



III. A.

690 Chesterfield Pkwy W • Chesterfield MO 63017-0760
Phone: 636-537-4000 • Fax 636-537-4798 • www.chesterfield.mo.us

June 4, 2007

Planning and Zoning Committee
City of Chesterfield
690 Chesterfield Pkwy W
Chesterfield, MO 63017

RE: **Stoneridge Office Building**: An Amended Site Development Plan and a Sign Package for a 9.3 acre parcel of land zoned "PC" Planned Commercial District located on the south side of South Outer 40 Road, northeast of Yarmouth Point Drive and Candish Lane.

Dear Planning and Zoning Committee:

At the May 30, 2007 City of Chesterfield Planning Commission meeting, a recommendation for approval of the above-referenced matter was approved by a vote of 6-0 with a condition of an additional directional sign near the entrance.

Attached please find a copy of the Department report as approved by the Planning Commission. The elevations of the additional directional sign have been included in the packet.

Respectfully submitted,

Mara M. Perry, AICP
Senior Planner of Plan Review

Attachments

Cc: Rob Heggie, City Attorney
Michael G. Herring, City Administrator
Mike Geisel, Acting Director of Planning



VII. C.

690 Chesterfield Pkwy W • Chesterfield MO 63017-0760
Phone: 636-537-4000 • Fax 636-537-4798 • www.chesterfield.mo.us

May 24, 2007

Planning Commission
City of Chesterfield
690 Chesterfield Parkway West
Chesterfield, MO 63017

The Planning Commission agenda for **May 30, 2007** will include the following item for your consideration:

Stoneridge Office Building: An Amended Site Development Plan and a Sign Package for a 9.3 acre parcel of land zoned “PC” Planned Commercial District located on the south side of South Outer 40 Road, northeast of Yarmouth Point Drive and Candish Lane.

Dear Commission Members:

Warren Sign Company, on behalf of Stoneridge Investments LLC, has submitted a request for an Amended Site Development Plan and a Sign Package for your review. The Department of Planning has reviewed this submittal and submits the following report.

BACKGROUND

1. On July 21, 2003, the City of Chesterfield passed Ordinance 1943, rezoning the subject site from “R-5” Residence District to “PC” Planned Commercial District.
2. On January 3, 2005, the City of Chesterfield passed Ordinance 2145, which repealed Ordinance 1943 allowing for an increase in the surface parking.

SUBMITTAL INFORMATION

1. The proposed sign package includes two internally illuminated walls signs. The east wall sign totals 226.25 square feet and the north wall sign totals 256.56 square feet.
2. The proposed internally illuminated monument sign is eight (8) feet in height and totals fifty (50) square feet in sign face.
3. Five non-illuminated directional signs are proposed totaling six (6) square feet each and being five (5) feet in height.
4. Seven non-illuminated handicap parking signs are proposed.

DEPARTMENTAL INPUT

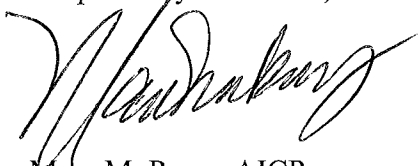
The submittal was reviewed for compliance with all City of Chesterfield ordinances.

The Zoning Ordinance requires that:

- In buildings containing single or multiple tenants where public access to individual tenant space(s) is gained via interior entrances, said building shall be allowed no more than one (1) attached business sign on any two (2) walls having roadway frontage.
- Said attached business signs shall be the same, each identifying either the building or major tenant.
- The submittal show signs on the two elevations that are not the same.

The Department of Planning requests action on the Amended Site Development Plan and Sign Package.

Respectfully submitted,



Mara M. Perry, AICP
Senior Planner of Plan Review

Cc: City Administrator
City Attorney
Department of Public Works

Attachments:
Proposed sign package
Amended Site Development Plan

**STONERIDGE OFFICE BUILDING
WASHINGTON UNIVERSITY / BARNES JEWISH HOSPITAL
SOUTH OUTER 40
SIGN PACKAGE SUBMISSION**

Submitted By: Warren Sign Company
C/O Jon Krone
2955 Arnold Tenbrook Road
Arnold, MO 63010
PH: 636-282-1300

Signage Requested:

One set of illuminated channel letters and logo module with an illuminated logo cabinet totaling 226.65 sqft on the east wall elevation. See drawing dated 05/17/07.

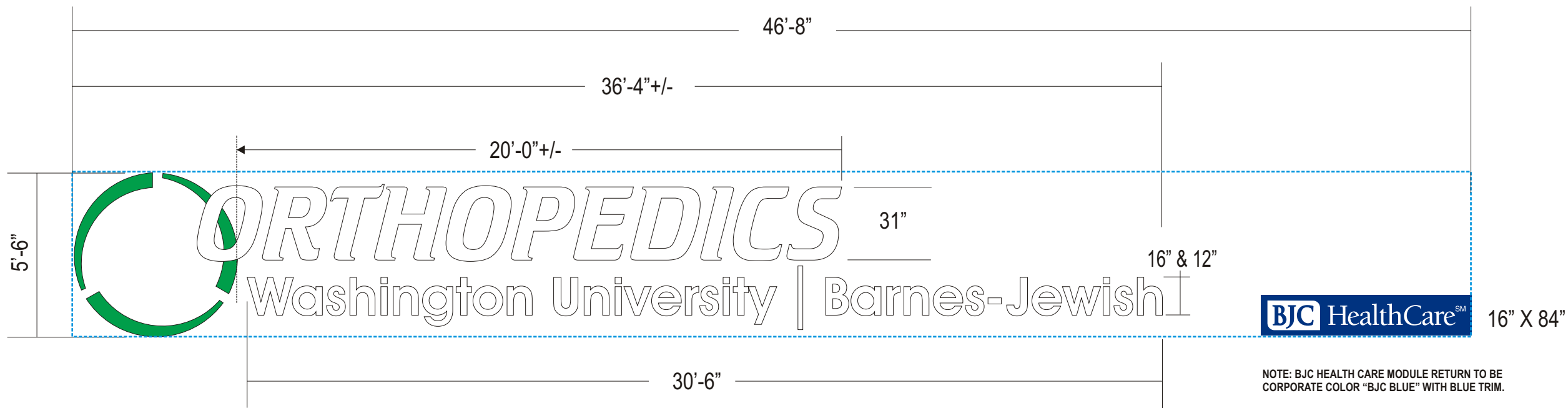
One set of illuminated channel letters and logo module totaling 256.56 sqft on the north wall elevation. See drawing dated 05/17/07.

One illuminated monument sign totaling 50 sqft with an overall height of 8' per drawing JK051607 revised 05/18/07.

Five non-illuminated directional signs, each totaling 6 sqft with an overall height of 5' per drawing JK042507 dated 04/23/07.

Seven non-illuminated handicap parking signs, each totaling 1.5 sqft with an overall height of 5' per drawing JK042607 dated 04/23/07.

RECEIVED
MAY 18 2007
PLANNING
DEPARTMENT



NORTH SIGN ELEVATION: 1/4" = 1'-0"

- 3M VIVID GREEN
- 3M COBALT BLUE

INDIVIDUAL INTERNALLY ILLUMINATED CHANNEL LETTERS AND LOGO MODULES.
 LETTER FACES TO BE WHITE. ALL RETURNS TO BE MAP BRUSHED ALUMINUM WITH SILVER TRIMCAP.
 FACES DECORATED WITH 3M TRANSLUCENT VINYL FILMS. ILLUMINATION SHALL BE BY WHITE NEON TUBING
 POWERED BY 30MA TRANSFORMERS SET REMOTELY BEHIND WALL AREA.
 ALL UNITS SHALL BE MOUNTED WITH NON-CORROSIVE HILTI MASONRY EXPANSION ANCHORS AS REQUIRED.

