



690 Chesterfield Pkwy W • Chesterfield MO 63017-0760
Phone: 636-537-4000 • Fax 636-537-4798 • www.chesterfield.mo.us

Architectural Review Board Staff Report

Project Type: Site Development Section Plan

Meeting Date: June 13, 2019

From: Chris Dietz, Planner

Location: North of Chesterfield Airport Road and northeast of its intersection with Spirit 40 Park Drive and northwest of its intersection with North Goddard Avenue, along Interstate 64.

Applicant: mw Weber Architects

Description: **Mark Andy Industrial Park, Lots A and B (64 Corporate Center) SDSP:** A Site Development Section Plan, Landscape Plan, Lighting Plan, Architectural Elevations and Architect’s Statement of Design for a 10.24 acre tract of land zoned “PI”—*Planned Industrial District* located north of Chesterfield Airport Road and northeast of its intersection with Spirit 40 Park Drive and northwest of its intersection with North Goddard Avenue, along Interstate 64. (17V510270).

PROPOSAL SUMMARY

This request is for the development of Lot A of the Mark Andy Industrial Park, including a proposed 112,271 square-foot commercial/industrial building, as well as substantial landscaping and lighting improvements on the parking lot area on Lot B . The subject site is zoned “PI” Planned Industrial District and is governed under City of Chesterfield Ordinance 2437.

HISTORY OF SUBJECT SITE

In 1972, St. Louis County approved resolution 1961, which gave approval for a Preliminary Plan for a 23 acre tract zoned “FP M-3” Flood Plain Planned Industrial. The original building situated on Lot B predates incorporation of the City.

The property was rezoned to its current zoning designation of “PI” Planned Industrial in 2008 by the City of Chesterfield when the City approved ordinance 2437, which serves as the governing ordinance today. Currently, Lot A is mostly vacant with the exception of an existing parking lot and a small wetland area north of the parking lot. Figure 1 on the following page depicts an aerial of the subject site.

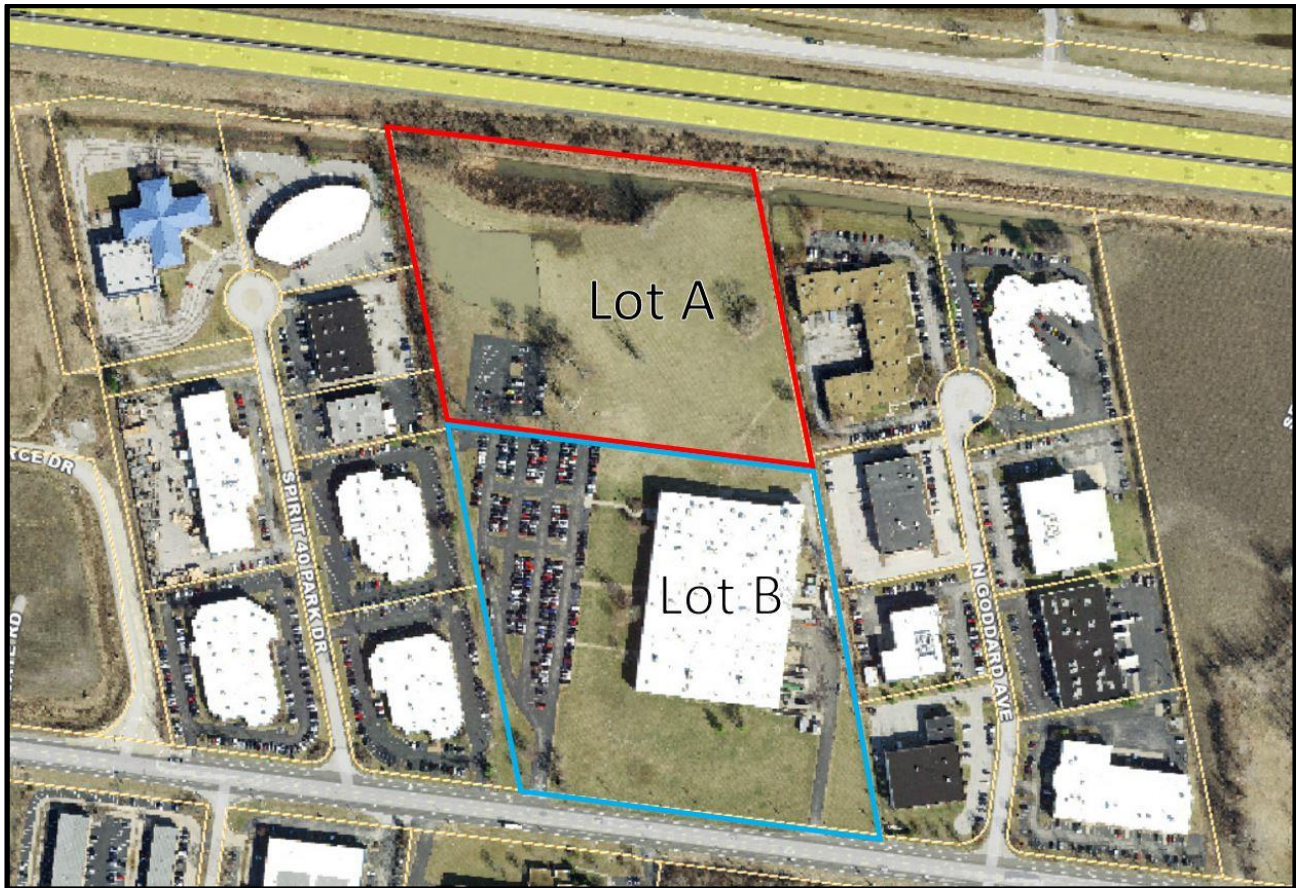


Figure 1: Mark Andy Industrial Park Subdivision

STAFF ANALYSIS

General Requirements for Site Design:

A. Site Relationships

The subject site is located along Chesterfield Airport Road. However, it is more visible from Interstate 64 than from Chesterfield Airport Rd as it is situated behind Lot B and is oriented in a parallel relation to the interstate. As such, the design of the building is meant to accentuate the straight-line speed and highway directional flow of traffic, with most of the featured architectural elements located on the north elevation of the building.

B. Circulation and Access

Although Lot B currently has two (2) dedicated entrances, Lot A will be served by the entrance to Chesterfield Airport Rd. on the southwest corner of Lot B, as well as a secondary entrance to the east through Lot B. Per Ordinance 2437, this entrance is to be improved with the development of Lot A. Additionally, a cross-access easement is proposed to the southeast of Lot A for potential access to the cul-de-sac of N. Goddard Ave. This fulfils a requirement set in the governing ordinance regarding circulation and access and can be seen on Figure 2 below.

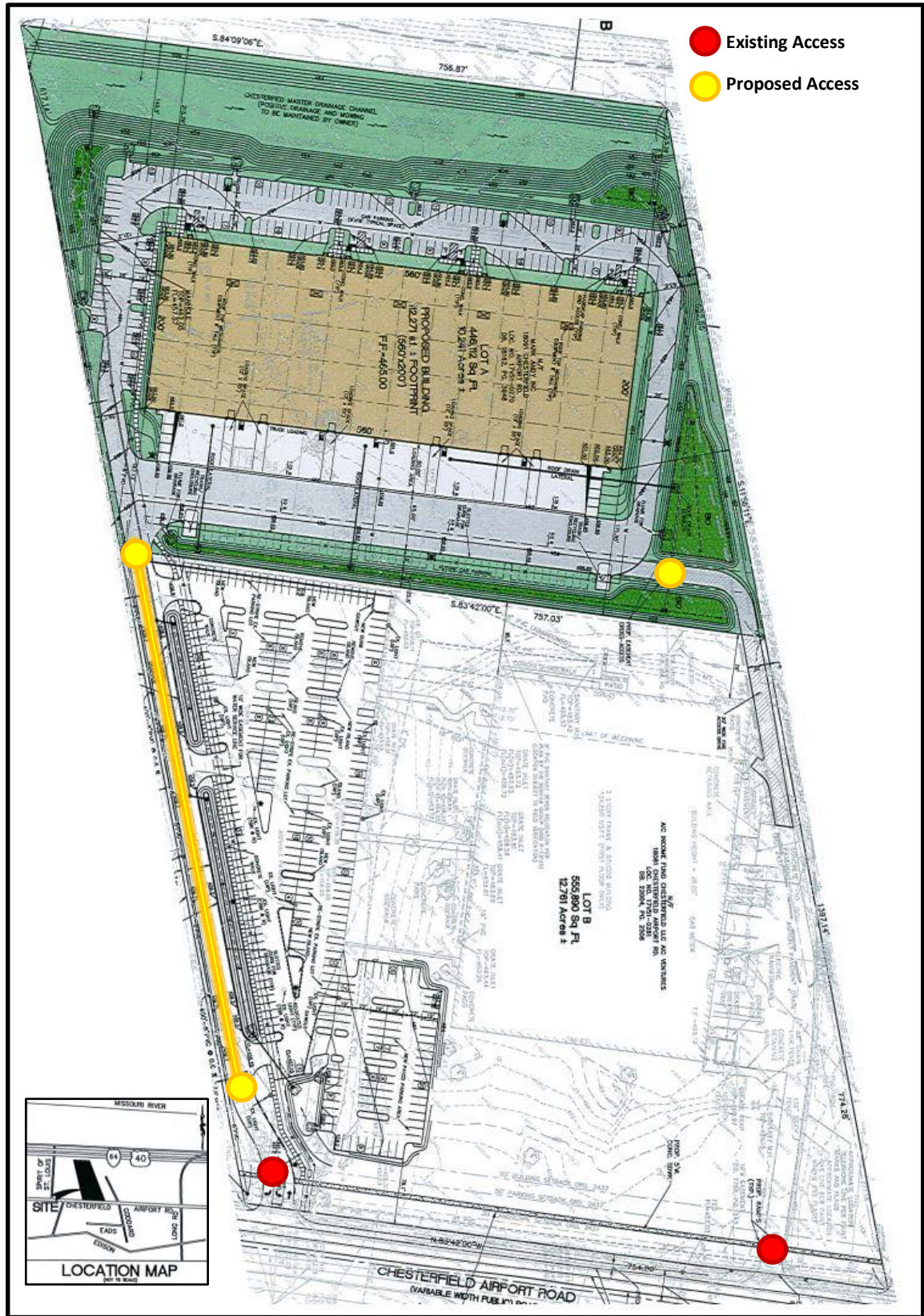


Figure 2: Color Site Development Section Plan Excerpt

Additionally, the proposed project also includes revisions to Lot B such as restriping, island relocation and a new proposed parking area southwest of the existing building.

C. Topography and Parking

The site is generally flat, ranging between 1-3' in elevation change across the property. The northern portion of the site is expected to be cut and filled to accommodate the building area, leaving an 80' wide flat-bottom drainage ditch as part of the Chesterfield Master Drainage Channel that runs along the northern edge of the property.

In accordance with the Chesterfield Valley Design Requirements, parking should be located "primarily to the side or rear of any building facade facing I-64/US 40 or along North Outer 40." Most of the 150 proposed parking spaces are primarily located on the northern side of the site at the front of the building, with a small portion of parking located on the south side of the proposed building and future potential parking to the south of the building. Accessible parking is located near the front entrance on the north side of the site. This parking lot design is consistent with adjacent industrial / office buildings.

General Requirements for Building Design:

All projects should address the following building requirements: Scale, Design, Materials, Colors, Landscape, Screening, and Lighting. This request is to allow for the development of a 112,271 square foot mixed-use building on Lot A.

A. Scale

The scale of the building is similar to that found on Lot B (124,000 sq. ft. footprint existing), but holds more modern aesthetic features facing I-64 and is roughly 13 feet taller than its Lot B counterpart. At its highest point, the building on Lot A will reach 39' above grade. While Lot A abuts I-64 to the north, there is significant green space separating the two, with commercial / industrial parks to the east and west of the property.

B. Design

The structure will be 31'-7" feet in height (top of gutter), with accent features reaching 39 feet in some areas along the north elevation and lesser parapets elsewhere reaching 36'-6" feet in height. The structure will contain office space, a showroom for retail purposes and a warehouse with Figures 3 and 4 below detail the north elevation of the proposed structure. Accent features along the north elevation accentuate the solid shape and color scheme of the long façade. The south elevation is characterized by its contiguous flat surfaces and mitigated by six (6) loading docks and employee entrances on the back of the building.

The main larger mass of the building accelerates forward as a nod to the adjacent highway's straight-line speed and direction. This solid, forward-moving horizontal mass rests on a base that is rhythmically punctuated with bands of glass. Counter-balancing the structure's fast-paced horizontal masses are the stable and sedentary brick entry masses which anchor and provide clarity to the building's organization. Simple horizontal entry canopies are integrated with the recessed

brick entry masses, with a light concrete band that weaves throughout the building, serving as a unifying element that forms an edge between the upper mass and the more human-scale lower mass.

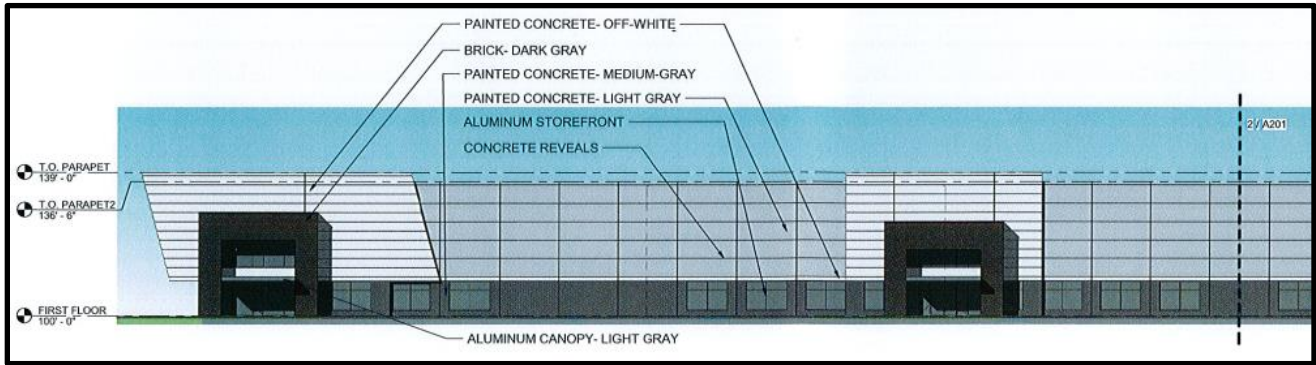


Figure 3: North Elevation facing I-64 – East Side

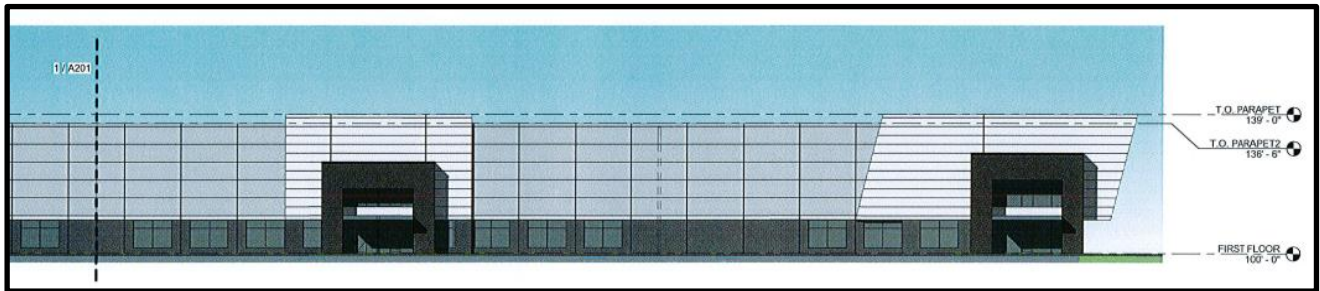


Figure 4: North Elevation facing I-64 – West Side



Figure 5: North Elevation as seen by vehicles traveling east on I-64.



Figure 6: South Elevation as seen by vehicles traveling west on Chesterfield Airport Rd.

C. Materials and Color

Materials on the building include brick entry masses, painted concrete panels with decorative reveals, aluminum storefront with clear glass, and color-matched prefinished aluminum canopies and flashings. The color scheme is composed of monochromatic shades of gray throughout the building, with darker gray present toward the base of the building and heavier brick entry masses, which also continue on the sides of the building. The upper two-thirds of the structure consists of lighter shades of off-white in order to accentuate the overall lightness in contrast to its darker base.

D. Landscape Design and Screening

Several different areas of landscaping are proposed in accordance with UDC regulations, including a landscape buffer that extends the length of the northern elevation along I-64 and congruent drainage basin. A primarily deciduous mix of trees embellishes the parking areas and points of entry, with evergreen species and lesser landscaping in ornamental arrangement around the perimeter of the building on Lot A. There is also adequate landscaping that provides partial screening of bio-retention areas located around the site.

The site development plan calls for two trash/recycling enclosures located at the rear of the building on the southern side of the loading area, which are adequately screened by 6'-0" concrete enclosures to be painted in order to match color scheme of the building, with stained cedar board gates on each. Roof-top equipment, which stand 6' in height, are currently planned to be screened by the natural recessed setback from the edge of the structure as well as by the combination of parapets ranging from 4'-11" above top-of-gutter to 7'-5" above top-of-gutter behind larger accent

facades. The landscape plan and screening study conducted for the rooftop equipment from all four elevations of the building is included in the packet materials.

E. Lighting

Lighting is planned in association with the proposed development as required by the City of Chesterfield. The Lighting plan includes: seventeen (17) roadside and parking area lighting fixtures; seven (7) of which line the entry along the southwest corner of the property on Lot B. Parking areas will be illuminated by full cutoff, low profile, LED roadway fixtures, equipped with vertical shields where located at property lines to minimize glare and light trespass. The proposed parking area on Lot B will also incorporate two (2) Back-to-Back free-standing parking light fixtures. Total fixture heights will be below 20'-0" above finished grade. Building entries will incorporate a combination of thirteen (13) full cutoff, low profile, recessed LED can lighting and wall washer fixtures to backlight the wall behind the entry masses, as well as nine (9) wall-illuminating fixtures that tilt upward at a 35 degree angle, designed to only project onto the building surface and not beyond.

Lights that are not fully shielded flat lensed fixtures will require separate approval from the Planning Commission. Please refer to the proposed lighting plan in the packet submittal materials.

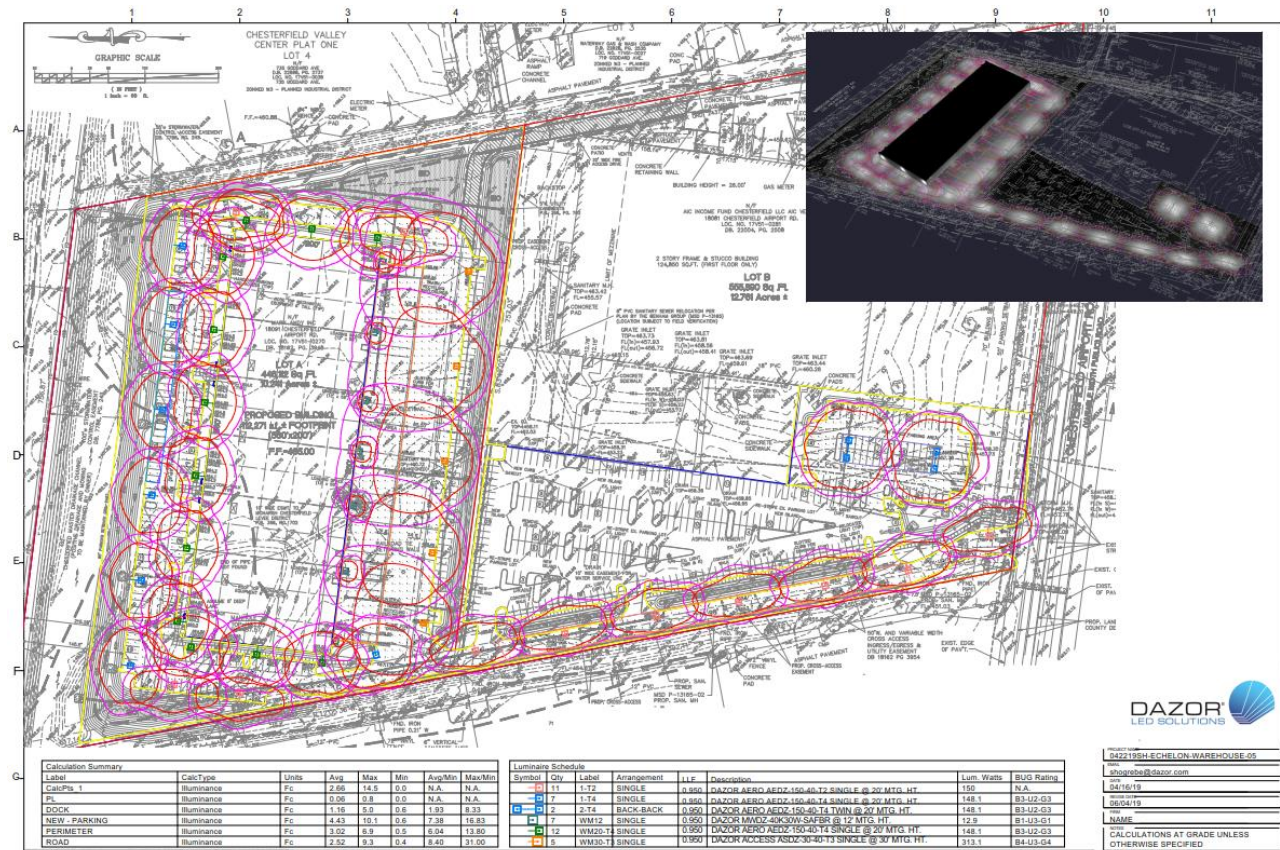


Figure 7: Lighting Plan

F. Signage

Signage is not part of the proposal before the Architectural Review Board and will be reviewed separately.

