



VIII. A.

690 Chesterfield Pkwy W • Chesterfield MO 63017-0760
Phone: 636-537-4000 • Fax 636-537-4798 • www.chesterfield.mo.us

Planning Commission Staff Report

Meeting Date: May 30, 2007

From: Jennifer Yackley, Project Planner

Subject: Rezoning Vote Report

Location: 17555 and 17551 Chesterfield Airport Road

Petition: P.Z. 25-2006 Simply Storage (OB Development, Inc.)

Proposal Summary

OB Development, Inc. has submitted an application for a change of zoning from "NU" Non-Urban to a "PI" Planned Industrial District per the regulations of the City of Chesterfield Zoning Ordinance Section 1003.150. The site is located approximately 100 feet east of the intersection of Long Road and Chesterfield Airport Road.

Proposal History

The Planning Commission voted on this petition at the January 22, 2007 meeting. The Commission voted 4-3 on the petition sending it forward to Planning and Zoning Committee without a recommendation for approval (Five (5) votes are necessary for a recommendation of approval). The petitioner appeared before the Planning Commission on February 12, 2007 requesting the Commission reconsider their earlier vote. The Planning Commission approved the request to reconsider by a vote of 9-0. The petitioner is requesting that the Planning Commission review the changes made to the plan and vote on the revised plan.

Staff Recommendation

The Attachment A for this request meets all of the development requirements of the City of Chesterfield and therefore, Staff recommends approval of the change of zoning from "NU" Non-Urban to a "PI" Planned Industrial District.

Zoning Analysis

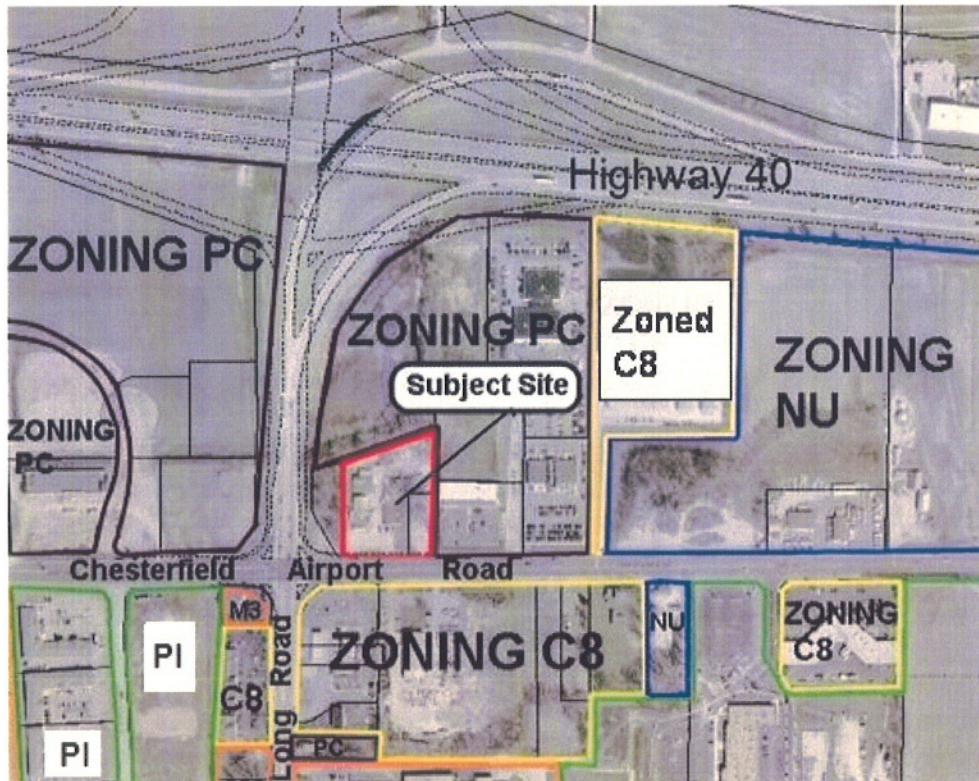
A preliminary plan accompanies all rezoning requests when the change of zoning is to a Planned District. When a vote is taken on a rezoning request, the vote is to approve the change of zoning with an Attachment A. The vote is not to approve the accompanying preliminary plan which is provided for informational purposes only.

During site plan review, if a site development plan is submitted which still does not meet the requirements set forth in the Attachment A, the site development plan will not be considered for approval before the Planning Commission.

Surrounding Land Use and Zoning

The land use and zoning for the properties surrounding this parcel are as follows:

- North: The property to the north is Highway 40 Park and is zoned "PC" Planned Commercial District.
- South: McDonald's is located across Chesterfield Airport Road to the south and is zoned "C-8" Planned Commercial District.
- East: The property to the east is Highway 40 Park and is zoned "PC" Planned Commercial District.
- West: Walgreens is located across Long Road to the west and is zoned "PC" Planned Commercial District.





Looking west along Chesterfield Airport Road.



Looking east along Chesterfield Airport Road



Standing on the site, looking across Chesterfield Airport Road.

Comprehensive Plan Analysis

The Comprehensive Plan identifies this area as mixed commercial. Retail, low-density office and office/warehouse facilities are appropriate land uses for this site. This subject site is located in the Chesterfield Valley and meets the development criteria identified by the Comprehensive Plan for the Chesterfield Valley.

Site Area History

The site was zoned "NU" Non-Urban by St. Louis County prior to the incorporation of the City of Chesterfield.

Issues

There were concerns regarding the building height, open space, distance from Chesterfield Airport Road, and the internal drive setbacks along the western property line. The petitioner has addressed these issues in the revised plan and the table below compares the previous and current plans.

Issue	Previous Plan	Current Plan
Open Space	30%	33%
Building Height	53 feet to the top of the peak	41 feet 10 inches to the top of the peak
Square Footage	Retail 11,196 sq. ft. Storage 89,958 sq. ft. Total 101,740 sq. ft.	Retail 8,362 sq. ft. Storage 90,792 sq. ft. Total 104,243 sq. ft.
Parking Requirements	63 spaces required 63 spaces provided	50 spaces required 50 spaces provided
Setback along Western Property Line	Did not meet the required 37 foot setback for the internal drive.	Meets the required 31 foot setback for the internal drive.
Distance from Chesterfield Airport Road	Entire building was 94 feet from Chesterfield Airport Road.	Front retail portion is 95 feet from Chesterfield Airport Road. The upper stories of the storage portion are stepped back from the front retail portion and are approximately 125 feet from Chesterfield Airport Road.


Request

Staff recommends approval of the change of zoning from "NU" Non-Urban to a "PI" Planned Industrial District with the Attachment A as written.

Respectfully submitted,


Jennifer Yackley
Project Planner

Respectfully submitted,


Aimee Nassif
Senior Planner of Zoning Administration

Attachments

1. Attachment A
2. Preliminary Plan

ATTACHMENT A

All provisions of the City of Chesterfield City Code shall apply to this development except as specifically modified herein.

I. SPECIFIC CRITERIA

A. PERMITTED USES

1. The uses allowed in this "PI" Planned Industrial District shall be:
 - a. Business service establishments.
 - b. Restaurants, fast food.
 - c. Restaurants, sit down.
 - d. Stores, shops, markets, service facilities, in which goods or services of any kind, including indoor sale of motor vehicles, are being offered for sale or hire to the general public on the premises.
 - e. Warehousing and storage.
2. The following Ancillary Uses shall be permitted:
 - a. Automatic vending facilities for:
 - i. Ice and solids carbon dioxide (dry ice);
 - ii. Beverages;
 - iii. Confections.
3. The above uses in the "PI" Planned Industrial District shall be restricted as follows:
 - a. Storage of hazardous, explosive or flammable materials shall not be allowed in this development.
 - b. Drive-through services are specifically excluded from this development.

B. FLOOR AREA, HEIGHT, BUILDING AND PARKING STRUCTURE REQUIREMENTS

1. HEIGHT
 - a. The maximum height of the building, exclusive of roof screening, shall not exceed forty-two (42) feet.

2. BUILDING REQUIREMENTS

- a. A minimum of thirty percent (30%) open space is required for this development.

C. SETBACKS

1. STRUCTURE SETBACKS

No building or structure, other than: a freestanding project identification sign, boundary and retaining walls, light standards, flag poles or fences will be located within the following setbacks:

- a. Ninety (90) feet from the right-of-way of Chesterfield Airport Road on the southern boundary of the Planned Industrial (PI) District.
- b. Fifty-three (53) feet from the western boundary of the (PI) District.
- c. Twenty-eight (28) feet from the northern boundary of the (PI) District.
- d. Fifty (50) feet from the eastern boundary of the (PI) District.

2. PARKING SETBACKS

No parking stall, internal driveway, or roadway, except points of ingress and egress, will be located within the following setbacks:

- a. Thirty (30) feet from the right-of-way of Chesterfield Airport Road.
- b. Thirty one (31) feet from the western boundary of the (PI) District.
- c. Five (5) feet from the northern boundary of the (PI) District.
- d. Eight (8) feet from the eastern boundary of the (PI) District.

3. LOADING SPACE SETBACKS

No loading space will be located within the following setbacks:

- a. One hundred fifty-five (155) feet from the right-of-way of Chesterfield Airport Road.
- b. Sixty (60) feet from the western boundary of the (PI) District.

- c. One hundred forty (140) feet from the northern boundary of the (PI) District.
- d. Sixty (60) feet from the eastern boundary of the (PI) District.

F. PARKING AND LOADING REQUIREMENTS

- 1. Parking and loading spaces for this development will be as required in the City of Chesterfield Code.
- 2. Construction Parking
 - a. The streets surrounding this development and any street used for construction access thereto shall be cleaned throughout the day. The developer shall keep the road clear of mud and debris at all times.
 - b. Provide adequate off-street stabilized parking area(s) for construction employees and a washdown station for construction vehicles entering and leaving the site in order to eliminate the condition whereby mud from construction and employee vehicles is tracked onto the pavement causing hazardous roadway and driving conditions.
 - c. No construction related parking shall be permitted within the Chesterfield Airport Road right of way.
- 3. Parking lots shall not be used as streets.

G. LANDSCAPE AND TREE REQUIREMENTS

- 1. The developer shall adhere to the Tree Manual of the City of Chesterfield Code.
- 2. Landscaping in the right of way, if proposed, shall be reviewed by the City of Chesterfield, and/or the St. Louis County Department of Highways and Traffic.

H. SIGN REQUIREMENTS

- 1. Sign package submittal materials shall be required for this development. All sign packages shall be reviewed and approved by the City of Chesterfield Planning Commission.
- 2. Ornamental Entrance Monument construction, if proposed, shall be reviewed by the City of Chesterfield, and/or the St. Louis County Department of Highways and Traffic, for sight distance considerations prior to installation or construction.

I. LIGHT REQUIREMENTS

1. Provide a lighting plan and cut sheet in accordance with the City of Chesterfield Code.

J. ARCHITECTURAL

1. The developer shall submit architectural elevations, including but not limited to, colored renderings and building materials. Architectural information is to be reviewed by the Architectural Review Board and the Planning Commission.
2. Building facades should be articulated by using color, arrangement or change in materials to emphasize the facade elements. The planes of the exterior walls may be varied in height, depth or direction. Extremely long facades shall be designed with sufficient building articulation and landscaping to avoid a monotonous or overpowering appearance.
3. Trash enclosures: The location and elevation of any trash enclosures will be as approved by the Planning Commission on the Site Development Plan. All exterior trash areas will be enclosed with a six (6) foot high sight-proof enclosure complimented by adequate landscaping approved by the Planning Commission on the Site Development Plan. The material will be as approved by the Planning Commission in conjunction with the Site Development Plan.
4. Mechanical equipment will be adequately screened by roofing or other material as approved by the Planning Commission.

K. ACCESS/ACCESS MANAGEMENT

1. Access to Chesterfield Airport Road shall be limited to one drive entrance. The entrance shall be as close to the east property line as practical and adequate sight distance shall be provided, as directed by the City of Chesterfield and the St. Louis County Department of Highways and Traffic.
2. Provide cross access easement(s) or other appropriate legal instrument(s) guaranteeing permanent access to the adjacent parcel to the west as directed.

L. PUBLIC/PRIVATE ROAD IMPROVEMENTS, INCLUDING PEDESTRIAN CIRCULATION

1. Obtain approvals from the City of Chesterfield, St. Louis County Department of Highways and Traffic, and the Missouri Department

of Transportation for areas of new dedication, and roadway improvements.

2. Provide any additional right-of-way and construct any improvements to Chesterfield Airport Road, as required by the St. Louis Department of Highways and Traffic, and the City of Chesterfield.
3. If required sight distance cannot be provided at the access locations, acquisition of right-of-way, reconstruction of pavement including correction to the vertical alignment and other off-site improvements may be required to provide adequate sight distance as directed by the St. Louis County Department of Highways and Traffic.
4. Provide a five (5) foot wide sidewalk, conforming to ADA standards, along the Chesterfield Airport Road frontage of the site.

M. TRAFFIC STUDY

1. Provide a traffic study as directed by the City of Chesterfield and/or the Missouri Department of Transportation. The scope of the study shall include internal and external circulation and may be limited to site specific impacts, such as the need for additional lanes, entrance configuration, geometrics, sight distance, traffic signal modifications or other improvements required, as long as the density of the proposed development falls within the parameters of the City's traffic model. Should the density be other than the density assumed in the model, regional issues shall be addressed as directed by the City of Chesterfield.
2. Provide a sight distance evaluation report, as required by the City of Chesterfield, for the proposed entrance onto Chesterfield Airport Road. If adequate sight distance cannot be provided at the access location, acquisition of right of way, reconstruction of pavement, including correction to the vertical alignment, and/or other off-site improvements shall be required, as directed by the City of Chesterfield and/or the St. Louis County Department of Highways and Traffic.

N. POWER OF REVIEW

1. The Mayor or a Councilmember of the Ward in which a development is proposed may request that the site plan be reviewed and approved by the entire City Council. This request must be made no later than twenty-four (24) hours before posting the agenda for the next City Council meeting after Planning Commission review and approval of the site plan. The City Council will then take appropriate action relative to the proposal.

6. Provide public sewer service for the site, including sanitary force main, gravity lines and/or regional pump stations, in accordance with the Metropolitan St. Louis Sewer District Conceptual Sewer Master Plan for Chesterfield Valley.
7. The downstream low pressure sewer system shall be evaluated to ensure adequate capacity and to ensure that the project has no negative impacts to the existing sewer system.
8. Stormwater should be controlled as required by the Chesterfield Valley Master Facility Plan.
9. Treatment will be required at this site for water quality per MSD February 2006 guidelines.
10. This project is in the Caulks Creek Surcharge area and is subject to a surcharge of \$2750.00 per acre.

P. GEOTECHNICAL REPORT

1. Provide a geotechnical report, prepared by a registered professional engineer licensed to practice in the State of Missouri, as directed by the Department of Public Works. The report shall verify the suitability of grading and proposed improvements with soil and geologic conditions and address the existence of any potential sinkhole, ponds, dams, septic fields, etc., and recommendations for treatment. A statement of compliance, signed and sealed by the geotechnical engineer preparing the report, shall be included on all Site Development Plans and Improvement Plans.

Q. MISCELLANEOUS

1. All utilities will be installed underground. The development of this parcel will coordinate the installation of all utilities in conjunction with the construction of any roadway on site.
2. Sleeves for future telecommunication services are required to be installed adjacent and/or parallel to any proposed roadway, or other location as directed by the City of Chesterfield, in order to facilitate the installation of utilities and telecommunication infrastructure for current and future users.
3. Utility companies will require compensation for relocation of their facilities with public road right-of-way. Utility relocation cost shall not be considered as an allowable credit against the petitioner's traffic generation assessment contributions. The developer should also be aware of extensive delays in utility company relocation and adjustments. Such delays will not constitute a cause to allow occupancy prior to completion of road improvements.

