



II. B.

690 Chesterfield Pkwy W • Chesterfield MO 63017-0760
Phone: 636-537-4000 • Fax 636-537-4798 • www.chesterfield.mo.us

May 2, 2008

Architectural Review Board
City of Chesterfield
690 Chesterfield Parkway West
Chesterfield, MO 63017

Re: Spirit Energy (13506 Olive Blvd): A Site Development Plan, Architectural Elevations, Landscape Plan, Lighting Plan and Architect's Statement of Design for a 0.31 acre parcel located at 13506 Olive Blvd., in the southwest corner of the intersection of Olive Blvd. and Woods Mill Road.

Dear Board Members:

NOVA Group Inc. has submitted, on behalf of Spirit Energy, LLC, a Site Development Plan, Architectural Elevations, Landscape Plan, Lighting Plan and Architect's Statement of Design for the above referenced project. The Department of Planning and Public Works has reviewed this request and submits the following report.

Submittal Information

The request is for an unmanned gas station, located on a 0.31 acre parcel zoned "C2" Shopping District. The parcel is governed by the terms and conditions of St. Louis County Conditional Use Permit Number 17. The equipment building will be comprised of masonry with "colonial" style details and a gabled shingle roof. The canopy over the gas pumps will be metal with a flat roof. The trash enclosure materials will match the equipment building. A similar color palette has been used to coordinate the three structures. Please see the attached checklist to review the project's compliance with the City of Chesterfield's Design Guidelines.

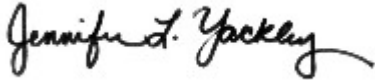
Departmental Input

The submittal was reviewed for compliance with the City of Chesterfield's Design Guidelines and St. Louis County Conditional Use Permit Number 17. Landscape, lighting and signage are being addressed through the site development plan review process for adherence to the City Code.

Actions Requested

The Department of Planning and Public Works requests action by the Architectural Review Board on the information presented.

Respectfully Submitted,



Jennifer Yackley
Project Planner

Respectfully Submitted,



Aimee Nassif
Senior Planner

Attachments

1. ARB Design Review Checklist
2. Architectural Review Packet Submittal

CITY OF CHESTERFIELD
Design Guidelines: Review Checklist

Project Name: Spirit Energy (13506 Olive)

Date of Review: May 2, 2008

Guideline Description	Addressed as Written	Addressed with Modification (1)	Comments and Reference (2)
CHAPTER ONE: Site Layout			
A. Physical Features	X		
B. Vegetation	X		
C. Site Relationships	X		
D. Pedestrian & Vehicular Circulation	X		
E. Pedestrian Orientation	X		
CHAPTER TWO: Building all Structures			
I. All Structures:			
A. General Architectural Guidelines	X		

Guideline Description	Addressed as Written	Addressed with Modification (1)	Comments and Reference (2)
B. Scale	X		
C. Design	X		
D. Relation to Adjacent Development	X		
E. Material/Colors	X		
II. Residential Structures:			
A. General Residential Architecture	N/A		
B. Multiple-Family Architecture	N/A		
III. Non-residential Structures:			
A. General	X		
B. Building Equipment Service	X		
C. Fast Food Restaurant Guidelines	N/A		
D. Auto Service Station Guidelines	X		
E. Shopping Center Guidelines	N/A		
F. Chesterfield Valley Guidelines	N/A		

Guideline Description	Addressed as Written	Addressed with Modification (1)	Comments and Reference (2)
CHAPTER THREE: Landscape Design			Landscaping is being reviewed during site development plan review for adherence to the City Code.
CHAPTER FOUR: Miscellaneous			
A. Signage			Will be reviewed under a separate process.
B. Lighting			Lighting is being reviewed during site development plan review for adherence to City Code.
C. Utilities	X		
D. Stormwater Drainage	X		
E. Energy Conservation	X		
F. Screening (Fences & Walls)	X		

Notes:

- (1) A check in this column refers to the item being addressed in the submission, but with potential variation from the guidelines that review by the Board is specifically requested.
- (2) *Comments* provide additional information regarding the status of specific design guidelines. *Reference* is to the specific Architectural Review guideline as stated in the booklet entitled *Architectural Review Process*, Amended May 2001.



ARCHITECTURAL REVIEW BOARD Project Statistics Application



Project Title: FUELMAN

Developer: Spirit Energy, LLC Architect: Nova Group, Inc. Engineer: Nova Group, Inc.

Location: 13506 OLIVE Blvd. 63017

PROJECT STATISTICS:

Size of site (in acres): .31 Total Square Footage: 13,526 Building Height: 18'-6"

Proposed Usage: MERCANTILE - MOTOR FUEL DISPENSING FACILITY

Exterior Building Materials: MASONRY - SHEET METAL - ASPHALT SHINGLES

Construction Type: V-B

Roof Material & Design: CANOPY - ~~PISTAL~~ / FLAT BLDG - SHINGLES / SLOPED

Screening Material & Design: None required

Landscape Guidelines: Commercial Institutional Valley Residential

Building Setbacks: Front Side Rear Max Bldg Ht. Min. Lot Req.

Description of art or architecturally significant features (if any): _____

ADDITIONAL PROJECT INFORMATION:

G/Planning/Procedure Manual (Public)/ARB/Project Statistics App./01-P1of1
G/Planning/ARB/Arch. Review Book/Project Statistics App.