G. Exterior Rendering



Figure 8: Exterior Rendering, facing North Elevation

DEPARTMENT INPUT

Be advised, this project is still going through development review by City Staff and will not proceed to the Planning Commission until all outstanding items have been addressed. All recommendations made by the ARB will be included in Staff's report to the Planning Commission.

Staff requests review and recommendation on this submittal for 18081 Chesterfield Airport Rd. (Mark Andy Industrial Park—Lot A).

MOTION

The following options are provided to the Architectural Review Board for consideration relative to this application:

- 1) "I move to forward the Site Development Section Plan, Landscape Plan, Lighting Plan, Architectural Elevations and Architect's Statement of Design for Mark Andy Industrial Park, Lot A, as presented, with a recommendation for approval (or denial) to the Planning Commission."
- 2) "I move to forward the Site Development Section Plan, Landscape Plan, Lighting Plan, Architectural Elevations and Architect's Statement of Design for Mark Andy Industrial Park, Lot A to the Planning Commission with the following recommendations..."

Attachments

1. Architectural Review Packet Submittal



June 5, 2019

Architectural Review Board
City of Chesterfield
Department of Planning
690 Chesterfield Parkway West
Chesterfield, MO 63017-0760

**Re: Architect's Statement
64 Corporate Center**

Dear members of the Architectural Review Board,
The following is the Architect's Statement for the 64 Corporate Center, located at 18091 Chesterfield Airport Road.

The Site:

Physical features and Access:

The relatively level 10.2 acre project site will contain a one story, 112,271 square foot office building/warehouse. The site is adjacent to highway 64/40 to the north, a one story office building to the east (), a one story office to the south (Mark Andy Inc), and 3 one story office buildings to the west. The street entry will be off of Chesterfield parkway through a single entry drive shared with Mark Andy Inc.

Site Relationship & Circulation:

The building's main public entry and associated parking will be located on the north side of the building while the loading docks and service oriented functions will be located on the south side of the building with a loop drive that connects the entire site.

Green space buffers/detention will be located in multiple locations on the east, west, and north sides of the building. In addition, the trash dumpsters will be located on the building's south side and will be screened with a 6' high brick enclosure with stained wood swinging gates.

Mechanical equipment will all be mounted on the roof and will be screened from (highway) view naturally by the building's parapet (see attached site section).

The type and location of site and building lighting fixtures were designed to reduce excess glare into the neighboring properties. Many of the fixtures are indirect fixtures and will be located within the entry alcoves or back from the main face of the building, which allows the mass of the building to shield the glare from the side neighboring properties.

Topography & Retaining walls:

The natural topography is relatively level and will not require any retaining walls. The storm water management systems includes a bio-retention basin to handle water quality, and will be approved by the City and MSD.

The Building:

Materials:

The materials on the building include brick entry masses, painted concrete panels with decorative

reveals, aluminum storefront with clear glass , and color-matched prefinished aluminum canopies and flashings. The color scheme is composed of monochromatic shades of gray. The darker grays occur at the lower third of building (base) and heavier brick entry masses (which also continue at the sides of the building). The colors at the upper 2 thirds of the building (including the cantilevered sail) are lighter shades of off-white in order to accentuate its lightness, which is in contrast to the heavy base.

Scale & Design:

Nestled into the site, the building is appropriately scaled on 3 sides by the quiet neighboring one story office buildings. In contrast, the most visible and longest side of the building faces the loud and fast moving highway 40. The main larger mass of the building accelerates forward as a nod to the adjacent highways straight-line speed and direction. This solid, forward-moving horizontal mass rests on a base that is rhythmically punctuated with bands of glass. Counter-balancing the structure's fast paced horizontal masses are the stable and sedentary brick entry masses which anchor and provide clarity to the buildings organization. The building is further broken down to a human scale with simple horizontal entry canopies that are integrated with the recessed brick entry masses. Lastly, a light concrete horizontal band was used as a linear thread that weaves throughout the building and acts as a unifying element that forms an edge between the upper mass and the more humane lower mass.

Landscape design and screening:

The required number of trees have been provided and landscaping is also added to the building to provide a buffer between the adjacent buildings.

The plant palette, designed for low maintenance, has been selected from Chesterfield's list of approved trees. The chosen plants also provide pollinators (especially at the bio-retention pond) and seasonal color & texture throughout the site. Flowering trees will be used at the entries and will contrast the monochromatic building color scheme.

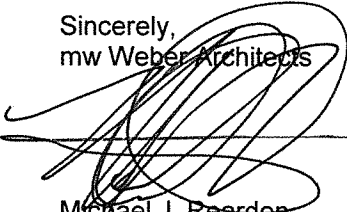
Signage:

The signage shall be secondary to the architectural design, in order to not distract from the building architecture. Signage shall be designated in the area directly near the entry canopies. Address signage shall consist of individual aluminum numbers mounted directly to the top edge of the entry canopies.

Lighting standards:

The parking areas will be illuminated by full cutoff, low profile, LED roadway fixtures and equipped with house side shields where located at property lines to minimize glare and light trespass. Total fixture heights will be below 20'-0"1901 above finished grade. Building entries will incorporate a combination of full cutoff, low profile, recessed LED can lighting and wall washer fixtures to backlight the wall behind the entry masses. Service bays will incorporate full cutoff, low profile, LED surface mounted accent fixtures. Foot candles at parking and drive areas are 0.5 minimum and 3.4 average. Maximum foot candles at the property lines are at 0.4 or below with most areas at 0.0. Average foot candles at all building entries are above 5.0.

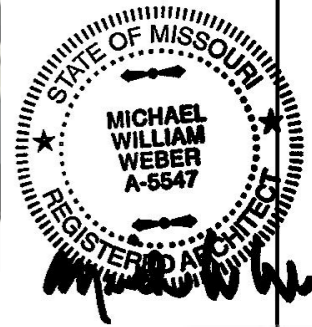
Sincerely,
mw Weber Architects



Michael J. Reardon

Mark Andy Industrial Park, Lot A

18091 CHESTERFIELD AIRPORT RD.
CHESTERFIELD, MO



Perspective

mw
weber
architects

636.519.1400

05/31/19
19.022

64 CORPORATE CENTER

LOT A & B - MARK ANDY INDUSTRIAL PARK (P.B. 356 PG. 702 - 12/31/2008)

A TRACT OF LAND BEING LOCATED IN
U.S. SURVEYS 122 AND 150, TOWNSHIP 45 NORTH, RANGE 3 EAST OF THE 5TH PRINCIPAL MERIDIAN
CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI

SITE DEVELOPMENT PLAN

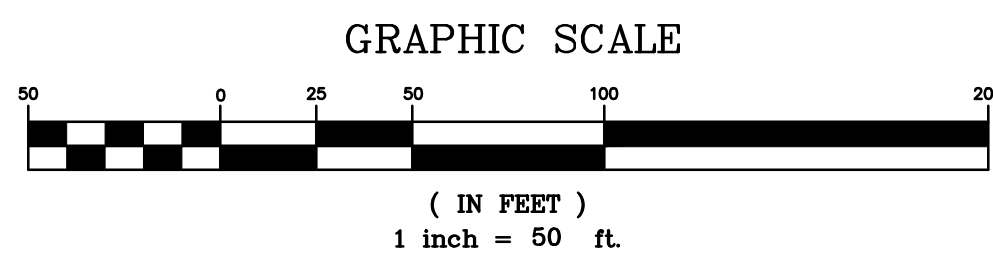


MISSOURI ONE-CALL: 1-800-344-7483
ST. LOUIS COUNTY:
SIGNALS / LIGHTING: (314) 615-0215



PERTINENT SITE DATA:

- SITE ACREAGE = 10.24 Acres (LOT A)
12.76 Acres (LOT B)
- OWNER - LOT A = MARK ANDY INC (DB 18162 PG 3948)
- LOCATOR No. = 17V51-0270
- ZONING = "P1" PLANNED INDUSTRIAL DISTRICT (ORDINANCE NO. 2437)
- FIRE DISTRICT = MONARCH FIRE PROTECTION DISTRICT
- SCHOOL DISTRICT = ROCKWOOD
- SEWER DISTRICT = METROPOLITAN ST. LOUIS SEWER DIST.
- WATER SERVICE = MISSOURI-AMERICAN WATER COMPANY
- GAS SERVICE = SPIRE
- ELECTRIC SERVICE = AMEREN MO
- PHONE SERVICE = AT&T
- STREET ADDRESS = 18081 CHESTERFIELD AIRPORT RD. (LOT B)
18091 CHESTERFIELD AIRPORT RD. (LOT A)
- ZIP CODE = 63005
- MUNICIPAL MAP = Pg 20
- FLOOD MAP = FIRM 29189C0145 K, EFFECTIVE FEB. 4, 2015
- WATERSHED = MISSOURI RIVER
- MDNR PERMIT NUMBER = MOR13714



ST. LOUIS CO. BENCHMARK

11-59: ELEV.=461.50 (U.S.G.S. - NGVD 1929 DATUM)
7' ON BACK OF ROLLED CURB, 107' SOUTH OF THE
CENTERLINE OF CHESTERFIELD AIRPORT ROAD AND 13'
WEST OF THE CENTERLINE OF GODDARD AVENUE.

FLOOD NOTE:

SUBJECT PROPERTY LIES WITHIN FLOOD ZONE "AH" (AREAS WITH 1-3 FEET FLOOD DEPTHS, PONDING AND FLOOD ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN) ACCORDING TO THE NATIONAL FLOOD INSURANCE RATE MAP FOR THE ST. LOUIS COUNTY, MISSOURI AND INCORPORATED AREAS PER MAP NO. 29189C0145 K, WITH A MAP EFFECTIVE DATE FEBRUARY 4, 2015.
FIRM 100 yr ELEV. = 457.00
CHESTERFIELD MASTERPLAN 100yr ELEV. = 456.09

SITE INFORMATION:

SITE CALCULATIONS LOT 'A':

- TOTAL SITE: 446,112 sf. ± (100 %)
- BUILDING FOOTPRINT: 112,271 sf. ± (25.2 %)
- PAVED AREA: 148,900 sf. ± (33.2 %)
- OPEN SPACE: 185,541 sf. ± (41.6 %)
- BUILDING F.A.R.: 0.252

CAR PARKING LOT 'A':

- REQUIRED: 3.3 SPACES / 1000 sf
- WAREHOUSE: 2 SPACES / 3 EMPLOYEES
- PROVIDED: 40,000 SF OFFICE
- ASSUMED: 3.3/1000 = 132 SPACES
- 27 MAX WAREHOUSE EMPLOYEES
- 27 * 2/3 = 18 SPACES

- TOTAL SPACES: 150 (9x18) SPACES PROVIDED
- INCLUDES 8 H.C. SPACES
- 46 FUTURE SPACES (SHOWN)

SITE CALCULATIONS LOT 'B':

- EXISTING CONDITIONS:
- TOTAL SITE: 555,890 sf. ± (100 %)
- BUILDING FOOTPRINT: 124,850 sf. ± (22.5 %)
- PAVED AREA: 151,935 sf. ± (27.3 %)
- OPEN SPACE: 279,105 sf. ± (50.2 %)
- BUILDING F.A.R.: 0.225

- PROPOSED CONDITIONS:
- TOTAL SITE: 555,890 sf. ± (100 %)
- BUILDING FOOTPRINT: 124,850 sf. ± (22.5 %)
- PAVED AREA: 178,419 sf. ± (32.1 %)
- OPEN SPACE: 252,621 sf. ± (45.4 %)

CAR PARKING LOT 'B':

- EX. TOTAL SPACES: 309 SPACES - INCLUDES 59 LOCATED ON LOT A
- PROPOSED TOTAL: 312 SPACES (LOT B)

PLAN SHEET INDEX

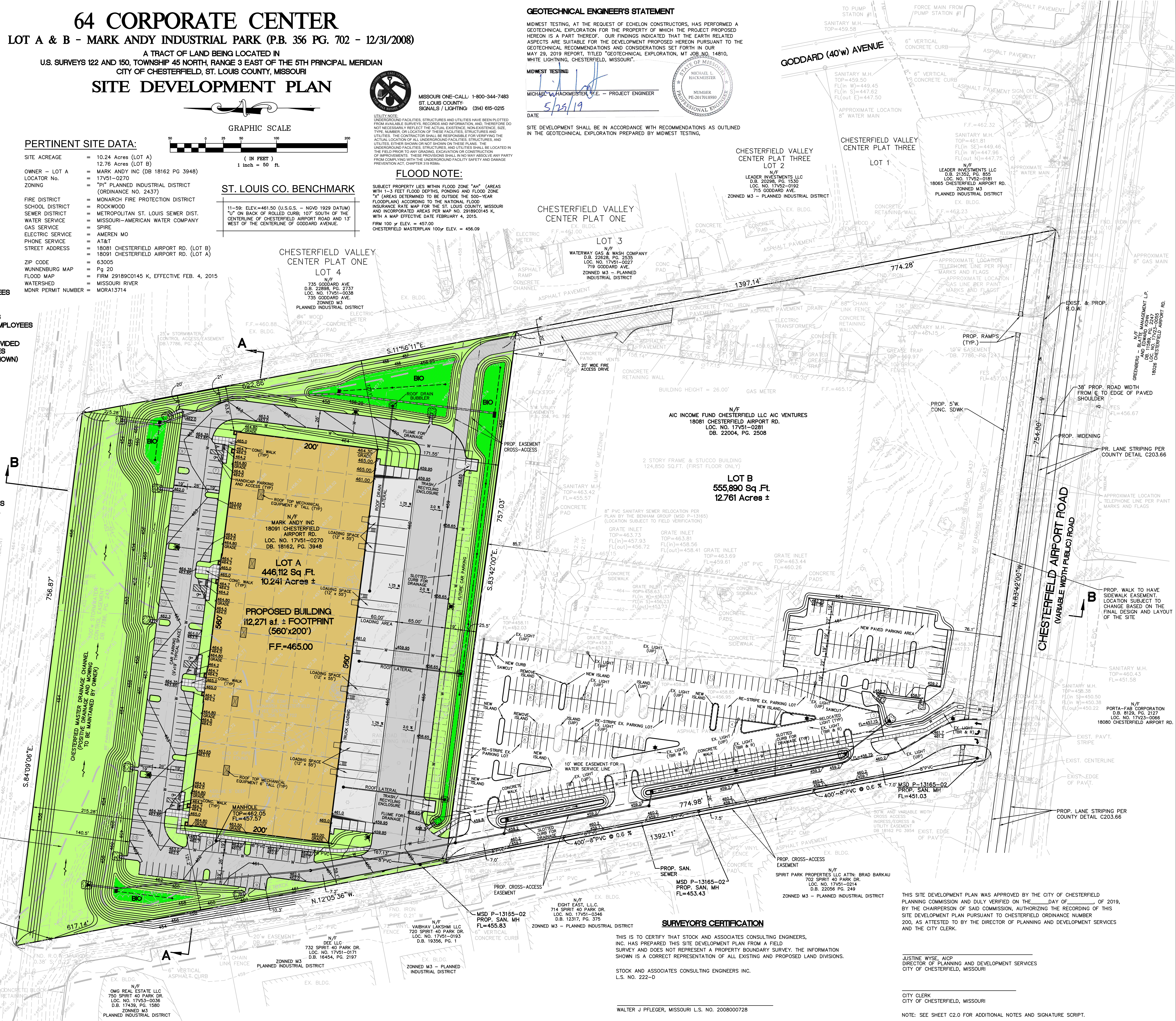
- C1.0 SITE DEVELOPMENT PLAN
- C2.0 SITE SECTIONS AND NOTES
- C3.0 CHESTERFIELD ORD. NO. 2437
- L-1 LANDSCAPE PLAN
- L-2 LANDSCAPE PLAN
- L-3 LANDSCAPE PLAN
- TSD-1 TREE STAND DELINEATION
- TPP TREE PROTECTION PLAN
- A201 BUILDING EXTERIOR ELEVATIONS
- A202 BUILDING EXTERIOR ELEVATIONS
- SITE PHOTOMETRICS

MISSOURI INTERSTATE 64
U.S. HIGHWAY 40 / 61
(PUBLIC)

FLOODPLAIN NOTE:
SUBJECT PROPERTY LIES WITHIN FLOOD ZONE "AH" (AREAS WITH 1-3 FEET FLOOD DEPTHS, PONDING AND FLOOD ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN) ACCORDING TO THE NATIONAL FLOOD INSURANCE RATE MAP FOR THE ST. LOUIS COUNTY, MO AND INCORPORATED AREAS PER MAP NO. 29189C0145 K, WITH A MAP EFFECTIVE DATE FEBRUARY 4, 2015.
FIRM 100 yr ELEV. = 457.00
CHESTERFIELD MASTERPLAN 100yr ELEV. = 456.09

APPROXIMATE LOCATION LIGHTCORE FIBER OPTIC LINE

PREPARED FOR:
ECHOLON CONSTRUCTORS, LLC
1850 CRAIGHIRE ROAD
SUITE 306
ST. LOUIS, MO 63146
ATTN: GREG ANCEL
PHONE: 636.549.5038
DIRECT: 314.800.6690
www.echolon840.com



GEOTECHNICAL ENGINEER'S STATEMENT

MIDWEST TESTING, AT THE REQUEST OF ECHOLON CONSTRUCTORS, HAS PERFORMED A GEOTECHNICAL EXPLORATION FOR THE PROPERTY OF WHICH THE PROJECT PROPOSED HEREON IS A PART THEREOF. OUR FINDINGS INDICATED THAT THE EARTH RELATED ASPECTS ARE SUITABLE FOR THE DEVELOPMENT PROPOSED HEREON PURSUANT TO THE GEOTECHNICAL RECOMMENDATIONS AND CONSIDERATIONS SET FORTH IN OUR MAY 29, 2019 REPORT, TITLED "GEOTECHNICAL EXPLORATION, MT JOB NO. 14810, WHITE LIGHTNING, CHESTERFIELD, MISSOURI".

MIDWEST TESTING:
MICHAEL W. HACKMEISTER, P.E. - PROJECT ENGINEER
DATE: 5/23/19

SITE DEVELOPMENT SHALL BE IN ACCORDANCE WITH RECOMMENDATIONS AS OUTLINED IN THE GEOTECHNICAL EXPLORATION PREPARED BY MIDWEST TESTING.

SURVEYOR'S CERTIFICATION

THIS IS TO CERTIFY THAT STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC. HAS PREPARED THIS SITE DEVELOPMENT PLAN FROM A FIELD SURVEY AND DOES NOT REPRESENT A PROPERTY BOUNDARY SURVEY. THE INFORMATION SHOWN IS A CORRECT REPRESENTATION OF ALL EXISTING AND PROPOSED LAND DIVISIONS.

STOCK AND ASSOCIATES CONSULTING ENGINEERS INC.
L.S. NO. 222-D

REVISIONS:

- 1 5/22/2019 ADD FIRE ACCESS
- 2 5/30/2019 REVISED PER CITY COMMENTS

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- 2 5/30/2019 REVISED PER CITY COMMENTS

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REVISIONS:

- 1 5/22/2019 ADD FIRE ACCESS
- 2 5/30/2019 REVISED PER CITY COMMENTS

PREPARED BY:
STOCK & ASSOCIATES
Consulting Engineers, Inc.

SITE DEVELOPMENT PLAN FOR:
64 CORPORATE CENTER
18091 CHESTERFIELD AIRPORT RD.
CHESTERFIELD, MO

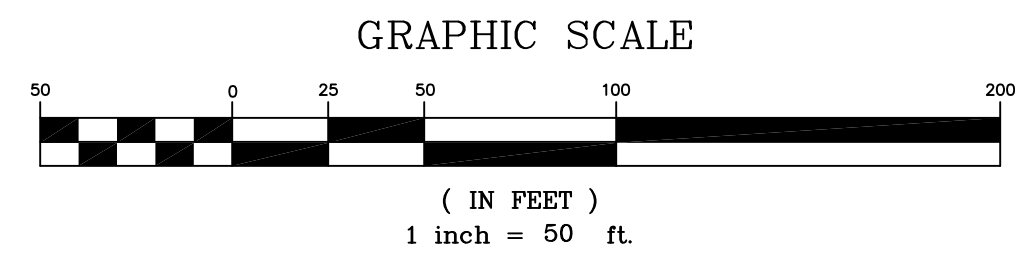
STATE OF MISSOURI
PROFESSIONAL ENGINEER
GEORGE MICHAEL STOCK
NUMBER P.E. 25116
5/30/2019
GEORGE M. STOCK E-25116
CIVIL ENGINEER
CERTIFICATE OF AUTHORITY
NUMBER: 000996

DRAWN BY: T.S.
CHECKED BY: G.M.S.
DATE: 5/10/2019
JOB NO: 219-6507
SCALE: P.F.
BASE MAP: 17-V
S.L.C. HAT #
M.D.N.R. #
MORA13714

SITE DEVELOPMENT PLAN

SHEET NO.: C1.0

NOTE: SEE SHEET C2.0 FOR ADDITIONAL NOTES AND SIGNATURE SCRIPT.