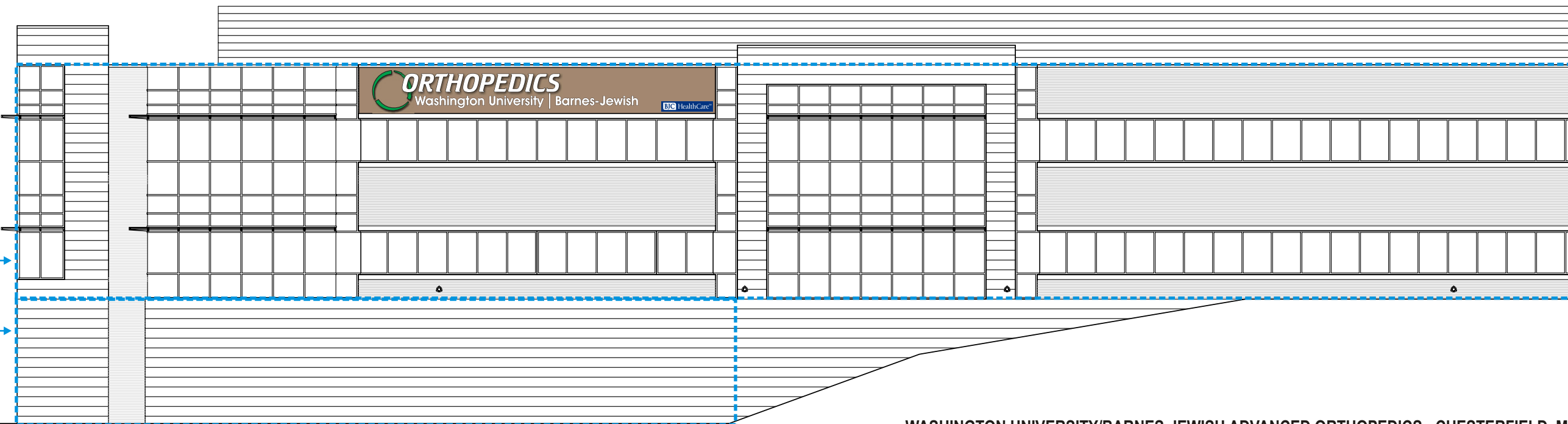
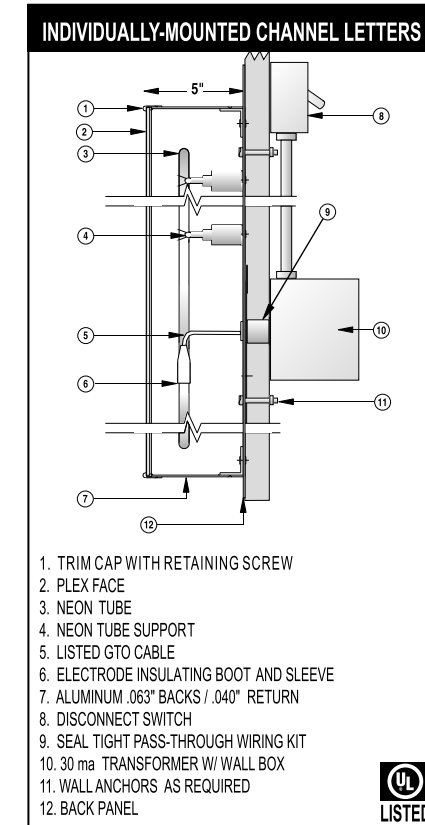
120V PRIMARY CIRCUITS TO EACH SIGN SHALL BE PROVIDED BY OTHERS.



16" X 84"

NOTE: BJC HEALTH CARE MODULE RETURN TO BE CORPORATE COLOR "BJC BLUE" WITH BLUE TRIM.

5.5' X 46.66' = 256.56 SQUARE FOOT OVERALL AREA



32' X 265' = 8,468 SF

17.08' X 98.33' = 1,679.5 SF

10,148 SF WALL AREA

NORTH ELEVATION: 1/16" = 1'-0"

