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690 Chesterfield Pkwy W • Chesterfield MO 63017-0760  
Phone: 636-537-4000 • Fax 636-537-4798 • www.chesterfield.mo.us

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May 9, 2008

Architectural Review Board  
City of Chesterfield  
690 Chesterfield Parkway West  
Chesterfield, MO 63017

**Re: Chesterfield Commons Six Outparcel 4 (Culver's Restaurant):** Site Development Section Plan, Landscape Plan, Lighting Plan, Architectural Elevations, and Architect's Statement of Design for 1.3 acre tract of land located in a "C-8" Planned Commercial District north of Chesterfield Airport Road, and west of Boones Crossing.

Board Members:

Ollmann Ernest Architects have submitted, on behalf of THF Chesterfield Six Development, L.L.C., a Site Development Section Plan, Landscape Plan, Lighting Plan, Architectural Elevations, and Architects Statement of Design for the above referenced project. The Department of Planning and Public Works has reviewed this request and submits the following report.

**Submittal Information**

The request is for a new 3,954 square foot restaurant located in the Chesterfield Commons Six Development. Exterior materials include stone, brick, EIFS, and glass. Roof materials will be a flat membrane. Please see the attached checklist to review the project's compliance with the City of Chesterfield's Design Guidelines.

**Departmental Input**

The submittal was reviewed for compliance with the City of Chesterfield's Design Guidelines, City of Chesterfield governing ordinance 2096, the City of Chesterfield Tree Manual, and the City of Chesterfield Lighting ordinance. Signage is not reviewed during this part of the process and will be reviewed by the Department of Planning & Public Works.

**Actions Requested**

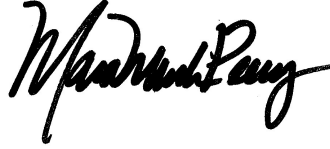
The Department of Planning & Public Works requests action by the Architectural Review Board on the information presented.

Respectfully submitted,



Shawn P. Seymour, AICP  
Project Planner

Respectfully submitted,



Mara M. Perry, AICP  
Senior Planner of Site Plan Review

**Attachments**

1. ARB Design Review Checklist
2. Architectural Review Application and Packet Submittal

**CITY OF CHESTERFIELD**  
**Design Guidelines: Review Checklist**

**Project Name:** Chesterfield Commons Six Outparcel 4 (Culver's Restaurant):  
**Date of Review:** 04-30-2008

Guideline Description	Addressed as Written	Addressed with Modification (1)	Comments and Reference (2)
<b>CHAPTER ONE: Site Layout</b>			
A. Physical Features	<b>X</b>		
B. Vegetation	<b>X</b>		
C. Site Relationships	<b>X</b>		
D. Pedestrian & Vehicular Circulation	<b>X</b>		
E. Pedestrian Orientation	<b>X</b>		
<b>CHAPTER TWO: Building all Structures</b>			
<b>I. All Structures:</b>			
A. General Architectural Guidelines	<b>X</b>		

<b>Guideline Description</b>	<b>Addressed as Written</b>	<b>Addressed with Modification (1)</b>	<b>Comments and Reference (2)</b>
B. Scale	<b>X</b>		
C. Design	<b>X</b>		
D. Relation to Adjacent Development	<b>X</b>		
E. Material/Colors	<b>X</b>		
<b>II. Residential Structures:</b>			
A. General Residential Architecture	<b>NA</b>		
B. Multiple-Family Architecture	<b>NA</b>		
<b>III. Non-residential Structures:</b>			
A. General	<b>X</b>		
B. Building Equipment Service	<b>X</b>		
C. Fast Food Restaurant Guidelines	<b>X</b>		
D. Auto Service Station Guidelines	<b>NA</b>		
E. Shopping Center Guidelines	<b>NA</b>		
F. Chesterfield Valley Guidelines	<b>X</b>		



Guideline Description	Addressed as Written	Addressed with Modification (1)	Comments and Reference (2)
<b>CHAPTER THREE: Landscape Design</b>	<b>X</b>		
<b>CHAPTER FOUR: Miscellaneous</b>			
A. Signage			<b>Signage is not being reviewed at this time.</b>
B. Lighting	<b>X</b>		
C. Utilities	<b>X</b>		
D. Stormwater Drainage	<b>X</b>		
E. Energy Conservation	<b>X</b>		
F. Screening (Fences & Walls)	<b>X</b>		

Notes:

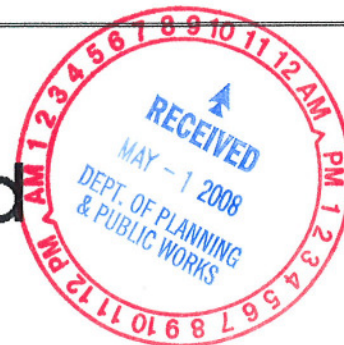
- (1) A check in this column refers to the item being addressed in the submission, but with potential variation from the guidelines that review by the Board is specifically requested.
- (2) *Comments* provide additional information regarding the status of specific design guidelines. *Reference* is to the specific Architectural Review guideline as stated in the booklet entitled *Architectural Review Process*, Amended May 2001.