Subject Site Looking North From Dierbergs Parking Lot

RECEIVED
APR 29 2008
DEPT. OF PLANNING
& PUBLIC WORKS



Looking North Across Olive Street Road - The Forum Shopping Center



Looking South To Adjoining Dierbergs Shopping Center



Looking West Into Dierbergs Adjoining Parking Lot



Looking East Across Woods Mill Road- Jiffy Lube Site

ARCHITECTS AND ENGINEERS



ARCHITECT STATEMENT

ARCHITECTURAL REVIEW BOARD

CITY of CHESTERFIELD

FUELMAN

HIGHWAY 141 AND OLIVE BOULEVARD

CHESTERFIELD, MISSOURI

PROJECT NO. 208038-A

The following is the architectural response to the City of Chesterfield Design Guidelines as required by the Architectural Review Board submittal checklist.

CHAPTER ONE/SITE LAYOUT

Physical Features

The existing site is currently an outlot to an existing shopping center. Grades will be adjusted to create positive drainage of storm water within the site. The site contains no natural features which can be utilized in the new development.

Vegetation

Landscaping will be provided at the north and east property lines. Currently there is no significant landscaping present on this outlot.

Site Relationships of Design

The main structure on this site is the canopy which covers the pump islands. This canopy is of industry standard construction regarding height, width and length. The height is required to allow access of tractor trailers which deliver fuel to the station. The other two structures are minor. The first is an equipment building to house the necessary equipment for operating this service station; the other is a trash enclosure. None of the structures on this site are occupied. This station is completely automated and self service.

Pedestrian and Vehicular Circulation

This business requires that vehicular circulation be easily accommodated. Since there are no other services offered except the sale of gasoline, pedestrian circulation within the site is not necessary. Vehicles will access the site from either Olive or Hwy 141 and refuel then depart. There are no other retail sales associated with this operation. Sidewalks for pedestrians will be provided at the streets if existing sidewalks are present on adjacent parcels.

Pedestrian Orientation

This is a motor vehicle oriented business and the only service provided is fuel sales for automobiles and light trucks. There is no reason for pedestrian circulation within the site. Pedestrian circulation at the perimeter will be provided to match what is adjacent and/or existing, which at the current time, does not exist. The rear of the structures have been designed with the same level of detail as the other elevations since this site will be visible from all directions.

CHAPTER TWO/BUILDINGS

General Architectural Guidelines

The structures presented are made of durable, functional materials to provide long term service for this type of business. These structures are a design of function. Where the opportunity presented itself, detail has been added.

Scale

The buildings proposed are of a scale appropriate for this type of business operation. The gasoline canopy must accommodate passenger vehicles as well as tractor-trailers. The storage building and trash enclosure are designed for function, but do remain in human scale.

Design

The canopy to protect the pump islands is a matter of function. Patrons desire to be kept out of the weather while fueling their cars. The equipment building is a simple masonry building with a gable roof and modest "colonial" style details. This building is not occupied but simply houses the electronic equipment for the Fuelman operation. The trash enclosure is also masonry with site proof gates. Color coordination for all three (3) structures has been utilized to tie these buildings or structures together. Combining these buildings is not a practical option.

Relation to Adjacent Development

This is a commercial business located in a commercial district. The structures contained on this site do not allow for compatible architectural designs with the adjacent shopping center due to the specialization of the structures and the small size.

Materials/Colors

The gasoline canopy will be supported by painted steel columns and the fascia of the canopy will be covered with prefinished aluminum. The equipment building is single wythe masonry with a shingle roof, gable style with wood eaves and aluminum gutters at the base of the roof slope. The trash enclosure will also be single wythe masonry. Colors are neutral, in the gray range with red block accents.

NON-RESIDENTIAL ARCHITECTURAL

General

These items have previously been addressed, but to further elaborate, these buildings are small in nature and do not lend themselves to multiple forms of architectural treatment.

Building Equipment and Service

These items were previously addressed but to highlight the utilities which serve this building will be located in an isolated location not visible to the general public utilizing this facility.

Fast Food Restaurant Guidelines

Does Not Apply

Auto Service Station Guidelines

This project is located on a corner and landscaping has been provided along the street elevations. The three structures located on this site are minor in nature and are more a design of function than anything else. Combining these structures would not be practical or efficient for this style of business. The tank vents are incorporated into the columns of the gasoline canopy and will not be visible anywhere on site or off site. There are no roof top units so screening is not an issue.

CHAPTER THREE/LANDSCAPE DESIGN

Landscaping has been provided along the north and east property lines which abut the two major streets, Olive Boulevard and Highway 141. A variety of plants will be provided to bring visual interest without obscuring the business or creating a nuisance to motorists on the adjacent thoroughfares.

CHAPTER FOUR/MISCELANEOUS

Signage

Signage will be incorporated into the face of the gasoline canopy. A sign will be provided to identify gasoline brand as well as price as required by federal law.

Lighting

Illumination of this site is critical in order to allow for proper circulation and public safety during night time hours. Most site lighting will be achieved by the fixtures located on the soffit of the gasoline canopy. Additional site lighting fixtures will be provided at the curb cuts on Olive Boulevard and Highway 141.

Utilities

Utilities will be installed underground as required.

Storm Water Drainage

Storm water will be handled in accordance with the Metropolitan St. Louis Sewer District Standards. Water from roof tops of the buildings will be distributed by down spouts and piped to the storm sewer system below grade.

Energy Conservation

These facilities will be designed in accordance with current energy codes as listed in the 2003 IBC.