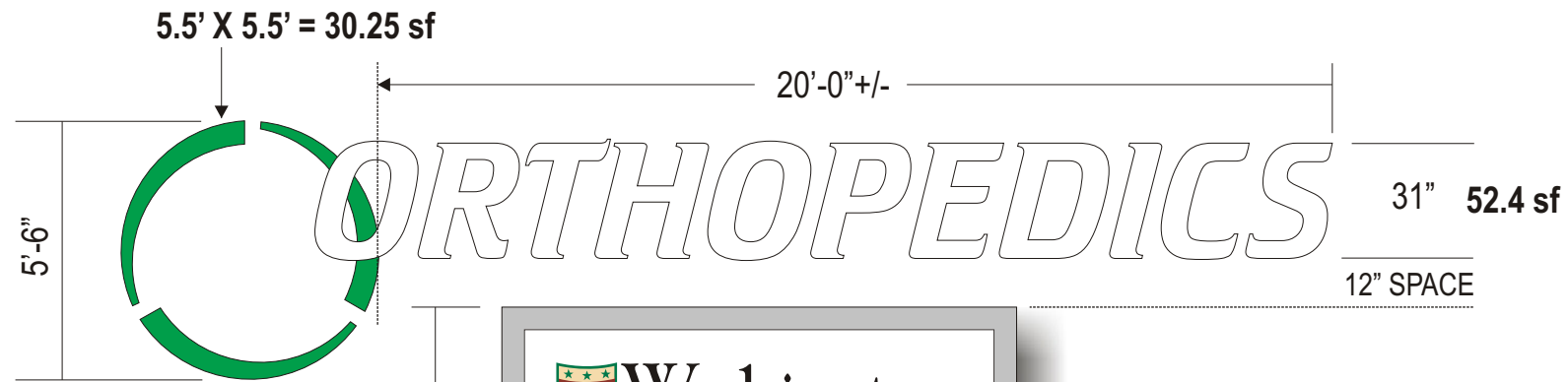
WASHINGTON UNIVERSITY/BARNES-JEWISH ADVANCED ORTHOPEDICS - CHESTERFIELD, MO

CONTACT: JON KRONE
 DESIGNED BY: KEITH HEMPEN
 DATE: 5/17/07

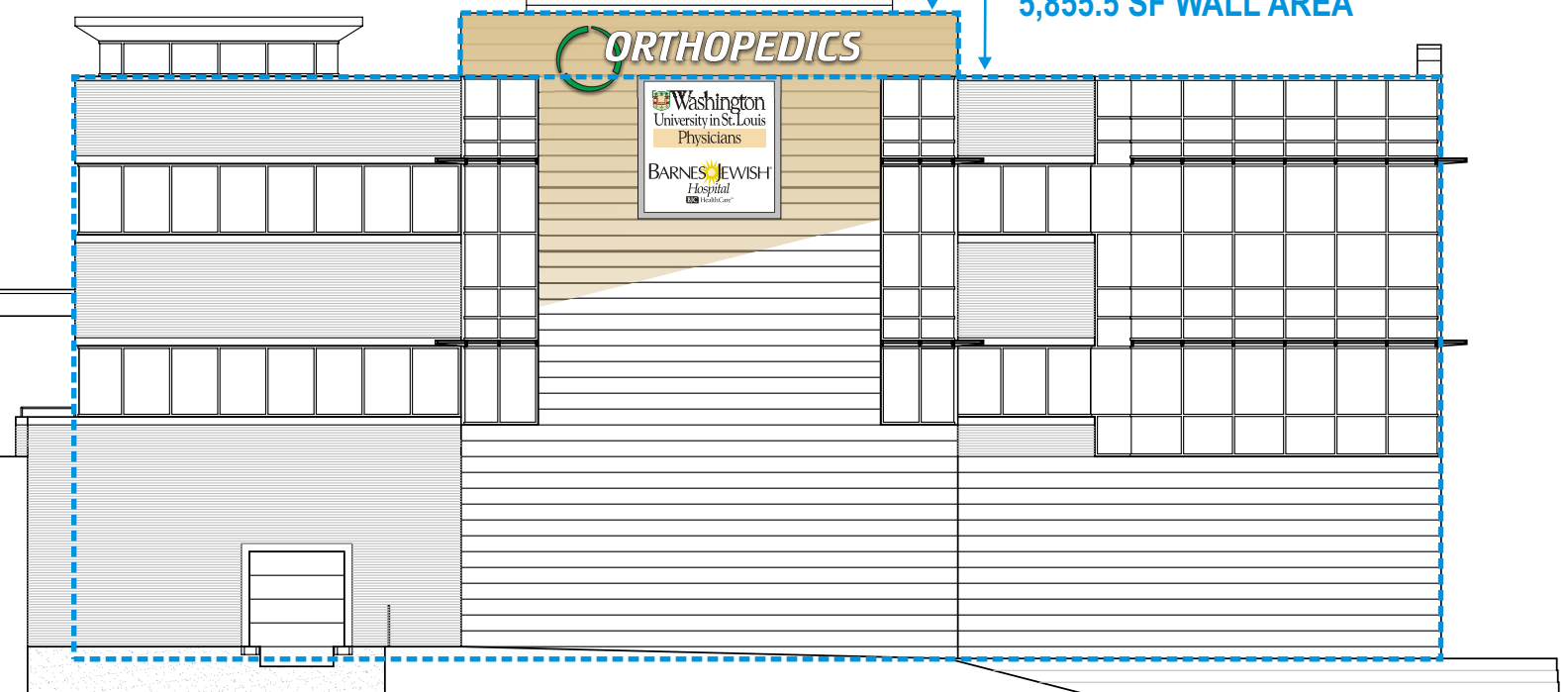
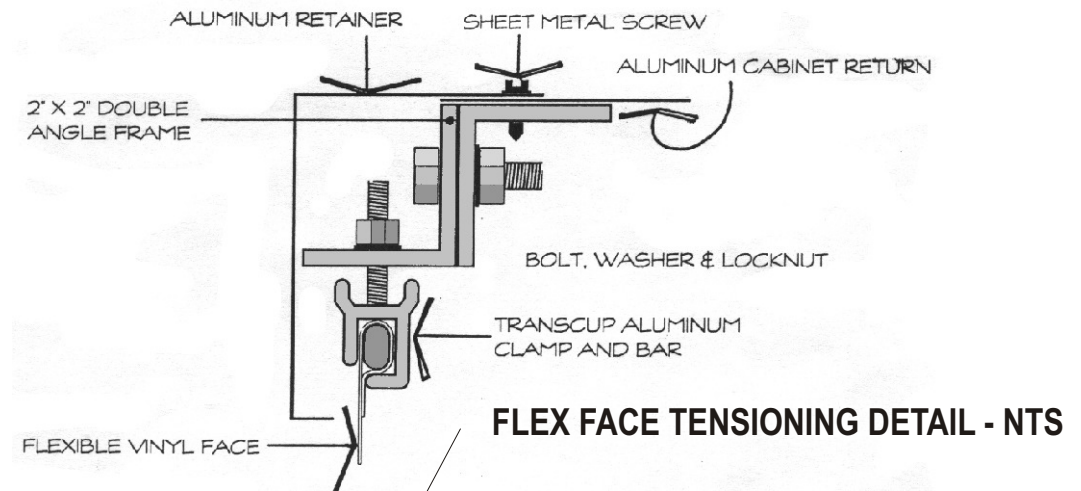
WARRENSIGN
 2955 Arnold Tenbrook Rd., Arnold, MO 63010
 Ph: 636-282-1300, Fx: 636-282-3388
 www.warrensing.com

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EAST SIGN ELEVATION: 1/4" = 1'-0"



Int. Illum. Logo Cabinet.
8" deep aluminum construction
painted MAP Brushed Aluminum.
Flexible vinyl face with trans-vinyl
corporate color graphics.
800ma fluorescent illumination.



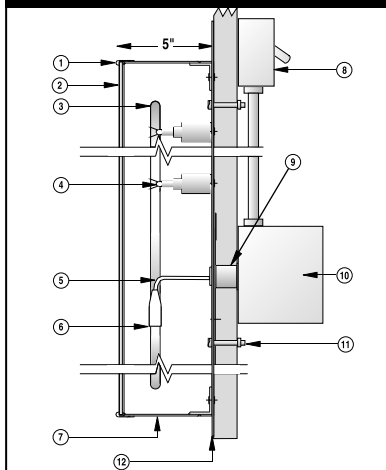
144 sf Sign Cabinet +
82.65 sf Logo & ORTHOPEDICS
226.65 sf Total Sign Area

INDIVIDUAL INTERNALLY ILLUMINATED CHANNEL LETTERS AND LOGO MODULES. LETTER FACES TO BE WHITE. ALL RETURNS TO BE MAP BRUSHED ALUMINUM WITH SILVER TRIMCAP. FACES DECORATED WITH 3M TRANSLUCENT VINYL FILMS. ILLUMINATION SHALL BE BY WHITE NEON TUBING POWERED BY 30MA TRANSFORMERS SET REMOTELY BEHIND WALL AREA. ALL UNITS SHALL BE MOUNTED WITH NON-CORROSIVE HILTI MASONRY EXPANSION ANCHORS AS REQUIRED.

CABINET SIGN SHALL BE 8" DEEP ALUMINUM CONSTRUCTION PAINTED MAP BRUSHED ALUMINUM WITH A WHITE FLEXIBLE VINYL FACE DECORATED WITH 3M TRANS-VINYL FILMS PER CORPORATE COLORS. ILLUMINATION SHALL BE BY 800MA FLUORESCENT LAMPS AND BALLASTS. SIGN MOUNTED FLUSH TO CONCRETE WALL WITH HILTI MASONRY EXPANSION ANCHORS AS REQUIRED.

120V PRIMARY CIRCUIT TO EACH SIGN SHALL BE PROVIDED BY OTHERS.