II. TIME PERIOD FOR SUBMITTAL OF SITE DEVELOPMENT CONCEPT PLANS AND SITE DEVELOPMENT PLANS

- A. The developer shall submit a concept plan within eighteen (18) months of City Council approval of the change of zoning.
- B. In lieu of submitting a Site Development Concept Plan and Site Development Section Plans, the petitioner may submit a Site Development Plan for the entire development within eighteen (18) months of the date of approval of the change of zoning.
- C. Failure to comply with these submittal requirements will result in the expiration of the change of zoning and will require a new public hearing.
- D. Said Plan shall be submitted in accordance with the combined requirements for Site Development Section and Concept Plans. The submission of Amended Site Development Plans by sections of this project to the Planning Commission shall be permitted if this option is utilized.
- E. Where due cause is shown by the developer, this time interval for plan submittal may be extended through appeal to and approval by the Planning Commission.

III. COMMENCEMENT OF CONSTRUCTION

- A. Substantial construction shall commence within two (2) years of approval of the site development concept plan or site development plan, unless otherwise authorized by ordinance.
- B. Where due cause is shown by the developer, the Commission may extend the period to commence construction for not more than one (1) additional year.

IV. GENERAL CRITERIA

A. SITE DEVELOPMENT PLAN SUBMITTAL REQUIREMENTS

The Site Development Plan shall adhere to the above criteria and to the following:

1. Location map, north arrow, and plan scale. The scale shall be no greater than one (1) inch equals one hundred (100) feet.
2. Parking calculations. Including calculation for all off street parking spaces, required and proposed, and the number, size and location for handicap designed.

as determined by the St. Louis County Department of Highways and Traffic.

Water Main

The primary water line contribution is based on gross acreage of the development land area. The contribution shall be a sum of \$648.18 per acre for the total area as approved on the Site Development Plan to be used solely to help defray the cost of constructing the primary water line serving the Chesterfield Valley area.

The primary water line contribution shall be deposited with the St. Louis County Department of Highways and Traffic. The deposit shall be made before approval of the Site Development Plan by the St. Louis County Department of Highways and Traffic. Funds shall be payable to the Treasurer, St. Louis County.

Stormwater

The storm water contribution is based on gross acreage of the development land area. These funds are necessary to help defray the cost of engineering and construction improvements for the collection and disposal of storm water from the Chesterfield Valley in accordance with the Master Plan on file with and jointly approved by St. Louis County and the Metropolitan St. Louis Sewer District. The amount of the storm water contribution will be computed based on \$2,056.58 per acre for the total area as approved on the Site Development Plan. The storm water contributions to the Trust Fund shall be deposited with the St. Louis County Department of Highways and Traffic. The deposit shall be made before the issuance of a Special Use Permit (S.U.P) by St. Louis County Department of Highways and Traffic. Funds shall be payable to the Treasurer, St. Louis County.

Sanitary Sewer

The sanitary sewer contribution is collected as the Caulks Creek impact fee.

The sanitary sewer contribution within Chesterfield Valley area shall be deposited with the Metropolitan St. Louis Sewer District as required by the District.

The amount of these required contributions for the roadway, storm water and primary water line improvements, if not submitted by January 1, 2007 shall be adjusted on that date and on the first day of January in each succeeding year thereafter in accordance with the construction cost index as determined by the St. Louis County Department of Highways and Traffic.

Trust Fund contributions shall be deposited with St. Louis County in the form of a cash escrow prior to the issuance of building permits.

The amount of this required contribution, if not submitted by January 1, 2007 will be adjusted on that date and on the first day of January in each succeeding year

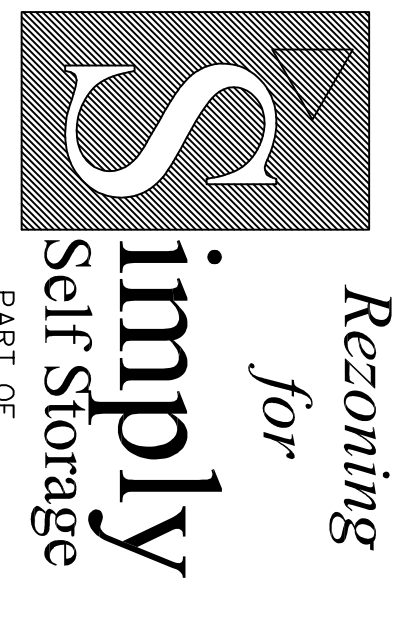
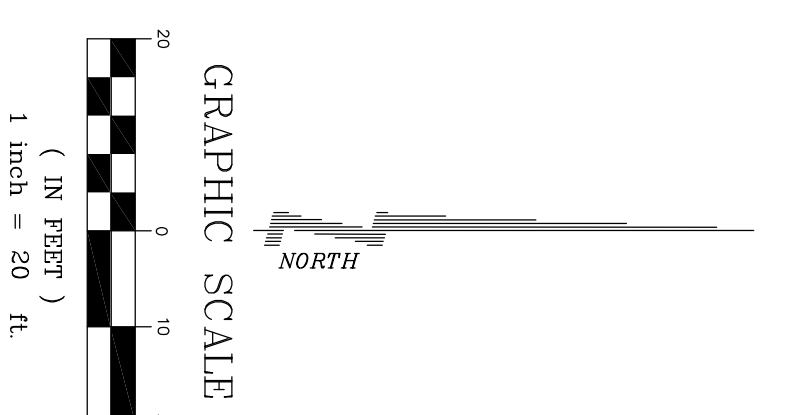
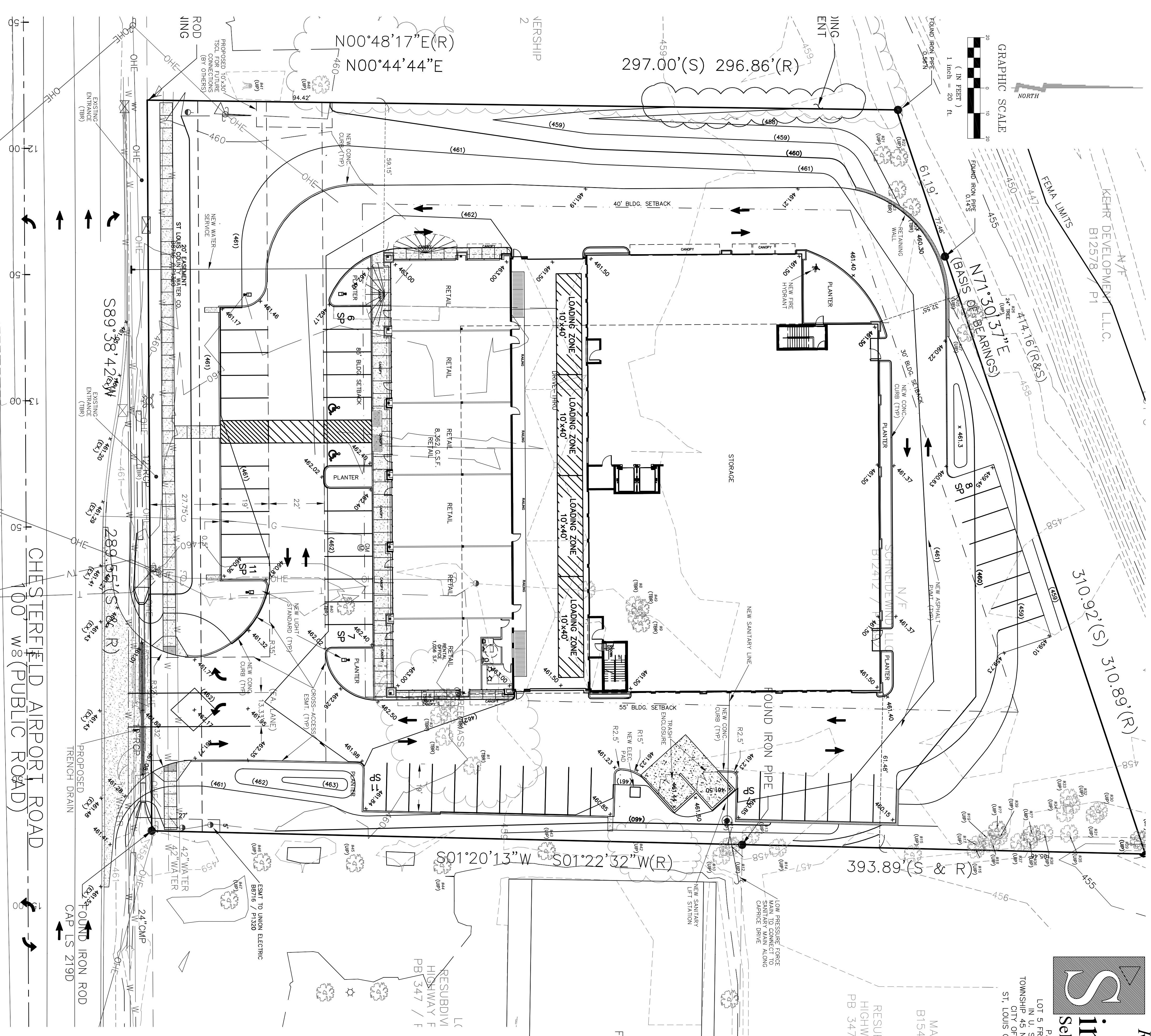
thereafter in accordance with the construction cost index as determined by the St. Louis County Department of Highways and Traffic.

VI. RECORDING

Within sixty (60) days of approval of any development plan by the City of Chesterfield, the approved Plan will be recorded with the St. Louis County Recorder of Deeds. Failure to do so will result in the expiration of approval of said plan and require re-approval of a plan by the Planning Commission.

VII. ENFORCEMENT

- A. The City of Chesterfield, Missouri will enforce the conditions of this ordinance in accordance with the Site Development Plan approved by the City of Chesterfield and the terms of this Attachment A.
- B. Failure to comply with any or all the conditions of this ordinance will be adequate cause for revocation of approvals/permits by reviewing Departments and Commissions.
- C. Non-compliance with the specific requirements and conditions set forth in this Ordinance and its attached conditions or other Ordinances of the City of Chesterfield shall constitute an ordinance violation, subject, but not limited to, the penalty provisions as set forth in the City of Chesterfield Code.
- D. Waiver of Notice of Violation per the City of Chesterfield Code.
- E. This document shall be read as a whole and any inconsistency to be integrated to carry out the overall intent of this Attachment A.



LOT 5, FAZZLER ESTATES
IN U. S. SURVEY 126
TOWNSHIP 45 NORTH, RANGE 4 EAST
CITY OF CHESTERFIELD
ST. LOUIS COUNTY, MISSOURI

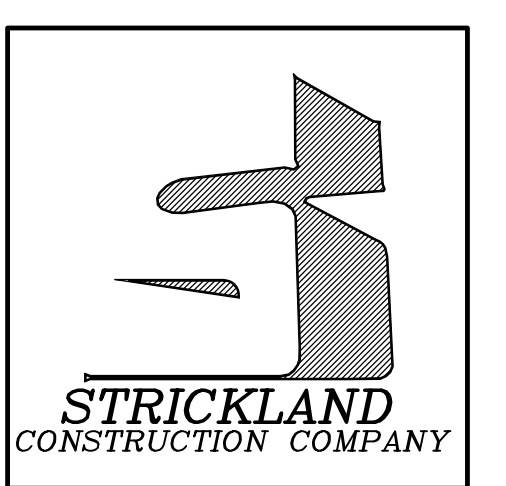
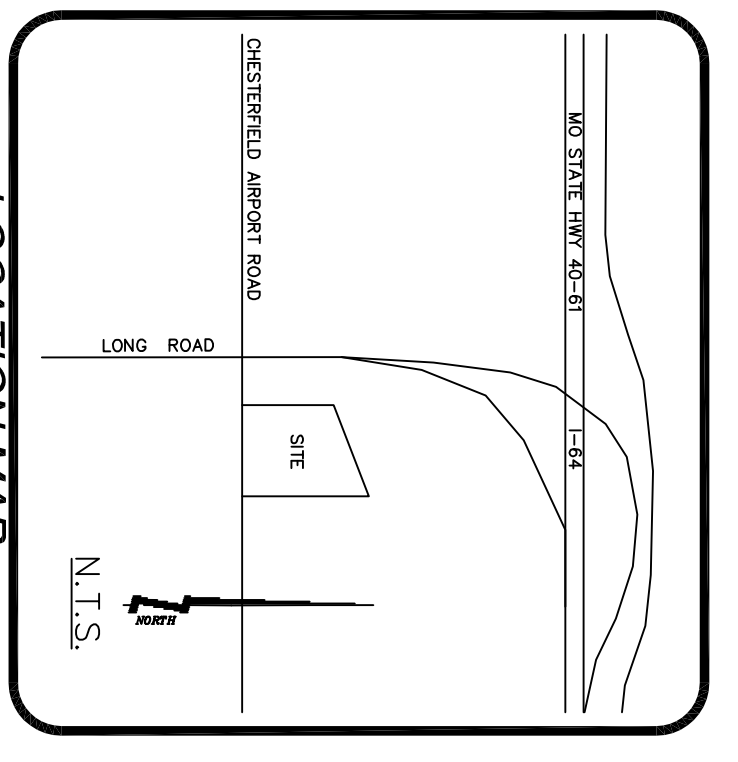
N/F
MASON LLC.
B15413 / P1397
LOT B
RESUBDIVISION LOT 1
HIGHWAY FORTY PARK
PB 347 / PGS 145-146

LEGEND

- Sanitary Sewer (Proposed)
- Sanitary Sewer (Existing)
- Storm Sewer (Existing)
- Water Line and Valve
- Fire Hydrant
- Proposed Contour
- Existing Contour
- Existing Fence Line
- Proposed Fence Line
- Steel Pole
- Power Pole
- Gas Valve
- Water Valve
- Found Old Iron Pipe
- Found Old Concrete Pipe
- Benchmark
- Proposed Concrete Pipe
- Reinforced Concrete Pipe
- Corrugated Metal Pipe
- Polymer Concrete Pipe
- Victrolid Clay Pipe
- VCP
- End Pipe
- Fire End Section
- Clear Out
- Manhole
- Curb Inlet
- Area Inlet
- Gate Inlet
- Concrete Color
- Use in Place
- To Be Removed
- Reinforced/Replaced
- 18\"/>