Screening (fences and walls)

The trash enclosure will be masonry and will be 7 feet tall. Gates to the trash enclosure will be chain link with privacy slates to restrict vision into the trash enclosure.

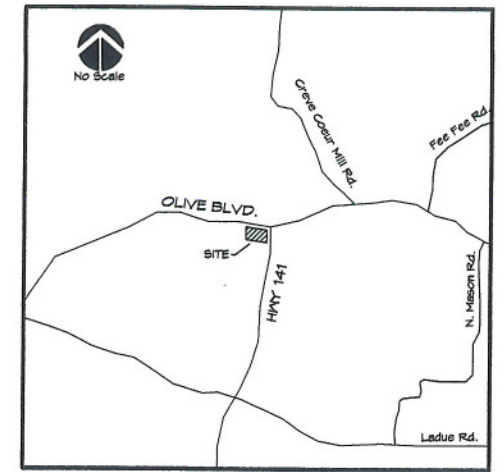
Spirit Energy, LLC 13506 Olive Blvd.

A TRACT OF LAND IN PART OF LOT 2 IN SHARE NO. 1 OF THE PARTITION OF MISSOURI STEVENS ESTATE IN U.S. SURVEY 207 TOWNSHIP 46 NORTH, RANGE 5 EAST CITY OF CHESTERFIELD ST. LOUIS COUNTY, MISSOURI

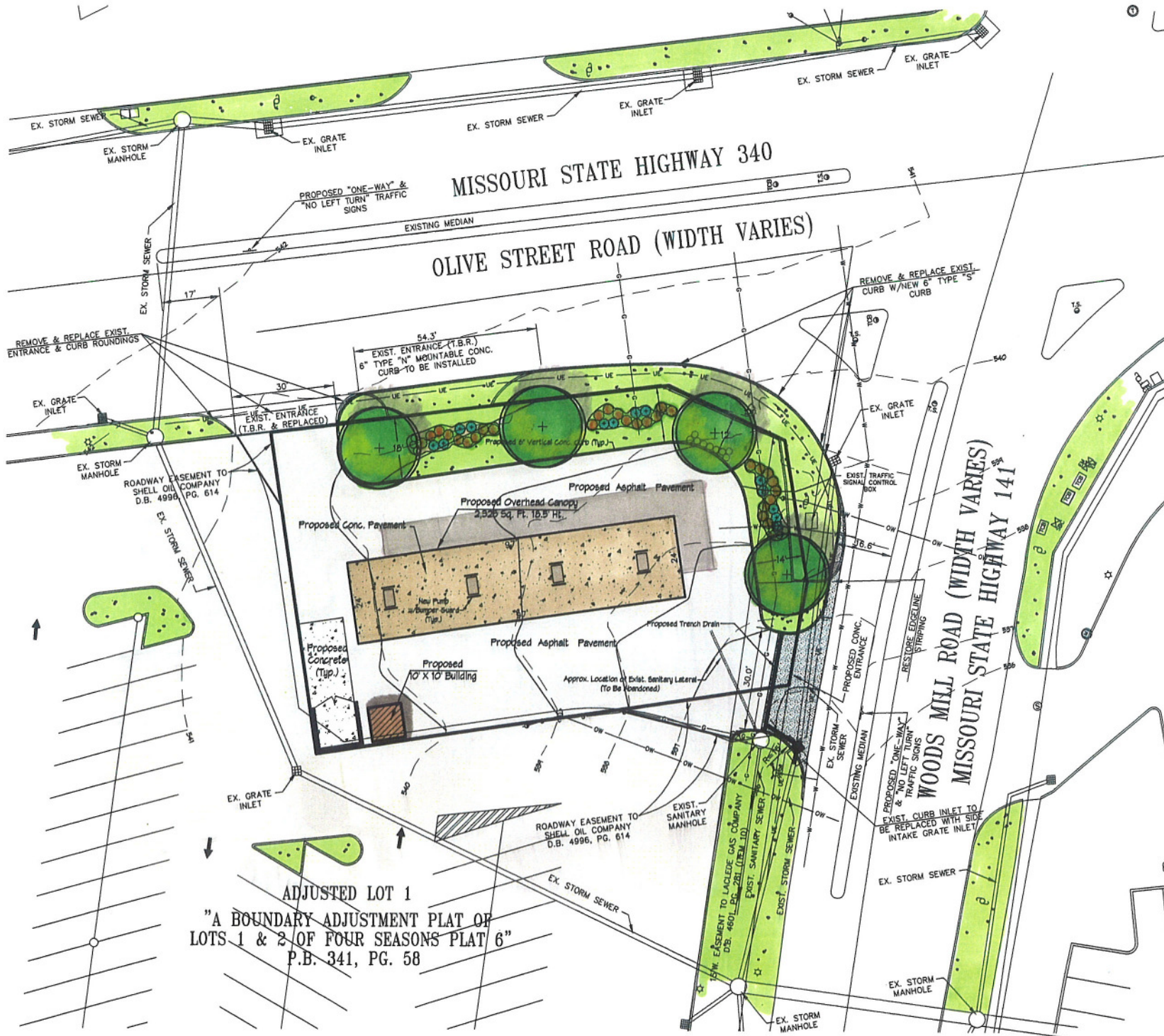
Open Space Calculations:

$$\frac{\text{all landscaped and impervious areas}}{\text{total area of site}} = \text{Open Space}$$

$$\frac{2,790 \text{ sq. ft.}}{19,526} = 0.206, \text{ or } 20.6\% \text{ Open Space}$$