INDIVIDUALLY-MOUNTED CHANNEL LETTERS



1. TRIM CAP WITH RETAINING SCREW
2. PLEX FACE
3. NEON TUBE
4. NEON TUBE SUPPORT
5. LISTED GTO CABLE
6. ELECTRODE INSULATING BOOT AND SLEEVE
7. ALUMINUM .063" BACKS / .040" RETURN
8. DISCONNECT SWITCH
9. SEAL TIGHT PASS-THROUGH WIRING KIT
10. 30 ma TRANSFORMER W/ WALL BOX
11. WALL ANCHORS AS REQUIRED
12. BACK PANEL

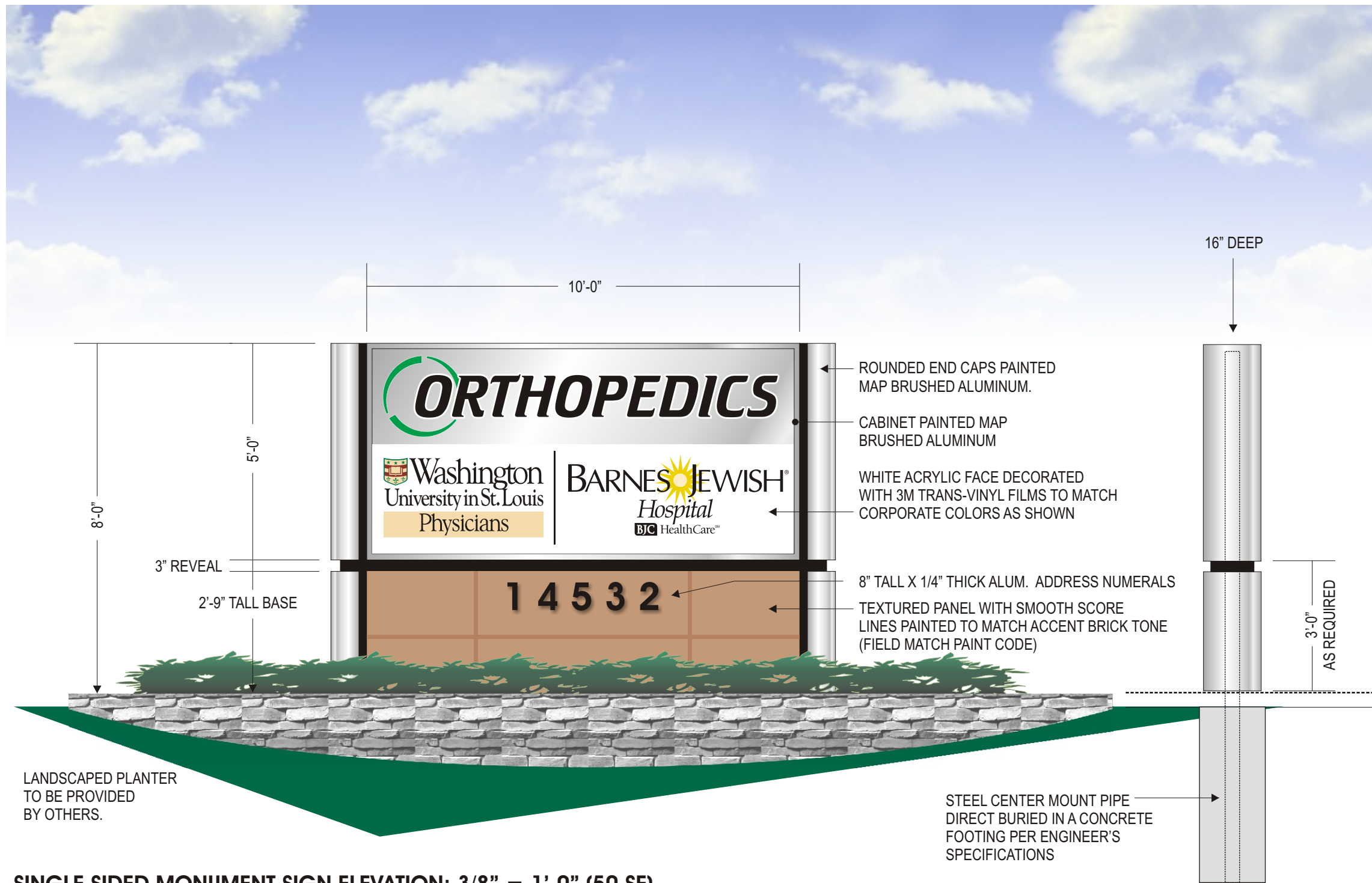


EAST ELEVATION: 1/16" = 1'-0"

WASHINGTON UNIVERSITY/BARNES-JEWISH ADVANCED ORTHOPEDICS - CHESTERFIELD, MO

CONTACT: JON KRONE
DESIGNED BY: KEITH HEMPEN
DATE: 5/17/07

WARRENSIGN
2955 Arnold Tenbrook Rd., Arnold, MO 63010
Ph: 636-282-1300, Fx: 636-282-3388
www.warrensing.com



SINGLE SIDED MONUMENT SIGN ELEVATION: 3/8" = 1'-0" (50 SF)

SPECIFICATIONS

Fabricate and install one single sided, internally illuminated sign.

Aluminum skin over angle construction.
 Acrylic polyurethane paint finishes.
 800ma fluorescent internal illumination.
 Steel center mount pipes direct buried in concrete footings per engineer's specifications.

Face specifications as noted.
 Exact color codes to be verified.

480V primary electrical circuit shall be brought to sign by others. Warren shall make final connection.

Final earth work and landscaping shall be performed by others.



CLIENT WASHINGTON UNIVERSITY - BARNES-JEWISH ORTHOPEDICS	
LOCATION SOUTH OUTER FORTY, CHESTERFIELD, MO	
DATE 5/16/07	REVISED 5/18/07
DRWG.# JK051607	PREPARED BY Keith Hempen



SIGN & PICTORIAL
PAINTERS
 UNION LOCAL 774
 Intl. Union of Painters & Allied Trades
 AN AFFILIATE OF PAINTERS DISTRICT COUNCIL 2

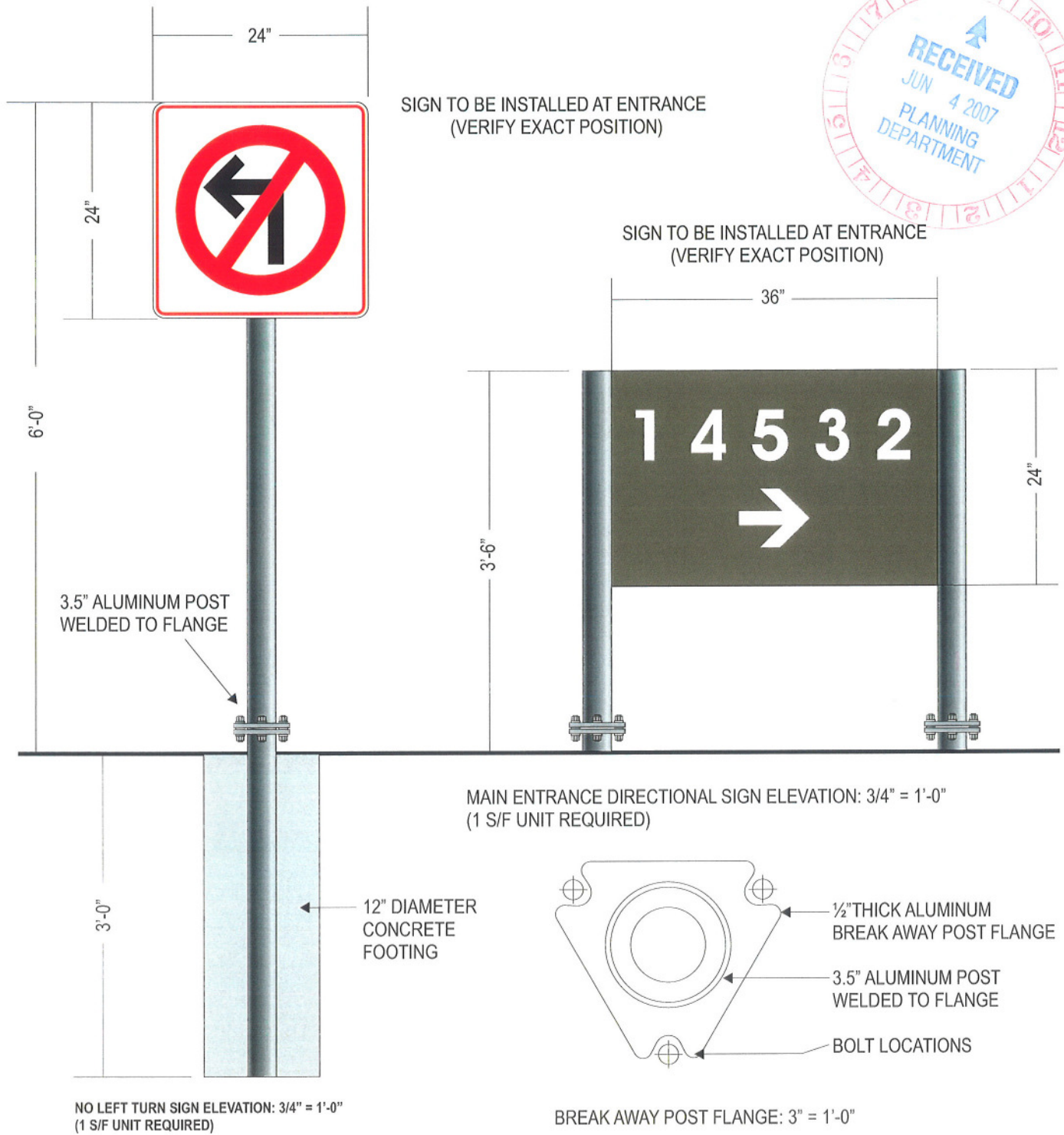
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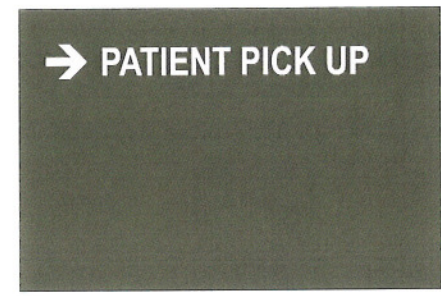
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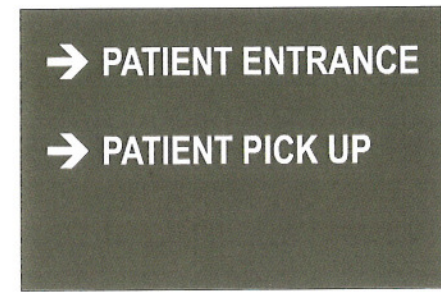