Form revised:           October 2001  
                                   January 2002



# City of Chesterfield

## DEPARTMENT OF PLANNING



### APPLICATION FOR ARCHITECTURAL REVIEW

Prior to submitting an application to the Department of Planning for review by the Architectural Review Board, the Petitioner is strongly urged to discuss their project with their Project Planner. For questions about this application, please contact the "Planner of the Day" at 636-537-4733.

For information about this and other projects under review by the Department of Planning, please visit "Planning Projects" at [www.Chesterfield.mo.us](http://www.Chesterfield.mo.us).

#### Check application type:

- Site Plan
- Site Development Plan
- Site Development Concept Plan
- Site Development Section Plan
- Amend Elevations
- Amended Site Plan
- Amended Site Development Plan
- Amended Site Development Concept Plan
- Amended Site Development Section Plan
- Other (specify): \_\_\_\_\_

#### Definitions

- **Site Plan:** Plan for non-residential development over 1,000 square feet *not* in a planned district.
- **Site Development Plan:** Plan for development in planned districts that is being done in one phase.
- **Site Development Concept Plan:** Conceptual plan for development in planned districts being done in phases. A Concept Plan provides an overall picture of a development that is being divided into sections to be developed in phases.
- **Site Development Section Plan:** Phased sections of a Concept Plan.

### I. APPLICANT INFORMATION

Project Name: NEW CULVER'S RESTAURANT

Development Firm: THE CHESTERFIELD SIX, LLC

Architectural Firm: OLLMANN ERNEST ARCHITECTS

Engineering Firm: CIVIL: CIVIL ENGINEERING DESIGN CONSULTANTS, INC.  
MEP: SOUTHWEST DESIGN ASSOCIATES

Approximate Location of Project: 1000' WEST OF BOONE'S CROSSING

Record: THE CHESTERFIELD SIX DEVELOPMENT, LLC  
Address: 2127 INNERBELT BUSINESS CENTER DRIVE, #200  
City: ST LOUIS State: MO Zip: 63114  
Tel.: \_\_\_\_\_ Fax: \_\_\_\_\_

\*Attach additional sheets as necessary.

Applicant, if other than owner(s): OLLMAN ERNEST ARCHITECT  
Address: 509 SOUTH STATE STREET  
City: BELLEVILLE State: IL Zip: 61008  
Tel.: 815-544-7790 Fax: 815-544-7792

Legal Interest: ARCHITECT

(Provide date of contract and date of expiration of contract)

\*Attach additional sheets as necessary.

## II. PROJECT STATISTICS

Acreeage: 13 Gross Floor Area: 3,987 Building Height: ±23'4"

Existing Overlay Districts: Check (✓) all that apply [ ] C.U.P. [ ] C.S.P. [ ] L.P.A.

Proposed Usage: RESTAURANT w/ DRIVE-THRU

Exterior Building Materials: CULTURED STONE, BRICK, EIFS

Construction Type: SB

Roof Material and Design: WOOD TRUSSES, RIGID INSULATION, FULLY ADHERED MEMBRANE w/ FULL PERIMETER PARAPET

Building Setbacks: Front Yard: 30' Side Yard: 10' Rear Yard: 15'

Max. Building Height: \_\_\_\_\_ Min. Lot Requirement: \_\_\_\_\_

Description of art or architecturally significant features (if any): \_\_\_\_\_

Screening Material and Design:

CULTURED STONE DUMPSTER ENCLOSURE

Additional Project Information, if any: \_\_\_\_\_

## III. ZONING

Current Zoning District: C-E

Existing Uses(s) on property: VACANT

Proposed Use(s) on property: RESTAURANT w/ DRIVE-THRU

Proposed Development Intensity: .07 FAR du / sf (circle one)\*

\* du = Dwelling Units (Residential or Hotel/Motel) sf = square feet (Commercial, Industrial)

690 Chesterfield Parkway West, Chesterfield, MO 63017-0760  
Ph. (636)537-4746 Fax (636)537-4798 www.chesterfield.mo.us

**IV. SITE SPECIFIC GUIDELINES**

Landscape Guidelines: \_\_\_\_\_ Residential:   ✓   Commercial: \_\_\_\_\_ Institutional: \_\_\_\_\_

Is the property located in a Chesterfield Valley Sub-Area? If yes, circle one: 1 2 3 4

Any site-specific design guidelines:   ORDINANCE 2096  

**V. ADJACENT PROPERTY**

Identify surrounding land uses and zoning designations. Include existing/approved square footage or number of dwelling units, type of units, and density.