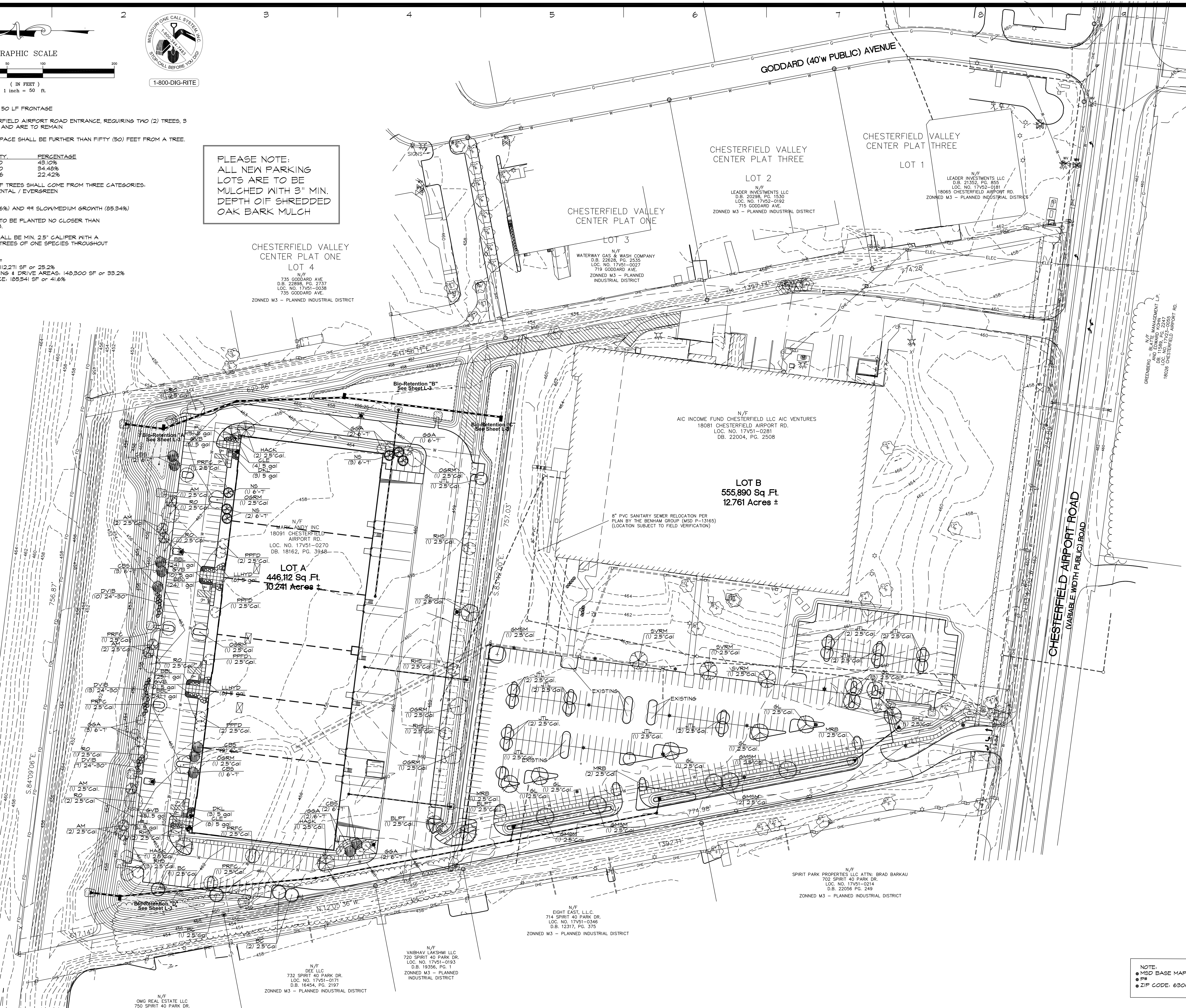
1-800-DIG-RITE

- STREET TREES: 1 per 50 LF FRONTAGE
- 100.00 LF @ CHESTERFIELD AIRPORT ROAD ENTRANCE, REQUIRING TWO (2) TREES, 3 TREES ARE EXISTING AND ARE TO REMAIN
- NOTE: NO PARKING SPACE SHALL BE FURTHER THAN FIFTY (50) FEET FROM A TREE.
- TREE GROUPINGS:

TYPE	QTY	PERCENTAGE
DECIDUOUS	50	43.10%
ORNAMENTAL	40	34.48%
EVERGREEN	26	22.42%
- A MINIMUM OF 20% OF TREES SHALL COME FROM THREE CATEGORIES: DECIDUOUS / ORNAMENTAL / EVERGREEN
- 17 FAST GROWTH (4.66%) AND 91 SLOW/MEDIUM GROWTH (85.34%)
- ANY STREET TREE IS TO BE PLANTED NO CLOSER THAN 5'-0" FROM ANY CURB.
- ALL STREET TREES SHALL BE MIN. 2.5" CALIPER WITH A MAXIMUM OF 20% OF TREES OF ONE SPECIES THROUGHOUT
- OPEN SPACE:
 - TOTAL SITE: 446,112 SF
 - BUILDING FOOTPRINT: 112,271 SF or 25.2%
 - PARKING, FUTURE PAVING & DRIVE AREAS: 149,300 SF or 33.2%
 - REMAINING OPEN SPACE: 184,541 SF or 41.6%

PLEASE NOTE:
ALL NEW PARKING
LOTS ARE TO BE
MULCHED WITH 3" MIN.
DEPTH OF SHREDDED
OAK BARK MULCH

MISSOURI INTERSTATE 64
U.S. HIGHWAY 40 / 61
(PUBLIC)



CHESTERFIELD VALLEY
CENTER PLAT ONE
LOT 4
735 GODDARD AVE.
D.B. 22898, PG. 2737
LOC. NO. 17V51-0038
735 GODDARD AVE.
ZONED M3 - PLANNED INDUSTRIAL DISTRICT

CHESTERFIELD VALLEY
CENTER PLAT THREE
LOT 2
LEADER INVESTMENTS LLC
D.B. 20298, PG. 1530
LOC. NO. 17V52-0192
715 GODDARD AVE.
ZONED M3 - PLANNED INDUSTRIAL DISTRICT

CHESTERFIELD VALLEY
CENTER PLAT THREE
LOT 1
LEADER INVESTMENTS LLC
D.B. 21352, PG. 852
LOC. NO. 17V52-0181
18065 CHESTERFIELD AIRPORT RD.
ZONED M3 - PLANNED INDUSTRIAL DISTRICT

CHESTERFIELD VALLEY
CENTER PLAT ONE
LOT 3
WATERWAY GAS & WASH COMPANY
D.B. 22628, PG. 2535
LOC. NO. 17V51-0027
719 GODDARD AVE.
ZONED M3 - PLANNED INDUSTRIAL DISTRICT

LOT B
555,890 Sq. Ft.
12.761 Acres ±

LOT A
446,112 Sq. Ft.
10.241 Acres ±

N/F
AIC INCOME FUND CHESTERFIELD LLC AIC VENTURES
18081 CHESTERFIELD AIRPORT RD.
LOC. NO. 17V51-0281
DB. 22004, PG. 2508

N/F
EIGHT EAST, LLC
714 SPIRIT 40 PARK DR.
LOC. NO. 17V51-0346
D.B. 12317, PG. 375
ZONED M3 - PLANNED INDUSTRIAL DISTRICT

N/F
VAIBHAV LAKSHMI LLC
720 SPIRIT 40 PARK DR.
LOC. NO. 17V51-0193
D.B. 19356, PG. 1
ZONED M3 - PLANNED INDUSTRIAL DISTRICT

N/F
DEE LLC
732 SPIRIT 40 PARK DR.
LOC. NO. 17V51-0171
D.B. 16454, PG. 2197
ZONED M3 - PLANNED INDUSTRIAL DISTRICT

N/F
OMG REAL ESTATE LLC
750 SPIRIT 40 PARK DR.
LOC. NO. 17V53-0036
D.B. 17439, PG. 1580
ZONED M3 - PLANNED INDUSTRIAL DISTRICT

N/F
SPIRIT PARK PROPERTIES LLC ATTN: BRAD BARKAU
702 SPIRIT 40 PARK DR.
LOC. NO. 17V51-0214
D.B. 22056 PG. 249
ZONED M3 - PLANNED INDUSTRIAL DISTRICT

N/F
GREENBERG AND COMPANY MANAGEMENT LP
LOC. NO. 17V51-0297
18028 CHESTERFIELD AIRPORT RD.

NOTE:
● MSP BASE MAP
● FH
● ZIP CODE: 63005

REVISIONS	BY
5/24/19	RAM

Landscare TECHNOLOGIES

67 Jackson Creek Drive
St. Charles, Missouri 63044
Tel: (636) 423-4593
Fax: (636) 423-4593
MO Landscape Architectural Corporation #2000000182

RANDALL A. MARDIS
REGISTERED ARCHITECT
MISSOURI ARCHITECT NUMBER 019
DATE 5/24/19

PLANTING PLAN FOR THE PROPOSED
64 Corporate Center
CHESTERFIELD, MISSOURI

DRAWN
R. MARDIS

CHECKED
RAMMEL

DATE
5/24/19

SCALE
1"=50'-0"

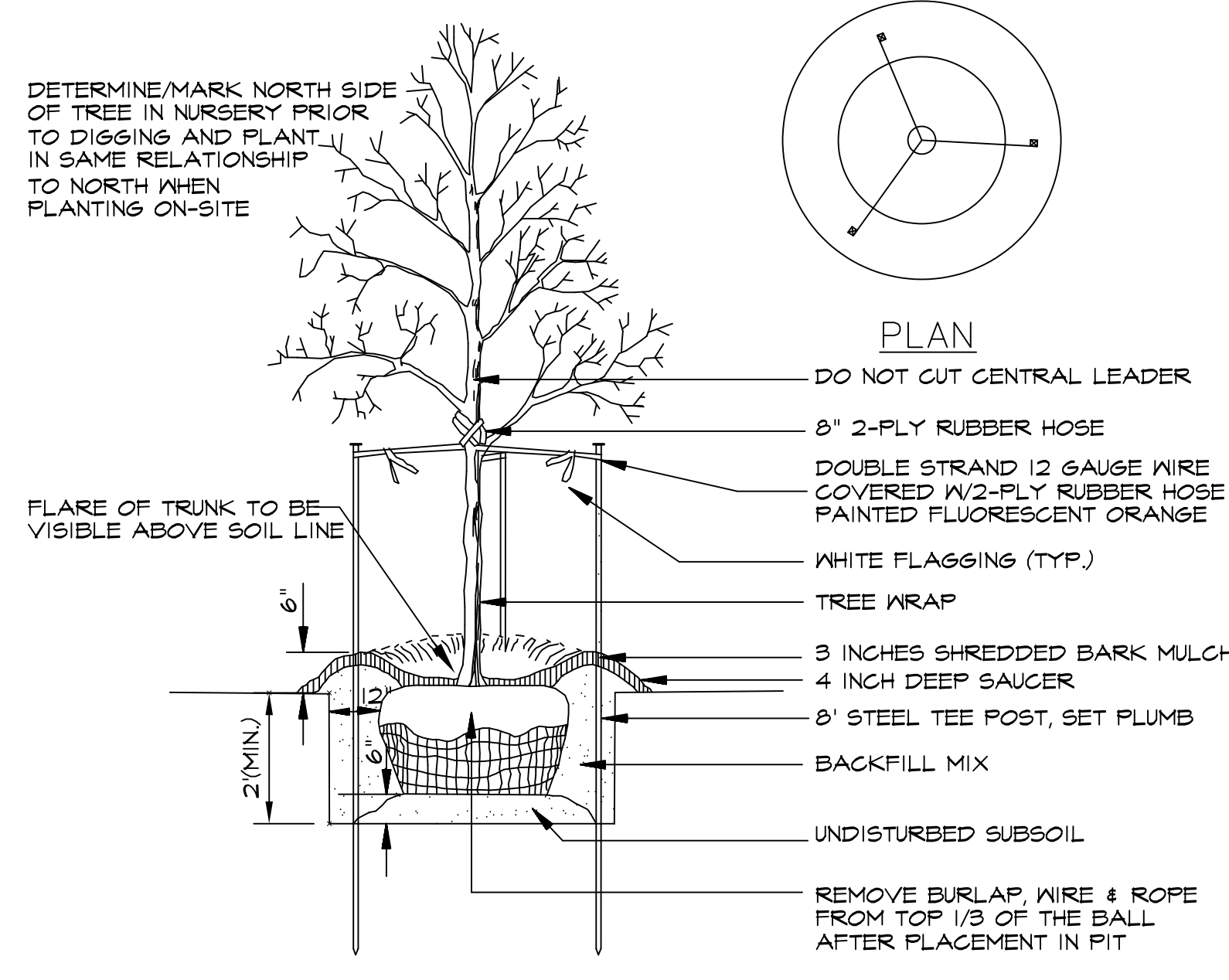
JOB NO.
2019-197

SHEET
L-1

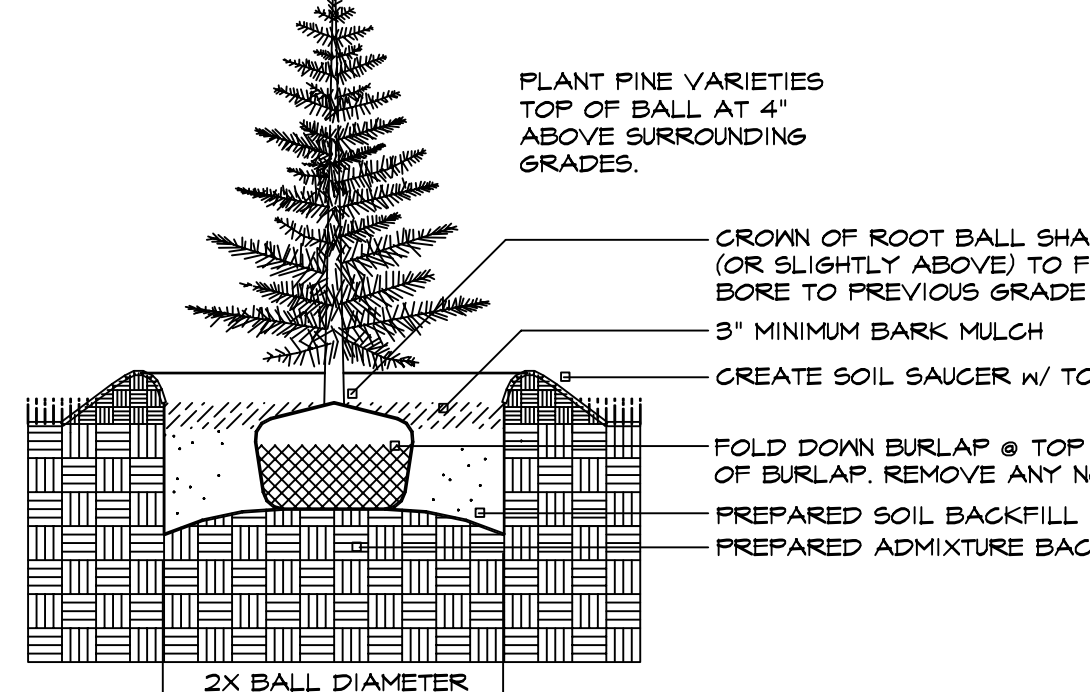
OF THREE SHEETS

LANDSCAPE GUIDELINE SPECS:

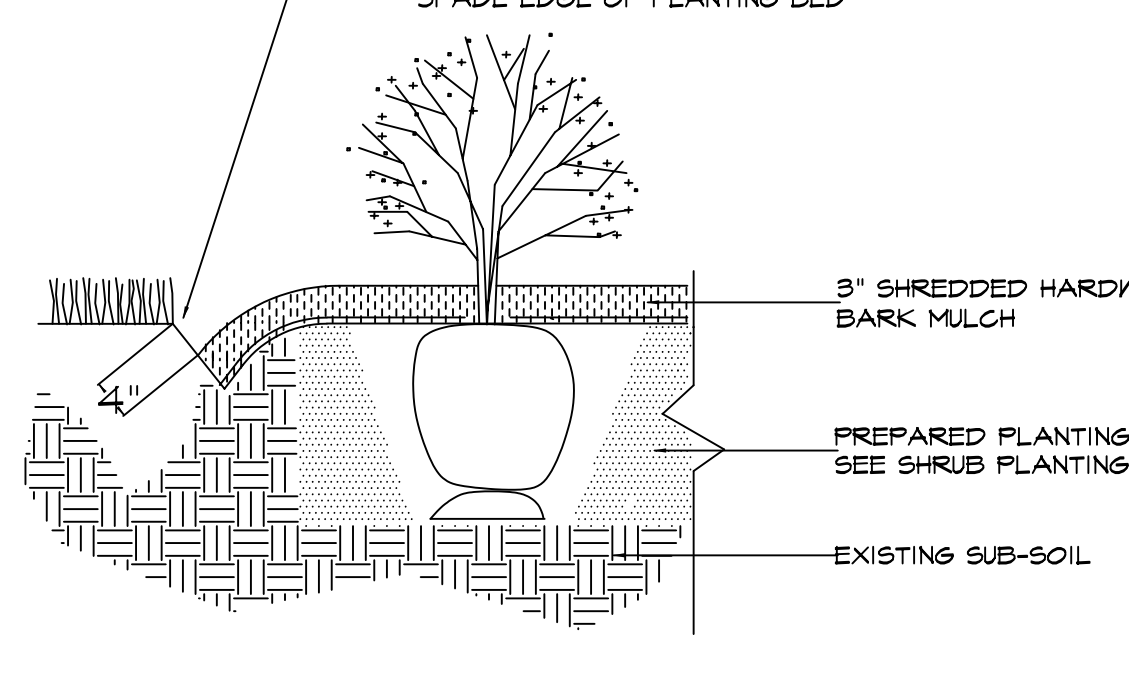
- GENERAL:**
- 1) All natural vegetation shall be maintained where it does not interfere with construction or the permanent plan of operation. Every effort shall be made to protect existing structures or vegetation from damage due to equipment usage. Contractor shall be responsible for all materials and methods used to protect existing structures or vegetation from damage due to equipment usage. Contractor shall be responsible for all materials and methods used to protect existing structures or vegetation from damage due to equipment usage.
 - 2) The landscape contractor shall be responsible for all coordination and sequencing with other site related work being performed by other contractors. Refer to additional drawings for further coordination of work to be done.
 - 3) Underground facilities, structures and utilities must be considered approximately only. There may be others not presently known or shown. It shall be the landscape contractor's responsibility to determine or verify the existence of and exact location of the above (Call utility location services in Mississippi).
 - 4) Plant material are to be planted in the same relationship to grade as was grown in nursery conditions. All planting beds shall be cultivated to 6" depth minimum and graded smooth immediately before planting of plants. Plant groundcover to within 12" of trunk of trees or shrubs planted within the area.
 - 5) It shall be the landscape contractor's responsibility to:
 - A) Verify all existing and proposed features shown on the drawings prior to commencement of work.
 - B) Report all discrepancies found with regard to existing conditions or proposed design to the landscape architect immediately for a decision.
 - C) Stake the location of all proposed plant material and obtain the approval of the owner's representative or landscape architect ten (10) days prior to installation.
 - 6) Items shown on this drawing take precedence over the material list. It shall be the landscape contractor's responsibility to verify all quantities and conditions prior to implementation of this plan. No substitutions of types or size of plant materials will be accepted without written approval from the landscape architect.
 - 7) Provide single-stem trees unless otherwise noted in plant schedule.
 - 8) All plant material shall comply with the recommendations and requirements of ANSI Z60.1 "American Standards for Nursery Stock".
 - 9) It shall be the contractor's responsibility to provide for inspection of the plant material by the Landscape Architect's Representative prior to acceptance. Inspections may take place before, during or after installation. Plants not conforming exactly to the plant list will not be accepted and shall be replaced at the landscape contractor's expense.
 - 10) All bids are to have unit prices listed. The Owner has the option to delete any portion of the contract prior to signing the contract or beginning work. This will be a unit price contract, quotes shall be valid for 12 months.
 - 11) Should auger equipment be utilized in excavating any plant pits, vertical sides of plant pits shall be thoroughly scarified to avoid creation of "poached side walls" prior to plant material installation.
 - 12) All excess topsoil, rocks, debris and/or tainted soils shall be removed by the general contractor prior to start project is turned over to the landscape contractor to commence landscape installation.
 - 13) Keep all plant material (except turf) a minimum of 36" clear of fire hydrants.
 - 14) Landscape contractor shall kill & remove all existing weeds within the project site.
 - 15) All tags, nursery stakes, labels, etc. shall be removed by the landscape contractor at completion of all landscape installation.
 - 16) Landscape contractor shall be in compliance with all federal, state and local laws / regulations relating to insect infestation and/or plant diseases.
 - 17) All substitutions of plant material shall be submitted to landscape architect for approval.
- PRUNING:**
- 1) Lightly prune trees at time of planting. Prune only the crossover limbs, intermingled leaders and/or any broken branches. Some interior twigs and lateral branches may be pruned. However, do not remove the terminal buds of branches that extend to the edge of the crown.
 - 2) All pruning shall comply with ANSI A300 standards.
- INSURANCE:**
- 1) The landscape contractor shall submit certificates of insurance for workman's compensation and general liability.
- MULCH:**
- 1) All mulch to be shredded oak bark mulch at 3" depth (after compaction unless otherwise noted). Mulch shall be clean and free of all foreign materials, including weeds, mold, deleterious materials, etc.
 - 2) No plastic sheeting or filter fabric shall be placed beneath shredded bark mulch beds. Filter fabric shall be used beneath all gravel mulch beds. Lap fabric 6" over adjacent coverages.
 - 3) Edge all beds with spade-cut edge unless otherwise noted.
- MAINTENANCE:**
- 1) Landscape Contractor shall provide a separate proposal to maintain all plants, shrubs, groundcover, perennials and annuals for a period of 12 months after acceptance.
 - 2) Contractor shall ensure that only competent and trained personnel shall provide such services and that such services be provided in a timely manner.
 - 3) Watering of seeded or sodded lawns shall begin immediately and shall continue to be provided continuously for the following 72 hours. Regardless, the landscape contractor shall be responsible for all landscape maintenance until project turnover.
- SIGHT TRIANGLES:**
- 1) No landscape material or other obstructions shall be placed or be maintained within the sight triangle areas as not to impede the vision between a height of thirty inches (30") and ten feet (10') above the adjacent street or parking surfaces.
 - 2) Sight triangles at the intersection of a public street and a private access way (except for single family residences) shall also be formed by measuring from the point of intersection of the street frontage curbs and the entrance curb lines a distance of 35' and connecting the points so established to form the sight triangle area.
- TOPSOIL:**
- 1) Topsoil mix for all proposed landscape plantings shall be five (5) parts well-drained screened organic topsoil to one (1) part Canadian sphagnum peat moss as per planting details. Ratio=1/5 topsoil mix to a depth of 6" minimum and grade smooth.
 - 2) Provide a soil analysis, as requested, made by an independent soil-testing agency outlining the % of organic matter, inorganic matter, deleterious material, pH and mineral content.
 - 3) Any foreign topsoil used shall be free of roots, stumps, weeds, brush, stones (larger than 1" liter or any other extraneous or toxic material). Landscape contractor shall be fully responsible for correcting all negative soil issues prior to plant installation. Killing and removal of all weeds shall be the responsibility of the landscape contractor as part of this task.
 - 4) Landscape contractor to apply pre-emergent herbicide to all planting beds upon completion of planting operations and before application of shredded bark mulch.
 - 5) Install siltation controls prior to commencement of any grading operations. Inspect and maintain all siltation fences on a weekly basis until vegetation is established.
- MISC. MATERIAL:**
- 1) Provide stakes and deadmen of sound, new hardwood, free of knots and defects.
 - 2) Tree wrap tape shall be 4" minimum, designed to prevent borer damage and winter freezing. Additionally, only 3-ply tying material shall be used.
- TURF:**
- 1) All disturbed lawn areas to be seeded with a mixture of Turf-Type Fescue (500# per acre) and bluegrass (10# per acre). Lawn areas shall be mechanically maintained for a period of 40 days from date of final acceptance. Bare areas more than one square foot per any 50 square feet shall be replaced.
 - 2) Seed and fertilization operations shall occur between May 1 and June 15th or between September 1 and October 15th unless directed by others in writing AND irrigation system is operating.
 - 3) Granular or pelletized fertilizer consisting of 50% water-soluble slow release nitrogen, phosphorus and potassium in a 12-12-12 composition.
 - 4) The turf contractor shall be responsible for protection of finished grade, restore and repair any erosion or water damage and obtain owners' approval prior to seeding or sod installation.
 - 5) Landscape contractor shall offer an alternate price for sod in lieu of seed. Sod shall be cut at a uniform thickness of 3/4". No broken pieces, irregular pieces or torn pieces will be accepted. Any points carrying concentrated water loads and all slopes of 15% or greater shall be sodded.
 - 6) All sod shall be placed a maximum of 24 hours after harvesting.
 - 7) Reconstruct existing lawn areas damaged by Contractor's operations including equipment/material storage and movement of vehicles. Sod contractor to ensure sod is placed below sidewalk and all paved area elevations to allow for proper drainage.
- EROSION CONTROL BLANKET (Where applicable):**
- 1) All seeded areas on slopes greater than 4:1 shall receive an erosion control blanket which shall consist of loose straw mat and anchor pins as manufactured by Northern American Green, 25 TB or approved equal. Install per manufacturer's recommendations.
- PLUG PLANTING NOTES:**
- 1) All plugs to be 4"-12" deep X 2" diameter minimum.
 - 2) Plugs are to be planted in a hole dug with a trowel, spade or planting bar such that the hole is of a minimum diameter and depth to accommodate the plug and its roots, without damage.
 - 3) Plugs shall be spaced in a triangulated layout approximately 24" on center.
 - 4) Plugs shall be planted through erosion control blanket where appropriate.
 - 5) Obtain plugs from a reputable nursery.
 - 6) Water plugs upon completion of planting so that soil is moist but not saturated.
 - 7) If planting is delayed more than six hours after delivery, store plugs in the shade, protect from weather and mechanical damage and keep them moist and cool. All plugs shall be planted within 24 hours after delivery.
- WARRANTY:**
- 1) All plant material (excluding ground cover, perennials and annuals) are to be warranted for a period of 12 months after complete installation of all landscape material at 100% of the installed price.
 - 2) Any plant material found to be defective shall be removed and replaced within 30 days of notification or in growth season determined to be best for that plant.
 - 3) Only one replacement per tree or shrub shall be required at the end of the warranty period, unless loss is due to failure to comply with the warranty.
 - 4) Lawn establishment period will be in effect once the lawn has been mowed three times. Plant establishment period shall commence on the date of acceptance and 100% completion.
 - 5) A written guarantee shall be provided to the owner per conditions outlined in #1 above.



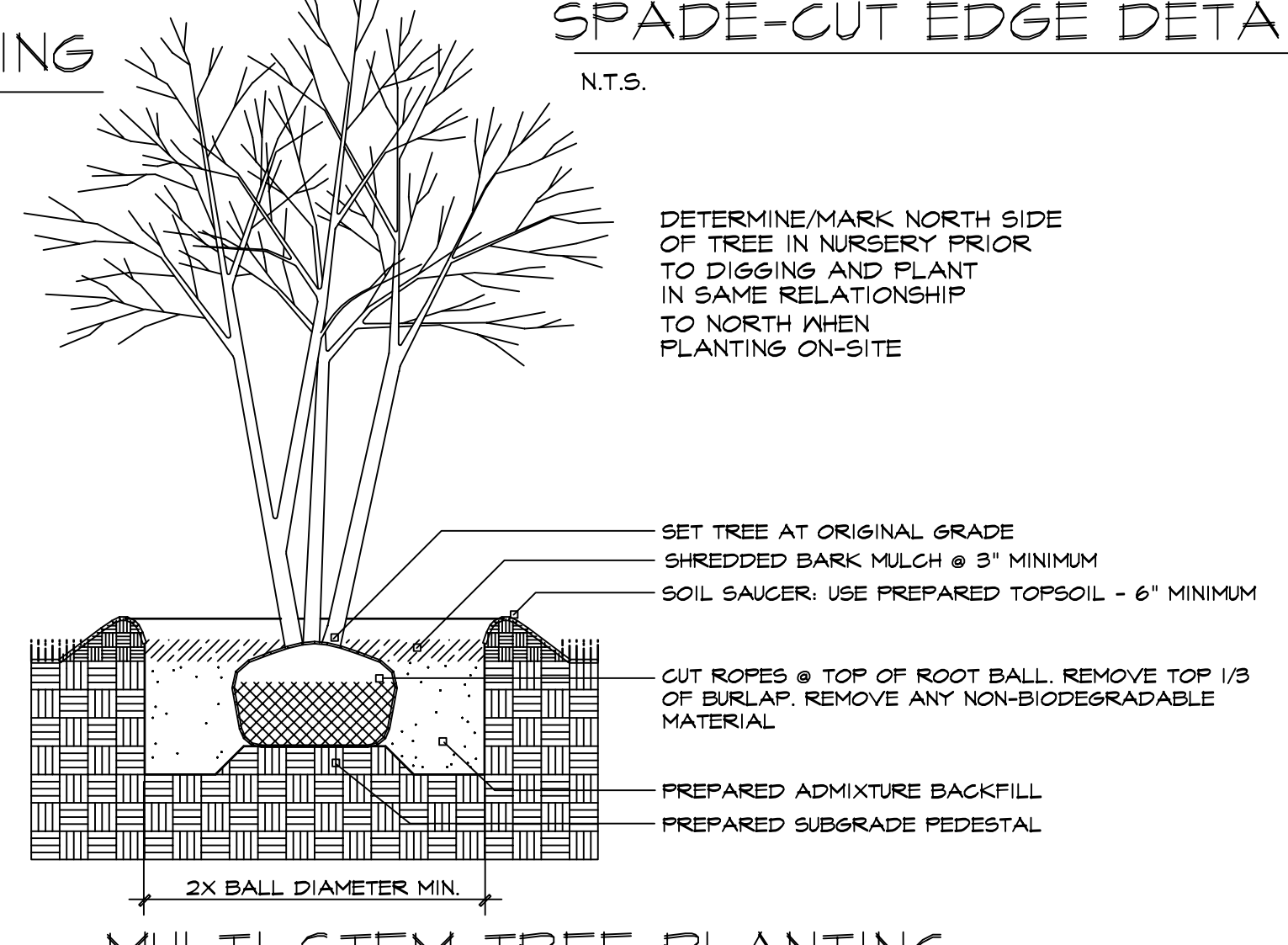
DECIDUOUS TREE PLANTING



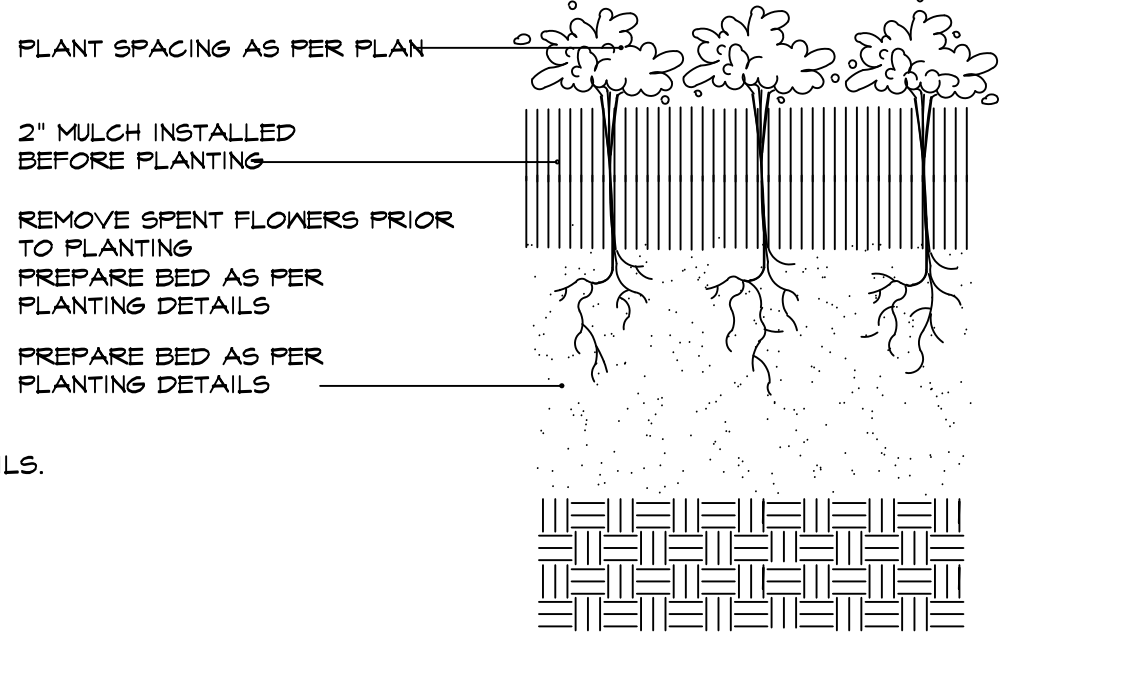
EVERGREEN TREE PLANTING



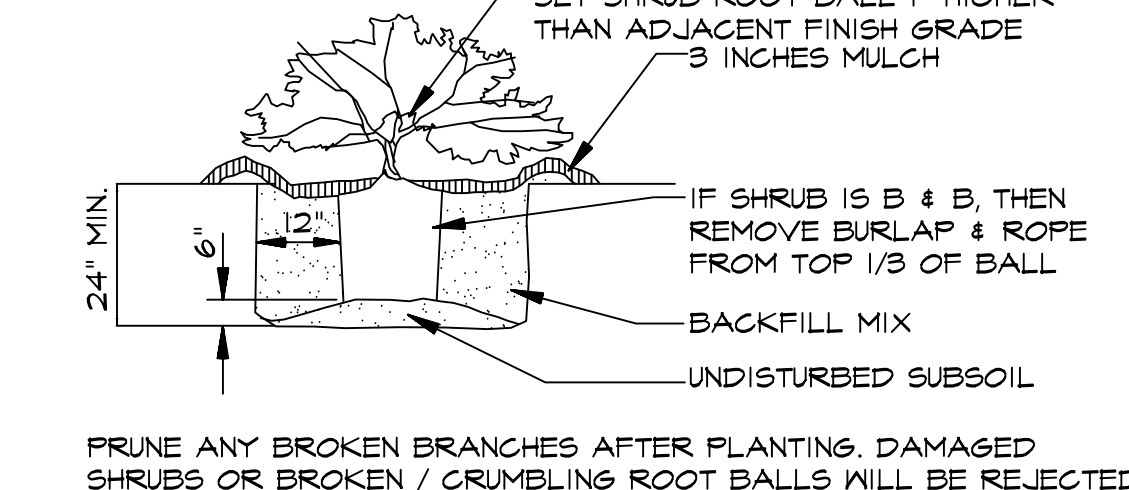
SPADE-CUT EDGE DETAIL



MULTI-STEM TREE PLANTING



PERENNIAL / ANNUAL PLANTING



SHRUB PLANTING

PLANT SCHEDULE

TREES	QTY	COMMON NAME / BOTANICAL NAME	SIZE	Slow	Moderate	Fast	< 6"	6 - 18"	18 - 36"	> 3'	< 18"	3 - 6'	6 - 10'	10 - 15'	> 15'	< 15'	15 - 25'	25 - 40'	40 - 65'	> 65'	
BC	4	Bald Cypress / Taxodium distichum	2.5' Cal		X															X	
HACK	4	Common Hackberry / Celtis occidentalis	2.5' Cal.	X																	X
GSM	6	Green Mountain Sugar Maple / Acer saccharum 'Green Mountain'	2.5' Cal.	X																	X
GL	1	Greenspire Littleleaf Linden / Tilia cordata 'Greenspire'	2.5' Cal.		X																X
BLPT	2	London Plane Tree / Platanus x acerifolia 'Bloodgood'	2.5' Cal.		X																X
RO	7	Red Oak / Quercus rubra	2.5' Cal			X															X
SVRM	3	Sun Valley Red Maple / Acer rubrum 'Sun Valley'	2.5' Cal.			X															X
AM	8	'Flame' Amur Maple / Acer ginnala 'Flame'	2.5' Cal.		X												X				
OGRM	6	'October Glory' Maple / Acer rubrum 'October Glory'	2.5' Cal.			X															X
SHL	1	'Skyline' Locust / Gleditsia triacanthos 'Skyline'	2.5' Cal.			X															X
EVERGREEN TREES	QTY	COMMON NAME / BOTANICAL NAME	SIZE	Slow	Moderate	Fast	< 6"	6 - 18"	18 - 36"	> 3'	< 18"	3 - 6'	6 - 10'	10 - 15'	> 15'	< 15'	15 - 25'	25 - 40'	40 - 65'	> 65'	
CB5	10	Colorado Blue Spruce / Picea pungens 'Glauca'	6'-7'		X																X
GGA	10	Green Giant Arborvitae / Thuja plicata 'Green Giant'	6'-7'	X																	X
NS	6	Norway Spruce / Picea abies	6'-7'		X																X
FLOWERING TREES	QTY	COMMON NAME / BOTANICAL NAME	SIZE	Slow	Moderate	Fast	< 6"	6 - 18"	18 - 36"	> 3'	< 18"	3 - 6'	6 - 10'	10 - 15'	> 15'	< 15'	15 - 25'	25 - 40'	40 - 65'	> 65'	
JTL	17	Ivory Silk Japanese Tree Lilac / Syringa reticulata 'Ivory Silk'	2.5' Cal.		X																X
MRB	4	Merlot Redbud / Cercis x 'Merlot'	2.5' Cal.		X																X
PFPD	6	Prairie Pink Flowering Dogwood / Cornus florida 'Prairie Pink'	2.5' Cal.		X																X
PRFC	5	Prairie Rose Crabapple / Malus 'Prairie Rose'	2.5' Cal.		X																X
RHS	8	Robin Hill Serviceberry / Amelanchier X grandiflora 'Robin Hill'	2.5' Cal.	X																	X
SHRUBS	QTY	COMMON NAME / BOTANICAL NAME	SIZE	Slow	Moderate	Fast	< 6"	6 - 18"	18 - 36"	> 3'	< 18"	3 - 6'	6 - 10'	10 - 15'	> 15'	< 15'	15 - 25'	25 - 40'	40 - 65'	> 65'	
DKL	6	Dwarf Korean Lilac / Syringa meyeri 'Falbin'	5 gal		X																X
GVB	30	Green Velvet Boxwood / Buxus 'Green Velvet'	5 gal																		X
LLHYD	16	Little Lime Hydrangea / Hydrangea paniculata 'Little Lime'	5 gal			X								X		X					
DVIB	30	Mariesli Double File Viburnum / Viburnum plicatum tomentosum 'Mariesli'	24"-30"		X									X	X						
FJ	10	Procumbens Juniper / Juniperus procumbens 'Nana'	5 gal		X			X													
CLE	12	'Hummingbird' Summersweet / Clethra alnifolia 'Hummingbird'	5 gal	X					X												
ANNUALS/PERENNIALS	QTY	COMMON NAME / BOTANICAL NAME	SIZE	Slow	Moderate	Fast	< 6"	6 - 18"	18 - 36"	> 3'	< 18"	3 - 6'	6 - 10'	10 - 15'	> 15'	< 15'	15 - 25'	25 - 40'	40 - 65'	> 65'	
BBL	17	Big Blue Liriope / Liriope muscari 'Big Blue'	1 gal			X		X													
FORBS	QTY	COMMON NAME / BOTANICAL NAME	SIZE	Slow	Moderate	Fast	< 6"	6 - 18"	18 - 36"	> 3'	< 18"	3 - 6'	6 - 10'	10 - 15'	> 15'	< 15'	15 - 25'	25 - 40'	40 - 65'	> 65'	
CI	741	Copper Iris / Iris fulva 'Louisiana'	2 Qt. @ 18" OC		X				X				X								
ROSEM	407	Rose Mallow / Hibiscus laevis	1 Gal @ 30" OC			X				X											
SMN	530	Swamp Milkweed / Asclepias incarnata	2 Qt. @ 24" OC			X				X											
NATIVE GRASSES	QTY	COMMON NAME / BOTANICAL NAME	SIZE	Slow	Moderate	Fast	< 6"	6 - 18"	18 - 36"	> 3'	< 18"	3 - 6'	6 - 10'	10 - 15'	> 15'	< 15'	15 - 25'	25 - 40'	40 - 65'	> 65'	
	1,43	Brown Fox Sedge / Carex vulpinoidea	Plug at 18" OC		X			X													
	1,810	Great Green Bulrush / Scirpus atrovirens	Plug at 18" OC		X				X												
	1,522	Morning Star Sedge / Carex grayi	Plug at 18" OC		X				X												
	1,296	Palm Sedge / Carex muskingumensis	Plug at 18" OC		X				X												

REVISIONS	BY
5/24/19	RAM

Landscaping TECHNOLOGIES
 67 Jacobs Center Drive
 St. Charles, Missouri 63304
 Tel: (636) 423-4593
 Fax: (636) 423-4593
 Missouri Architectural Corporation #2006000182
 PLS. SEE PLAN FOR SCHEDULE OF MATERIALS
 REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT
 RANDALL A. MARDIS
 MISSOURI LANDSCAPE ARCHITECT #000014
 DATE: 5/21/19