NOTE: ENTRANCE DIRECTIONAL SIGN REQUIRED TO HAVE BREAKAWAY POSTS PER MODOT

ALL INNER CAMPUS DIRECTIONAL SIGNS TO HAVE STANDARD POSTS



SIGN D



SIGNS B & C



INNER CAMPUS DIRECTIONAL SIGNS 3/4" = 1'-0"

SPECIFICATIONS

Fabricate and install 6 single sided signs.

NO LEFT TURN shall be (.250) aluminum panel routed to shape and decorated with 3M premium reflective vinyl graphics: White, Red and Black. Sign supported by a 3.5" aluminum post painted MAP Brushed aluminum with break away flanges as required.

DIRECTIONAL SIGNS
.125 aluminum panels painted to match building tone (Verify Paint Code), 3.5" diameter aluminum posts painted MAP Brushed Aluminum and direct buried in concrete footings as required. All copy to be 3M White Scotchlite Reflective vinyl graphics.

Note: entrance directional sign and NO LEFT TURN sign required to have breakaway posts per MODOT. (See Detail).

Coordinate placement with site plan.



CLIENT	WASHINGTON UNIVERSITY - BARNES-JEWISH ORTHOPEDICS		
LOCATION	SOUTH OUTER FORTY, CHESTERFIELD, MO		
DATE	4/23/07	REVISED	6/01/07
DRWG.#	JK042507	PREPARED BY	Keith Hemen



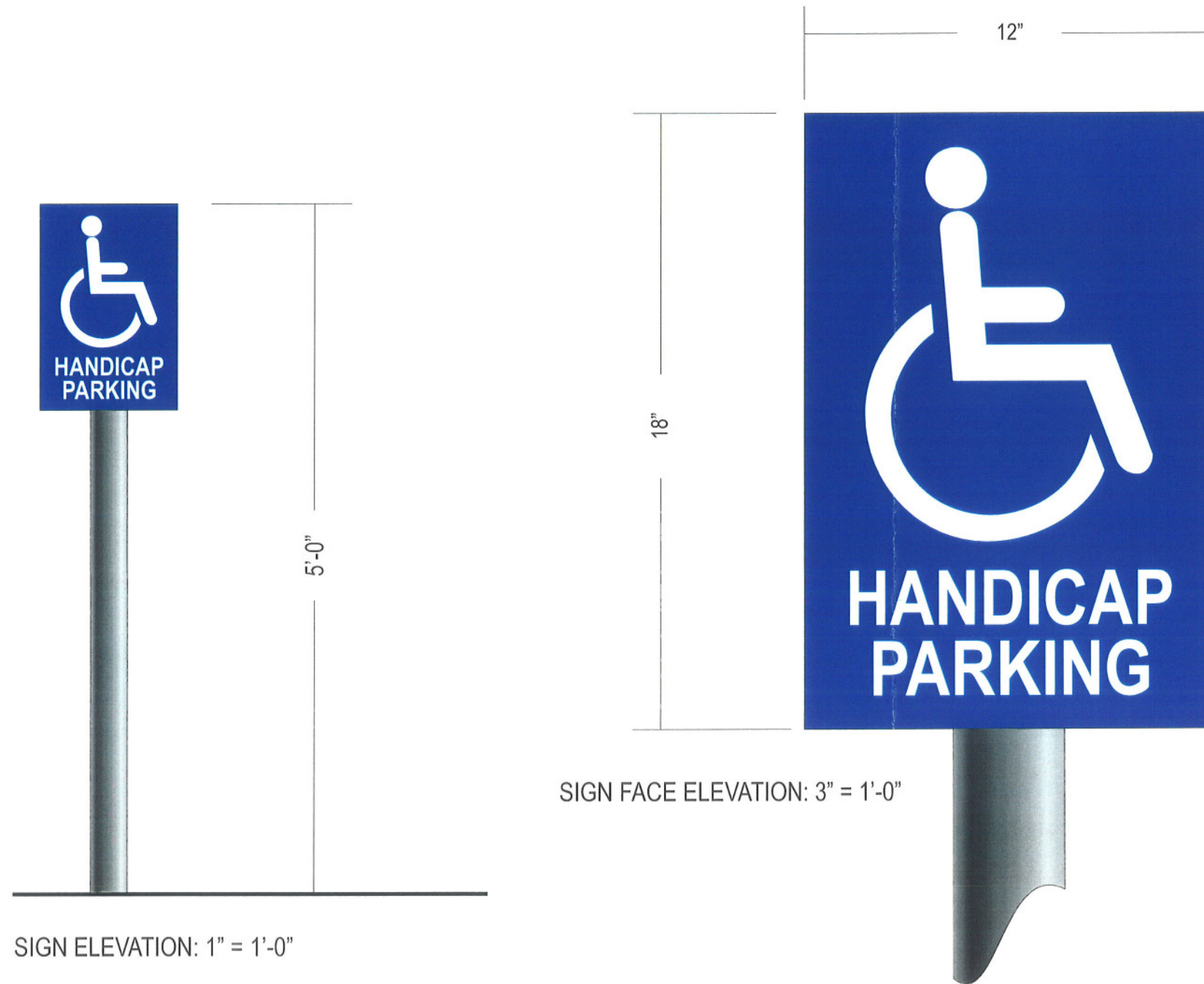
SIGN & PICTORIAL
PAINTERS
UNION LOCAL 774
Int'l. Union of Painters & Allied Trades
An Affiliate of Painters District Council 2

APPROVED

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St. Louis' Largest Sign Contractor Delivering Quality Since 1929



SPECIFICATIONS

Fabricate and install 7 single sided handicap parking signs.