- ### PROPOSED SETBACKS:
- | BUILDING SETBACK | NOTE |
|-------------------------|----------------------------------------------------------|
| 30' NORTH PROPERTY LINE | WEST PROP. LINE BLDG. SETBACK TO 85' SOUTH PROPERTY LINE |
| 85' SOUTH PROPERTY LINE | BE 1' PER 2' IN HEIGHT ABOVE 30' |
| 41.83'-30'=11.83' | |
| 11.83'/2=5.92 + 3.65' | |
| 40' WEST PROPERTY LINE | SETBACK=42.42' |
| PARKING SETBACK | FROM WEST PROPERTY LINE |
| 20' NORTH PROPERTY LINE | 20' SOUTH PROPERTY LINE |
| 20' SOUTH PROPERTY LINE | FROM WEST PROPERTY LINE |
| 10' WEST PROPERTY LINE | BLDG. IS 59.15' AT CLOSEST POINT TO WEST PROPERTY LINE |
- ### GENERAL NOTES:
- THE SITE AREA IS: 100,594 S.F., 2.31 AC.
 - PROPOSED USE: EXISTING STRUCTURES ARE TO BE RAISED AND REPLACED BY NEW RETAIL / STORAGE FACILITY.
 - LOCATOR #S: PARCEL NO. - 170140253, 170140253, 170140254, BR 12412 / PG 2592, BR 12412 / PG 2592
 - PROPERTY OWNER/CONTRACTOR: O&S COMPANIES, 720 SOUTH ROGERS ROAD, FENTON, MO 64430 (913) 766-8425
 - PROPERTY DEVELOPER: STRICKLAND CONSTRUCTION COMPANY, 720 SOUTH ROGERS ROAD, SUITE B FENTON, MO 64430 (913) 766-8425
 - CURRENT ZONING: NU NON-URBAN. SETBACKS REQUIRED: NONE (TO BE ESTABLISHED W/ ORDINANCE) OPEN SPACE: 10% REQUIRED. BLDG. HEIGHT: 41'-10" TO TOP PEAK. BLDG. FOOTPRINT: 32,722 S.F. OR 32% OF OVERALL SITE. SITE SETBACKS PROPOSED: REFER TO CHART THIS SHEET. RECOMMENDED FRONT FOR SET. LOUIS CO. HWY. DEPT. (LONG ROAD)..... 45'
 - # OF ENTRANCES ALLOWED FOR STREET FRONTAGE <200' (1).
 - THE DEVELOPMENT SHALL COMPLY WITH ALL CONDITIONS AS SET FORTH IN ORDINANCES BY THE CITY OF CHESTERFIELD, ST. LOUIS COUNTY AND THE STATE OF MISSOURI.
 - BENCHMARK: (MSD) 12-171, ELEV. 460.06 - "STANDARD ALUMINUM DISK" STARGED ST-18, 1990. DISK IS SET AT THE NORTHEAST CORNER OF CHESTERFIELD AIRPORT ROAD AND GARBER DRIVE. TEMPORARY SITE BENCHMARK: TOP OF EXISTING CLEAN OUT, ELEV. 458.93, LOCATED SOUTH OF HOUSE, ALONG NORTH PROPERTY LINE.
 - PROPERTY BOUNDARY INFORMATION TAKEN FROM BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED BY ZAVRADINOS PROFESSIONAL SERVICES, INC., FENTON, MO, 2005.
 - UTILITIES/DISTRICT:
 - CABLE: CHARTER CABLE..... (636) 579-4800
 - ELECTRIC: AMEREN UE..... (636) 992-8902
 - FIRE DISTRICT: MONARCH PROTECTION DISTRICT..... (636) 514-0900
 - GAS: Laclede Gas..... (636) 278-2653
 - SANITARY SEWER: METROPOLITAN ST. LOUIS SEWER DISTRICT..... (636) 938-2202
 - SCHOOL DISTRICT: ROCKWOOD SCHOOL DISTRICT..... (636) 949-1301
 - TELEPHONE: SBC..... (314) 991-3404
 - WATER: MISSOURI AMERICAN WATER..... (314) 991-3404
 - TRACT IS LOCATED IN: CHESTERFIELD, MO USGS QUADRANGLE MAP WUNDBURG MAP PAGE 20, SECTION HH-18
 - SITE ADDRESS: 17555 CHESTERFIELD AIRPORT ROAD, CHESTERFIELD, MO 63005.
 - BUILDING INFORMATION: RETAIL, STORAGE. PROPOSED USE = COMMERCIAL.
 - 5 SPACE/1000 S.F.
 - 8,362 S.F.: 8.4x5=42 SP
 - SPACES REQUIRED=42
 - SPACES PROVIDED=44
 - SPACES PROVIDED=43 REGULAR
 - 2 H.C.
 - 45 TOTAL
 - AREAS CALCULATIONS:

OVERALL AREA: 100,594 S.F. (2.31 AC)	BUILDING SQUARE FOOTAGE: 32,722 S.F.
BLDG. AREA: 32,722 S.F.	GROUND FLOOR: 19,655 S.F.
PROPOSED DRIVEWAY: 32,786 S.F.	SECOND FLOOR: 2,067 S.F.
TOTAL DRIVEWAY: 32,786 S.F.	THIRD FLOOR: 2,067 S.F.
TOTAL AREAS: 100%	BLDG. TOTAL SQUARE FOOTAGE: 104,243 S.F.
 - ARCHITECTURAL PLANS FOR NEW FACILITY TO BE PROVIDED TO CHESTERFIELD PLANNING COMMISSION FOR ARCHITECTURAL REVIEW AFTER ZONING APPROVAL.
 - ALL PROPOSED UTILITIES TO BE PLACED UNDERGROUND.
 - ALL SIGNAGE FOR SITE/BUILDING TO REQUIRE SEPARATE REVIEW, APPROVAL AND PERMITS.
 - ENTRANCE AT CHESTERFIELD AIRPORT ROAD TO FOLLOW ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC STANDARDS AND SPECIFICATIONS.
 - REFER TO SHEET 2, 3 & 4 FOR ADDITIONAL NOTES AND DETAILS.
 - ALL IMPROVEMENTS WITHIN ST. LOUIS CO. R/W TO CONFORM TO ST. LOUIS CO. CAPITAL IMPROVEMENT PROJECT NO. AR-883.
 - ALL GRADING AND DRAINAGE TO BE IN CONFORMANCE WITH ST. LOUIS CO. & MSD STANDARDS.
 - NO SLOPES WITHIN CO. R/W TO EXCEED 3:1.
 - STORM WATER TO BE DISCHARGED AT THE PERIMETERS OF THE PROPERTY IN ADEQUATE DRAINAGE CHANNELS, REFER TO PLANS.
 - ALL SIDEWALKS TO CONFORM TO ST. LOUIS COUNTY, CITY OF CHESTERFIELD AND THE CURRENT APPROVED ADA STANDARDS. SIDEWALK WILL BE DEDICATED TO THE CITY OF CHESTERFIELD.
 - PROPOSED 1 1/4" LATERAL LOW PRESSURE FORCE MAIN TO NEW VALVE VAULT TO BE "PRIVATE".
 - FLOOD INFORMATION:
 - PROPERTY SURVEYED LIES WITHIN ZONE - SHADG "C" AREA PROTECTED BY FEMA FLOOD INSURANCE RATE COMMUNITY NO. 280996.
 - CHESTERFIELD MO, MAP NO. - 0140, SURVEY - H.
 - FIRST FLOOR ELEVATION: 463.00 (RETAIN)/461.50 (STORAGE).
 - ELEVATION CERTIFICATE TO BE PROVIDED TO THE OWNER/DEVELOPER AND THE CITY PRIOR TO ANY OCCUPANCY PERMIT.
 - THE BASIS OF BEARINGS FOR THIS SURVEY IS THE NORTHERN LINE OF THE TRACT OF LAND DESCRIBED IN A DEED TO SCHNEIDERMAN LLC AS RECORDED IN BOOK 12412, PAGE 2592 OF THE ST. LOUIS COUNTY RECORDS.
 - LIGHT STANDARDS ARE SHOWN IN THE ISLAND AREAS. OWNER WILL TRY TO INCORPORATE THE LIGHTING FOR THE PARKING AREA AND GENERAL BUILDING, ON THE BUILDING ITSELF, UPON SUBMITTAL TO CITY FOR IMPROVEMENT PLANS. SITE LIGHTING WILL BE FINALIZED.
 - REFER TO SHEET 4 FOR DEMOLITION PLAN, ADDITIONAL SITE & GRADING NOTES.



Original Issue Date: 8-15-06
Project No.: 05217
Sheet: 1

Client: Strickland Construction Co.
720 S. Rogers Road, Suite B
O'Fallon, MO 63362
(913) 764-7000
Rogers Strickland

Simply Storage, Chesterfield
Rezoning Site/Grading Plan
Zavradinos & Polk inc.
engineers surveyors
17813 Edison Ave. Suite 201 * Chesterfield, MO 63005
636-946-5555 * 636-449-0148 Fax * www.zavradinos.com

No.	Date	Revision/Issue
1	12-19-06	City comments
2	4-27-07	Bldg. Outline Revisions
3	5-11-07	City comment

The Professional Engineer's and/or Professional Land Surveyor's responsibility is limited to plans and other documents displaying his/her signature and seal. Engineer and Surveyor hereby disclaim responsibility for:
 * Unauthorized use of plans and other documents prior to receipt of all review agency approvals
 * All previously issued versions of this sheet
 * This sheet whenever a revised sheet is issued
 * Individual use of any sheet that is part of a set of plans
 This applies to all plans and other documents associated with this project, whether this statement appears on them or not.

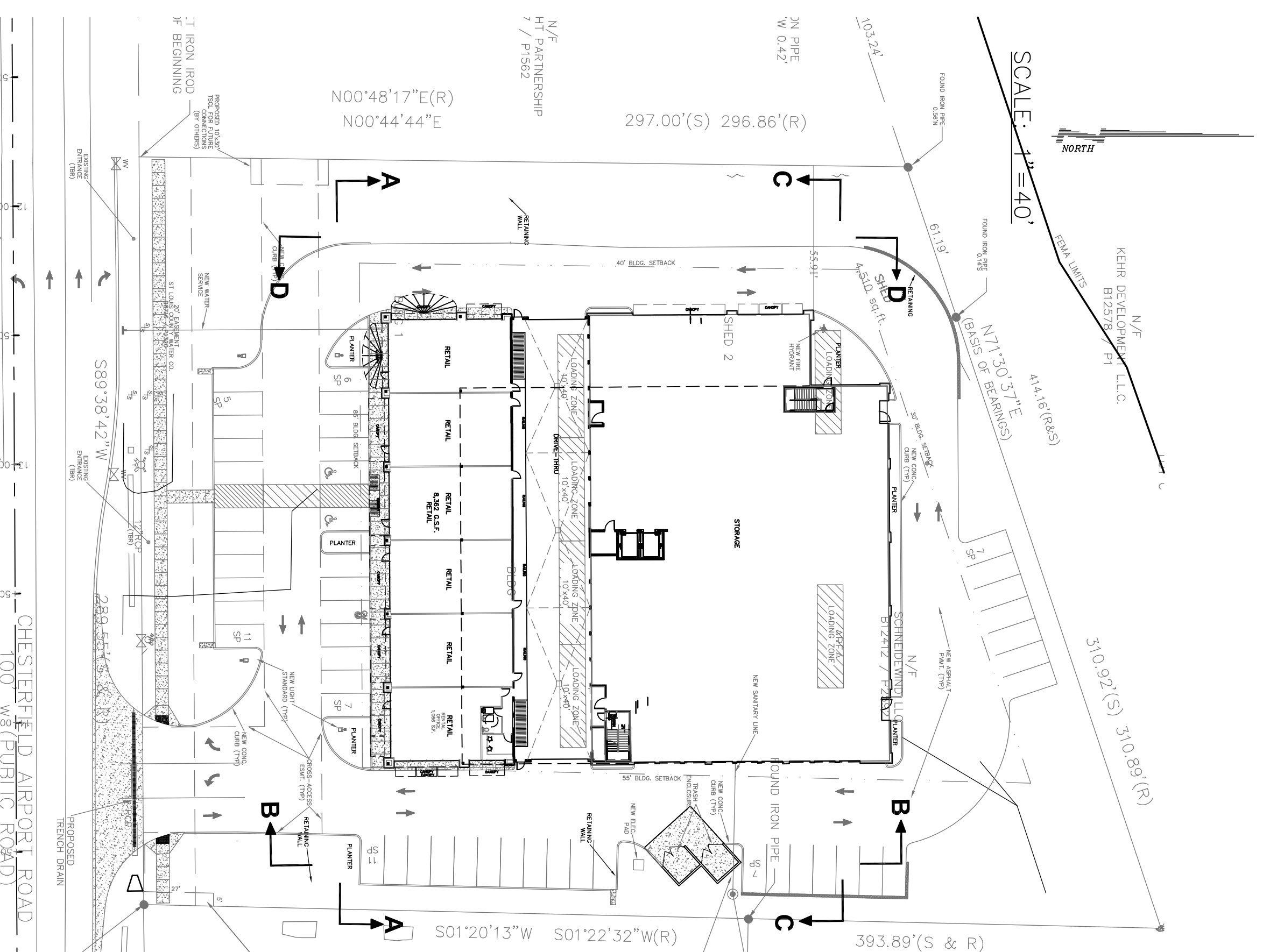
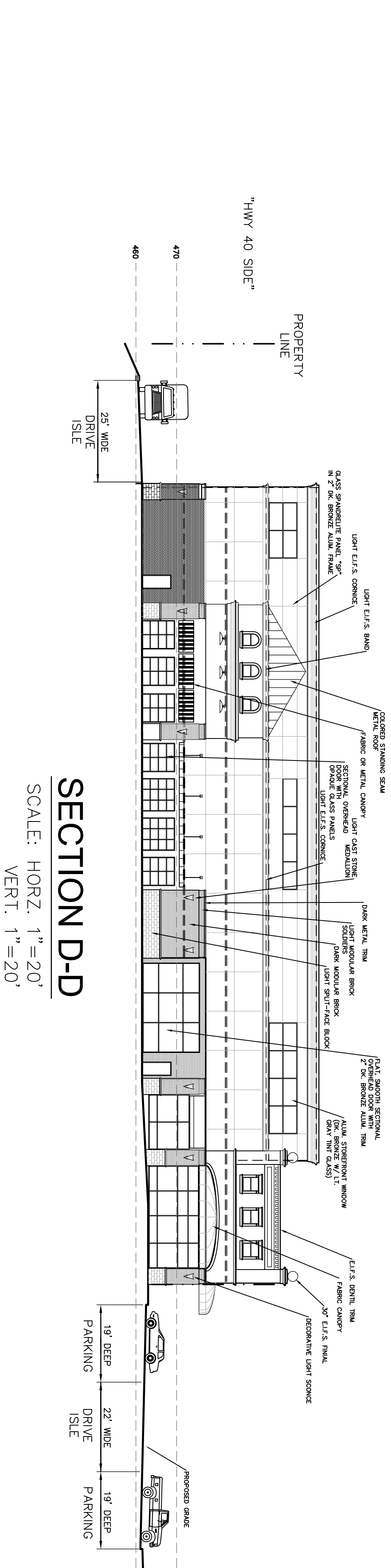
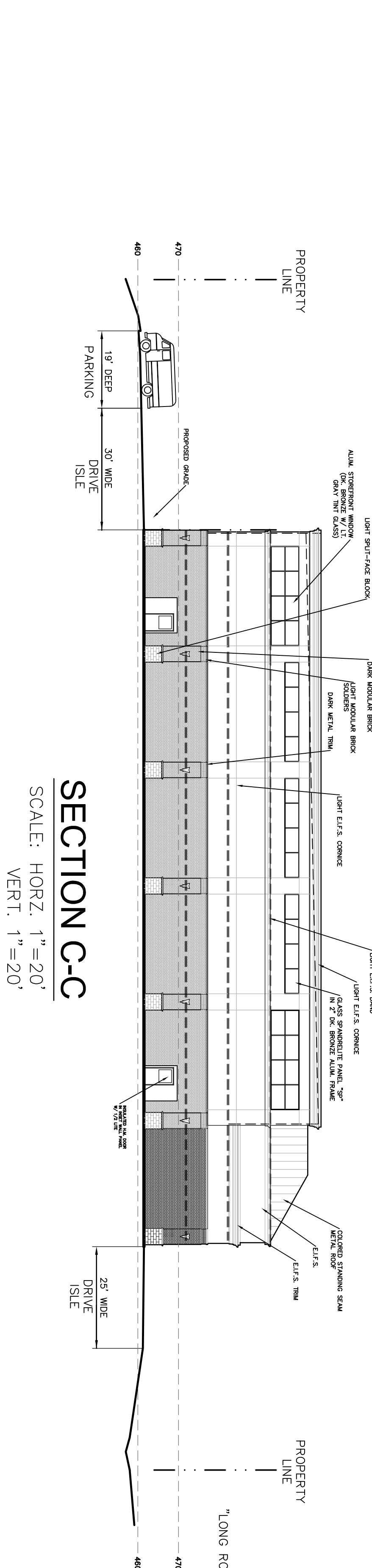
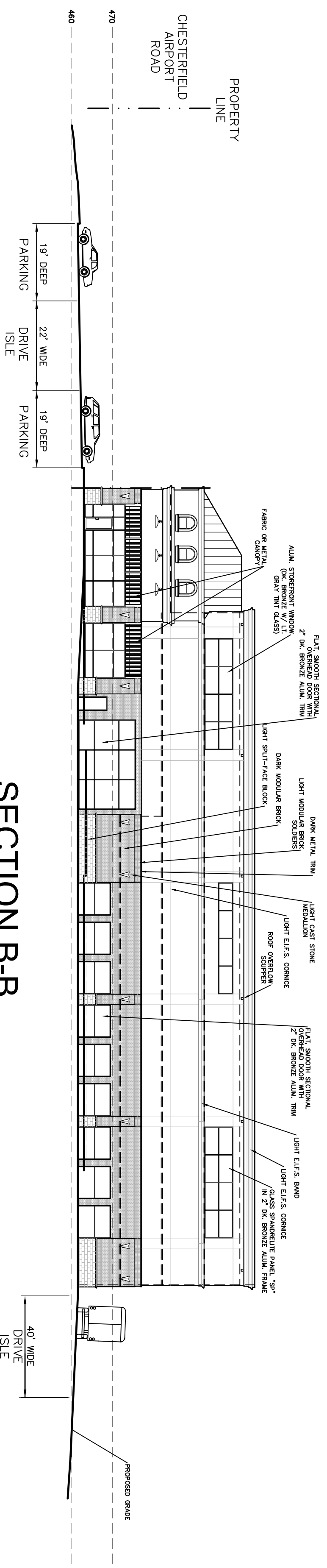
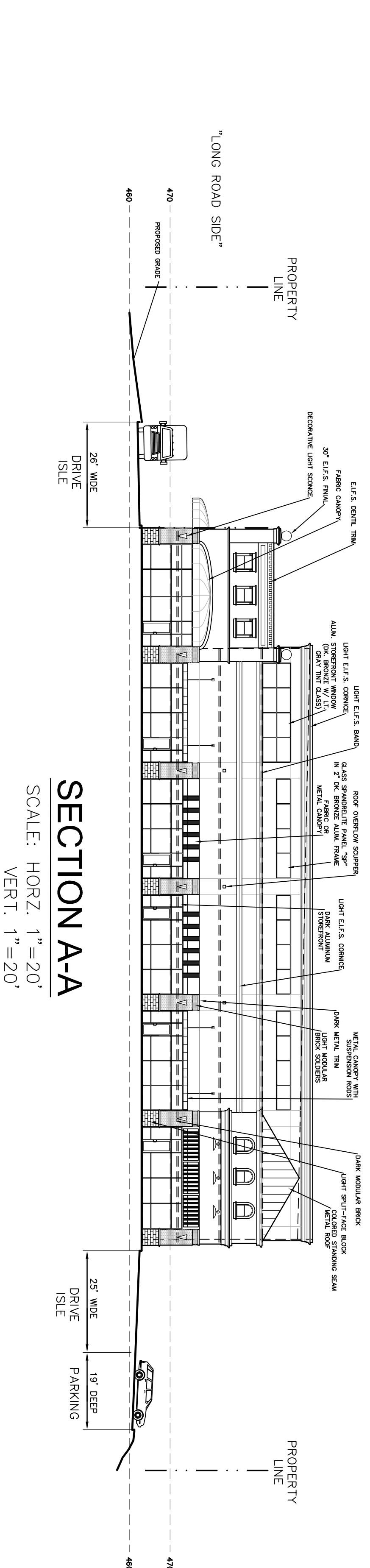
OVERALL PARCEL DESCRIPTION