**PLANTING PLAN FOR THE PROPOSED
 64 Corporate Center
 CHESTERFIELD, MISSOURI**

DRAWN R. MARDIS
CHECKED RMW/EL
DATE 5/19/19
SCALE N.A.
JOB NO. 2019-197
SHEET L-2
OF THREE SHEETS

REVISIONS	BY
5/24/19	RAM

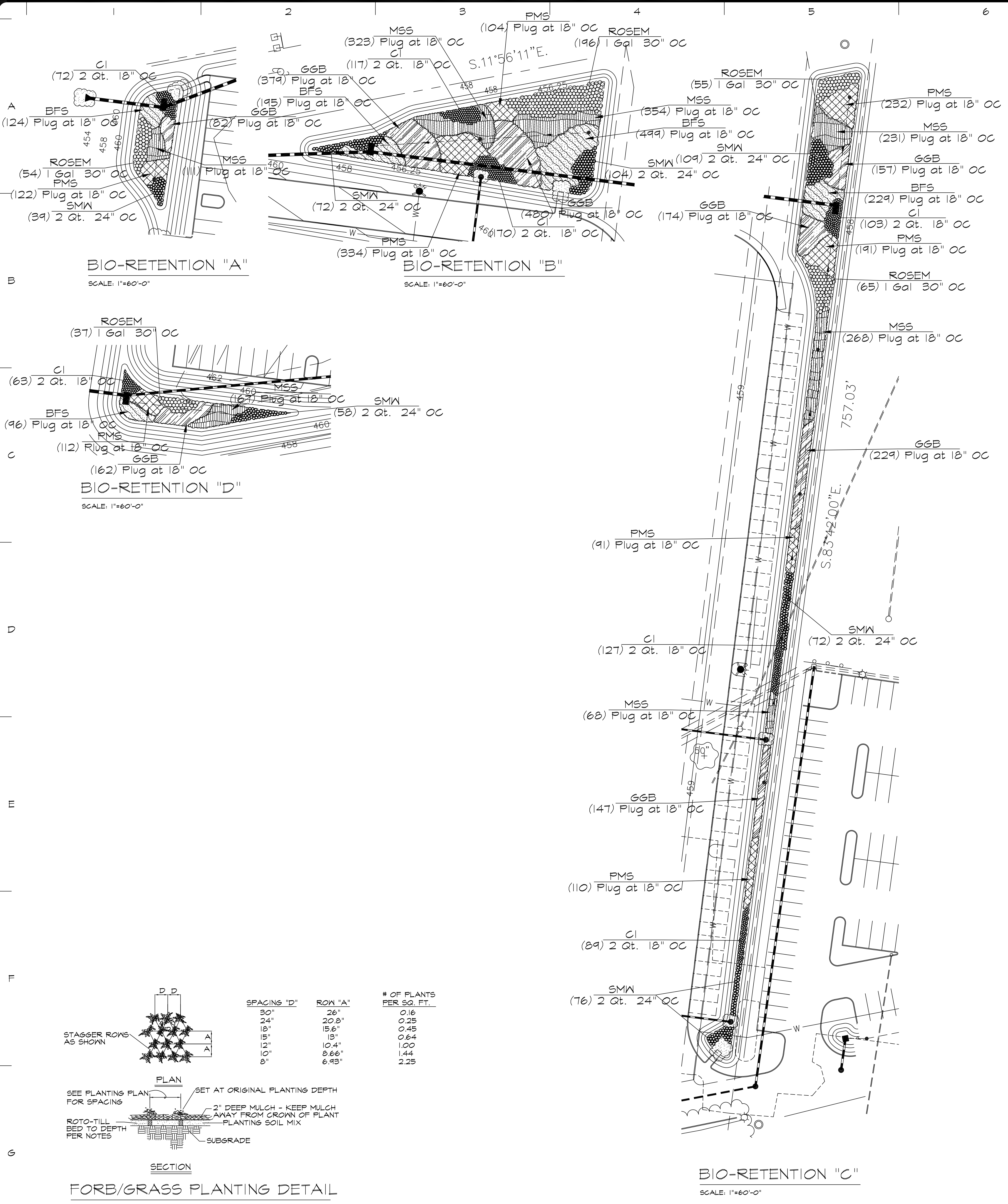
Landscare TECHNOLOGIES
 67 Jackson Creek Drive
 St. Charles, Missouri 63304
 Phone: (636) 933-4593
 Fax: (636) 933-4593
 MO Landscape Architectural Corporation #2000000182

RANDALL A. MARDIS
 MISSOURI LANDSCAPE ARCHITECT #000019
 DATE: 5/22/19

**PLANTING PLAN FOR THE PROPOSED
 64 Corporate Center
 CHESTERFIELD, MISSOURI**

DRAWN
 R. MARDIS
 CHECKED
 RAM/ML
 DATE
 5/8/19
 SCALE
 1"=30'-0"
 JOB No.
 2019-18T
 SHEET

L-3
 OF THREE SHEETS



- BIO-RETENTION MAINTENANCE PROCEDURES:**
- ADD 2-4 INCHES OF MULCH (SEE CIVIL DWGS. FOR TYPE) TO THE ENTIRE NEWLY PLANTED RAIN GARDEN/BIO-RETENTION AREA. DO NOT COVER THE CROWNS OF THE PERENNIALS. REPLENISH THE MULCH AS NEEDED.
 - AVOID FINE CUT OR LIGHTER WEIGHT MULCHES AS THEY FLOAT IN WET CONDITIONS.
 - PRUNE ANY DEAD, DISEASED OR DAMAGED PLANTS AS SOON AS THE PROBLEM IS NOTICED. DEADHEAD PLANTS AS NEEDED AND DIVIDE PERENNIALS EVERY 3-4 YEARS AS NEEDED. LEAVE STEMS AND SEED HEADS STANDING IN FALL/WINTER TO ADD VISUAL INTEREST AND TO PROVIDE FOOD AND COVER FOR BIRDS.
 - PRUNE THE FOLIAGE OF PERENNIALS WHEN THEY DIE BACK FOR THE WINTER AND ORNAMENTAL GRASSES BEFORE NEW GROWTH BEGINS IN THE SPRING.
 - HAND WEED BIWEEKLY UNTIL PLANTS ARE ESTABLISHED. THEREAFTER, REMOVE OR SPOT WEEDS AS NECESSARY.
 - WATER THE GARDEN DURING ITS ESTABLISHMENT AND EXTENDED DRY PERIODS. ONE INCH OF WATER PER WEEK IS RECOMMENDED.
 - DO NOT USE LAWN FERTILIZERS NEAR GARDEN AREA AS THIS WILL STIMULATE WEED GROWTH.
 - EACH SPRING, MOW AND REMOVE DEAD VEGETATION. USE BURNING ONLY UNDER SUPERVISION OF LOCAL FIRE DEPARTMENT (NATIVE PLANTS THRIVE UNDER FIRE MANAGEMENT).

- NOTE:**
- ALL NATIVE GRASS PLUGS ARE TO BE A MINIMUM 4.5" DEEP X 2" DIAMETER
 - CONTRACTOR TO PROVIDE SIGNED AND SEALED SHOP DRAWINGS TO BE APPROVED BY THE PROJECT ENGINEER AND MSD. CONTACT MSD AT 314/955-2012.
 - DURING CONSTRUCTION, THE BIO-RETENTION AREAS MAY TRAP SEDIMENT. FINAL CONSTRUCTION AND PLANTING OF THE BIO-RETENTION AREAS SHALL BE COMPLETED AFTER SILT AND DEBRIS IS REMOVED.
 - HEAVY EQUIPMENT SHALL BE KEPT OFF OF THE SOIL MIX DURING CONSTRUCTION OPERATIONS TO AVOID COMPACTING. FOOT TRAFFIC AND PRE-SOAKING TO AID NATURAL COMPACTION IS ALLOWABLE.
 - SOIL PH SHALL FALL IN THE RANGE OF 5.5 AND 7.
 - SEE CIVIL DRAWINGS FOR CROSS-SECTIONAL DETAILS OF MULCH AND SOIL MAKEUP.

PLANTING, WATER and MULCH REQUIREMENTS

WATER AVAILABILITY	REQUIRED PLANTING PERIOD	SIZE	WATER REQUIREMENT	MAXIMUM MULCH DEPTH
NO AVAILABILITY TO WATER AFTER	LATE FEB. - APRIL ONLY	2.25"x3.75" OR LARGER	WATER EACH PLUG IMMEDIATELY	1.5" FOR PLUGS
MANUAL WATERING WITH STANDARD SPRINKLER	LATE FEB. - EARLY JUNE or SEPT. - OCTOBER	4.5"x5" OR LARGER	1" (60 MIN.) EVERY 4 DAYS	1.5" FOR PLUGS 2.5" FOR QUARTS
AUTOMATIC IRRIGATION (WATER MORE FREQUENTLY THAN NORMAL DURING FIRST TWO MONTHS AFTER PLANTING)	LATE FEB. - EARLY OCTOBER	2.25"x3.75"	1" (60 MIN.) EVERY 4 DAYS	1.5" FOR PLUGS 2.5" FOR QUARTS

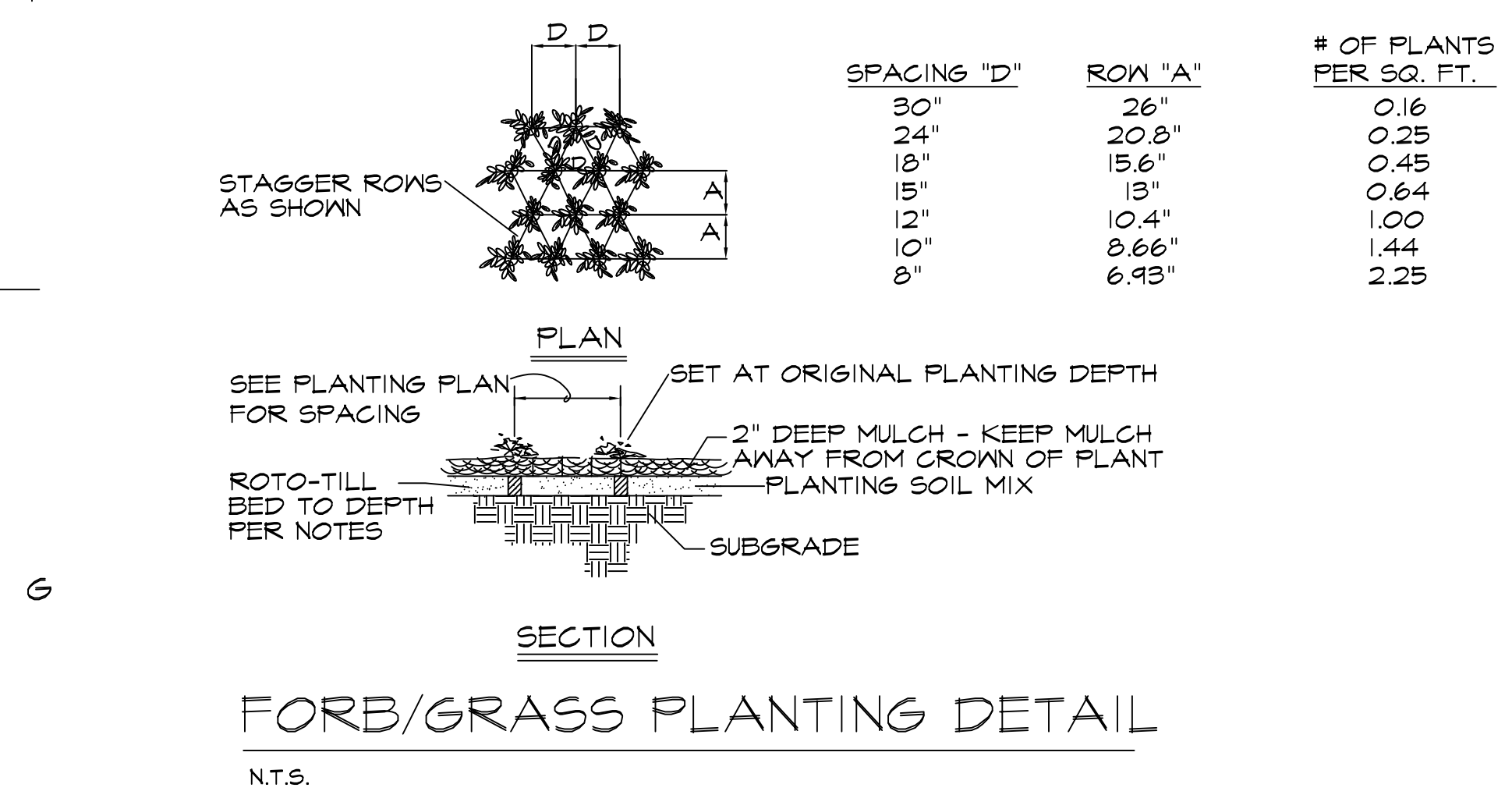
- PLUG PLANTING NOTES:**
- All plugs to be 4-1/2" deep x 2" diameter minimum.
 - Plugs are to be planted in a hole dug with a trowel, spade or planting bar such that the hole is of a minimum diameter and depth to accommodate the plug and its roots, without damage.
 - Plugs shall be spaced in a triangulated layout approximately 24" on center. Plugs shall be planted through erosion control blanket where appropriate.
 - Obtain plugs from a reputable nursery.
 - Water plugs upon completion of planting so that soil is moist but not saturated.
 - If planting is delayed more than six hours after delivery, store plugs in the shade, protect from weather and mechanical damage and keep them moist and cool. All plugs shall be planted within 24 hours after delivery.

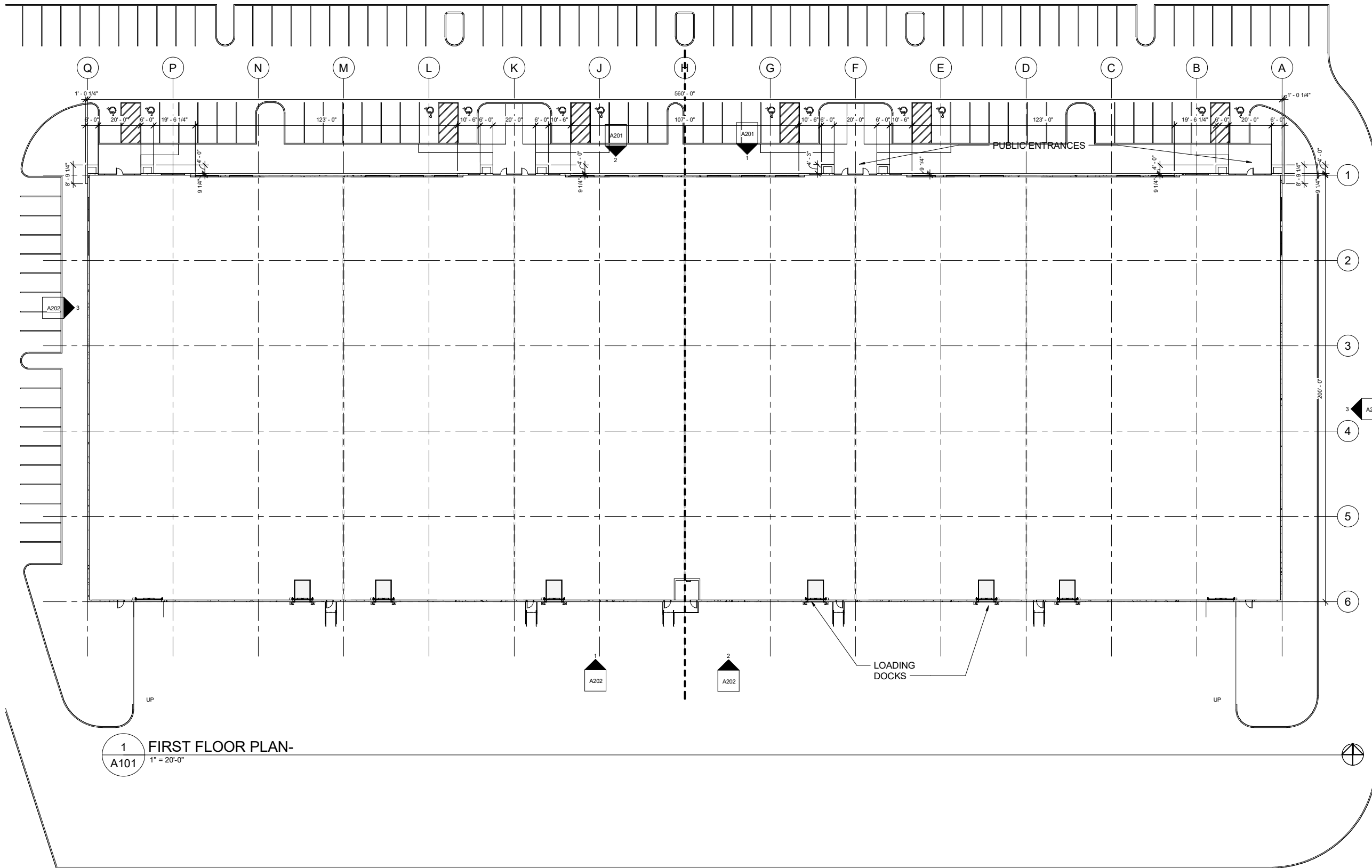
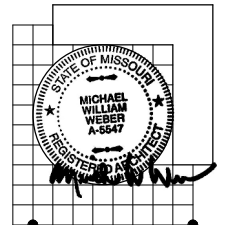
BIO-RETENTION "A"
 SCALE: 1"=60'-0"

BIO-RETENTION "B"
 SCALE: 1"=60'-0"

BIO-RETENTION "D"
 SCALE: 1"=60'-0"

BIO-RETENTION "C"
 SCALE: 1"=60'-0"





1 FIRST FLOOR PLAN-
A101 1" = 20'-0"

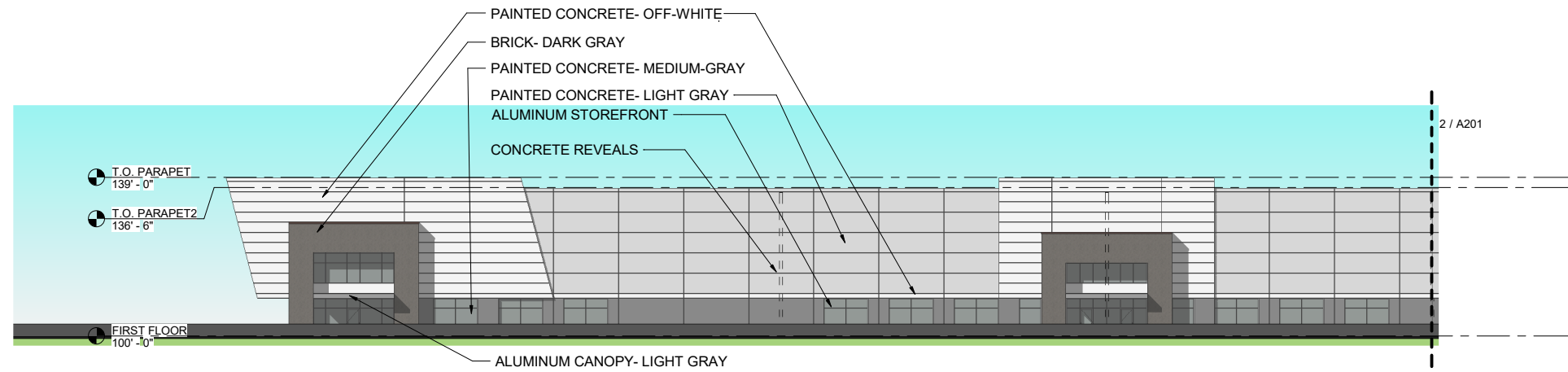
FLOOR PLAN

NOT FOR CONSTRUCTION
Project For
Mark Andy Industrial Park, Lot A
18091 CHESTERFIELD AIRPORT RD.
CHESTERFIELD, MO

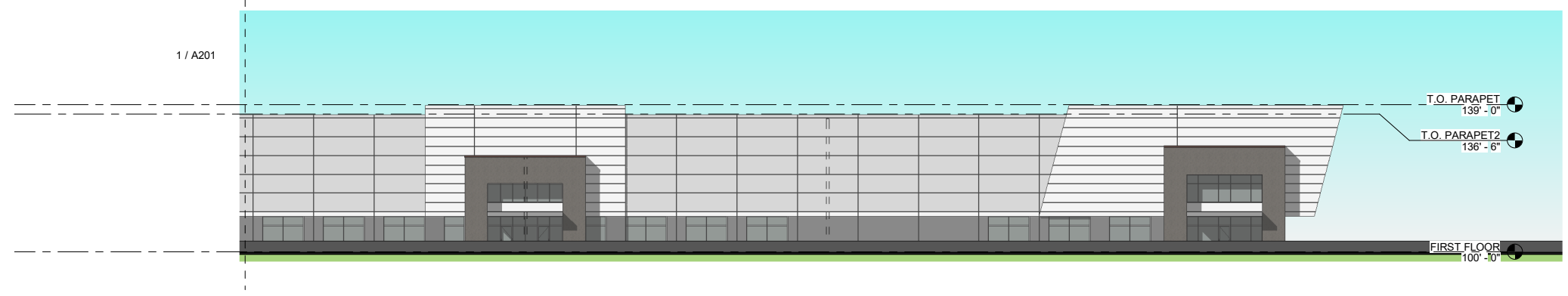
Rev. No.	Date	Desc.

