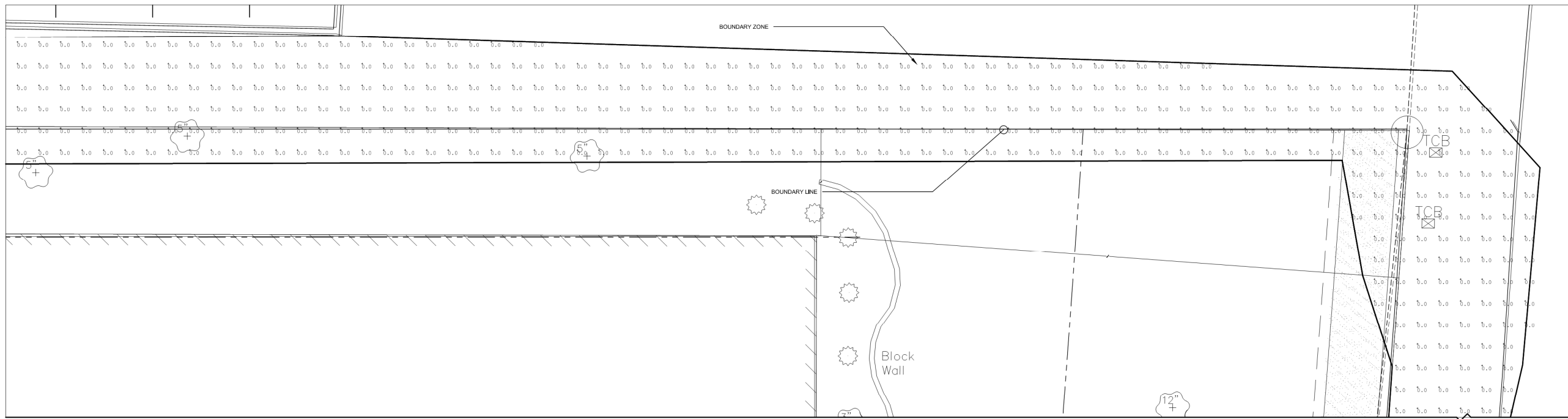
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06/10/2019						



STORAGE MASTERS
16824 Chesterfield Airport Rd, Chesterfield, MO 63005

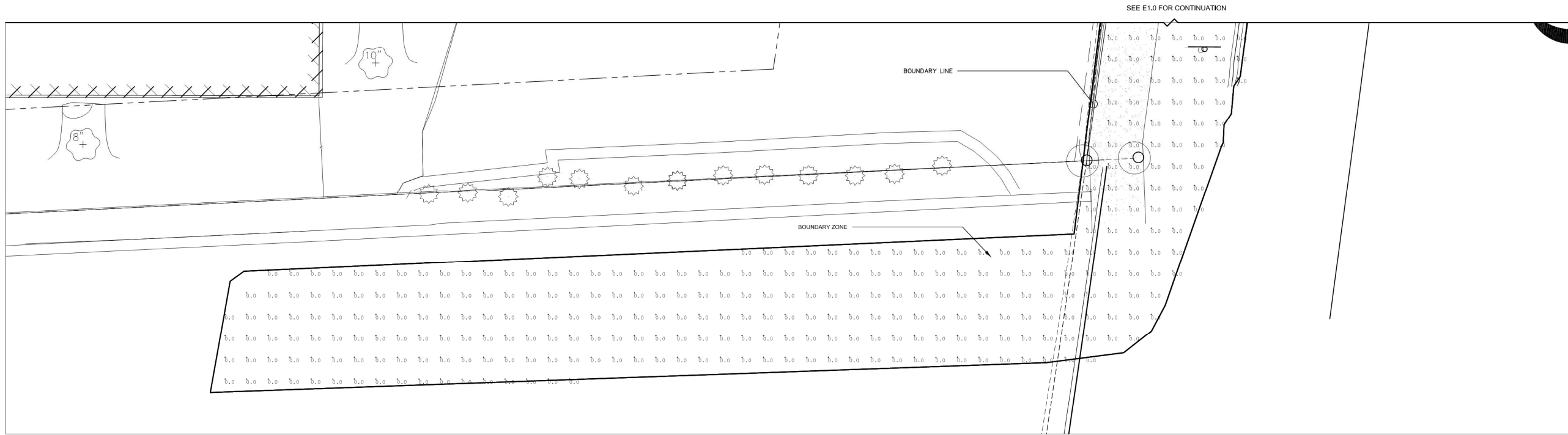
ELECTRICAL SITE PLAN - LIGHTING

SHEET NO
E1.0

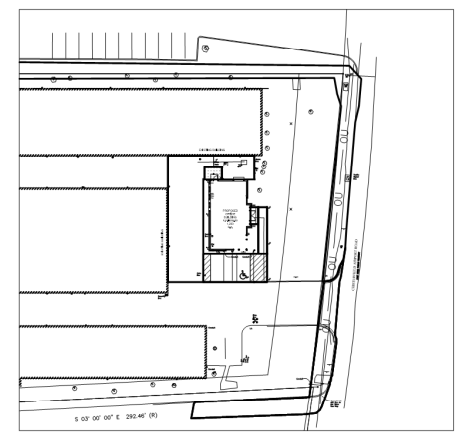


1 ELECTRICAL SITE PLAN CONTINUED - LIGHTING
SCALE: 1/4" = 1'-0"

SEE E1.0 FOR CONTINUATION



2 ELECTRICAL SITE PLAN CONTINUED - LIGHTING
SCALE: 1/4" = 1'-0"



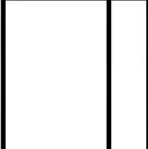
NO.	DATE	DESCRIPTION

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DATE	06/13/2019	JOB	
DRAWN		CHECKED	
APPROVED		PROFESSIONAL DESIGN	
FIRM	#2002028690	FIRM	#2002028690



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ELECTRICAL SITE PLAN - LIGHTING CONT.

SHEET NO
E1.1