PROPERTY DESCRIPTION

A TRACT OF LAND BEING PART OF LOT 5 OF FRAZIER ESTATES IN U. S. SURVY 126 IN TOWNSHIP 45 NORTH, RANGE 4 EAST ST. LOUIS COUNTY MISSOURI AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A THE POINT IF INTERSECTION OF THE NORTHERN LINE OF CHESTERFIELD AIRPORT ROAD (40' FEET WIDE) WITH THE EASTERN LINE OF A TRACT OF LAND DESCRIBED IN A DEED TO JELENEK EIGHT PARTNERSHIP AS RECORDED IN BOOK 8387, PAGE 1562 OF THE ST. LOUIS COUNTY RECORDS; THENCE ALONG SAID EASTERN LINE NORTH 00 DEGREES 44 MINUTES 44 SECONDS EAST, 297.00 FEET TO A POINT ON THE SOUTHERN LINE OF LOT B OF THE RESUBDIVISION OF LOT 1 OF HIGHWAY FORTY PARK AS RECORDED IN PLATBOOK 347 PAGES 145 AND 146 OF THE AFORESAID ST. LOUIS COUNTY RECORDS; THENCE ALONG SAID SOUTHERN LINE NORTH 71 DEGREES 30 MINUTES 37 SECONDS EAST, 310.92 FEET TO A STONE IN THE WESTERN LINE OF LOT B OF THE AFORESAID RESUBDIVISION; THENCE ALONG SAID WESTERN LINE SOUTH 01 DEGREES 20 MINUTES 13 SECONDS WEST, 393.89 FEET TO AN IRON ROD WITH A CAP FROM LS 219D ON THE NORTHERN LINE OF CHESTERFIELD AIRPORT ROAD; THENCE ALONG SAID NORTHERN LINE SOUTH 89 DEGREES 38 MINUTES 42 SECONDS WEST, 289.55 FEET TO THE POINT OF BEGINNING AND CONTAINING 2.30 ACRES MORE OR LESS.

SITE CROSS SECTIONS



SECTION LOCATIONS

No.	Date	Revision/Issue
1	12-19-06	City comments
2	4-27-07	Bldg. Outline Revisions

The Professional Engineer's and/or Professional Land Surveyor's responsibility is limited to plans and other documents displaying his/her signature and seal. Engineer and Surveyor hereby disclaim responsibility for:

- Unauthorized use of plans and other documents prior to receipt of all review agency approvals
- All previously issued versions of this sheet
- This sheet whenever a revised sheet is issued
- Individual use of any sheet that is part of a set of plans

This applies to all plans and other documents associated with this project, whether this statement appears on them or not.

Simply Storage, Chesterfield
Site Cross Section Plan

Zavradinos & Polk inc.
engineers & surveyors

17813 Edison Ave. Suite 201 * Chesterfield, MO 63005
636-946-5555 * 636-449-0148 Fax * www.zavradinos.com

Client

Strickland Construction Co.
720 S. Rogers Road, Suite B
Olotho, KS 66062
(913) 764-7000

Rogers Strickland

City/County Job No:

MSD P-
BASKIN# 17-U-4

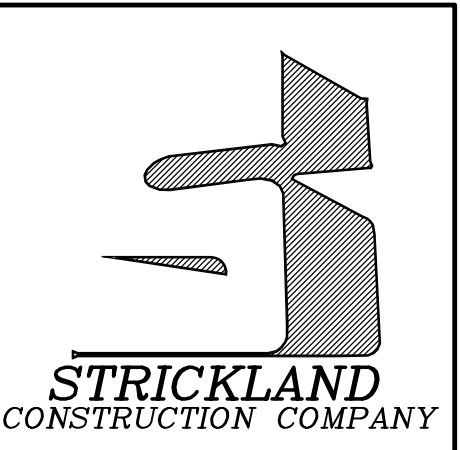
Proj Manager
JRE
jme@strickland.com

CAD Filename

Original Issue Date
8-15-06

Project No.
05217

Sheet
2



Rezoning for Simply Storage

PART OF
 LOT 5 FAZIER ESTATES
 IN U. S. SURVEY 128
 TOWNSHIP 45 NORTH, RANGE 4 EAST
 CITY OF CHESTERFIELD
 ST. LOUIS COUNTY, MISSOURI

N/F
 MASON LLC.
 B15413 / P1397

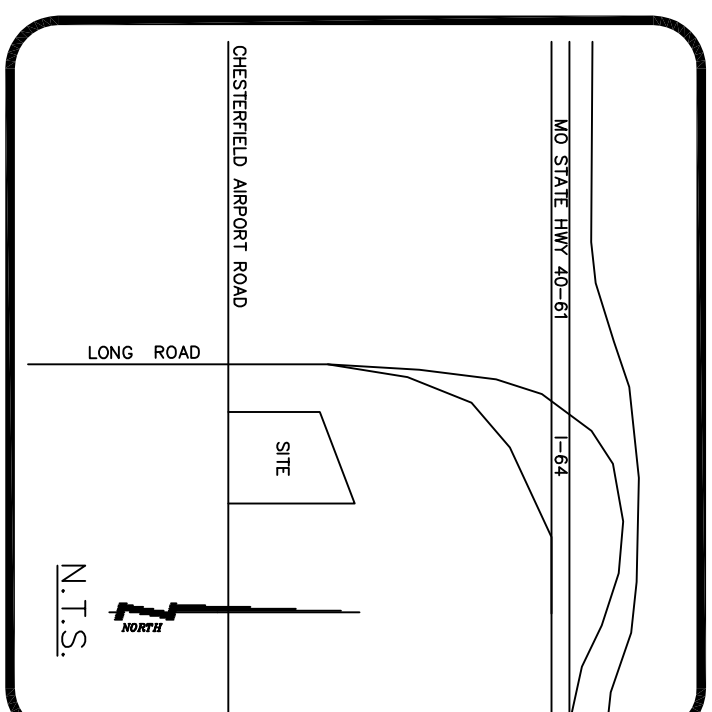
LOT B
 RESUBDIVISION LOT 1
 HIGHWAY FORTY PARK
 PB 347 / PGS 145-146

N/F
 FORSYTH ENTERPRISE
 B16446 / P250

TREE AREA CALCULATIONS

AREA OF TREE CANOPY ON SITE.....8,585 S.F.=100%
 CANOPY BEING REMOVED.....2,499 S.F.= 29%
 CANOPY REMAINING.....6,086 S.F.= 71%

LOCATION MAP



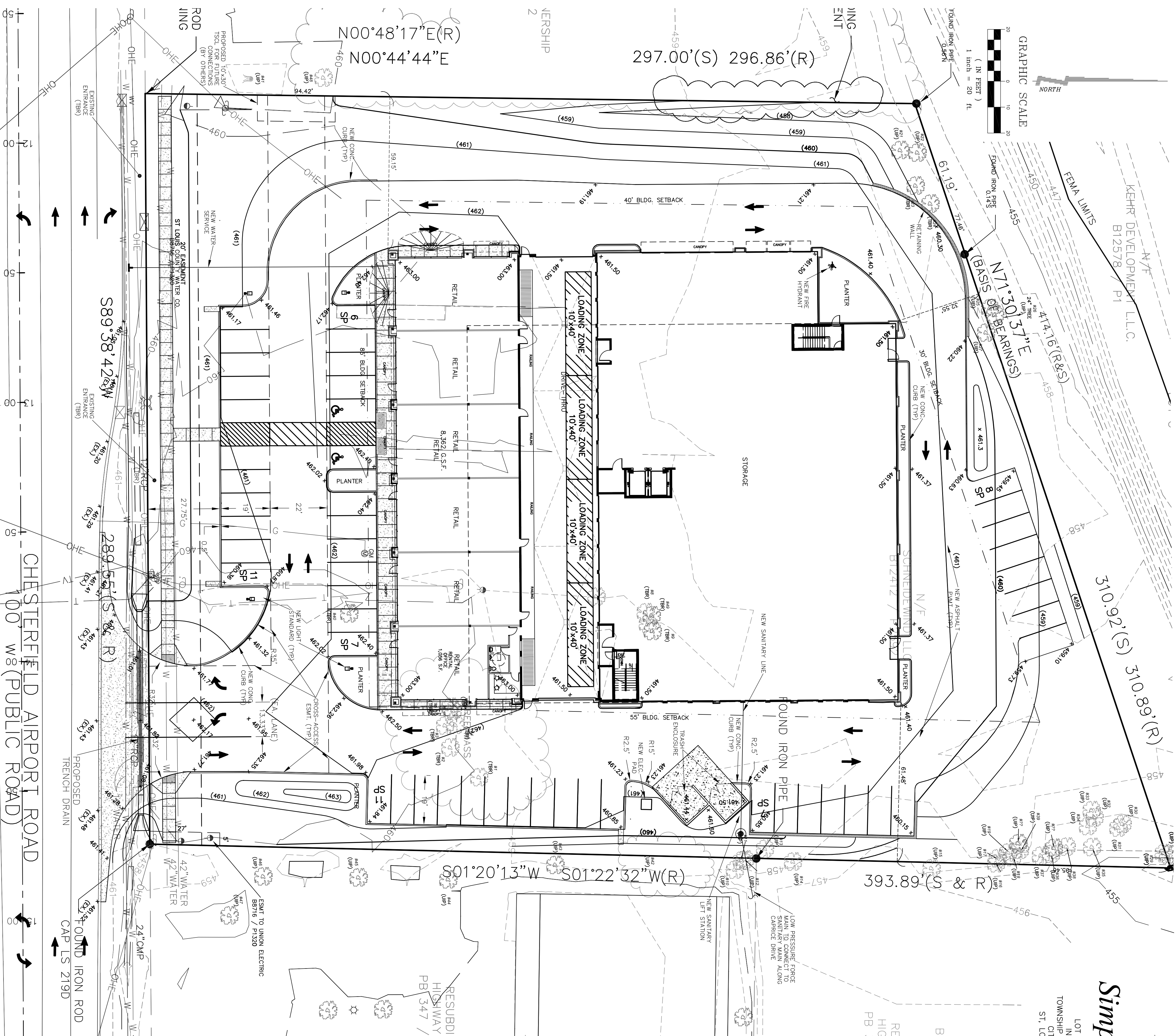
OCULAR ESTIMATE

TREE #	SPECIES	DBH	HEALTH	CANOPY	ROOTS	SITE	COMMENTS	T.B.A.
1	HICKORY	10 DBH	G000	G000	G000	G000	-	TBR
2	HICKORY	18	G000	F000	G000	G000	-	TBR
3	AMERICAN BASSWOOD	8	G000	G000	G000	G000	-	TBR
4	AMERICAN BASSWOOD	8	G000	G000	G000	G000	-	TBR
5	HICKORY	24	G000	F000	G000	G000	-	TBR
6	AMERICAN BASSWOOD	12	G000	G000	G000	G000	-	TBR
7	SILVER MAPLE	6	G000	G000	G000	G000	-	TBR
8	SILVER MAPLE	60	G000	G000	G000	G000	-	TBR
9	SILVER MAPLE	38	G000	F000	F000	F000	-	TBR
10	SILVER MAPLE	9	G000	G000	G000	G000	OFF-SITE	TBR
11	RED WATTLE	12	G000	F000	F000	F000	OFF-SITE	TBR
12	RED WATTLE	8 DBH	G000	G000	G000	G000	OFF-SITE	TBR
13	SWEET BRUSH	7	G000	F000	F000	F000	OFF-SITE	TBR
14	SWEET BRUSH	6	G000	G000	G000	G000	OFF-SITE	TBR
15	RED WATTLE	12	G000	G000	G000	G000	OFF-SITE	TBR
16	RED WATTLE	7	G000	G000	G000	G000	OFF-SITE	TBR
17	RED WATTLE	8	G000	G000	G000	G000	OFF-SITE	TBR
18	RED WATTLE	6	G000	G000	G000	G000	OFF-SITE	TBR
19	RED WATTLE	6	G000	G000	G000	G000	OFF-SITE	TBR
20	RIVER BRUSH	12	F000	F000	G000	F000	OFF-SITE	TBR
21	YELLOW BRUSH	6	G000	G000	G000	G000	OFF-SITE	TBR
22	YELLOW BRUSH	6	G000	G000	G000	G000	OFF-SITE	TBR
23	SILVER MAPLE	8	G000	G000	G000	G000	OFF-SITE	TBR
24	SILVER MAPLE	8	G000	G000	G000	G000	OFF-SITE	TBR
25	WHITE ASH	8	G000	F000	F000	F000	OFF-SITE	TBR
26	WHITE ASH	24	G000	G000	G000	G000	OFF-SITE	TBR
27	SILVER MAPLE	6	F000	F000	F000	F000	OFF-SITE	TBR
28	PAPER BRUSH	12	G000	G000	G000	G000	OFF-SITE	TBR
29	PAPER BRUSH	12	G000	G000	G000	G000	OFF-SITE	TBR
30	RED WATTLE	7	G000	G000	G000	G000	OFF-SITE	TBR
31	RED WATTLE	7	G000	G000	G000	G000	OFF-SITE	TBR
32	RED WATTLE	10	G000	G000	G000	G000	OFF-SITE	TBR
33	RED WATTLE	7	G000	G000	G000	G000	OFF-SITE	TBR
34	RED WATTLE	13	G000	G000	G000	G000	OFF-SITE	TBR
35	SWEET BRUSH	7	G000	G000	G000	G000	OFF-SITE	TBR
36	RED WATTLE	18	G000	G000	G000	G000	OFF-SITE	TBR
37	RED WATTLE	9	G000	G000	G000	G000	OFF-SITE	TBR
38	BRG LEM WATTLE	7	G000	G000	G000	G000	OFF-SITE	TBR
39	BRG LEM WATTLE	12	G000	G000	G000	G000	OFF-SITE	TBR
40	RIVER BRUSH	12	G000	G000	G000	G000	OFF-SITE	TBR
41	UNKNOWN	60	STUMP	NON-EXISTENT	DEAD	DEAD	OFF-SITE	TBR
42	WHITE ASH	12	G000	G000	G000	G000	OFF-SITE	TBR
43	WHITE ASH	12	G000	G000	G000	G000	OFF-SITE	TBR
44	WHITE ASH	4	G000	G000	G000	G000	OFF-SITE	TBR
45	PAPER BRUSH	4	G000	G000	G000	G000	OFF-SITE	TBR
46	PAPER BRUSH	4	G000	G000	G000	G000	OFF-SITE	TBR
47	HONEY LOCUST	4	G000	G000	G000	G000	OFF-SITE	TBR
48	SILVER MAPLE	60	G000	G000	G000	G000	OFF-SITE	TBR

NOTE:

- REFER TO SHEET X OF X FOR ADDITIONAL INFORMATION.
- SILTATION CONTROL AND/OR TREE PROTECTION FENCE TO BE INSTALLED PRIOR TO ANY GRADING OPERATION.
- ALL SILTATION CONTROL TO FOLLOW THE CITY OF CHESTERFIELD TREE MANUAL AND THE SEDIMENT & EROSION CONTROL MANUAL.