.125 aluminum panels painted PMS 288 BLUE.
 3.5" diameter aluminum posts painted MAP
 Brushed Aluminum and direct buried in concrete footings as required.
 All copy to be 3M White Scotchlite Reflective vinyl graphics.

Coordinate placement with site plan.



CLIENT WASHINGTON UNIVERSITY - BARNES-JEWISH ORTHOPEDICS
 LOCATION SOUTH OUTER FORTY, CHESTERFIELD, MO
 DATE 4/23/07 REVISED
 DRWG.# JK042607 PREPARED BY Keith Hempen



SIGN & PICTORIAL
PAINTERS
 UNION LOCAL 774
Intl. Union of Painters & Allied Trades
 An Affiliate of Powers District Council 2

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STONERIDGE OFFICE BUILDING

A TRACT OF LAND BEING LOCATED IN U.S. SURVEY No. 369,
TOWNSHIP 45 NORTH, RANGE 4 EAST OF THE 5TH PRINCIPAL MERIDIAN
ST. LOUIS COUNTY, MISSOURI.

GEOTECHNICAL ENGINEER'S STATEMENT

Midwest Testing and the undersigned engineer have not prepared the plan on this sheet. The seal of the undersigned professional engineer has been affixed at the request of the City of Chesterfield and is a professional opinion to indicate that the undersigned has reviewed the plans and that, in his opinion, the grading and improvements relative to slope and retaining wall construction, as shown on the plans, as well as the foundations, are compatible with the soil and geologic conditions at the site as described in the geotechnical report for the development, titled Geotechnical Exploration-MT Job No. 4683-Stoneridge Office Building-Chesterfield, Missouri and dated August 12, 2004.

Midwest Testing and the undersigned assume no responsibility for services by others, pursuant to RSMO 327.411.

Construction means and methods for implementation of the grading plan shall be left to the developer/contractor. Observations of the developer/contractor's compliance with the applicable specifications shall be identified and verified in writing.

MIDWEST TESTING

Daniel J. Baczynski, P.E.
Missouri PE No. E-25861

SURVEYOR'S CERTIFICATION

This is to certify that Stock and Associates Consulting Engineers, Inc. has prepared this Amended Site Development Plan from record survey information only and does not represent a property boundary survey.

STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC.

DANIEL EHLMANN, Missouri P.L.S. No. 22125

PERTINENT DATA

EXISTING ZONING = "PC" - PLANNED COMMERCIAL (ORD. NO. 2145)
LOCATOR No. = 19R61-0026
SEWER DISTRICT = 19R61-0312
FIRE DISTRICT = METROPOLITAN ST. LOUIS SEWER DISTRICT
WATERSHED = CHESTERFIELD FIRE PROTECTION -JRM
SCHOOL DISTRICT = MISSOURI RIVER/CREVE COEUR CREEK
WATER SERVICE = PARKWAY DISTRICT
GAS SERVICE = ST. LOUIS COUNTY WATER CO.
ELECTRIC SERVICE = LACLEDE GAS
TELEPHONE SERVICE = AMERIENUE ELECTRIC
2918900145 H (DATE AUG. 2, 1995)
DETAIL STUDY LIMITS, DOWNSIDE OF HWY 40/61, ELEV. 499.5 ±
SITE ADDRESS = 14532 SOUTH OUTER FORTY ROAD
CHESTERFIELD, MO 63017