A101

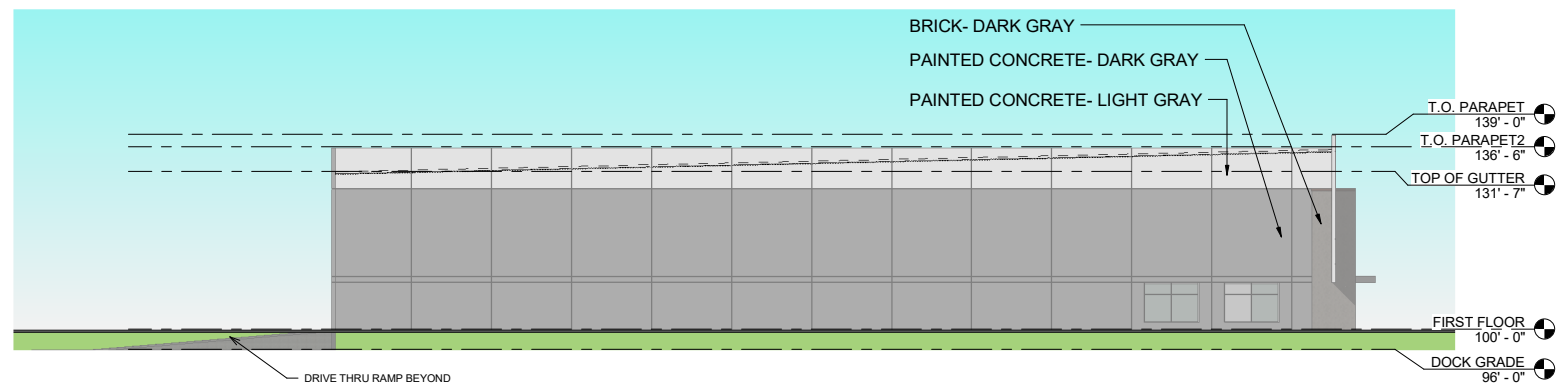
Date 05/30/19 19.022



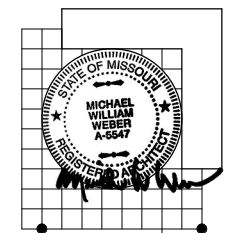
1 NORTH ELEVATION - WEST SIDE
A201 1/16" = 1'-0"



2 NORTH ELEVATION - EAST SIDE
A201 1/16" = 1'-0"

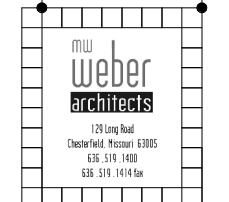


3 EAST ELEVATION
A201 1/16" = 1'-0"



EXTERIOR ELEVATIONS

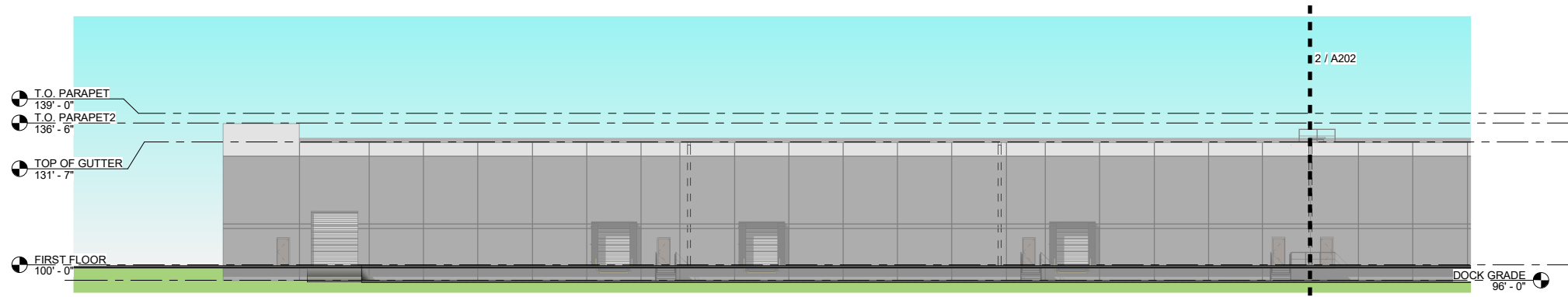
NOT FOR CONSTRUCTION
Project For
Mark Andy Industrial Park, Lot A
18091 CHESTERFIELD AIRPORT RD.
CHESTERFIELD, MO



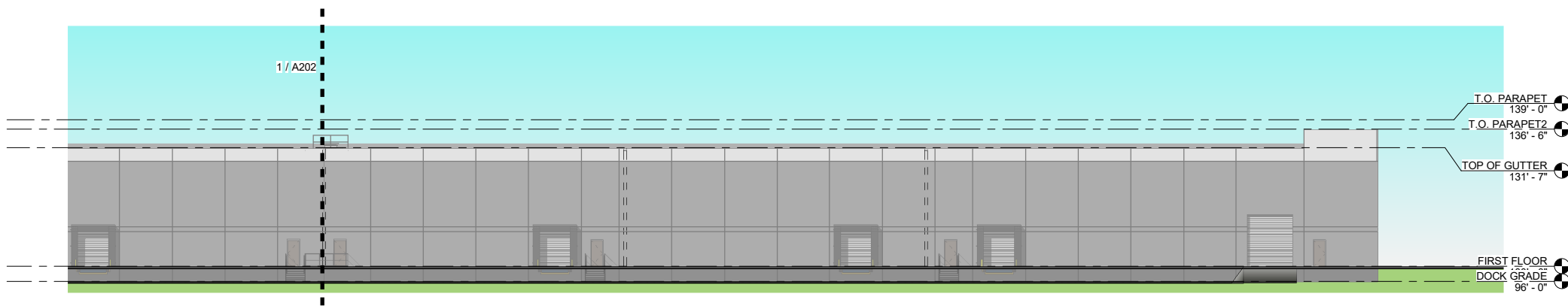
Revisions

Rev. No.	Date	Desc.

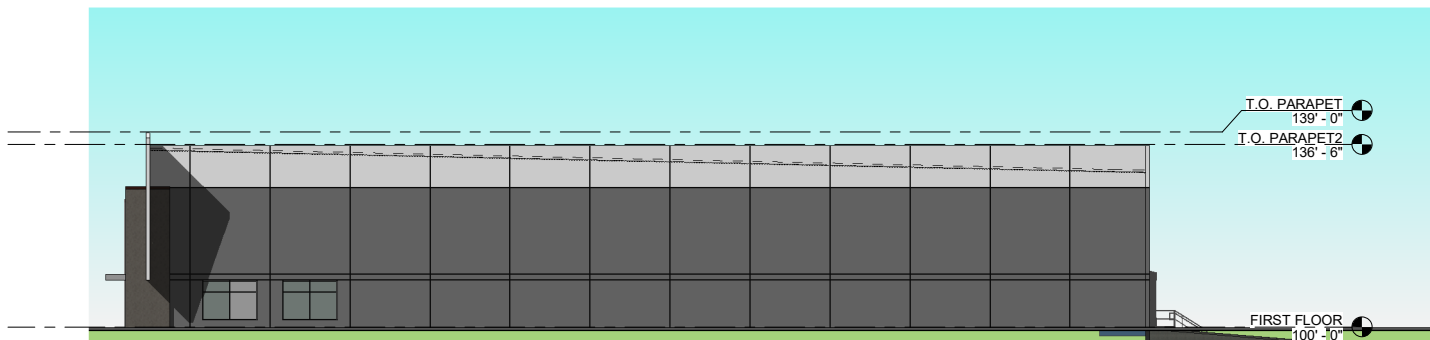
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Date 05/08/19 19.022



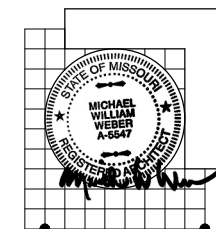
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A202 1/16" = 1'-0"



2 SOUTH ELEVATION - EAST SIDE
A202 1/16" = 1'-0"

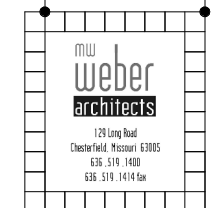


3 WEST ELEVATION
A202 1/16" = 1'-0"



EXTERIOR ELEVATIONS

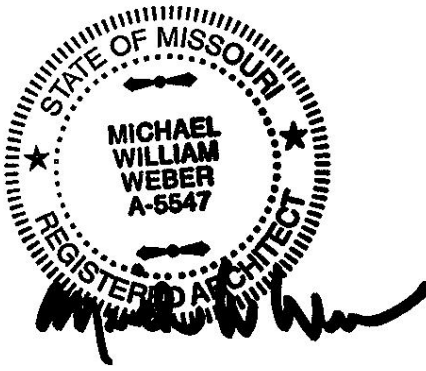
NOT FOR CONSTRUCTION
Project For
Mark Andy Industrial Park, Lot A
18091 CHESTERFIELD AIRPORT RD.
CHESTERFIELD, MO



Revisions		
Rev. No.	Date	Desc.

A202
Date 05/08/19
19.022

Mark Andy Industrial Park Lot A
18091 Chesterfield Airport Rd.
Chesterfield, Missouri



RENDERING FROM CHESTERFIELD AIRPORT ROAD
N.T.S.

30MAY2019
19.022

Mark Andy Industrial Park Lot A
18091 Chesterfield Airport Rd.
Chesterfield, Missouri



 **RENDERING FROM EAST BOUND HIGHWAY 40**
N.T.S.

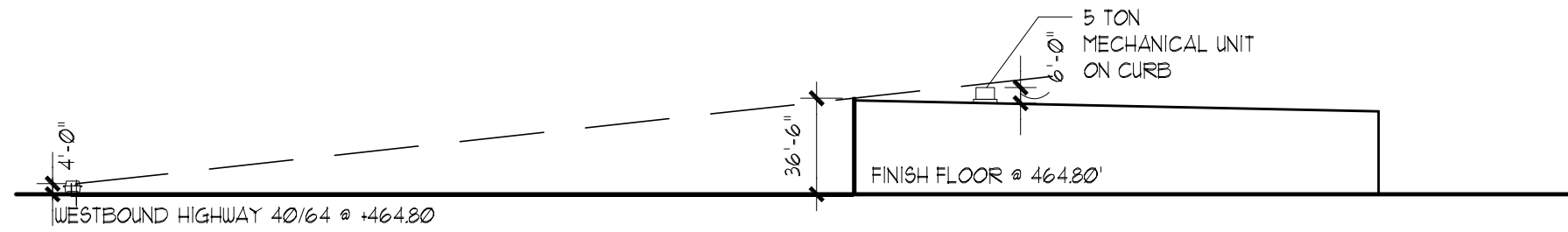
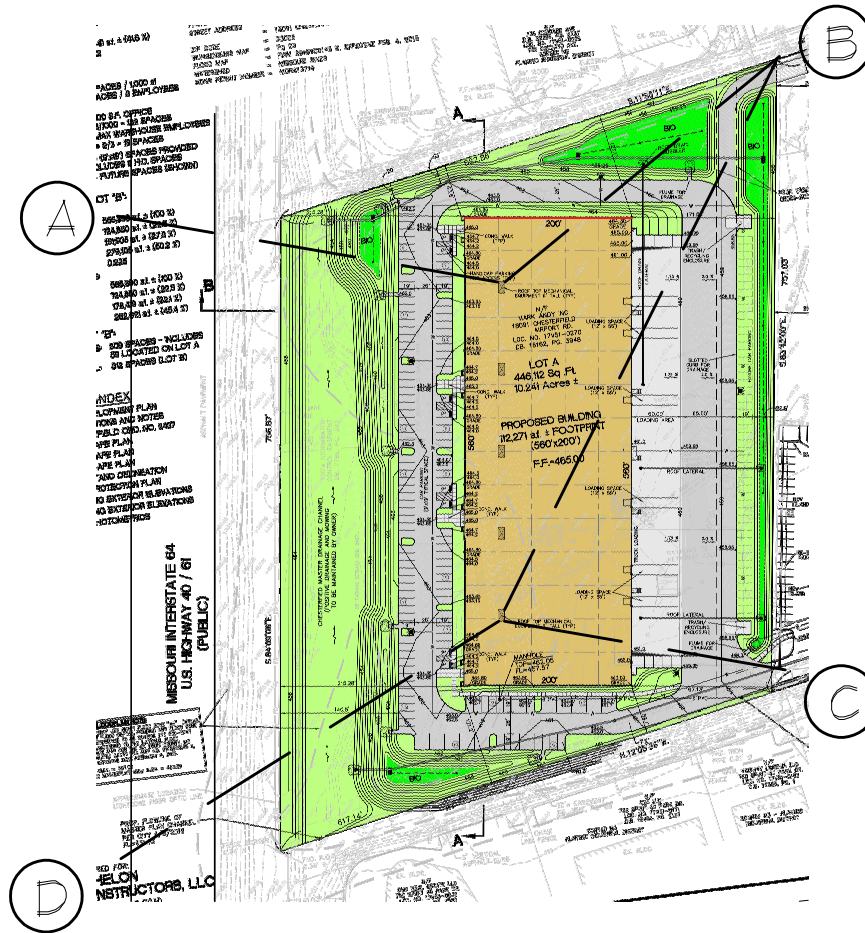
mw
weber
architects

636.519.1400

30MAY2019
19.022

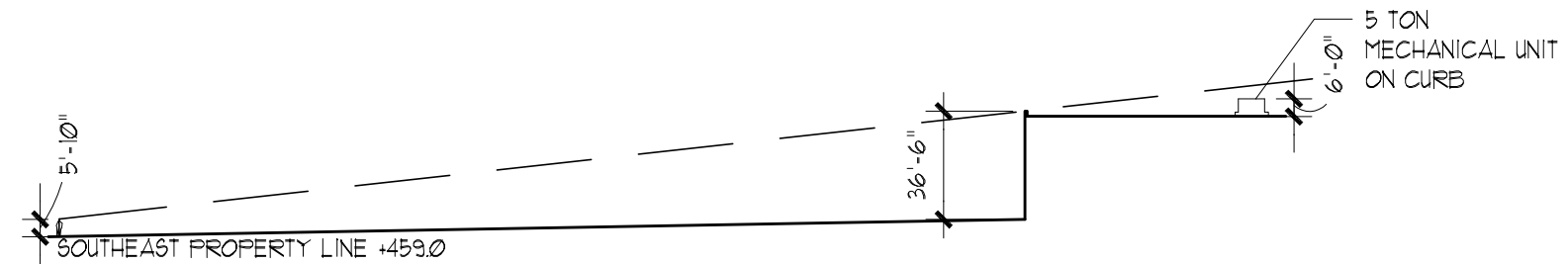
Mark Andy Industrial Park Lot A

18091 Chesterfield Airport Rd.
Chesterfield, Missouri



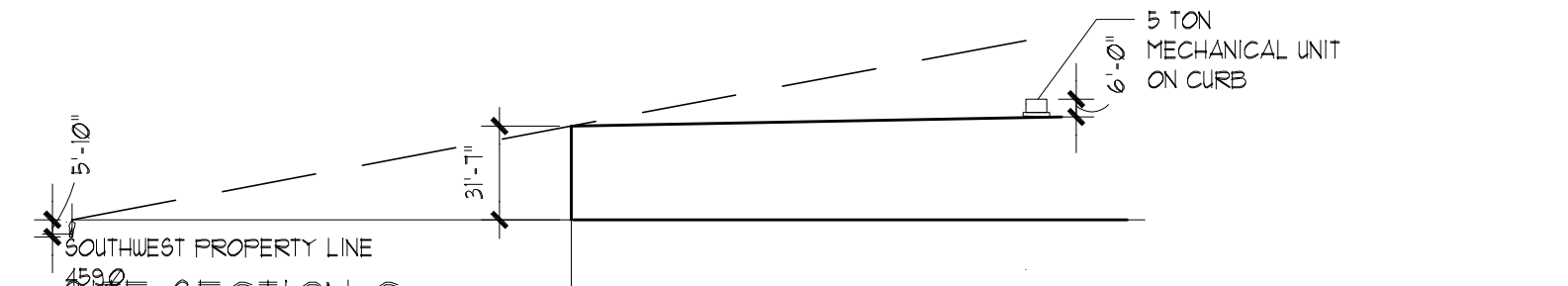
SITE SECTION A

SCALE: 1/64" = 1'-0"



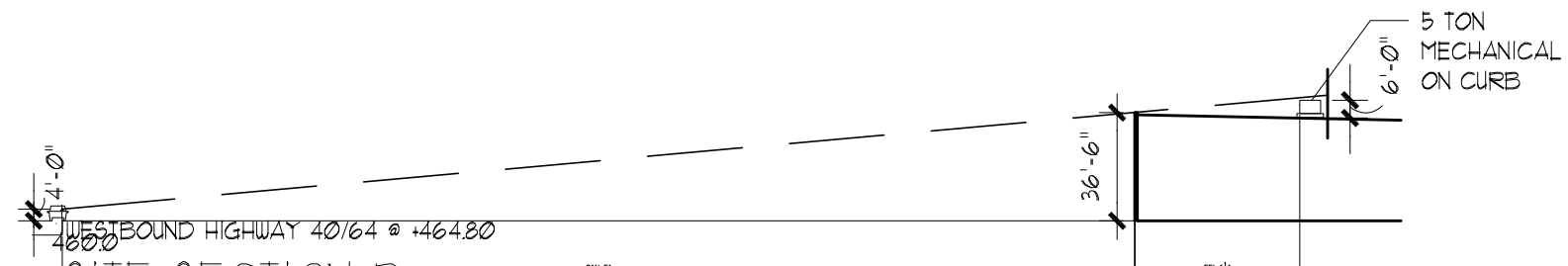
SITE SECTION B

SCALE: 1/64" = 1'-0"



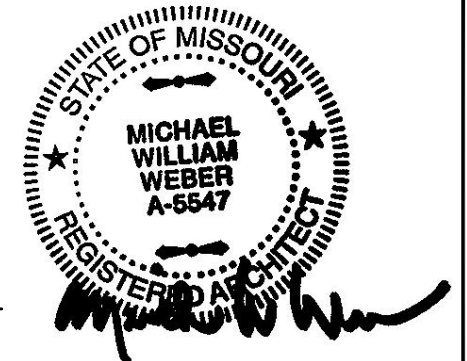
SITE SECTION C

SCALE: 1/64" = 1'-0"



SITE SECTION D

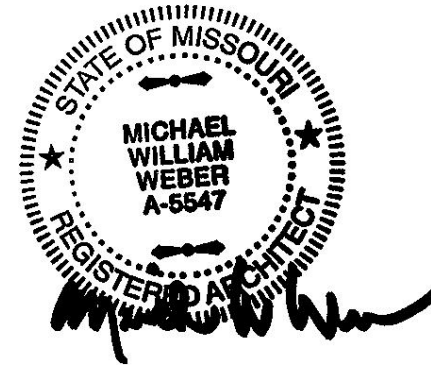
SCALE: 1/64" = 1'-0"