MONARCH TREE: A TREE IN FAIR OR BETTER CONDITION, WITH A LIFE EXPECTANCY OF MORE THAN 15 YEARS, WHICH IS TO BE GIVEN SPECIAL ATTENTION DURING DEVELOPMENT, AND EQUALS OR EXCEEDS THE FOLLOWING DIAMETER SIZES:
 1) FOR HARDWOODS (OAK, HICKORY, MAPLE, ASH, ETC.) - 24" DBH
 2) FOR SOFTWOODS (PINE, SPRUCE, FIR, BALD CYPRESS, ETC.) - 20" DBH
 A LESSER SIZE TREE CAN BE CONSIDERED A MONARCH TREE IF:
 1) IT IS RARE OR UNUSUAL SPECIES, OR
 2) IT IS OF EXCEPTIONAL QUALITY, OR
 3) IT HAS HISTORICAL SIGNIFICANCE, OR
 4) IT WILL BE SPECIFICALLY USED BY THE DEVELOPER AS A FOCAL POINT IN A PROJECT OR LANDSCAPE.



LEGEND

- Sanitary Sewer (Proposed)
- Sanitary Sewer (Existing)
- Storm Sewer (Existing)
- Water Line and Valve
- Fire Hydrant
- Existing Fence Line
- Existing Tree Line
- Proposed Contour
- Street Right of Way
- Power Pole
- Gas Valve
- Overhead Power Line
- Telephone Line
- Electric Line
- Gas Valve
- Water Valve
- Water Meter
- Found Old Iron Pipe
- Found Old Concrete Pipe
- Found Old Stone
- Benchmark
- Concrete Pipe
- Reinforced Concrete Pipe
- Corrugated Metal Pipe
- Polyvinyl Chloride Pipe
- Victrolid Clay Pipe
- End Pipe
- Fiber End Section
- Clean Out
- Manhole
- Curb Inlet
- Double Curb Inlet
- Area Inlet
- Gate Inlet
- Gate Inlet
- Use In Place
- To Be Removed & Replaced/Replaced
- Set Iron Rod with Cap
- Concrete Monument
- Old Iron Pipe
- Old Iron Rod
- Existing Tree
- Existing Evergreen
- Existing Slump

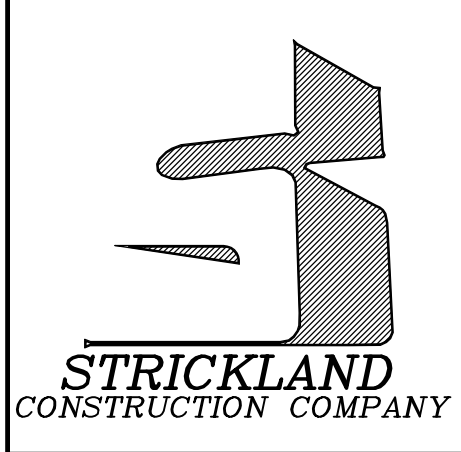
No.	Date	Revision/Issue
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3	5-11-07	City comment

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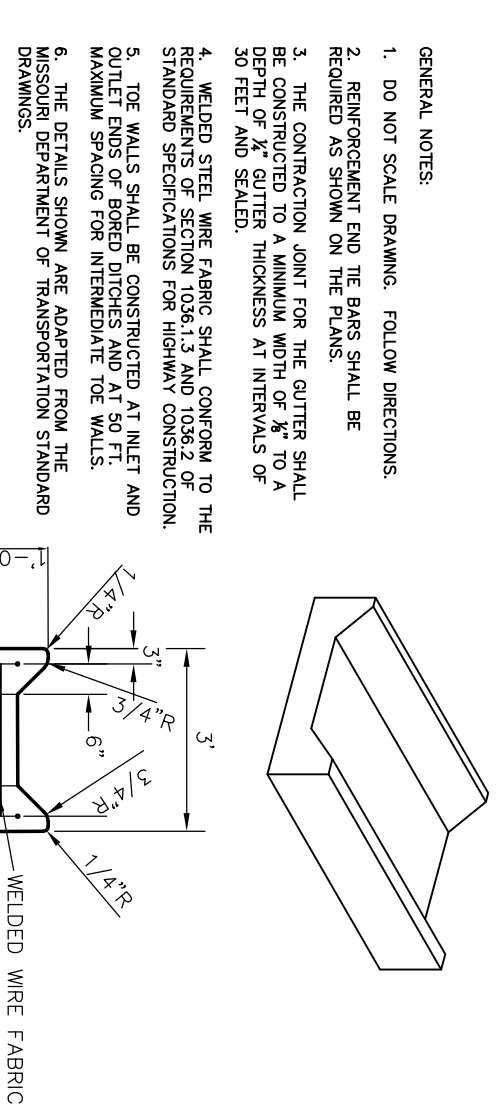
Simply Storage, Chesterfield
 Tree Stand Delineation Plan
Zavradinos & Polk inc.
 engineers surveyors
 17813 Edison Ave. Suite 201 * Chesterfield, MO 63005
 636-946-5555 * 636-449-0148 Fax * www.zavradinos.com

Client
Strickland Construction Co.
 720 S. Rogers Road, Suite B
 Olathe, MO 64662
 (913) 764-7000
 Rogers Strickland

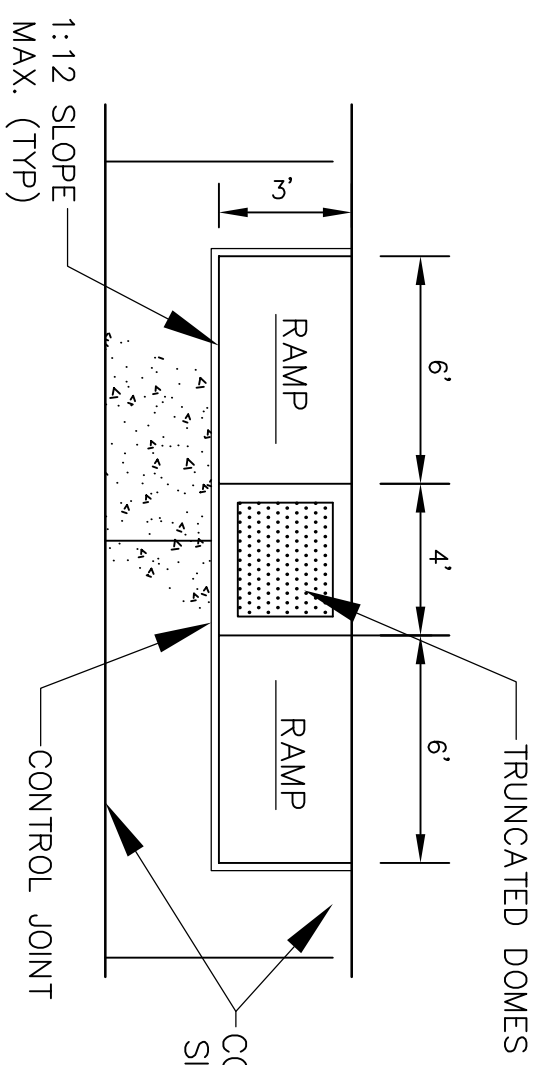
City/County Job No:
 NSD P-
 BASKINP 17-J-4
 Proj Manager:
 JRE
 jre@strickland.com
 CAD Filename:
 Original Issue Date
 8-15-06
 Project No.
 05217
 Sheet
 3



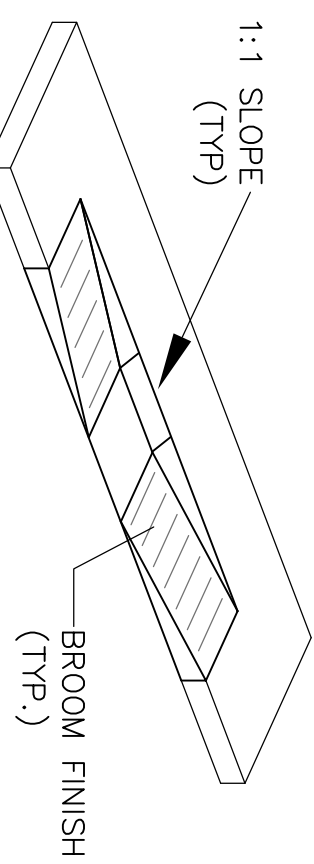
TREE STAND DELINEATION IS FOR EXISTING STATUS ONLY. TREE PRESERVATION PLAN TO DENOTE THE SURVIVABILITY OF TREES TO BE SAVED AND THE MEASURES TAKEN FOR PROTECTION.



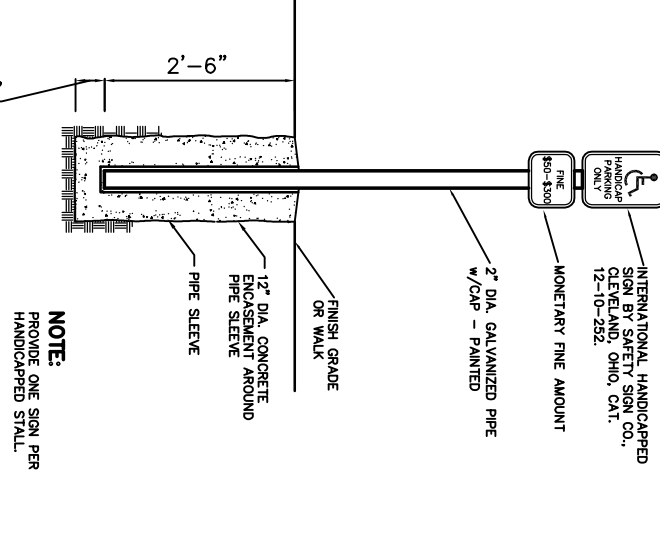
TYPE A PAVED SWALE
NOT TO SCALE



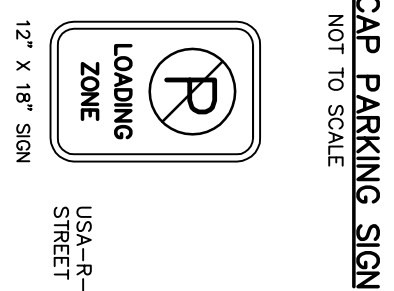
HANDICAP RAMP DETAIL
NOT TO SCALE



HANDICAPPED PARKING SIGN
NOT TO SCALE



HANDICAP PARKING SIGN
NOT TO SCALE



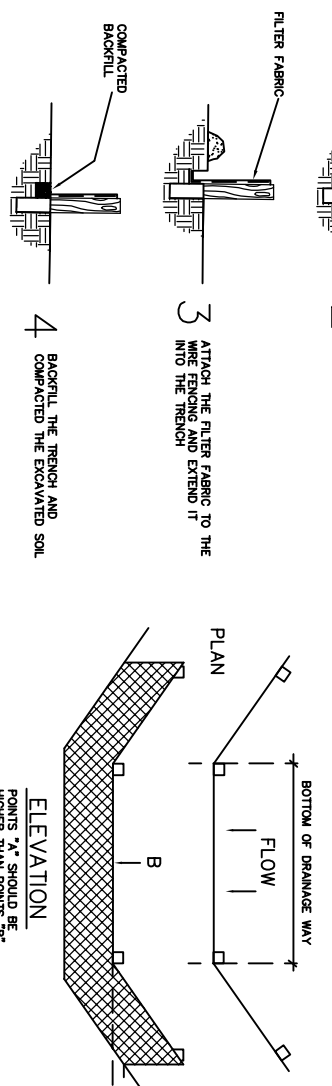
LOADING ZONE SIGN
NOT TO SCALE



INSTALL HEIGHT: 1-2 2/3' SIGN FENCE, ON POSTS OF 8 foot centers or equivalent. The height of the sign shall be as shown on the plans. The sign shall be installed in a location that is clearly visible, then use installation procedure outlined below.

MAINTENANCE

1. After concrete shall be installed immediately after each pour and at least daily during production period. Any required repairs shall be made immediately after each pour.
2. Should the fabric, dimensions or texture be defective prior to the end of the curing period, the contractor shall be responsible for the repair. The contractor shall be responsible for the repair of any defects in the fabric, dimensions or texture of the concrete.
3. Sealed concrete shall be removed after each pour. The contractor shall be responsible for the removal of any excess concrete. The contractor shall be responsible for the removal of any excess concrete.
4. Any additional concrete remaining in place after the set time or after the curing period shall be removed and disposed of in accordance with the applicable local, state and federal regulations.



SYNTHETIC FILTER BARRIER SILTATION CONTROL
NOT TO SCALE

STANDARD SILTATION CONTROL METHOD

ST. LOUIS COUNTY NOTES

1. ALL PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED TO ST. LOUIS COUNTY STANDARDS.
2. ALL GRADING AND DRAINAGE TO BE IN CONFORMANCE WITH ST. LOUIS COUNTY AND M.S.D. STANDARDS.
3. NO SLOPES WITHIN ST. LOUIS COUNTY RIGHT-OF-WAY SHALL EXCEED 3 (HORIZONTAL) TO 1 (VERTICAL).
4. STORM WATER SHALL BE DISCHARGED AT AN ADEQUATE NATURAL DISCHARGE POINT. SINKHOLES ARE NOT ADEQUATE DISCHARGE POINTS.
5. PRIOR TO SPECIAL USE PERMIT ISSUANCE BY THE ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC, A SPECIAL CASH ESCROW OR A SPECIAL ESCROW SUPERIMPOSED BY AN ENGINEER SHALL BE REQUIRED TO GUARANTEE THE ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC TO GUARANTEE COMPLETION OF THE REQUIRED ROADWAY IMPROVEMENTS.
6. ACCESS TO THIS DEVELOPMENT FROM CHESTERFIELD AIRPORT ROAD SHALL BE VIA ONE ENTRANCE LOCATED AS FAR EAST AS POSSIBLE TO PROVIDE REQUIRED SIGHT DISTANCE AND CONSTRUCTED TO ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC.

DEMOLITION NOTES

TRAFFIC: CONDUCT SITE CLEARING OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION OR THE OWNER.

PROTECTION: PROVIDE TEMPORARY FENCES, BARRICADES, COVERINGS, OR OTHER PROTECTIONS TO PRESERVE EXISTING ITEMS INDICATED TO REMAIN AND PREVENT INJURY OR DAMAGE TO PERSONS OR PROPERTY. APPLY PROTECTIONS TO ADJACENT PROPERTIES AS REQUIRED.