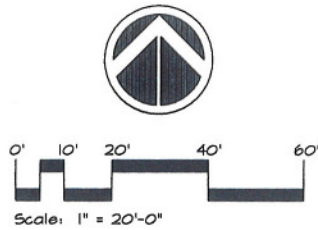


Location Map:
13506 Olive Blvd., Chesterfield, MO 63017



NOTES:

- GROSS SITE AREA: 13,526 SQUARE FEET MORE OR LESS, OR 0.31 ACRES, MORE OR LESS.
- PROPOSED USE OF BUILDING: COFFEE SHOP WITH DRIVE THROUGH WINDOW.
- PROPOSED CONSTRUCTION TYPE:
- PROPOSED FLOOR AREA = 1,650 SQ. FT.
- BUILDING SET BACKS: NONE FOUND
- NEAREST ELEMENTARY SCHOOL: RIVER BEND
- NEAREST HIGH SCHOOL: PARKWAY CENTRAL HIGH SCHOOL
- CURRENT ZONING: "C-2" SHOPPING DISTRICT
- FIRE DISTRICT: MONARCH FIRE PROTECTION DISTRICT
- WATER DISTRICT: MISSOURI AMERICAN WATER COMPANY
- SEWER DISTRICT: METROPOLITAN ST. LOUIS SEWER DISTRICT
- ELECTRIC DISTRICT: AMERENUE
- SCHOOL DISTRICT: PARKWAY
- BENCHMARK: ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS & TRAFFIC BENCHMARK #8-179 - ELEVATION = 560.62 FEET: "L" ON THE SOUTHEAST CORNER OF THE SIGNAL CONTROL BOX IN THE ISLAND AT THE NORTHEAST CORNER OF RIVER VALLEY DRIVE AND OLIVE STREET ROAD.
- SOURCE OF TITLE: FIRST AMERICAN TITLE INSURANCE COMPANY - FILE NO.: 62-43051, DATED: JUNE 25, 2003. ITEM 9: EASEMENT TO YARHOLA PIPE LINE COMPANY IN BOOK 425, PAGE 52 (AFFECTS LOT 3, SHARE 2) AND ASSIGNMENT TO OZARK PIPE LINE CORPORATION IN BOOK 472, PAGE 14 (INCORRECT BOOK & PAGE) AND MODIFICATION THEREOF IN BOOK 5176, PAGE 54 (AFFECTS LOT 5, SHARE 3 AND LOT 3, SHARE 2). ITEM 10: EASEMENT TO LACLEDE GAS COMPANY IN BOOK 4420, PAGE 601 AND 603 (WITHIN THE EXCEPTION AREA NOW PART OF OLIVE BOULEVARD)
- SOURCE OF BEARINGS: ADOPTED FROM PLAT BOOK 341, PAGE 58 OF THE ST. LOUIS COUNTY RECORDS.
- SOURCE OF DEED: CONVEYED TO EQUILON ENTERPRISES, L.L.C. IN DEED BOOK 11717, PAGE 1152 OF THE ST. LOUIS COUNTY RECORDS.
- LOCATOR NO.: 16Q33-0902 ST. LOUIS COUNTY, MISSOURI
- THE LOCATION OF EXISTING UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NONEXISTENCE, SIZE, TYPE, NUMBER OR LOCATION, THEREFORE THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UTILITIES, SHOWN OR NOT SHOWN, AND SAID UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY PROJECT CONSTRUCTION.
- PRESENT OWNERS: SPIRIT ENERGY, L.L.C.
50 S. BEMISTON
CLAYTON, MISSOURI 63105
(314) 898-9239 FAX: (314) 726-9575
- DEVELOPER: SPIRIT ENERGY, L.L.C.
50 S. BEMISTON
CLAYTON, MISSOURI 63105
(314) 898-9239 FAX: (314) 726-9575
- SUBDIVISION DESIGNER: JAMES ENGINEERING & SURVEYING COMPANY, INC.
10811 BIG BEND BLVD.
KIRKWOOD, MO. 63122
(314) 822-1006 FAX: (314) 822-0006