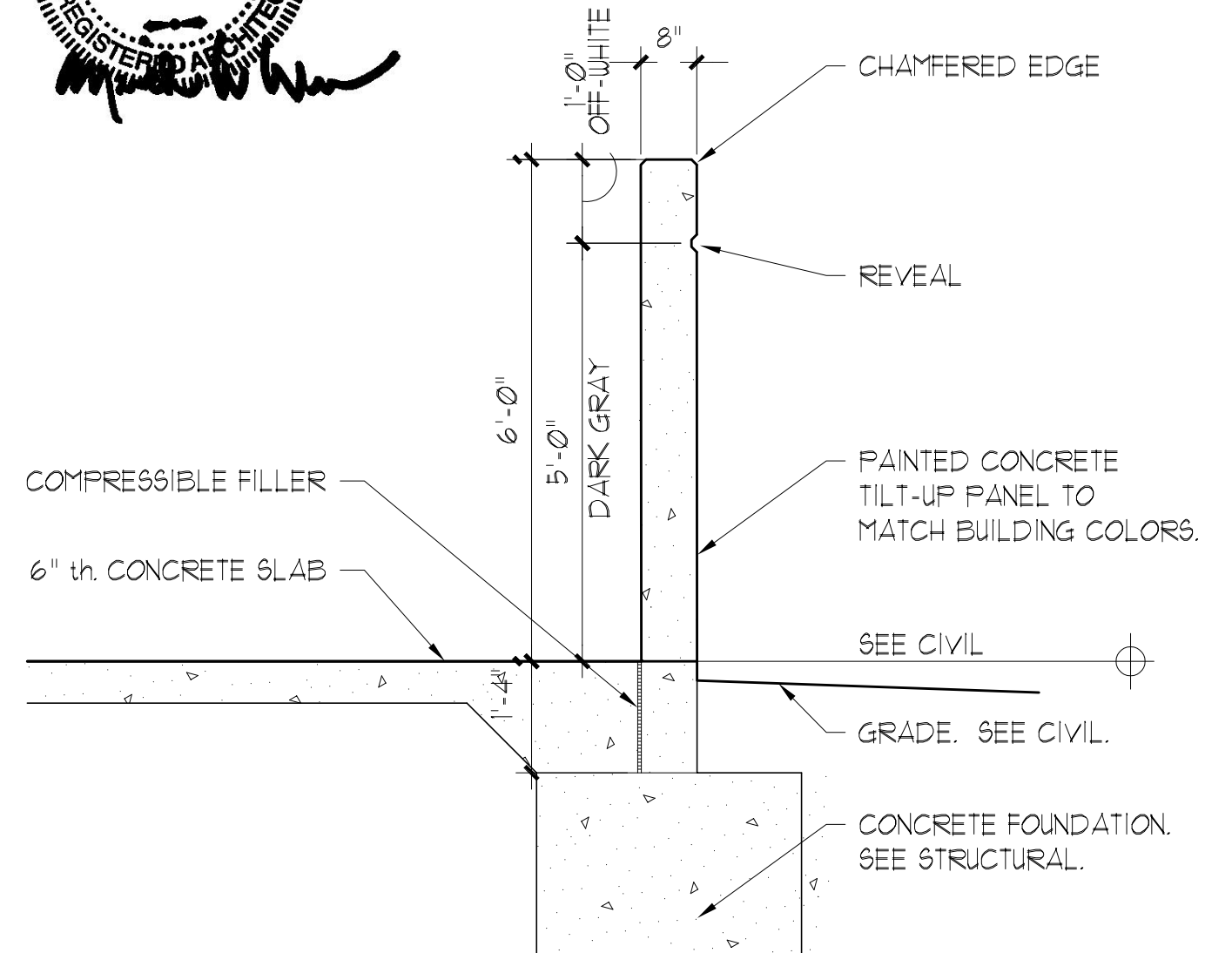
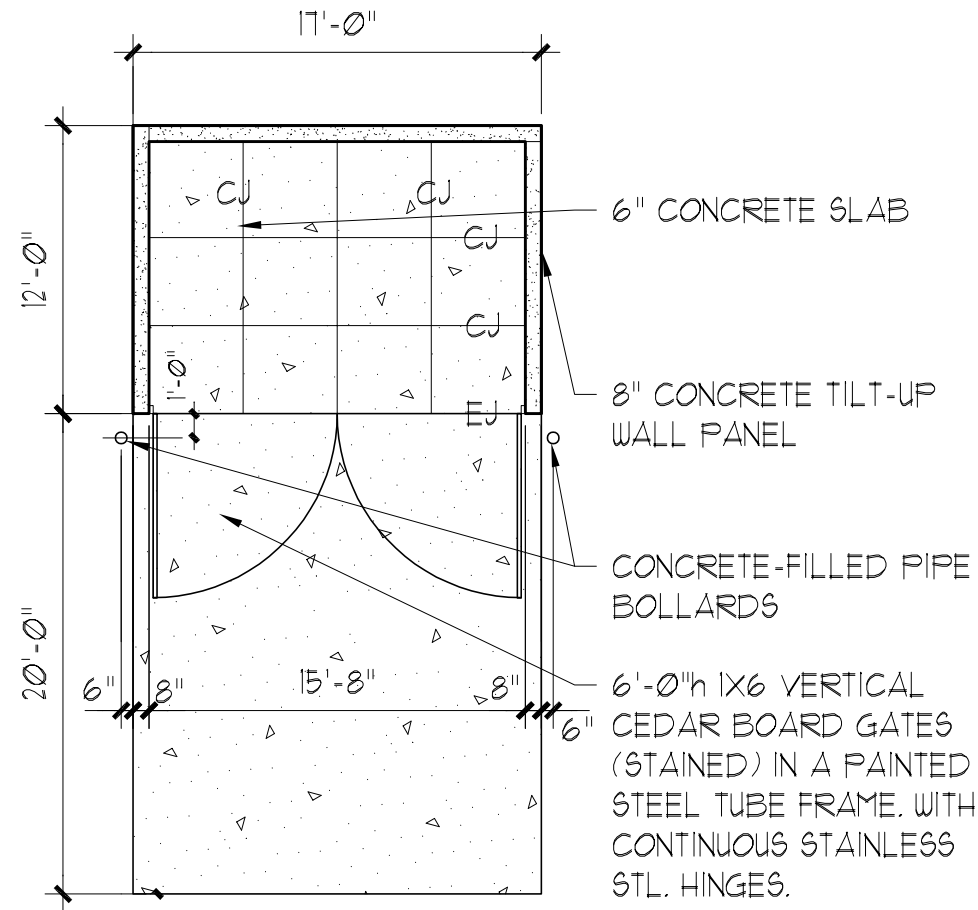
mw
weber
architects

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05 JUNE 2019
19.022



Mark Andy Industrial Park Lot A
 18091 Chesterfield Airport Road
 Chesterfield, Missouri



○ TRASH / RECYCLING ENCLOSURE PLAN
 SCALE: 1/8" = 1'-0"

○ SECTION @ TRASH / RECYCLING ENCLOSURE
 SCALE: 1/2" = 1'-0"

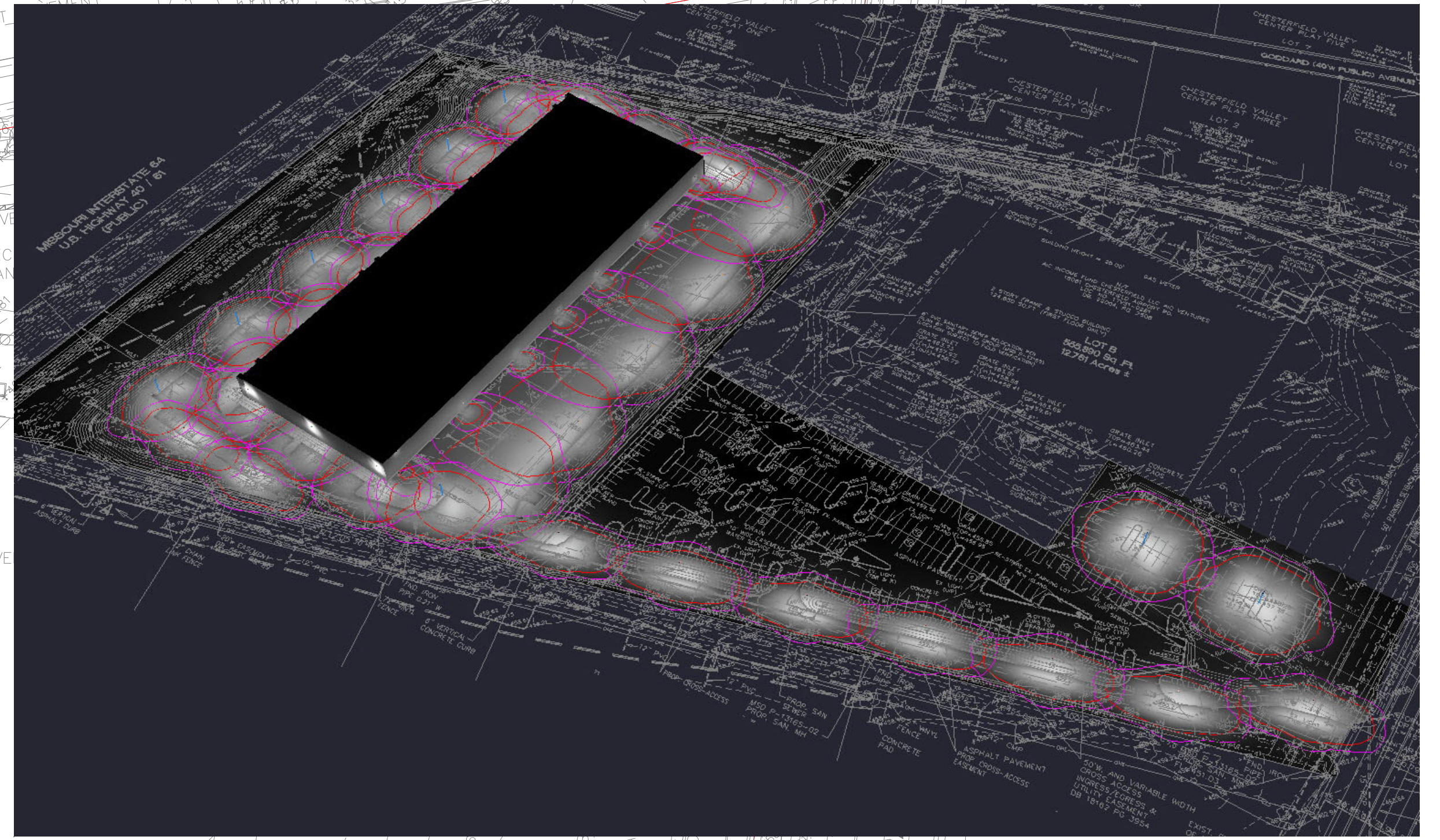
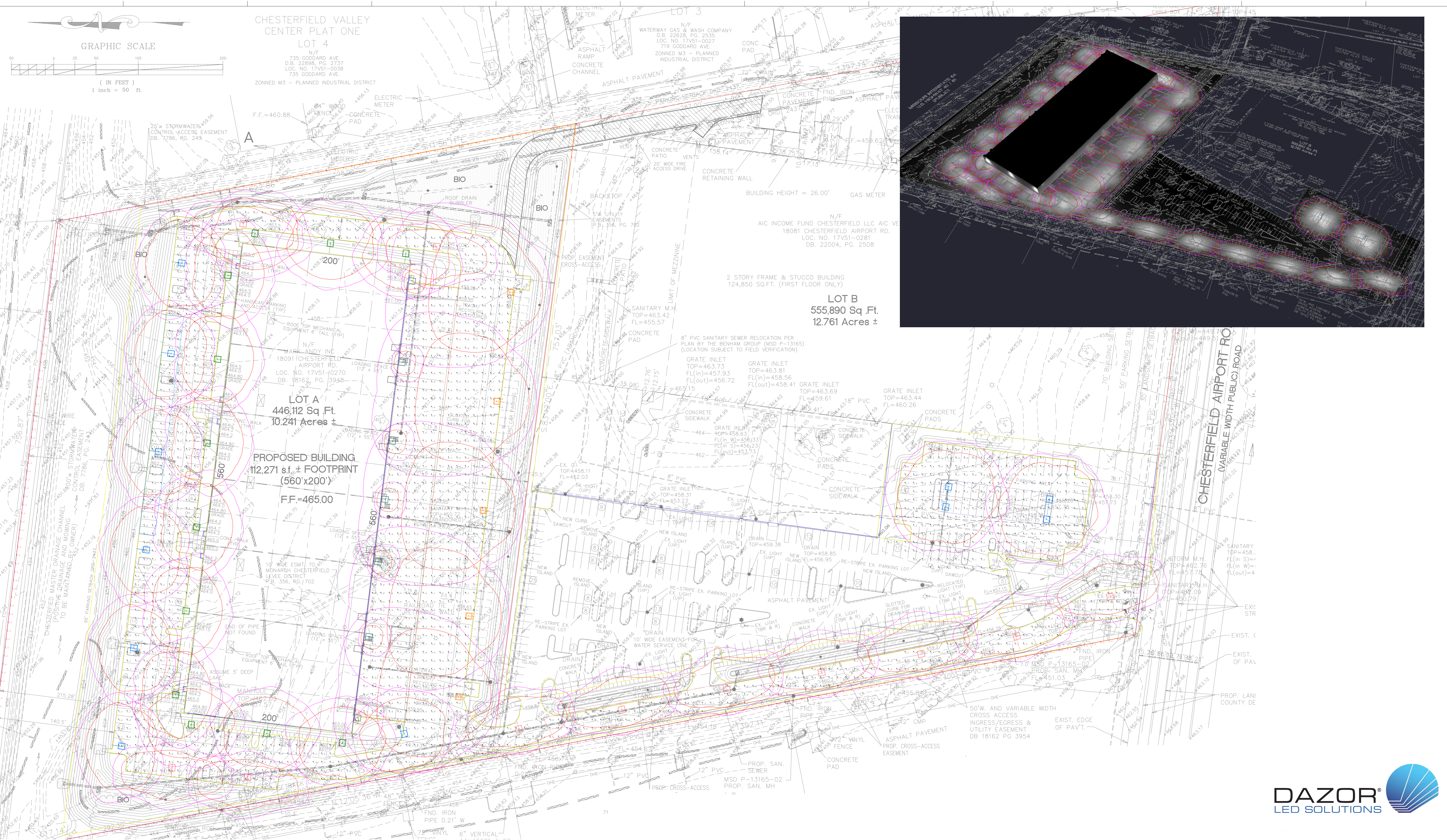
PLAN & WALL SECTION- TRASH / RECYCLING ENCLOSURE

Scale: see above



636.519.1400

30 MAY 2019
 19.022



LOT A
446,112 Sq. Ft.
10.241 Acres ±

PROPOSED BUILDING
112,271 sq. ft. ± FOOTPRINT
(560' x 200')
F.F.=465.00

LOT B
555,890 Sq. Ft.
12.761 Acres ±

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	Illuminance	Fc	2.66	14.5	0.0	N.A.	N.A.
PL	Illuminance	Fc	0.06	0.8	0.0	N.A.	N.A.
DOCK	Illuminance	Fc	1.16	5.0	0.6	1.93	8.33
NEW - PARKING	Illuminance	Fc	4.43	10.1	0.6	7.38	16.83
PERIMETER	Illuminance	Fc	3.02	6.9	0.5	6.04	13.80
ROAD	Illuminance	Fc	2.52	9.3	0.4	8.40	31.00

Luminaire Schedule

Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts	BUG Rating
11	11	1-T2	SINGLE	0.950	DAZOR AERO AEDZ-150-40-T2 SINGLE @ 20' MTG. HT.	150	N.A.
7	7	1-T4	SINGLE	0.950	DAZOR AERO AEDZ-150-40-T4 SINGLE @ 20' MTG. HT.	148.1	B3-U2-G3
2	2	2-T4	BACK-BACK	0.950	DAZOR AERO AEDZ-150-40-T4 TWIN @ 20' MTG. HT.	148.1	B3-U2-G3
7	7	WM12	SINGLE	0.950	DAZOR MWDZ-40K30W-SAFBR @ 12' MTG. HT.	12.9	B1-U3-G1
12	12	WM20-T4	SINGLE	0.950	DAZOR AERO AEDZ-150-40-T4 SINGLE @ 20' MTG. HT.	148.1	B3-U2-G3
5	5	WM30-T3	SINGLE	0.950	DAZOR ACCESS ASDZ-30-40-T3 SINGLE @ 30' MTG. HT.	313.1	B4-U3-G4

PROJECT NAME
042219SH-ECHELON-WAREHOUSE-05

EMAIL
shogrebe@dazor.com

DATE
04/16/19

REVISE DATE
06/04/19

FIRM NAME

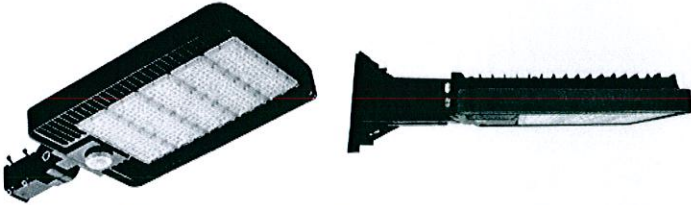
NOTES
CALCULATIONS AT GRADE UNLESS OTHERWISE SPECIFIED



AS Access Area Light

Outdoor

With high efficacy and precision-engineered polycarbonate lenses, the Access Area Light ensures the most energy saved and a wider smoother and more uniform light output. The lower glare of the Access will be sure to offer improved visual comfort in parking lots and university campuses.



Features

- IP65 rated and tested for use in wet locations
- Convenient modular design and knockout
- High-transmittance, prismatic acrylic lens



Order Format

Part Number: ASDZ-30-40-T3

Series	Wattage	CCT	Voltage	Dimming	Optic	Finish Color
ASDZ=Access Area Light	11=110W 15=150W 30=300W	40=4000K 50=5000K	Blank=100-277V -V=347-480V	Blank=1-10V Dimming ND=Non-Dimming	T3= Type III	Blank=Bronze

Application

Multiple brackets are available for customizable mounting improving installation time and reducing blind area of visual field. Slipfitter, arm mount, trunnion and yoke are available for the Access.



Construction

The Access Area Light is precision manufactured from Die-cast aluminum. The luminaire comes with a built-in occupancy sensor, following Title 24 standards.

Electrical

110W, 150W, and 320W models are available with custom orders up to 1500W upon request. System efficacy is rated up to 170 lm/W and lifespan at greater than 50,000 hours. The fixture has the standard input of 100-240/277VAC.

Optics

The Access is available in type III beam angles with type II and V available upon request. Color accuracy is rated at 70+ CRI, in a color temperature of 4000K and 5000K.

Certifications

- DLC Premium
- UL Listed
- CE
- RoHS
- Title 24
- IP65 rated

Input Voltage (VAC)	100-240/277
CRI	73+
CCT(K)	3,000 4,000 5,000 5,700
PF	.9
L70 (Hours)	50,000+
Color	Black
Housing	Die Cast Aluminum
Optic Types	T3=Type III T5=Type V
Temperature Range	-40°C to 50°C
Warranty	10 Years

Lumen Data					
Wattage (W)	System Wattage (W)	4K		5K	
		Efficacy (Lm/W)	T3 Lumens (Lm)	Efficacy (Lm/W)	T3 Lumens (Lm)
110W	114.5	132	15,181	135	15,412
150W	149.5	132	19,761	134	20,058
300W	313.5	130	41,007	132	41,474

Dimensions

Slipfitter 110W
150W

Part No.	Length (L)	Width (W)	Height (H)
AS11	20.9	11.8	3
AS15	20.9	11.8	3

Recorded in inches

Slipfitter 300W

Part No.	Length (L)	Width (W)	Height (H)
AS30	27.2	14.2	3.1

Recorded in inches

Squaremount 110W
150W

Part No.	Length (L)	Width (W)	Height (H)
AS11	20.5	11.8	5.8
AS15	20.5	11.8	5.8

Recorded in inches

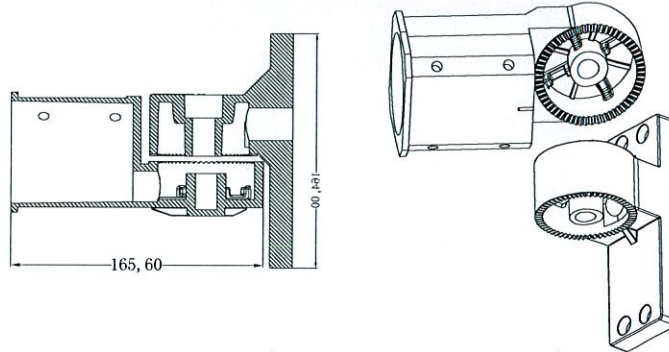
Squaremount 300W

Part No.	Length (L)	Width (W)	Height (H)
AS11	26.7	14.2	5.8

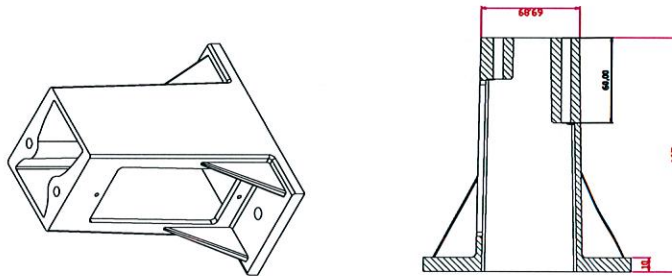
Recorded in inches

Mounting

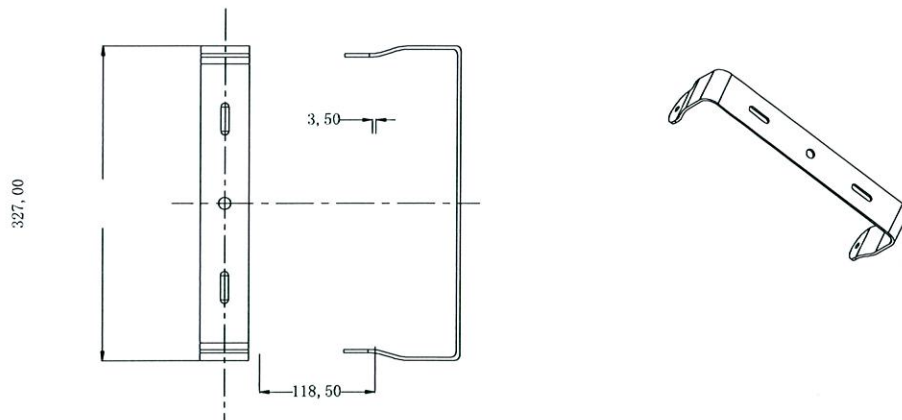
Slipfitter



Square Mount

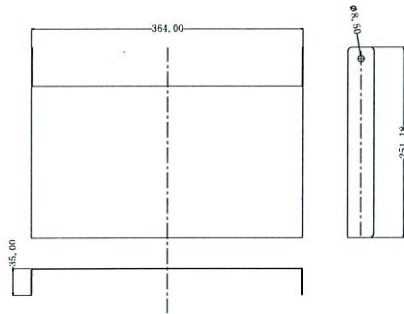
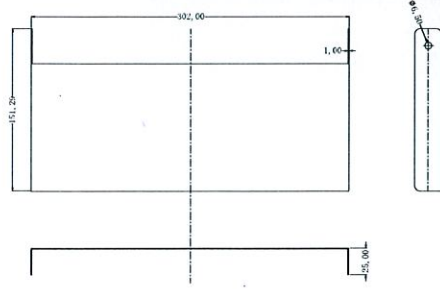
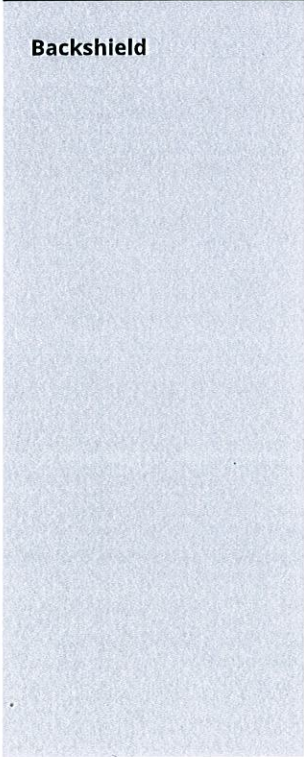