RESTORE DAMAGED WORK TO CONDITIONS EXISTING PRIOR TO START OF WORK, UNLESS OTHERWISE DIRECTED.

PROTECT EXISTING TREES AND VEGETATION TO REMAIN FROM PHYSICAL DAMAGE. DO NOT STORE MATERIALS OR EQUIPMENT WITHIN TREE DRIP LINE. USE LICENSED ARBORIST FOR TREE DAMAGE REPAIR. REPLACE DAMAGED TREES THAT CANNOT BE RESTORED TO FULL OR NEAR FULL HEALTH AND CONDITION, UNLESS OTHERWISE ACCEPTABLE TO OWNER.

SITE CLEARING: REMOVE TREES, SHRUBS, GRASS, AND OTHER VEGETATION, IMPROVEMENTS, OR OBSTRUCTIONS AS INDICATED OR WHICH INTERFERE WITH NEW CONSTRUCTION. REMOVAL INCLUDES DIGGING OUT STUMPS AND ROOTS. STUMPS AND ROOTS IN CUT AREAS WILL BE GUBBERED TO A DEPTH OF NOT LESS THAN 12 INCHES BELOW FINISHED GRADE.

STRIP AND STOCKPILE TOPSOIL THAT WILL BE REUSED IN THE WORK.

REMOVE EXISTING IMPROVEMENTS, BOTH ABOVE GRADE AND BELOW GRADE TO AN EXTENT INDICATED OR AS OTHERWISE REQUIRED TO PERMIT NEW CONSTRUCTION. SALVAGEABLE ITEMS: CAREFULLY REMOVE ITEMS TO BE SALVAGED, AND STORE ON OWNER'S PREMISES WHERE INDICATED OR DIRECTED.

CONTROL AIR POLLUTION CAUSED BY DUST AND DIRT; COMPLY WITH GOVERNING REGULATIONS.

FILL BELOW GRADE AREAS AND Voids RESULTING FROM DEMOLITION OPERATIONS. USE SANITARY SOIL MATERIALS PLACED IN 6-INCH DEEP LIFTS WITH EACH LIFT COMPACTED TO 95% RELATIVE DENSITY. PROVIDE POSITIVE SURFACE DRAINAGE.

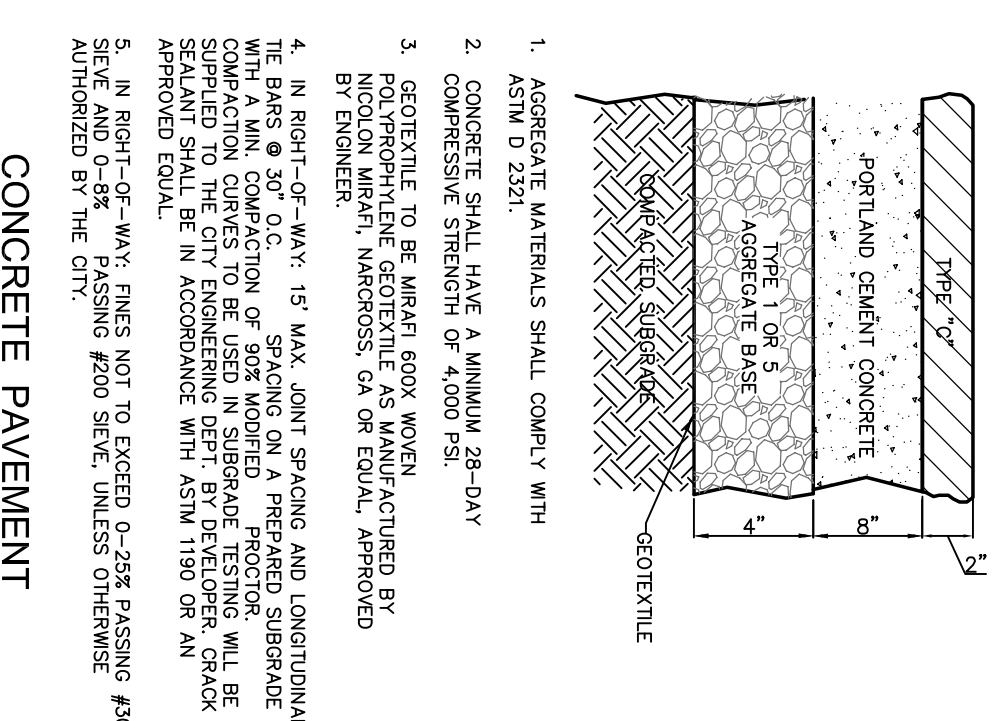
DISPOSE OF REMOVED AND DEMOLISHED ITEMS, INCLUDING TRASH AND DEBRIS, PROPERLY OFF OWNERS PROPERTY. BURNING OF WASTE MATERIALS ON SITE IS NOT PERMITTED.

GRADING NOTES

1. NOTIFY CITY OF CHESTERFIELD PUBLIC WORKS DEPARTMENT 48 HOURS PRIOR TO THE STARTING OF GRADING AND/OR CONSTRUCTION.
2. ALL FILLS PLACED UNDER PROPOSED STORM AND SANITARY SEWER, PROPOSED ROADS, AND/OR PAVED AREAS SHALL BE COMPACTED TO 90% OF MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED ASTHO 1-180 METHOD. ALL EXISTING AREAS TO BE REGRADED SHALL BE REGRADED TO THE STANDARD PROPOSED DENSITY. ALL EXISTING AREAS TO BE REGRADED SHALL BE REGRADED TO THE STANDARD PROPOSED DENSITY. ALL EXISTING AREAS TO BE REGRADED SHALL BE REGRADED TO THE STANDARD PROPOSED DENSITY.
3. EROSION AND SILTATION CONTROL SHALL BE INSTALLED PRIOR TO ANY GRADING AND BE MAINTAINED THROUGHOUT THE PROJECT UNTIL ACCEPTANCE OF THE WORK BY THE OWNER AND/OR CONTROLLING REGULATORY AGENCY AND ADEQUATE VEGETATIVE GROWTH INSURES NO FURTHER EROSION OF THE SOIL.
4. SEDIMENT AND EROSION CONTROL SHALL NOT BE LIMITED TO THE MEASURES SHOWN ON THE PLANS. THE CONTRACTOR WITH THE APPROVAL OF THE CITY INSPECTOR, SHALL UTILIZE BEST MANAGEMENT PRACTICES TO PREVENT SEDIMENT FROM ENTERING ADJACENT PROPERTIES, ROADWAYS, STORM SEWERS, AND DRAINAGE WAYS.
5. REFER TO SHEETS 1 & 3 FOR ADDITIONAL NOTES AND DETAILS.
6. THE STREETS SURROUNDING THIS DEVELOPMENT AND ANY STREET USED FOR CONSTRUCTION ACCESS HERETO SHALL BE CLEANED THROUGHOUT THE DAY.
7. ALL TRASH AND DEBRIS ON-SITE, EITHER EXISTING OR FROM CONSTRUCTION, MUST BE REMOVED AND PROPERLY DISPOSED OF OFF SITE.
8. DEBRIS AND FOUNDATION MATERIAL FROM ANY ON-SITE BUILDING OR STRUCTURE THAT IS SCHEDULED TO BE RAZED FOR THIS DEVELOPMENT MUST BE PROPERLY DISPOSED OF OFF-SITE.
9. PROPOSED STORM DRAINAGE SHALL COMPLY WITH ALL CITY, COUNTY & STATE STORMWATER MANAGEMENT ORDINANCES.
10. ALL GRADES TO BE WITHIN 0.20% FEET OF PROPOSED CONTOURS AND ELEVATIONS SHOWN ON THE GRADING PLAN.
11. ALL NON-PAVED AREAS OF THIS DEVELOPMENT TO BE SEEDED OR COVERED WITH SOIL.
12. ALL EXCAVATIONS, GRADING OR FILLING SHALL HAVE A FINISH GRADE NOT TO EXCEED A 3:1 SLOPE (3 HORIZONTAL TO 1 VERTICAL) (33%) UNLESS SPECIFICALLY APPROVED OTHERWISE.
13. ALL EROSION CONTROL SYSTEMS TO BE INSPECTED AND NECESSARY CORRECTIONS TO BE MADE WITHIN 24 HOURS OF ANY RAINSTORM RESULTING IN ONE-HALF INCH OF RAIN OR MORE.
14. ANY GRADED AREA THAT ARE TO REMAIN BARE FOR MORE THAN TWO WEEKS ARE TO BE SEEDED AND MULCHED.
15. CONTRACTOR TO TURN IN GRADING APPLICATION AND PLANS AFTER ZONING APPROVAL.

SITE NOTES

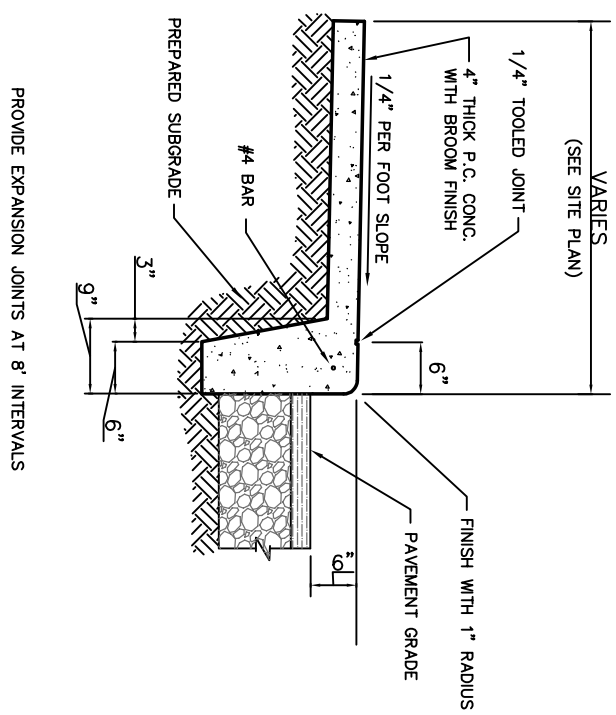
1. NOTIFY CITY OF CHESTERFIELD BUILDING DEPARTMENT 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
2. ARCHITECTURAL PLANS FOR HANDICAP RAMP AND COMMERCIAL APPEARANCES ARE TO BE PROVIDED PRIOR TO COMMERCIAL OCCUPANCY.
3. ALL DIMENSIONS ARE TO FACE OF CURB.
4. ALL CURBING TO BE 6" VERTICAL CONCRETE CURB.
5. ENTRANCES TO BE CONSTRUCTED PER CITY OF CHESTERFIELD AND ST. LOUIS COUNTY SPECIFICATIONS.
6. THE SURROUNDING STREETS AND/OR DRIVE FROM THIS DEVELOPMENT USED FOR CONSTRUCTION ACCESS HERETO SHALL BE CLEANED THROUGHOUT THE DAY.
7. ALL TRASH AND DEBRIS ON-SITE, EITHER EXISTING OR FROM CONSTRUCTION, MUST BE REMOVED AND PROPERLY DISPOSED OF OFF SITE.
8. DEBRIS AND FOUNDATION MATERIAL FROM ANY ON-SITE BUILDING OR STRUCTURE THAT IS TO BE RAZED FOR THIS DEVELOPMENT MUST BE PROPERLY DISPOSED OF OFF SITE.
9. NEW LOW PRESSURE SEWER SYSTEM TO BE INSTALLED AND READY FOR CONNECTION BEFORE REMOVAL OF EXISTING DRAINFIELD PILING.
10. ALL STORM DRAINAGE CONSTRUCTION TO COMPLY WITH CITY OF CHESTERFIELD AND MSD STANDARDS AND DETAILS.
11. ALL NON-PAVED AREAS OF THIS DEVELOPMENT TO BE SEEDED, LANDSCAPED AND IRRIGATED PER CITY OF CHESTERFIELD ORDINANCES.
12. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO SUBMITTING BIDS.
13. DO NOT SCALE DRAWING; FOLLOW DIMENSIONS.
14. ALL NECESSARY PAVEMENT MARKINGS SHALL CONFORM TO CITY AND COUNTY STANDARDS.
15. PROPOSED SANITARY FORCE MAIN TO BE DESIGNED TO MSD STANDARDS.
16. PROPOSED STORM WATER TO DRAIN FROM LONG ROAD TOP SMALL AT REAR OF PROPERTY.
17. PROPOSED UTILITY CONNECTION LOCATIONS ARE APPROXIMATE ONLY; CONTRACTOR TO VERIFY WITH DIG-RITE PRIOR TO CONSTRUCTION.
18. SEPTIC TANK ABANDONMENT: SEPTIC TANKS SHALL BE ABANDONED IN ACCORDANCE WITH THE M.S.D. STANDARD CONSTRUCTION SPECIFICATIONS FOR SEWER AND DRAINAGE FACILITIES, 2000.
19. ALL SEWER CONSTRUCTION AND MATERIALS TO BE IN ACCORDANCE WITH THE M.S.D. STANDARD CONSTRUCTION SPECIFICATIONS FOR SEWER AND DRAINAGE FACILITIES, 2000.



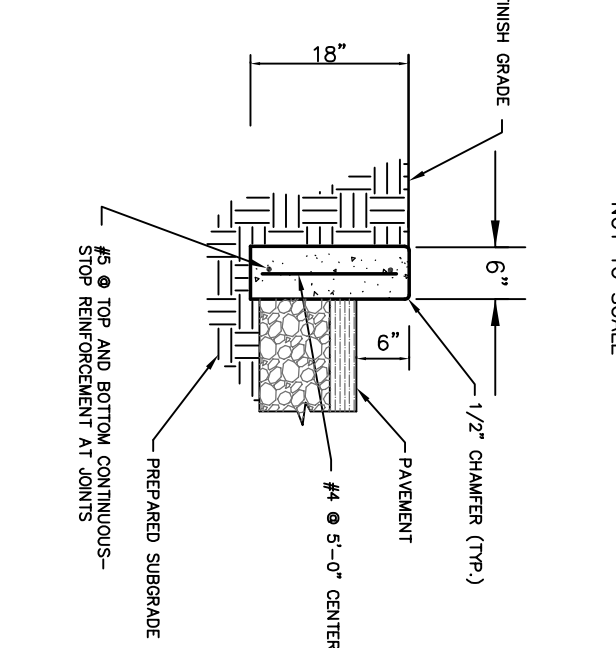
ASPHALT SURFACE
NOT TO SCALE

1. AGGREGATE MATERIALS SHALL COMPLY WITH ASTM D 2321.
2. OPTIMAL GEOTEXTILE TO BE MARIAN ROOM WOVEN BY NICHOLSON WEAVER, MANASSAS, VA OR EQUAL, APPROVED BY ENGINEER.
3. TYPE OF CHESTERFIELD SPECIFICATIONS FOR CONSTRUCTION.