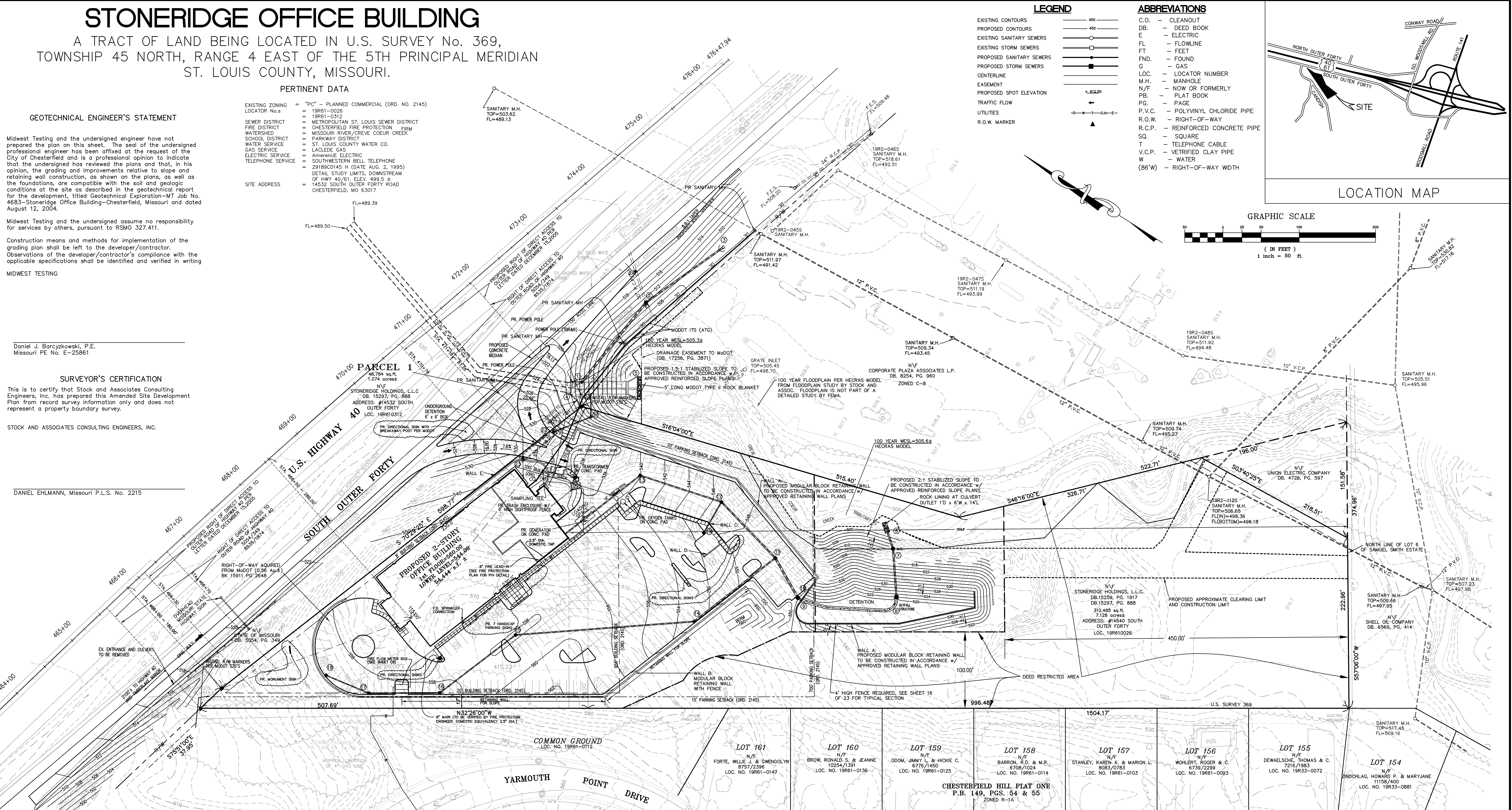
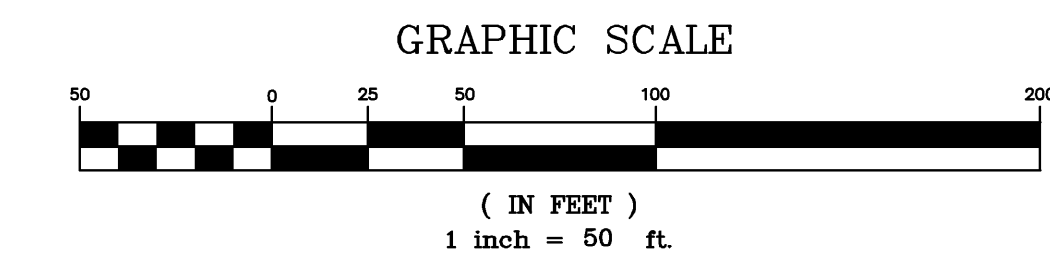
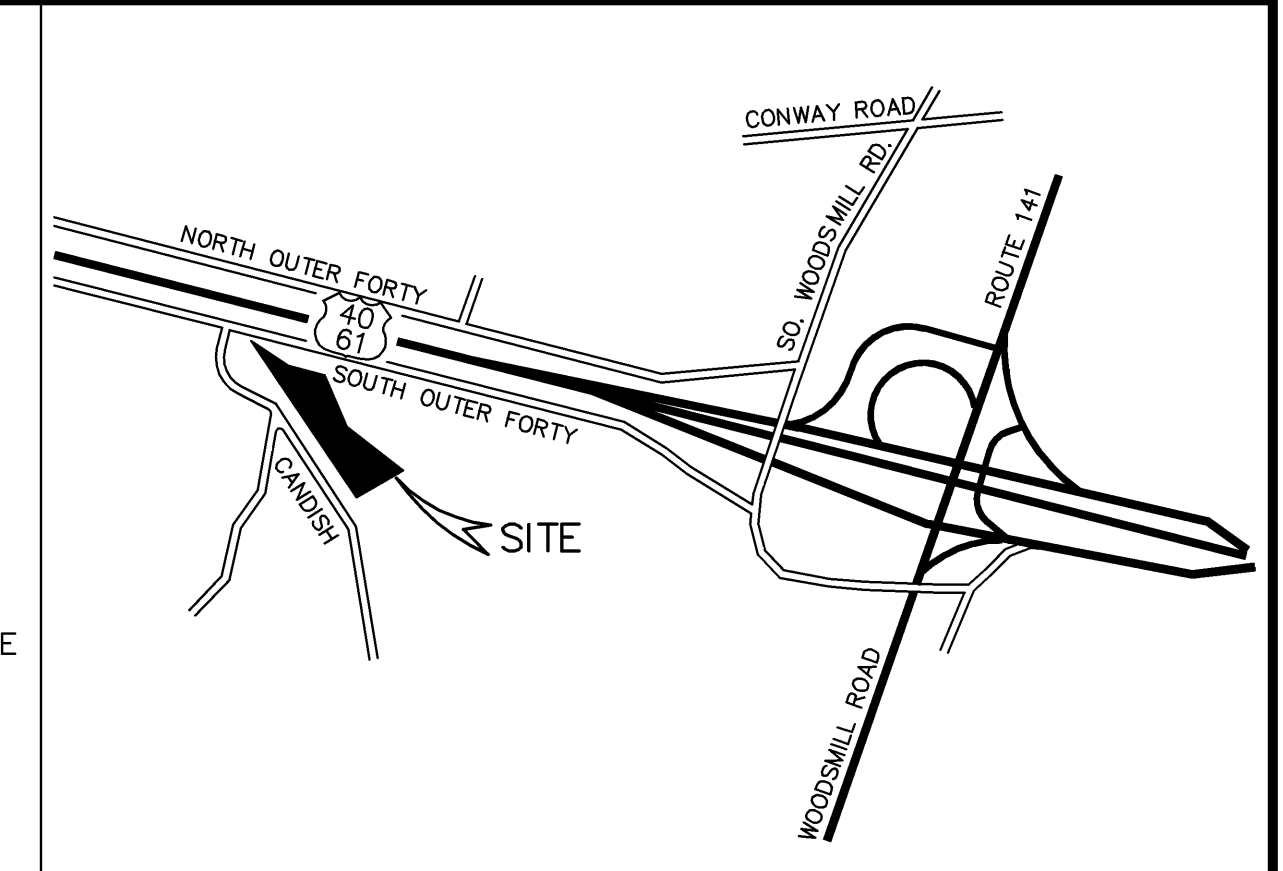
LEGEND

EXISTING CONTOURS
PROPOSED CONTOURS
EXISTING SANITARY SEWERS
EXISTING STORM SEWERS
PROPOSED SANITARY SEWERS
PROPOSED STORM SEWERS
CENTERLINE
EASEMENT
PROPOSED SPOT ELEVATION
TRAFFIC FLOW
UTILITIES
R.O.W. MARKER

400
400
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ABBREVIATIONS

C.O. - CLEANOUT
DB. - DEED BOOK
E. - ELECTRIC
FL. - FLOWLINE
FT. - FEET
FND. - FOUND
G. - GAS
LOC. - LOCATOR NUMBER
M.H. - MANHOLE
N/F - NOW OR FORMERLY
P.B. - PLAT BOOK
PG. - PAGE
P.V.C. - POLYVINYL CHLORIDE PIPE
R.O.W. - RIGHT-OF-WAY
R.C.P. - REINFORCED CONCRETE PIPE
SQ. - SQUARE
T. - TELEPHONE CABLE
V.C.P. - VETRIFIED CLAY PIPE
W. - WATER
(86'W) - RIGHT-OF-WAY WIDTH



GENERAL NOTES

- ENTRANCE PER MO. DEPARTMENT OF TRANSPORTATION AND THE CITY OF CHESTERFIELD.
- GRADING AND DRAINAGE PER CITY OF CHESTERFIELD AND M.S.D. STANDARDS AND SPECIFICATIONS. STORM WATER TO DISCHARGE AT AN ADEQUATE NATURAL DISCHARGE POINT.
- THE LOCATION OF STORM AND SANITARY SEWER IMPROVEMENTS ARE APPROXIMATE ONLY. ACTUAL LOCATIONS SHALL BE DETERMINED BY FIELD CONDITIONS AND SHALL BE INDICATED ON THE IMPROVEMENT PLANS.
- STREET TREES, STREET LIGHTS AND SIDEWALKS SHALL BE PER CITY OF CHESTERFIELD, MODOT, & ST. LOUIS CO. HWY. DEPT. STANDARDS.
- PROJECT I.D. SIGN SHALL HAVE A MAXIMUM AREA OF FIFTY SQ. FT. A MAXIMUM HEIGHT OF SIX FEET.
- NO STANDARD SLOPE SHALL EXCEED 3:1. STEEPER SLOPE SLOPES NOTED ON PLAN. PROPOSED 1:1 AND 2:1 STABILIZED SLOPE TO BE DESIGNED IN ACCORDANCE WITH GEOTECHNICAL RECOMMENDATION. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE APPROVAL OF SLOPES IN EXCESS OF 3:1. STEEP SLOPES ARE SUBJECT TO THE REVIEW AND APPROVAL OF THE DIRECTOR OF PUBLIC WORKS. REVIEW OF THE PROPOSED STEEP SLOPE WILL BE CONCURRENT WITH THE REVIEW OF THE GRADING PERMIT OR IMPROVEMENT PLANS FOR THE PROJECT.
- PARKING CALCULATIONS: (NOTE GROSS BUILDING-OUTSIDE WALL PERIMETER=54,444 S.F.)
GENERAL OFFICE: 4 SPACES PER 1,000 SQ. FT. OF OFFICE SPACE
REQUIRED = 54,444 SQ. FT. OF OFFICE SPACE (INSIDE WALL PERIMETER)
REQUIRED = 218 SPACES (INCLUDES 7 H.C. SPACES)
PROVIDED = 259 SPACES (INCLUDES 7 H.C. SPACES)
LOADING SPACES = (2) 10'x25' + (1) 10'x40' - REQUIRED
LOADING SPACES = (2) 10'x25' + (1) 10'x40' - PROVIDED
- FLOOR AREA RATIO:
TOTAL FLOOR AREA = 54,444 SQ. FT.
TOTAL SITE AREA = 9.27 AC. ±, 403,801 SQ. FT.
FLOOR AREA RATIO = 54,444/403,801 = 0.13
- BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY STOCK & ASSOC.
- ALL EXISTING STRUCTURES AND PAVEMENTS ARE TO BE REMOVED FROM SITE.
- FLOOD INFORMATION:
SUBJECT PROPERTY LIES IN ZONE "X", AREA DETERMINED OUTSIDE 500-YEAR FLOODPLAIN, FLOOD INSURANCE RATE MAP NUMBER 2918900145, EFFECTIVE DATE: AUGUST 2, 1995.
- PRIOR TO INSTALLATION OF ANY LANDSCAPING, THE CITIZENS OF CHESTERFIELD HILL SUBDIVISION MUST BE CONSULTED REGARDING THE TYPE AND SIZE UTILIZED. IF THIS INFORMATION DIFFERS FROM THAT SHOWN ON THE LANDSCAPE PLAN, THE LANDSCAPE PLAN WILL HAVE TO BE AMENDED.
- BOUNDARY CANNOT EXTEND BEYOND DEED RESTRICTIONS OR PROPERTY LINES
- ALL MONUMENT SIGNAGE SHALL BE LANDSCAPED. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE APPROVAL OF SIGNAGE. SIGN APPROVAL IS A SEPARATE PROCESS.