Yoke Mount

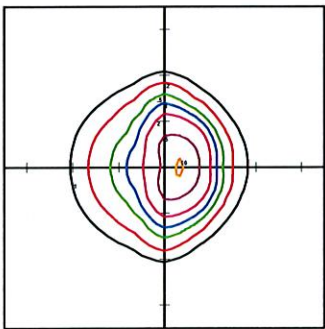


Accessories

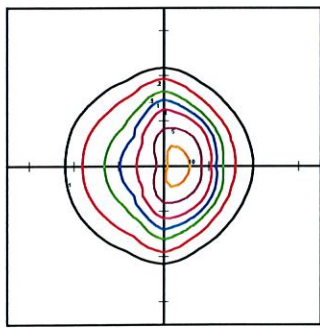
Backshield



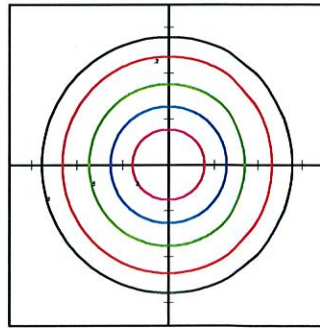
Photometric



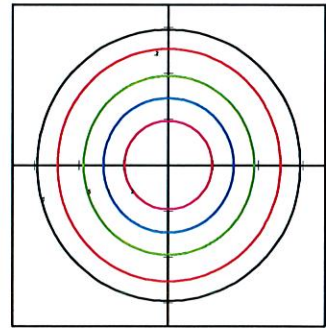
AS11-50-T3 @25'



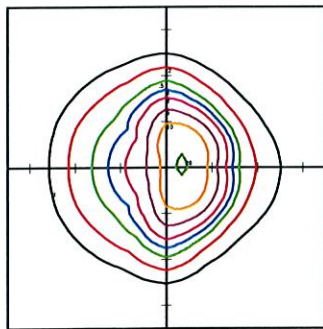
AS15-50-T3 @25'



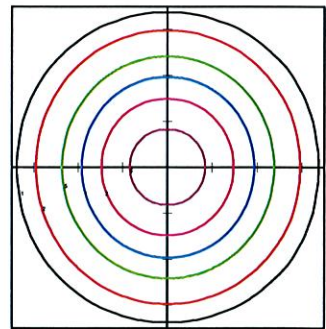
AS11-50-T5 @25'



AS15-50-T5 @25'



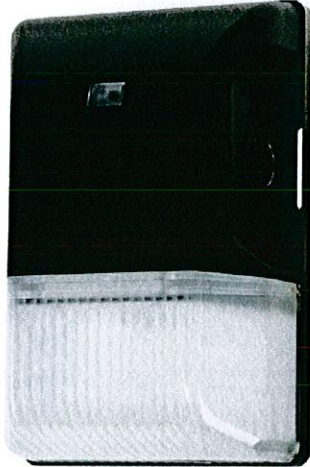
AS30-50-T3 @25'



AS30-50-T5 @25'

**30W Mini LED Wall Pack w/ Integrated Photocell - 3,750 Lumens
100W Metal Halide Equivalent - 4000K**

Part Number: MWDZ-40K30W-SAFBR



Product Details

- Photocell included for dusk-to-dawn operation
- Powder coated aluminum housing and shatterproof PC lens
- 120-277 VAC
- 5-Year warranty

Specifications

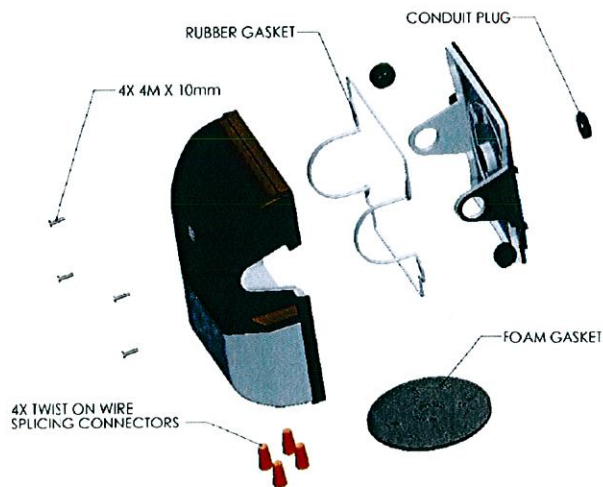
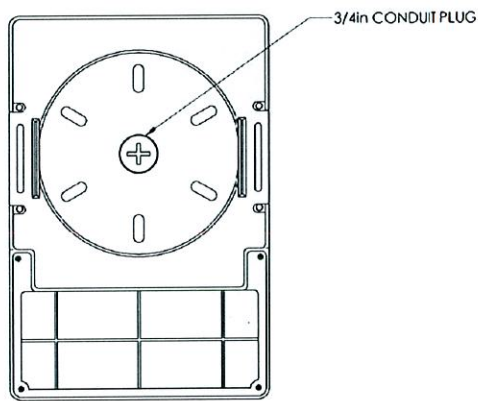
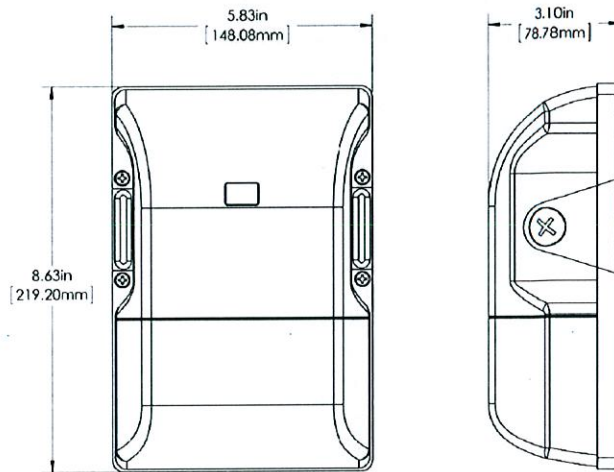
Beam Angle	110 degree	LED Lifetime	50000 Hours
CRI	80+	Lens Type	Polycarbonate
Color Temperature	4000 K	Material	Aluminum Housing
Comparable Wattage	100 Watt Metal-Halide	Operating Temperature	-20~+45 °C (-4~+113 °F)
Current Draw	0.3A (300mA)	Photocell	Photocell Integrated
Dimensions	See Below	Product Weight	2lb (0.91kg)
Dimmable	No	Replacement For	100 Watt MH
Efficacy	125 lm/w	Standards And Certifications	DLC, ETL Listed
IP Rating	Weatherproof IP65	Total Power Consumption	30 Watts
Intensity	3750 Lumen	Volts	120~277 VAC
LED Color	Natural 4000K		

Package Weight: 2lb 0.58oz (0.92kg)

Package Dimensions: 9" (23cm) x 4.5" (11cm) x 4.5" (11cm)

All specifications are subject to change without notice.

MWDZ-40K30W-SAFBR - 30W Mini LED Wall Pack w/ Integrated Photocell - 3,750 Lumens - 100W Metal Halide Equivalent - 4000K



30W Mini LED Wall Pack w/ Integrated Photocell - 3,750 Lumens - 100W Metal Halide Equivalent - 4000K

AE Aero Area Light

Outdoor

The Aero allows for quick, labor-efficient swapping of optics and LED arrays. Designers and contractors can now use the same product to deploy for a range of applications, without sacrificing appearance or durability. The luminaire has an operating temperature range of -20C to 45C.

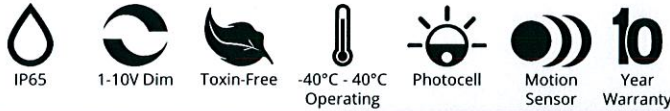


Luminaire	Aero Area Light	Type
Project		
Product		
Notes		



Features

- IP65 rated and tested for use in wet locations
- Allows for quick swapping of optics and LED arrays.
- Best mounted at range of 20 to 35 feet.



Order Format
Part Number: AEDZ-150-50-T2

Series	Wattage	CCT	Voltage	Finish Color
AEDZ=Aero Area Light	100=100W 150=150W 230=230W 310=310W	40=4000K 50=5000K	Blank=100-277V -V=347-480V	Blank=Bronze

Application

The luminaire is best mounted in a range of 20 feet to 35 feet. ATG's sales and technical representatives will help you choose which configurations to specify for your project.



Construction

The Aero is built from die-cast aluminum. Core components of the luminaire, including the optics and LED arrays, are interchangeable via individual modules.



Electrical

Luminous efficacy is rated for 120 lm/W or greater. L70 is an exceptional 100,000 hours, equivalent to over 22 years of operation at 12 hours per day. The fixture will be available with input of 100-240/277VAC, and optional 347-480V drivers. Fixture is IP65 rated.

Input Voltage (VAC)	100-240/277
CRI	70+
CCT(K)	5,000
PF	>.92
THD	<20%
L70 (Hours)	>100,000
Color	Bronze
Housing	Die Cast Aluminum
Optic Types	Clear
Temperature Range	-40°C to 40°C
Warranty	10 Years

Optics

The Aero is available with Type IV and V optics. Color accuracy is rated at 70+ CRI, in a color temperature of 5000K.

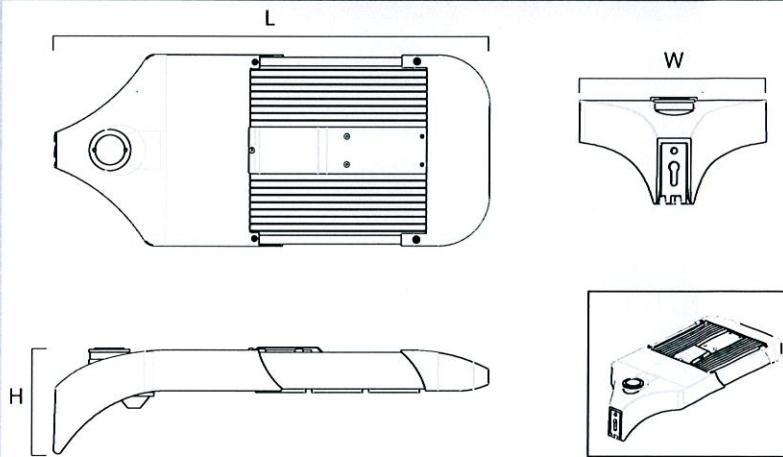
Certifications

- DLC Premium
- ETL
- CE
- RoHS
- Title 14
- IP65 rated

Lumen Data by CCT and Lens

Wattage (W)	System Wattage	4K						5K					
		T2		T4		T5		T2		T4		T5	
		Efficacy (Lm/W)	Lumens (Lm)	Efficacy (Lm/W)	Lumens (Lm)	Efficacy (Lm/W)	Lumens (Lm)	Efficacy (Lm/W)	Lumens (Lm)	Efficacy (Lm/W)	Lumens (Lm)	Efficacy (Lm/W)	Lumens (Lm)
100	97W	123	11965	123	11957	126	12261	129	12595	129	12586	132	12907
150	150W	119	17890	123	18464	122	18358	125	18832	129	19436	128	19324
240	211W	117	24703	123	25955	122	25806	123	26003	129	27321	128	27164
320	303W	114	34772	123	37235	122	37021	120	36602	129	39195	128	38970

Dimensions

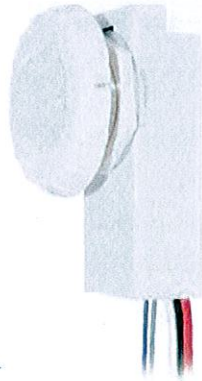


Part No.	Length (L)	Width(W)	Height (H)
AEDZ-100	26.5	12	6.7
AEDZ-150	27.5	12	6.7
AEDZ-230	28.5	12	6.7
AEDZ-310	29.5	12	6.7

Recorded in inches

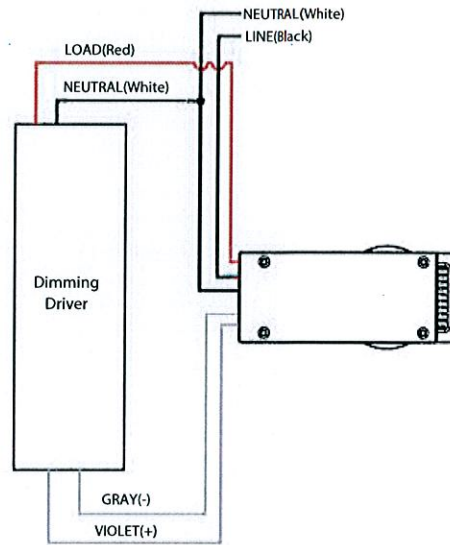
Sensor

BR1823
Digital PIR
Bi-level Sensor



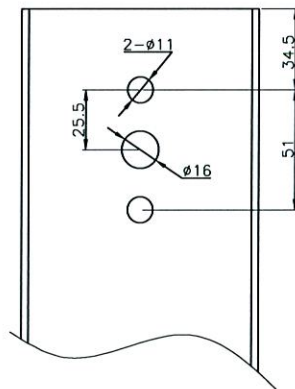
Power Supply	120-277VAC 50/60Hz
Maximum Load -40°C-70 °C	Resistive/Tungsten - 600W@120V Ballast Electronic (LED) -800/1200VA@120/277V
Dim Control Output	0-10V, max. 25mA sinking current
Detection Radius/ Angle	30ft@40ft height/360 °
Mounting Height	Max 24ft. @LW1 Max 40ft. @LS2
Remote Range	50ft. (15m) indoor, no backlight
Humidity	Max. 95% RH
Temperature	-40 °C - +70°C

*see sensor specsheets
for more info



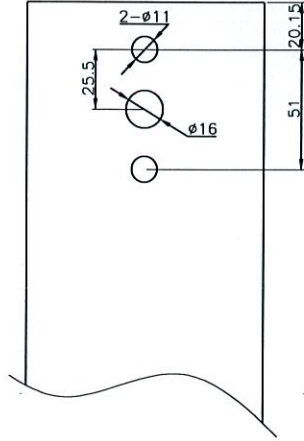
Mounting

Square Mount

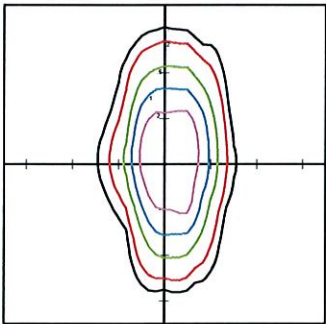


Mounting Continued

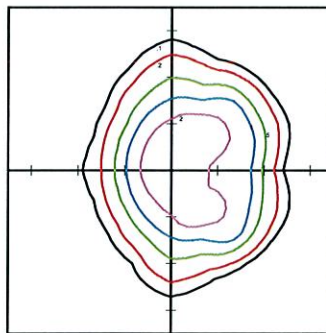
Round Mount



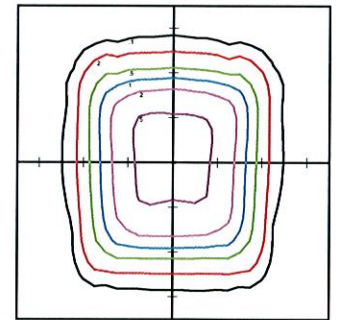
Lens Photometric



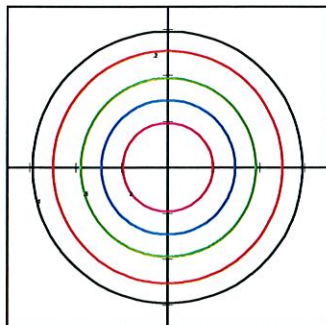
AE15-50-T2 @25'



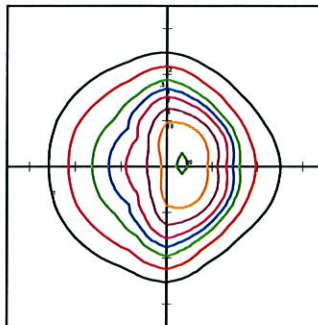
AE15-50-T4 @25'



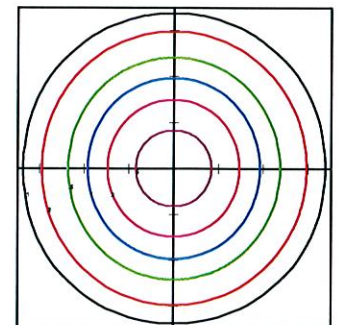
AE15-50-T5 @25'



AE32-50-T2 @25'

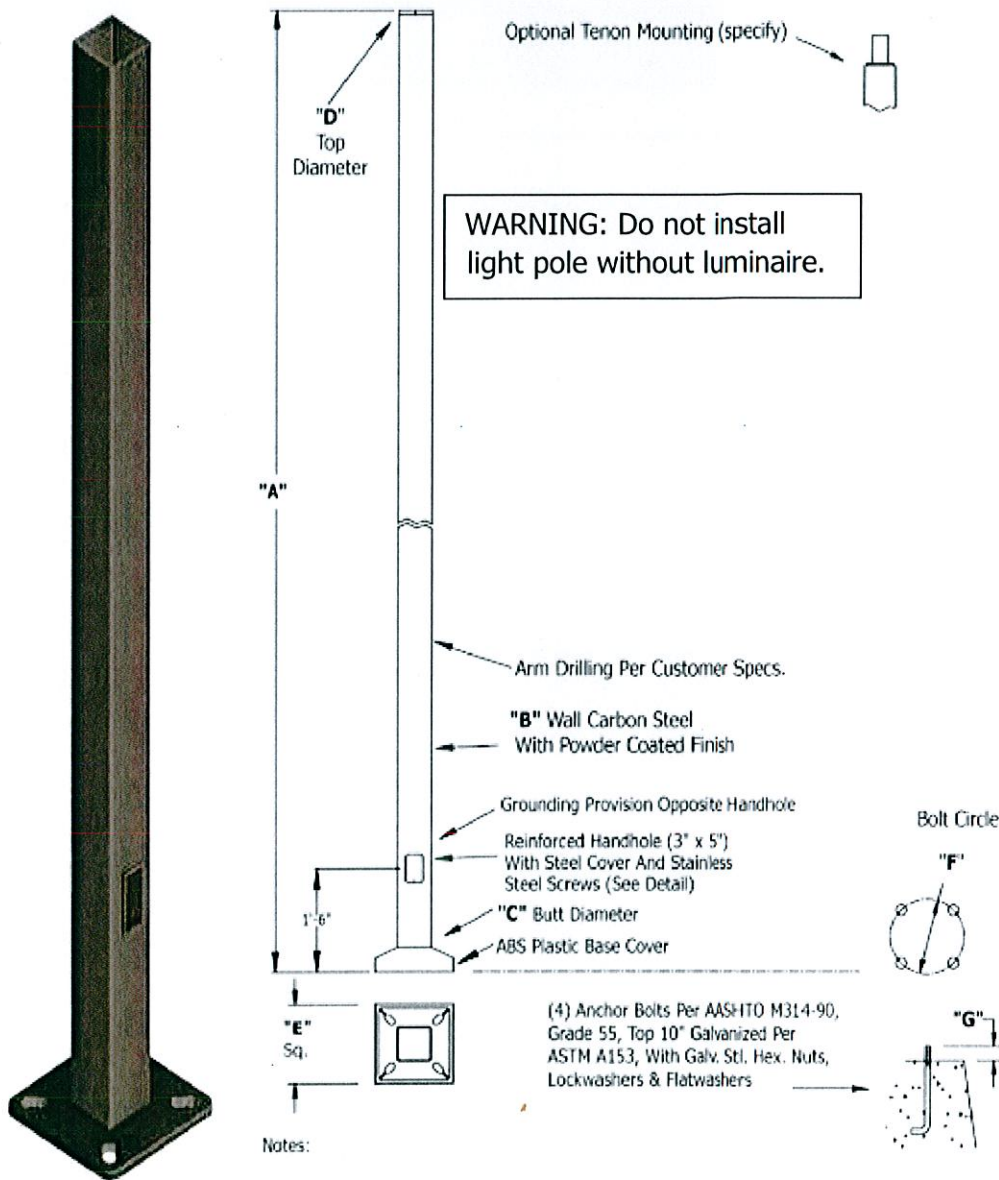


AE32-50-T4 @25'



AE32-50-T5 @25'

Square Straight Steel - 4 Bolt Base Light Poles



1) All Material Shall Be Weldable-Grade, Hot-Rolled, Commercial Quality Carbon Steel Tubing. Base Plate and Handhole Material Shall Conform to ASTM A36. All Welds Shall Conform To AWS D1.1 Using E70xx Electrodes.

2) EPA Calculations Based Upon AASHTO Standard Specifications for Structural Supports for Highway Signs, Luminaires and Traffic Signals, 1994 Edition, Using An EPA Weight of 25 lbs Per Sq Ft of EPA. Height Coefficients Based On Formula, $(H/30)^{(1/7)}$. EPA's Are Calculated At Top Of Shaft. All Welds Shall Conform To AWS D1.1 Using E70xx Electrodes.

Mt. Height	Wall Thickness	Shaft Size	Base Size	Bolt Circle	Bolt Projection	Bolt Size	Pole Weight	EPA 110
20 ft.	11 gauge	5x5 in.	11 in.	10-12 in.	3.375 in.	1x36x4 in.	194 lbs.	9.2

Calculations based on AASHTO 2001 specifications
 Maximum Combined Design Weight is 25 lbs. per sq. ft. of E.P.A. (i.e. 4.4 sq. ft. E.P.A. x 25 lbs. = 110 lbs.)