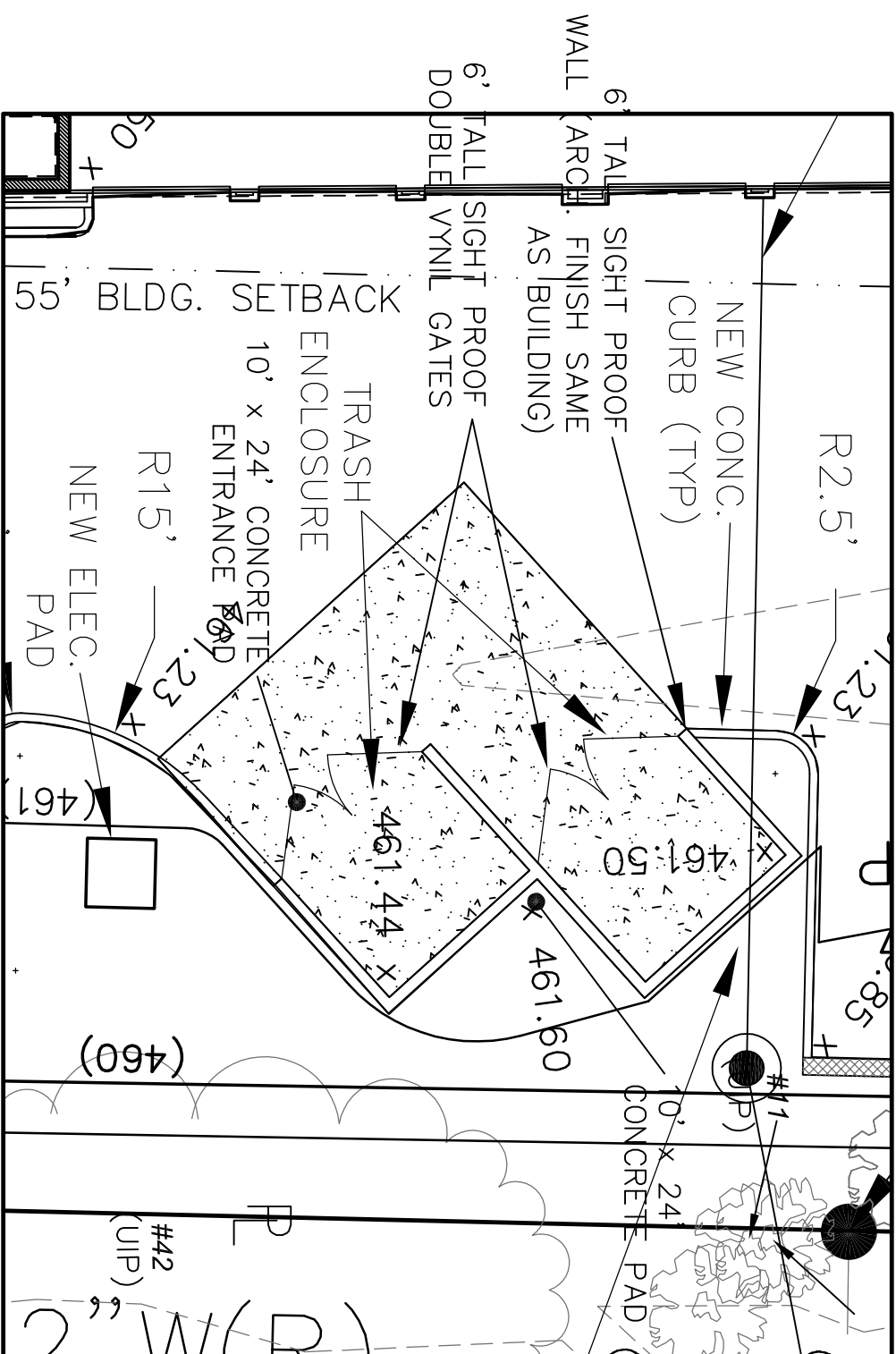
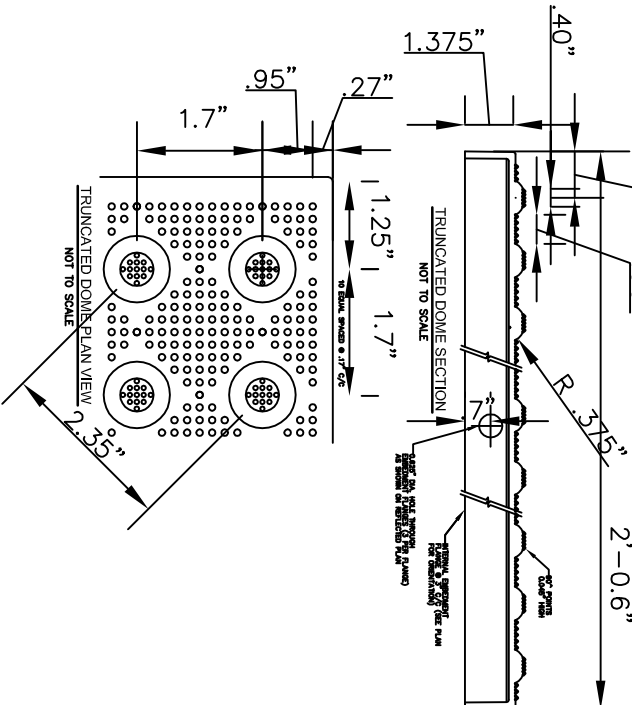
COMBINATION SIDEWALK/CURB
NOT TO SCALE



CONCRETE VERTICAL CURB
NOT TO SCALE



TRUNCATED DOME CRITERIA
NOT TO SCALE



TRASH ENCLOSURE DETAILS
NOT TO SCALE

TRAFFIC: CONDUCT SITE CLEARING OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION OR THE OWNER.

PROTECTION: PROVIDE TEMPORARY FENCES, BARRICADES, COVERINGS, OR OTHER PROTECTIONS TO PRESERVE EXISTING ITEMS INDICATED TO REMAIN AND PREVENT INJURY OR DAMAGE TO PERSONS OR PROPERTY. APPLY PROTECTIONS TO ADJACENT PROPERTIES AS REQUIRED.

RESTORE DAMAGED WORK TO CONDITIONS EXISTING PRIOR TO START OF WORK, UNLESS OTHERWISE DIRECTED.

PROTECT EXISTING TREES AND VEGETATION TO REMAIN FROM PHYSICAL DAMAGE. DO NOT STORE MATERIALS OR EQUIPMENT WITHIN TREE DRIP LINE. USE LICENSED ARBORIST FOR TREE DAMAGE REPAIR. REPLACE DAMAGED TREES THAT CANNOT BE RESTORED TO FULL OR NEAR FULL HEALTH AND CONDITION, UNLESS OTHERWISE ACCEPTABLE TO OWNER.

SITE CLEARING: REMOVE TREES, SHRUBS, GRASS, AND OTHER VEGETATION, IMPROVEMENTS, OR OBSTRUCTIONS AS INDICATED OR WHICH INTERFERE WITH NEW CONSTRUCTION. REMOVAL INCLUDES DIGGING OUT STUMPS AND ROOTS. STUMPS AND ROOTS IN CUT AREAS WILL BE GUBBERED TO A DEPTH OF NOT LESS THAN 12 INCHES BELOW FINISHED GRADE.

STRIP AND STOCKPILE TOPSOIL THAT WILL BE REUSED IN THE WORK.

REMOVE EXISTING IMPROVEMENTS, BOTH ABOVE GRADE AND BELOW GRADE TO AN EXTENT INDICATED OR AS OTHERWISE REQUIRED TO PERMIT NEW CONSTRUCTION. SALVAGEABLE ITEMS: CAREFULLY REMOVE ITEMS TO BE SALVAGED, AND STORE ON OWNER'S PREMISES WHERE INDICATED OR DIRECTED.

CONTROL AIR POLLUTION CAUSED BY DUST AND DIRT; COMPLY WITH GOVERNING REGULATIONS.

FILL BELOW GRADE AREAS AND Voids RESULTING FROM DEMOLITION OPERATIONS. USE SANITARY SOIL MATERIALS PLACED IN 6-INCH DEEP LIFTS WITH EACH LIFT COMPACTED TO 95% RELATIVE DENSITY. PROVIDE POSITIVE SURFACE DRAINAGE.

DISPOSE OF REMOVED AND DEMOLISHED ITEMS, INCLUDING TRASH AND DEBRIS, PROPERLY OFF OWNERS PROPERTY. BURNING OF WASTE MATERIALS ON SITE IS NOT PERMITTED.

GRADING NOTES

1. NOTIFY CITY OF CHESTERFIELD PUBLIC WORKS DEPARTMENT 48 HOURS PRIOR TO THE STARTING OF GRADING AND/OR CONSTRUCTION.
2. ALL FILLS PLACED UNDER PROPOSED STORM AND SANITARY SEWER, PROPOSED ROADS, AND/OR PAVED AREAS SHALL BE COMPACTED TO 90% OF MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED ASTHO 1-180 METHOD. ALL EXISTING AREAS TO BE REGRADED SHALL BE REGRADED TO THE STANDARD PROPOSED DENSITY. ALL EXISTING AREAS TO BE REGRADED SHALL BE REGRADED TO THE STANDARD PROPOSED DENSITY.
3. EROSION AND SILTATION CONTROL SHALL BE INSTALLED PRIOR TO ANY GRADING AND BE MAINTAINED THROUGHOUT THE PROJECT UNTIL ACCEPTANCE OF THE WORK BY THE OWNER AND/OR CONTROLLING REGULATORY AGENCY AND ADEQUATE VEGETATIVE GROWTH INSURES NO FURTHER EROSION OF THE SOIL.
4. SEDIMENT AND EROSION CONTROL SHALL NOT BE LIMITED TO THE MEASURES SHOWN ON THE PLANS. THE CONTRACTOR WITH THE APPROVAL OF THE CITY INSPECTOR, SHALL UTILIZE BEST MANAGEMENT PRACTICES TO PREVENT SEDIMENT FROM ENTERING ADJACENT PROPERTIES, ROADWAYS, STORM SEWERS, AND DRAINAGE WAYS.
5. REFER TO SHEETS 1 & 3 FOR ADDITIONAL NOTES AND DETAILS.
6. THE STREETS SURROUNDING THIS DEVELOPMENT AND ANY STREET USED FOR CONSTRUCTION ACCESS HERETO SHALL BE CLEANED THROUGHOUT THE DAY.
7. ALL TRASH AND DEBRIS ON-SITE, EITHER EXISTING OR FROM CONSTRUCTION, MUST BE REMOVED AND PROPERLY DISPOSED OF OFF SITE.
8. DEBRIS AND FOUNDATION MATERIAL FROM ANY ON-SITE BUILDING OR STRUCTURE THAT IS SCHEDULED TO BE RAZED FOR THIS DEVELOPMENT MUST BE PROPERLY DISPOSED OF OFF-SITE.
9. PROPOSED STORM DRAINAGE SHALL COMPLY WITH ALL CITY, COUNTY & STATE STORMWATER MANAGEMENT ORDINANCES.
10. ALL GRADES TO BE WITHIN 0.20% FEET OF PROPOSED CONTOURS AND ELEVATIONS SHOWN ON THE GRADING PLAN.
11. ALL NON-PAVED AREAS OF THIS DEVELOPMENT TO BE SEEDED OR COVERED WITH SOIL.
12. ALL EXCAVATIONS, GRADING OR FILLING SHALL HAVE A FINISH GRADE NOT TO EXCEED A 3:1 SLOPE (3 HORIZONTAL TO 1 VERTICAL) (33%) UNLESS SPECIFICALLY APPROVED OTHERWISE.
13. ALL EROSION CONTROL SYSTEMS TO BE INSPECTED AND NECESSARY CORRECTIONS TO BE MADE WITHIN 24 HOURS OF ANY RAINSTORM RESULTING IN ONE-HALF INCH OF RAIN OR MORE.
14. ANY GRADED AREA THAT ARE TO REMAIN BARE FOR MORE THAN TWO WEEKS ARE TO BE SEEDED AND MULCHED.
15. CONTRACTOR TO TURN IN GRADING APPLICATION AND PLANS AFTER ZONING APPROVAL.

SITE NOTES

1. NOTIFY CITY OF CHESTERFIELD BUILDING DEPARTMENT 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
2. ARCHITECTURAL PLANS FOR HANDICAP RAMP AND COMMERCIAL APPEARANCES ARE TO BE PROVIDED PRIOR TO COMMERCIAL OCCUPANCY.
3. ALL DIMENSIONS ARE TO FACE OF CURB.
4. ALL CURBING TO BE 6" VERTICAL CONCRETE CURB.
5. ENTRANCES TO BE CONSTRUCTED PER CITY OF CHESTERFIELD AND ST. LOUIS COUNTY SPECIFICATIONS.
6. THE SURROUNDING STREETS AND/OR DRIVE FROM THIS DEVELOPMENT USED FOR CONSTRUCTION ACCESS HERETO SHALL BE CLEANED THROUGHOUT THE DAY.
7. ALL TRASH AND DEBRIS ON-SITE, EITHER EXISTING OR FROM CONSTRUCTION, MUST BE REMOVED AND PROPERLY DISPOSED OF OFF SITE.
8. DEBRIS AND FOUNDATION MATERIAL FROM ANY ON-SITE BUILDING OR STRUCTURE THAT IS TO BE RAZED FOR THIS DEVELOPMENT MUST BE PROPERLY DISPOSED OF OFF SITE.
9. NEW LOW PRESSURE SEWER SYSTEM TO BE INSTALLED AND READY FOR CONNECTION BEFORE REMOVAL OF EXISTING DRAINFIELD PILING.
10. ALL STORM DRAINAGE CONSTRUCTION TO COMPLY WITH CITY OF CHESTERFIELD AND MSD STANDARDS AND DETAILS.
11. ALL NON-PAVED AREAS OF THIS DEVELOPMENT TO BE SEEDED, LANDSCAPED AND IRRIGATED PER CITY OF CHESTERFIELD ORDINANCES.
12. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO SUBMITTING BIDS.
13. DO NOT SCALE DRAWING; FOLLOW DIMENSIONS.
14. ALL NECESSARY PAVEMENT MARKINGS SHALL CONFORM TO CITY AND COUNTY STANDARDS.
15. PROPOSED SANITARY FORCE MAIN TO BE DESIGNED TO MSD STANDARDS.
16. PROPOSED STORM WATER TO DRAIN FROM LONG ROAD TOP SMALL AT REAR OF PROPERTY.
17. PROPOSED UTILITY CONNECTION LOCATIONS ARE APPROXIMATE ONLY; CONTRACTOR TO VERIFY WITH DIG-RITE PRIOR TO CONSTRUCTION.
18. SEPTIC TANK ABANDONMENT: SEPTIC TANKS SHALL BE ABANDONED IN ACCORDANCE WITH THE M.S.D. STANDARD CONSTRUCTION SPECIFICATIONS FOR SEWER AND DRAINAGE FACILITIES, 2000.
19. ALL SEWER CONSTRUCTION AND MATERIALS TO BE IN ACCORDANCE WITH THE M.S.D. STANDARD CONSTRUCTION SPECIFICATIONS FOR SEWER AND DRAINAGE FACILITIES, 2000.

No.	Date	Revision/Issue
1	12-19-06	City comments
2	1-12-07	ST. LOUIS CO. HWY COMMENTS
3	4-27-07	Bldg. Outline Revisions

The Professional Engineer's and/or Professional Land Surveyor's responsibility is limited to plans and other documents prepared by the engineer and/or land surveyor and shall not include any other documents prepared by others. Engineer and Surveyor hereby disclaim responsibility for:

- * Unauthorized use of plans and other documents
- * Plans and other documents prepared by others
- * All previously issued versions of this sheet
- * This sheet whenever a revised sheet is issued
- * Individual use of any sheet that is part of a set of plans

This applies to all plans and other documents associated with this project, whether this statement appears on them or not.