NOTICE TO CONTRACTOR

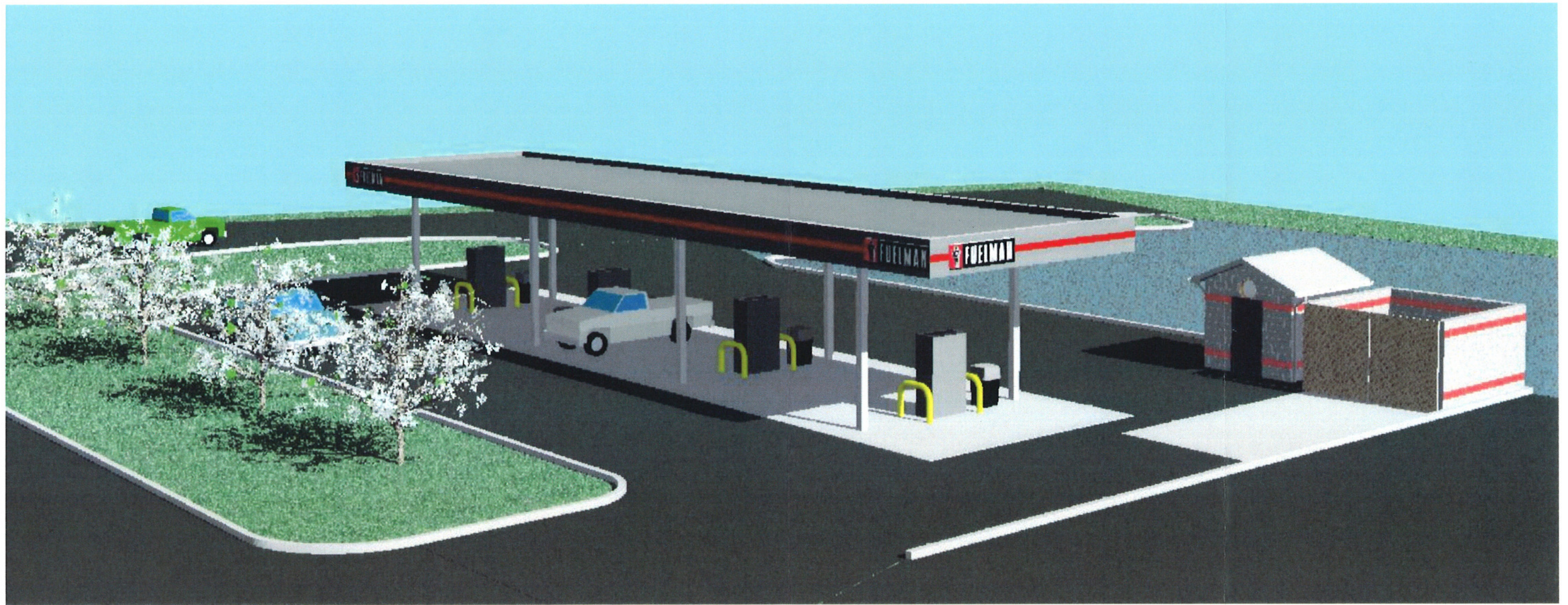
UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE RECORDS, THEREFORE, THE RELATIONSHIP BETWEEN PROPOSED WORK AND EXISTING FACILITIES, STRUCTURES AND UTILITIES MUST BE CONSIDERED APPROXIMATE AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXACT LOCATION AND THE EXISTENCE OF ANY NOT SHOWN. (ALL UTILITIES SHALL BE LOCATED BOTH HORIZONTALLY AND VERTICALLY TO VERIFY CLEARANCE/COVER OF ANY PROPOSED GRADINGS, SEWERS, FOOTINGS, ETC. PRIOR TO CONSTRUCTION. UTILITY COMPANY REPRESENTATIVES SHALL BE ON SITE DURING SUCH TIMES THAT EXCAVATION IS TAKING PLACE IN THE VICINITY OF THEIR FACILITIES.)

Prepared For:

SPIRIT ENERGY LLC
50 S. Bemiston
Clayton, MO 63105
314/898-9239
314/726-9575 fax

HALL + ASSOCIATES, L.L.C.
LAND PLANNING
LANDSCAPE ARCHITECTURE
424 SOUTH CLAY AVENUE, ST. LOUIS, MO 63122 314.966.5577

JAMES ENGINEERING & SURVEYING CO.
10811 BIG BEND BLVD.
KIRKWOOD, MO 63122
PHONE: (314) 822-1006
FAX: (314) 822-0006





SPIRIT ENERGY L.L.C.

FUELMAN

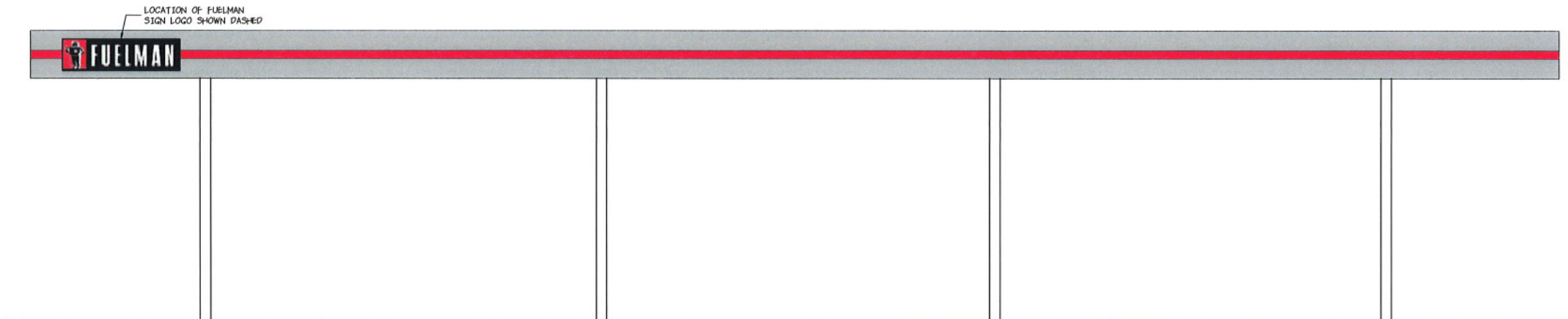
13506 OLIVE LBLVD.
CHESTERFIELD, MISSOURI 63017