PROPERTY DESCRIPTION

Total Tract
A tract of land being part of U.S. Survey 369, Township 45 North, Range 4 East of the 5th Principal Meridian, St. Louis County, Missouri, and also being part of the property as acquired by the Missouri Department of Transportation by instrument recorded in Book 504 Page 349 of the Recorder of Deeds Office in St. Louis County, Missouri, and being more particularly described as follows:
Beginning at the intersection of the Southwesterly line of U.S. Survey 369 and the Southerly right-of-way of U.S. Highway 40 (Missouri Interstate Highway 64); thence along said Southerly line South 75 degrees 51 minutes 00 seconds East 37.95 feet; thence departing said Southerly line South 70 degrees 29 minutes 25 seconds East 598.77 feet to a point on the Southwesterly line of a tract of land as conveyed to Corporate Plaza Associates, L.P., by instrument recorded in Book 8254 Page 960 of the above said Recorder's Office; thence along said Southwesterly line the following courses and distances; thence South 16 degrees 04 minutes 00 seconds East 515.40 feet; thence along said Southwesterly line South 40 minutes 25 seconds East 218.51 feet to a point on the Northwesterly line of a tract of land as conveyed to Shell Oil Company by instrument recorded in Book 6568 Page 414 of the above said Recorder's Office; thence along said Northwesterly line South 57 degrees 06 minutes 00 seconds West 222.96 feet to a point on the Northwesterly line of Chesterfield Hill Plat One, a subdivision according to the plat thereof recorded in Plat Book 149 Pages 54 and 55 of the above said Recorder's Office; thence along said Northwesterly line North 32 degrees 26 minutes 00 seconds West 1504.17 feet to the POINT OF BEGINNING and containing 403,859 square feet or 9.271 acres more or less according to calculations performed by Stock and Associates Consulting Engineers, Inc. during November 25, 2002.

GREENSPACE CALCULATIONS:

TOTAL SITE = (100 %) 9.27 ACRES ±
TOTAL IMPERVIOUS = (31.39 %) 2.91 ACRES ±
TOTAL GREENSPACE = (68.61 %) 6.36 ACRES ±
DETENTION REQUIREMENT BASED ON FINAL RELEASE RATE:
1.2 c.f.s./Ac (ALLOWABLE RELEASE RATE FOR 100 YR./24 HR. STORM) = 1.2 c.f.s./Ac. x 9.271 Ac. = 11.13 c.f.s.
POST DEVELOPED RUNOFF = [(6.36 Ac. x 1.7 c.f.s./Ac.) + (2.91 Ac. x 3.54 c.f.s./Ac.)] = 21.11 c.f.s.
DIFF. RUNOFF = 21.11 - 11.13 = 9.98 c.f.s.
APPROX. VOL. STORAGE = 9.98 x 1800 x 3 = 53,892 c.f.s.
DETENTION RELEASE RATE = 100yr./1.2c.f.s./Ac. x 9.3 = 11.16 2yr./0.13c.f.s./Ac. x 9.3 = 1.209

Architect
ACI & BOLAND, INC.
14177 Oak Cabin Road, Suite 100
St. Louis, Missouri 63141
314.991.8878 Fax
314.991.9993

M.S.D. P# 27069
BASE MAP # 19R

STONERIDGE OFFICE BUILDING 3RD AMENDED SITE DEVELOPMENT PLAN

	257 Chesterfield Business Parkway St. Louis, MO 63005 PH. (636) 530-9100 FAX (636) 530-9130 e-mail: general@stockassoc.com Web: www.stockassoc.com
	DRAWN BY: GEORGE M. STOCK E-25116 DATE CHECKED BY: A.C.D. DATE: 05/21/07 P.D.B. DATE: 05/21/07 JOB NUMBER: 98-1771 SHEET: 1 of 2

HYDROLOGIC/HYDRAULIC STUDY:
A Hydrologic/Hydraulic study evaluating the impacts of the proposed work in, near and above the natural watercourse shall be performed and submitted to the City of Chesterfield for review and approval prior to the issuance of any grading permit. Changes to the layout of the site due to the findings of the study may require amendment and resubmittal of the site development plan for review and approval by the City of Chesterfield. Be advised, the hydrologic/hydraulic study must evaluate impacts of the proposed work in, near and above the natural watercourse through this site. The study will need to evaluate the 10, 50, 100 and 500 year flood events. The study will also need to evaluate the impact of the proposed storm sewer outfall on the stability of the channel and propose methods for mitigating the impact of the proposed outfall. This study will need to be based on the current condition of the watercourse.

UTILITY NOTE:
UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEY RECORDS AND INFORMATION, AND THEREFORE DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NON-EXISTENCE, SIZE, TYPE, NUMBER, OR LOCATION OF THESE FACILITIES, STRUCTURES AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES EITHER SHOWN OR NOT SHOWN ON THESE PLANS. THE UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319 RSMO.

PREPARED FOR:
STONERIDGE INVESTMENTS, L.L.C.
C/O
CLAYCORP
2199 INNERBELT BUSINESS CENTER DRIVE
ST. LOUIS, MISSOURI 63111
PHONE: (314) 429-5100
FAX: (314) 429-3137

SITE BENCHMARK
TBM # "L" CUT ON SOUTH SIDE OF SOUTH CONCRETE SIGN BASE ON SOUTH SIDE OF SOUTH OUTER FORTY (420± EAST OF YARMOUTH POINT DRIVE)
ELEV.=522.26

M.S.D. BENCHMARK
DESTROYED
12-152 - "C" ON THE NORTHEAST WING WALL OF BRIDGE #205 OVER CREVE COEUR CREEK ALONG CONWAY ROAD; 500' EAST OF WHITE ROAD.
ELEV.=498.90