Simply Storage, Chesterfield
Rezoning Detail Sheet

Zavradinos & Polk inc.
engineers surveyors

17813 Edison Ave. Suite 201 * Chesterfield, MO 63005
636-946-5555 * 636-449-0148 Fax * www.zavradinos.com

Client
Strickland Construction Co.
720 S. Rogers Road, Suite B
Oltorf, MO 63062
(913) 764-7000

Rogers Strickland

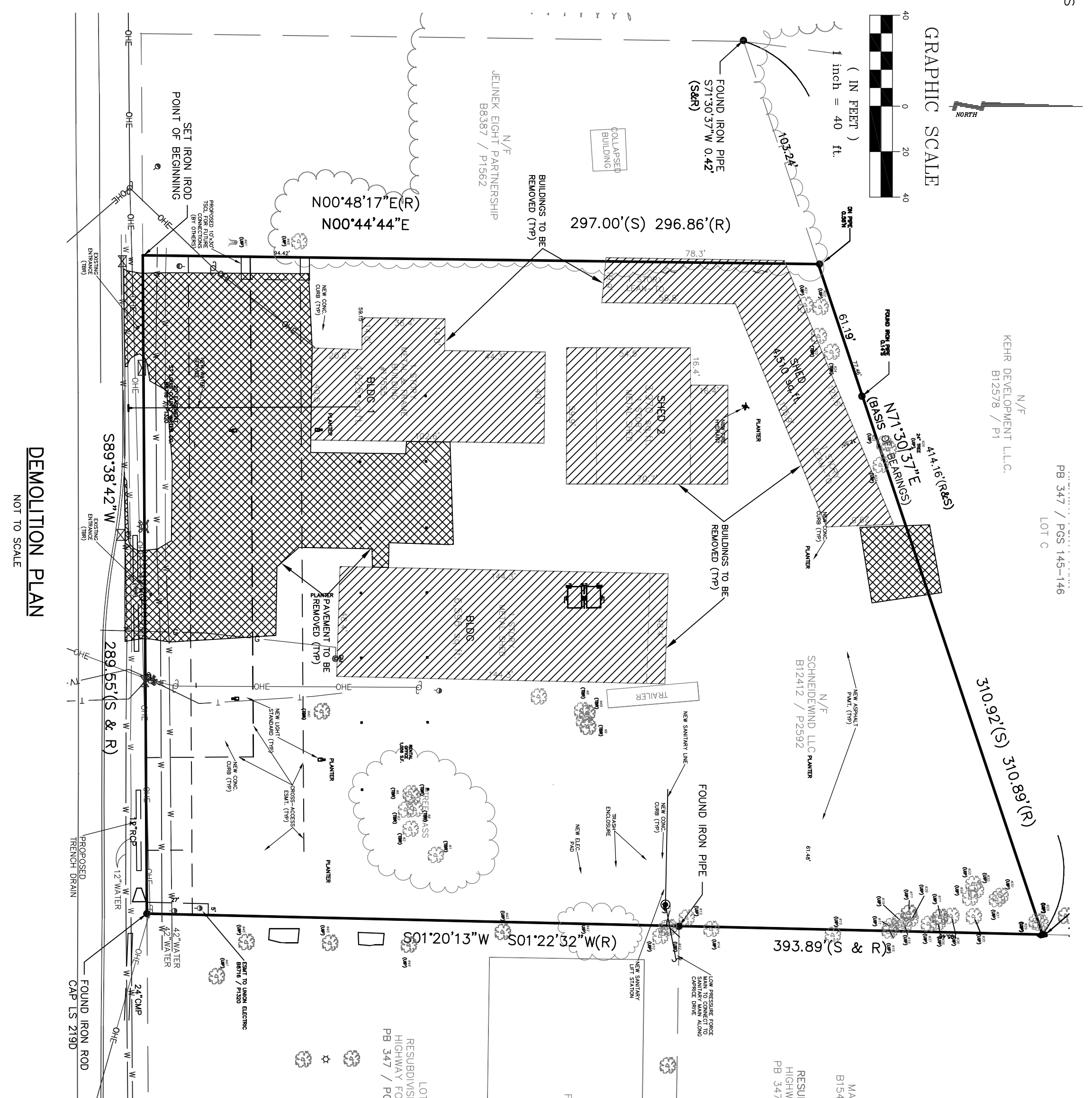
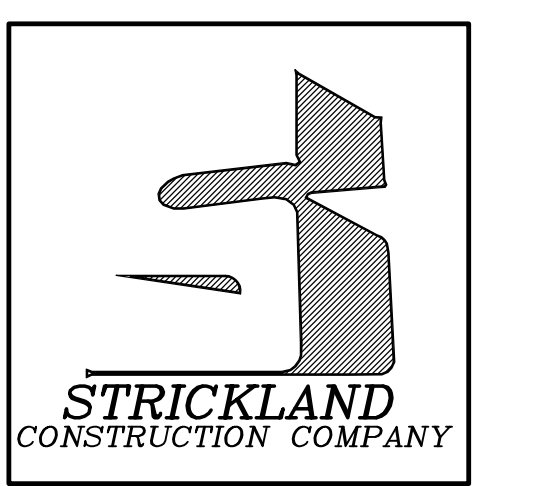
City/County Job No:
MSD P-
BASKIN# 17-1-4

Project Manager:
JRE

Project No:
jre@strickland.com
CAD Filename:
05217

Original Issue Date
8-15-06

Sheet
4



DEMOLITION PLAN
NOT TO SCALE

City/County Job No:
MSD P-
BASKIN# 17-1-4

Project Manager:
JRE

Project No:
jre@strickland.com
CAD Filename:
05217

Original Issue Date
8-15-06

Sheet
4

NOTES:

- 1.) All natural vegetation shall be maintained where it does not interfere with construction or the permanent plan of operation. Every effort possible shall be made to protect existing structures or vegetation from damage due to equipment usage. Contractor shall at all times protect all materials and work against injury to public. The landscape contractor shall be responsible for any coordination with other site related work being performed by other contractors. Refer to architectural drawings for further coordination of work to be done.
- 2.) Underground facilities, structures and utilities must be considered approximate only. There may be others not presently known or shown. It shall be the landscape contractor's responsibility to determine or verify the existence of and exact location of the above (Call 1-800-DIG-RITE).
- 3.) Plant material are to be planted in the same relationship to grade as was grown in nursery conditions.
- 4.) All mulch to be shredded oak bark mulch at 3" depth (after compaction) unless otherwise noted. Mulch shall be clean and free of all foreign materials. Edge all beds with spade-cut edge unless otherwise noted.
- 5.) It shall be the landscape contractor's responsibility to:
 - A.) Verify all existing and proposed features shown on the drawings prior to commencement of work.
 - B.) Report all discrepancies found with regard to existing conditions or proposed design to the landscape architect immediately for a decision.
 - C.) Stake the locations of all proposed plant material and obtain the approval of the owner's representative or landscape architect prior to installation.
- 6.) The landscape contractor is to receive the site graded to within 1/10 of a foot. Landscape contractor to obtain letter of grade certification from the general contractor prior to commencement of work.
- 7.) All planting beds shall be cultivated to 6" depth minimum and graded smooth immediately before planting of plants. Plant groundcover to within 12" of trunk of trees or shrubs planted within the area.
- 8.) All plant material (excluding ground cover, perennials and annuals) are to be warranted for a period of 12 months after installation at 100% of the installed price.
- 9.) Turf-Type fescue (300* per acre) and bluegrass (10* per acre). Landscape contractor shall offer an alternate price for sod in lieu of seed. Lawn areas shall be unconditionally warranted for a period of 90 days from date of final acceptance. Bare areas more than one square foot per any 50 square feet shall be replaced.
- 10.) Items shown on this drawing take precedence over the material list. It shall be the landscape contractor's responsibility to verify all quantities and conditions prior to implementation of this plan. No substitutions of types or size of plant materials will be accepted without written approval from landscape architect.
- 11.) Sitiation controls may be required to prevent run-off. Straw bales placed end-to-end shall be used, anchored with no less than two 3/8" X 36" reinforcing rods. Bales shall remain until all graded areas are seeded or sodded.
- 12.) The minimum setback is 10'-0" from an existing or proposed right of way.
- 13.) One (1) tree is required for every fifty (50) lineal feet of landscape setback area.
- 14.) Landscape islands shall be placed at the ends of parking aisles as required by Section 1003.164 of the City of Chesterfield Zoning Ordinance:
 - A.) There shall be a minimum landscape width of six (6) feet and a minimum area of 100 square feet. Provide one (1) deciduous tree per island.
 - B.) At the end of double row parking, a minimum of 210 square feet shall be provided for with a minimum of two (2) deciduous trees per island.
 - C.) Islands shall have plantings consisting of groundcovers such as shrubs, ivy, flowers and grasses. Mulch or rock may be used instead of grass or in combination with grass.
- 15.) Consideration shall be given to the type of grass to be used due to need for drought tolerance in areas without ground irrigation systems. (Examples: Turf Type Tall Fescue blend less than five years old+ and Crossfire, a semi-dwarf variety, blended with 5-10% bluegrass and referred to as a Transition mix.)
- 16.) A minimum of sixty percent (60%) of the deciduous trees must be of a species which matures at +35', evenly dispersed throughout the project.
- 17.) If the estimated materials cost of new landscaping indicated on the Site Development Plan, as required by the Planning Commission, exceeds one thousand (1000) dollars, as determined by a plant nursery, the petitioner shall furnish a two (2) year bond or escrow sufficient in amount to guarantee the installation of said landscaping.
- 18.) Upon release of the landscape installation Bond, a two (2) year Landscape Maintenance Bond shall be required.

A

B

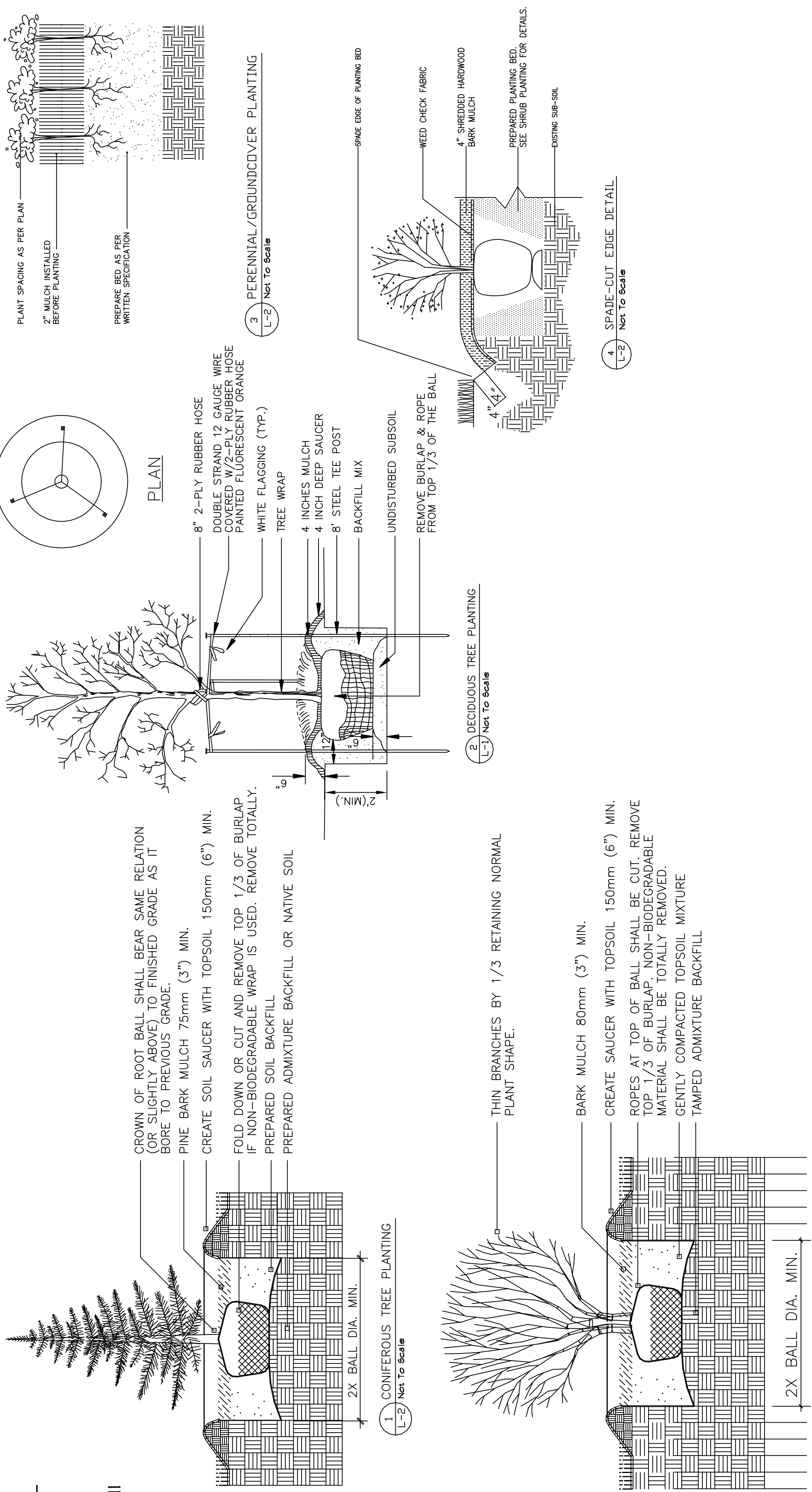
C

D

E

F

G



PLANT SCHEDULE:

TREES	QTY	COMMON/BOTANICAL	SIZE	DECIDUOUS/EVERGREEN	MATURE SIZE
REPT	3	Red Sunset Maple / Acer rubrum 'Franksred'	25" Cal	DECIDUOUS	48'
GRM	2	Green Mountain Sugar Maple / Acer saccharum 'Green Mountain'	25" Cal	DECIDUOUS	48'
AAA	3	Autumn Applause Ash / Fraxinus americana 'Autumn Applause'	25" Cal	DECIDUOUS	48'
GL	3	Greenspire Littleleaf Linden / Tilia cordata 'Greenspire'	25" Cal	DECIDUOUS	48'
EVERGREEN TREES	QTY	COMMON/BOTANICAL	SIZE	EVERGREEN	48'
CB5	3	Colorado Blue Spruce / Picea pungens	6'-1'	EVERGREEN	48'
WP	6	White Pine / Pinus strobus	6'-1'	EVERGREEN	48'
FLOWERING TREES	QTY	COMMON/BOTANICAL	SIZE	DECIDUOUS	25'-35'
RE	5	Redbud / Cercis canadensis	25" Cal	DECIDUOUS	25'-35'
SMAG	5	Sauze Magnolia / Magnolia acuminata	25" Cal	EVERGREEN	25'-35'
SUMAG	3	Sweet Bay / Magnolia virginiana	25" Cal	DECIDUOUS	35'-48'
AP	4	Aristocrat Flowering Pear / Pyrus calleryana 'Aristocrat'	25" Cal	DECIDUOUS	48'
SHRUBS	QTY	COMMON/BOTANICAL	SIZE	DECIDUOUS	48'
CPB	18	Crimson Pygmy Barberry / Berberis thunbergii 'Crimson Pygmy'	5 gal	DECIDUOUS	48'
WBB	21	Winter Gem Boxwood / Buxus microphylla 'Winter Gem'	5 gal	EVERGREEN	48'
DBB	11	Compact Burning Bush / Elyonurus alatus 'Compactus'	18"-24"	DECIDUOUS	48'
EME	5	Emerald Gaiety Elyonurus / Elyonurus fortunei 'Emerald Gaiety'	5 gal	EVERGREEN	48'
INK	31	Compact Inkberry / Ilex glabra 'Compacta'	5 gal	EVERGREEN	48'
CH	11	China Boy/Girl Holly / Ilex meserveae 'China Boy/Girl'	5 gal	EVERGREEN	48'
BAY	21	Northern Bayberry / Myrica pensylvanica	24"-30"	EVERGREEN	48'
P&C	4	Purple Sand Cherry / Prunus X cistena	24"-30"	DECIDUOUS	48'
LP6	14	Little Princess Spirea / Spiraea japonica 'Little Princess'	5 gal	DECIDUOUS	48'
DKL	6	Dwarf Korean Lilac / Syringa meyeri 'Palibir'	5 gal	DECIDUOUS	48'
DY	1	Dense Yew / Taxus media 'Densatiformis'	18"-24"	EVERGREEN	48'
ANNUALS/PERENNIALS	QTY	COMMON/BOTANICAL	SIZE	DECIDUOUS	48'
BBL	58	Big Blue Liriope / Liriope muscari 'Big Blue'	1 gal	DECIDUOUS	48'
GRASSES	QTY	COMMON/BOTANICAL	SIZE	DECIDUOUS	48'
MG	10	Maiden Grass / Miscanthus sinensis 'Gracillimus'	5 gal	DECIDUOUS	48'

NOTE: CATEGORY MAKEUP CONSISTS OF THE FOLLOWING:
 DECIDUOUS TREES—33%
 ORNAMENTAL TREES—46%
 EVERGREEN TREES—21%

REVISIONS BY	DATE	DESCRIPTION

landscape TECHNOLOGIES

51. Charles Meek Drive
 67. Jacobs, Missouri 6304
 (636) 928-1250
 Fax: (636) 928-4563

Simply Storage

PLANTING PLAN FOR THE PROPOSED CHESTERFIELD, MISSOURI

DRAIN RYARD'S CHECKED RBT DATE: 08/11/2006 OCT 11 2006 SCALE: 1"=30'-0" JOB NO.: 2006-204 SHEET: L-2 OF TWO SHEETS