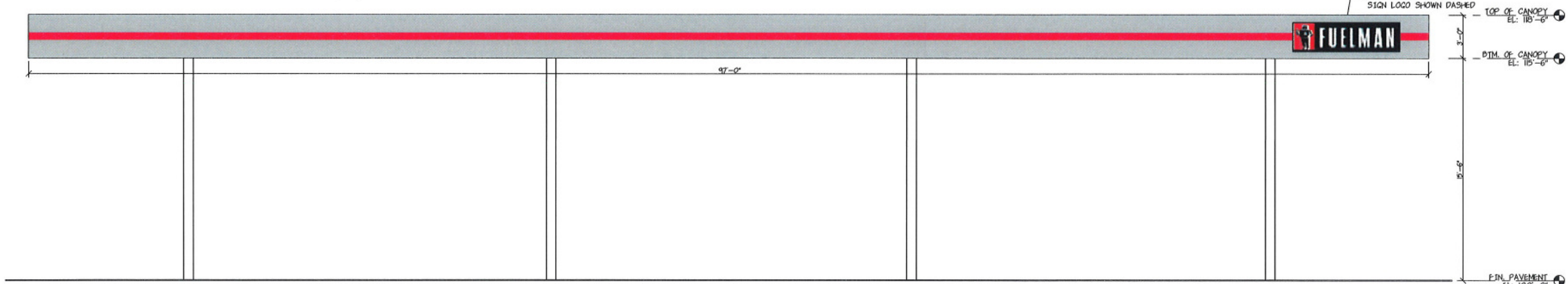
project no. 208038A
drawn by ASM
date 5/01/08
revision

EXTERIOR ELEVATIONS

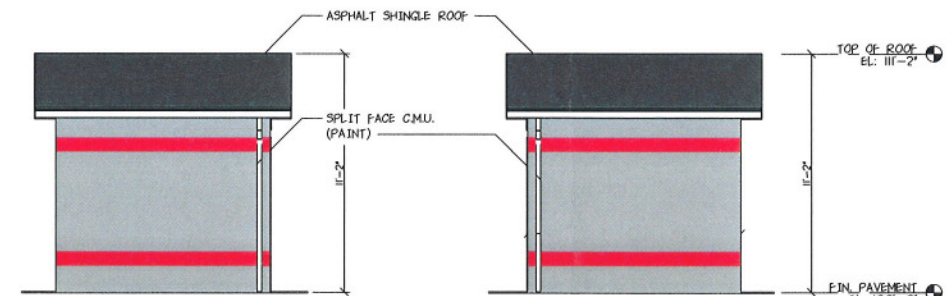
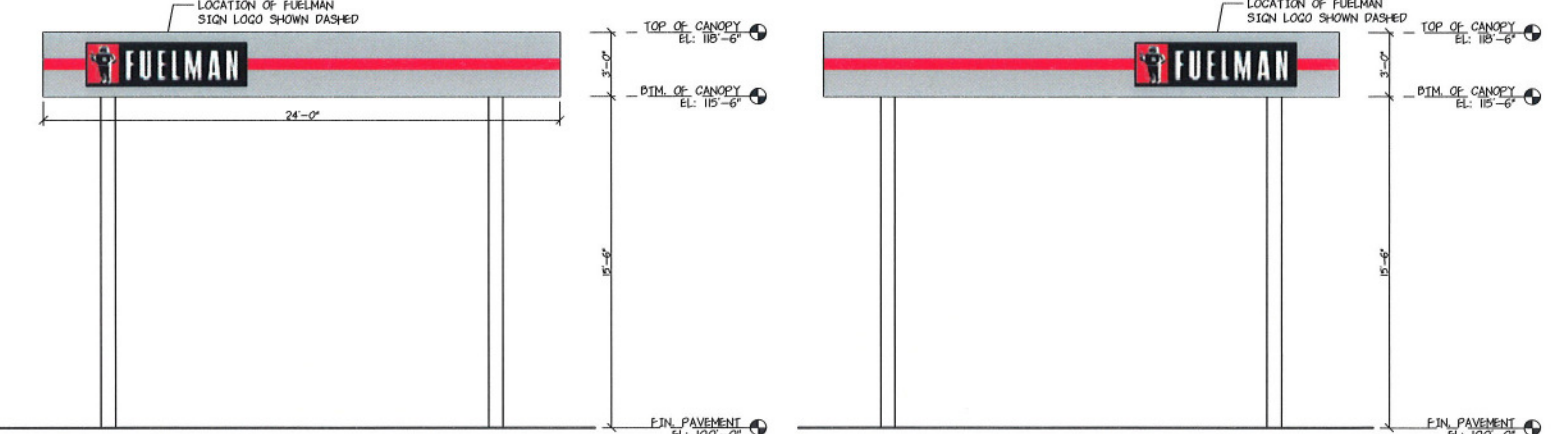
A-1
sheet 1 of 2



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

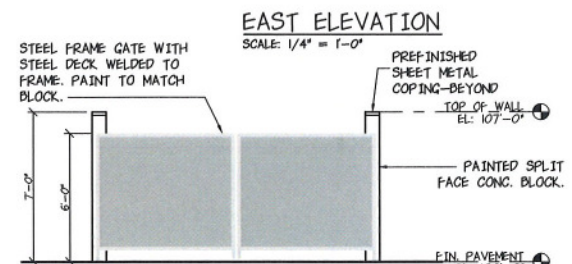


NORTH ELEVATION
SCALE: 1/4" = 1'-0"

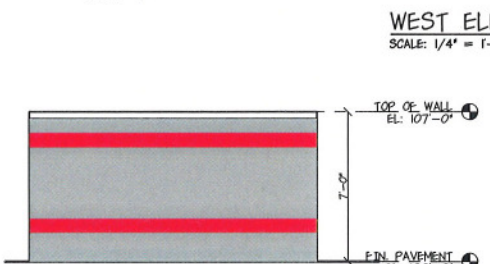


EAST ELEVATION
SCALE: 1/4" = 1'-0"

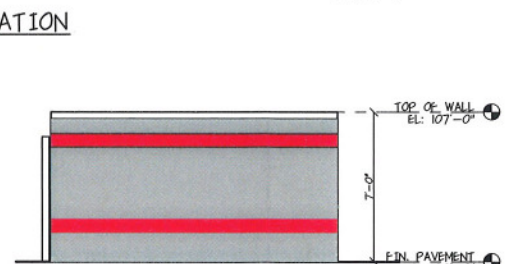
WEST ELEVATION
SCALE: 1/4" = 1'-0"



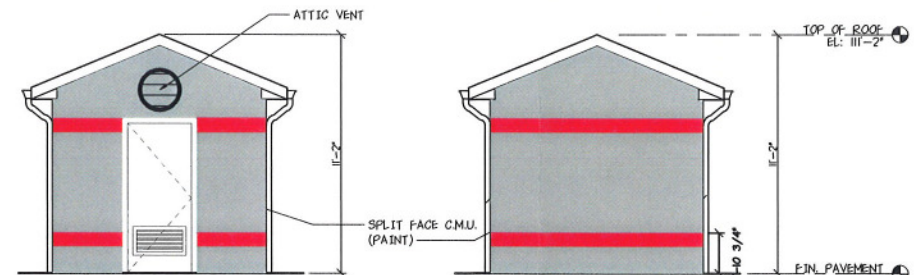
NORTH ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

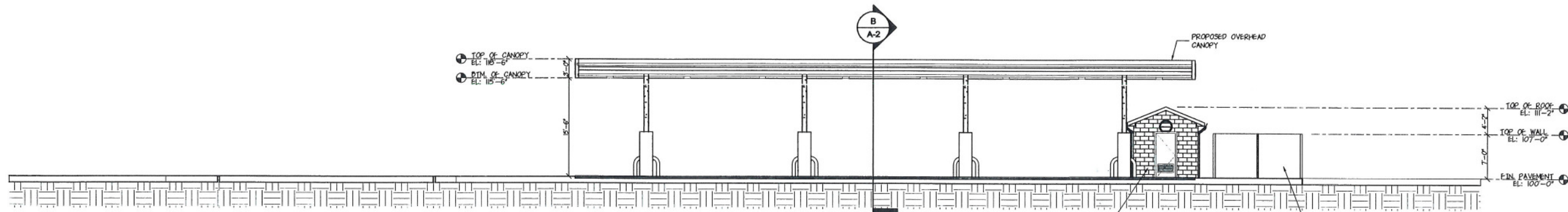
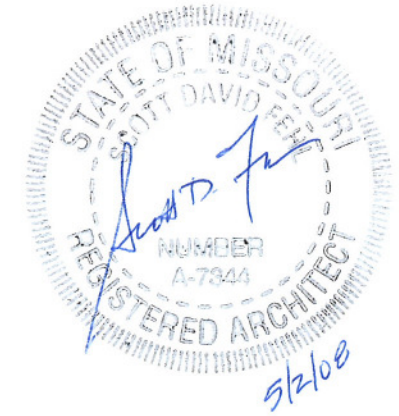


WEST ELEVATION
EAST ELEVATION (OPPOSITE HAND)
SCALE: 1/4" = 1'-0"

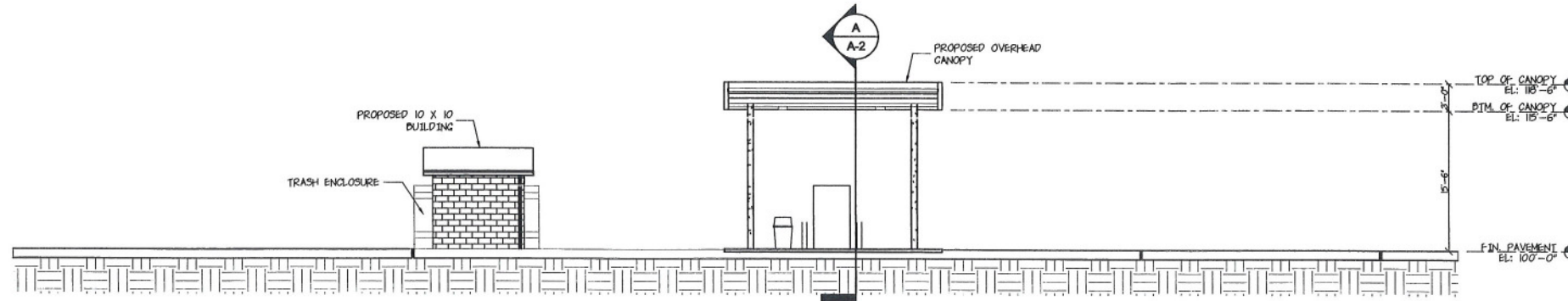


NORTH ELEVATION
SCALE: 1/4" = 1'-0"

SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



SITE SECTION 'A'
SCALE: NTS



SITE SECTION 'B'
SCALE: NTS

SPRIT ENERGY L.L.C.

FUELMAN

13506 OLIVE LBLVD.
CHESTERFIELD, MISSOURI 63017



project no. 208038A

drawn by ASM

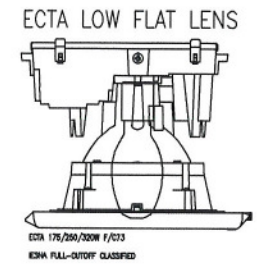
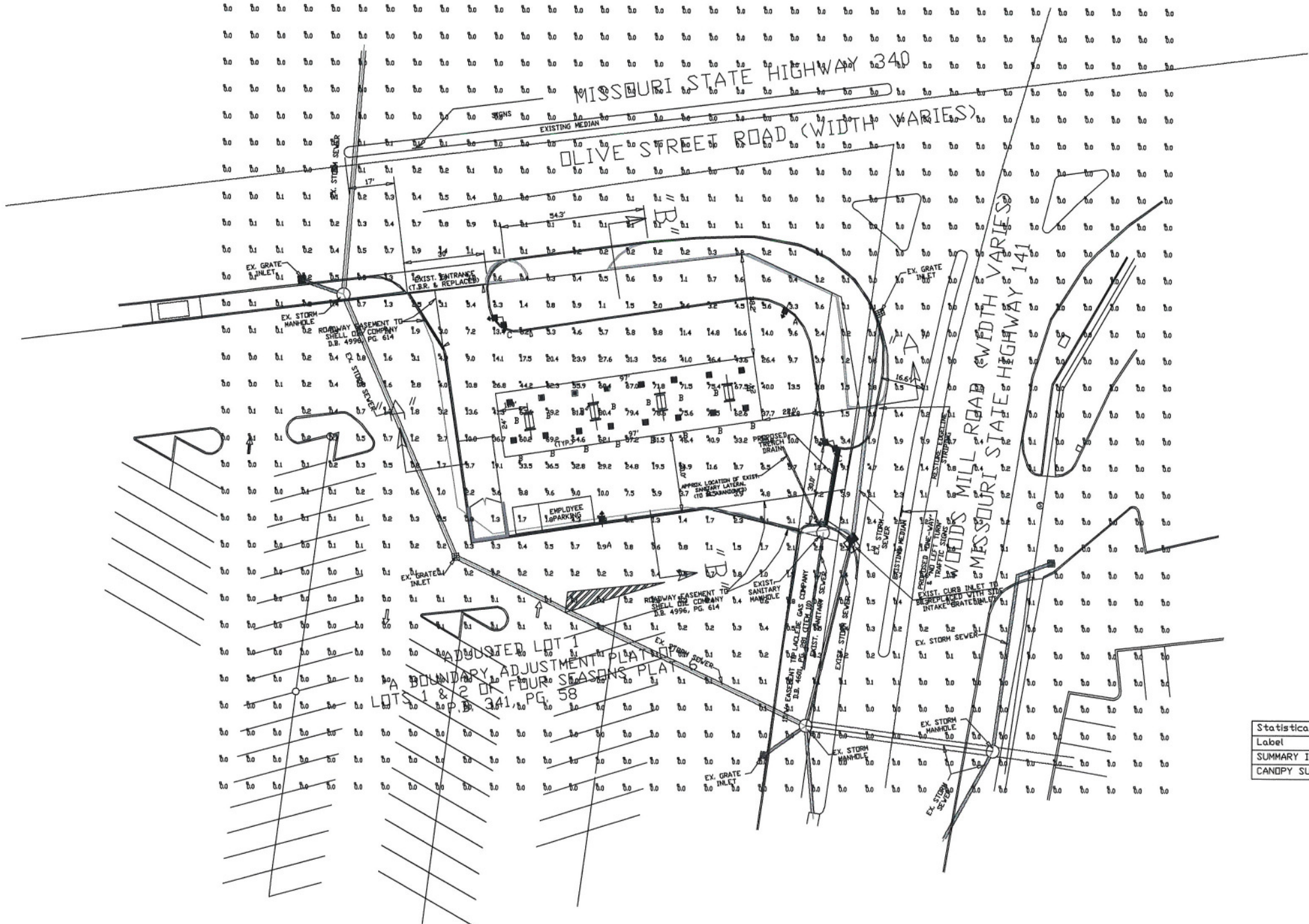
date 4/04/08

revision

SITE SECTIONS

A-2

sheet 2 of 2



Maintained Footcandle levels.

Statistical Area Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
SUMMARY INSIDE CURB	16.84	52.3	1.7	9.91	30.76
CANDOPY SUMMARY	66.19	81.3	37.7	1.76	2.16

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Lumens	LLF	Description	Total Watts
➡	2	A	SINGLE	36000	0.720	GBM FP 400 MH CT HSS SINGLE ON 16' POLE + 2' BASES	458
■	16	B	SINGLE	32000	0.720	ECTA-S-320-PSMV-F	368
↻	2	C	2 @ 90 DEGREES	36000	0.720	GBM FP 400 MH CT HSS D90 ON 16' POLE + 2' BASES	916

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine applicability of the layout to existing or future field conditions.

This lighting pattern represents illumination levels calculated from laboratory data taken under controlled conditions utilizing current industry standard lamp ratings in accordance with Illuminating Engineering Society approved methods. Actual performance of any manufacturer's luminaire may vary due to variation in electrical voltage, tolerance in lamps and other variable field conditions.

1	4/28/08	LLS
Rev.	Date	By
Revisions		
LIGHTING PROPOSAL FOR SPIRIT ENERGY OLIVE BLVD. CHESTERFIELD, MO		
SCALE: 1/8" = 1'-0"	LD- 91026-1	
DATE: 4/28/08	SHEET 1 OF 1	
BY: LLS		

Total Watts = 8636