Property	Land Use	Zoning	Existing Use	Approved Use <small>(use separate sheet as needed)</small>
North	COMMERCIAL	C-8	RETAIL	
South	"	PC	RETAIL	
East	"	C-8	OFFICE	
West	"	C-8	RESTAURANT	

**VI. PARTIES OF INTEREST**

Principal Contact:   WENDY MARTIN    
  OILMANN ERNEST ARCHITECTS   Title: \_\_\_\_\_  
 Address:   509 NORTH STATE STREET    
 City:   BELVIDERE   State:   IL   Zip:   61008    
 Tel.:   815-544-7790   Fax:   815-544-7792    
 Email:   wmartinpoarch.com  

Other Contact:   DAN MERLO    
 Address:   11901 OLIVE BLVD, SUITE 312    
 City:   ST. LOUIS   State:   MO   Zip:   63141    
 Tel.:   314-432-4550   Fax: \_\_\_\_\_  
 Email:   dmerlo@sansonegroup.com  

Other Contact:   BRANDON HARP    
  CIVIL ENGINEERING DESIGN CONSULTANTS    
 Address:   11402 GRAVVIS ROAD, SUITE 100    
 City:   ST. LOUIS   State:   MO   Zip:   63126    
 Tel.:   314-729-1400   Fax:   314-729-1404    
 Email:   bharp@cedc.net



# City of Chesterfield

## ARCHITECTURAL REVIEW BOARD

### Architectural Review Submittal Checklist

Plans shall be submitted no larger than 11 X 17. If necessary, plant schedules and other notes may be submitted on separate pages. All exhibits shall be scaled and legible.

This checklist must be included in the packet of material submitted to be reviewed.

- Color site plan with contours, site location map, and identification of adjacent uses.
- Color elevations for all building faces.
- Color rendering or model reflecting proposed topography.
- Large exterior material samples. \*
- Photos' reflecting all views of adjacent uses and sites.
- Details for screening, retaining walls, etc. \* *NA*
- Section plans highlighting any building off-sets, etc. *NA PER SHAWN, 4/25/08*
- Architect's statement that clearly identifies how each item in Design Guidelines has been addressed.
- Landscape plan.
- Any other exhibits which would aid understanding of design proposal.
- Governing ordinance requirements.

\* Denotes that item will be brought to meeting by the petitioner





LOOKING SOUTHWEST ACROSS SITE  
CHICK FILET TO THE RIGHT



LOOKING SOUTHEAST ACROSS SITE  
MCBRIDE BUILDING TO LEFT





LOOKING SOUTH ACROSS SITE



LOOKING SOUTHEAST ACROSS SITE

Architect's Statement in response to the City  
of Chesterfield Design Guidelines



## Chapter One / Site Layout

### **A. Physical features**

1. The proposed grading of the site is consistent with the existing topography and drainage patterns. Minimal changes to the existing topography are proposed.
2. The adjacent properties are consistent uses and relatively level with the subject site.
3. The subject site is a pad ready site ready for development.
4. The proposed grading of the site is consistent with the existing topography and drainage patterns. Minimal changes to the existing topography are proposed.
5. No retaining walls are proposed.

### **B. Vegetation**

1. There are no trees or vegetation on the subject site
2. See attached landscape plan.

### **C. Site Relationships of Design**

1. The building orientation is to face the front towards Chesterfield Airport Road, while allowing the drive through to function properly on the west side of the building with sufficient stacking of vehicles. The parking lot is on the east side of the building adjacent to the main entry into the restaurant.
2. This out-lot was master planned in the Chesterfield Six Commons Development plan for its proposed use. The no adverse impacts are proposed.
3. The restaurants only trash area is located at the rear of the property as viewed from Chesterfield Airport Road. It is in a consistent location with the existing restaurant to our west. It is full screened meeting the City's codes.
4. The proposed development has 40 feet of open space along the south property line and 17.5 feet of open space to the east property line while maintaining 39 % open space. All of which is in excess of the ordinances. Also, a continuation of the existing concrete sidewalk is proposed along the southern part of the development to assist in east/west pedestrian circulation.
5. An outside patio for dining and public walks are proposed as part of the development.
6. This is a single phased project.

#### **D. Pedestrian and Vehicular Circulation**

1. The parking lot is designed for direct access to the restaurants main entry, with public sidewalks proposed for pedestrian circulation.
2. This site and the adjacent area are consistent commercial developments. The landscaping will provide the decorative elements to this site.
3. The parking lot is designed for direct access to the restaurants main entry, with public sidewalks proposed for pedestrian circulation.
4. A continuation of the existing concrete sidewalk is proposed along the southern part of the development to assist in east/west pedestrian circulation.
5. This small restaurant development will accommodate your typical passenger vehicles and pedestrian traffic.
6. Bike parking can occur on the sites perimeter sidewalk out of the way of pedestrian and handicap circulation.
7. As part of this development we are proposing cross access through the site as a continuation of the access drive to the restaurant to the west.
8. The parking lot is on the east side of the building adjacent to the main entry into the restaurant. The parking is located 65 feet north of the northern west bound lane of Chesterfield Airport Road. The short dimension of the parking lot is along Chesterfield Airport Road to minimized the exposure.
9. The landscape plan has achieved a separation between the building and the lot.

#### **E. Pedestrian Orientation**

1. The parking lot is designed for direct access to the restaurants main entry, with public sidewalks proposed for pedestrian circulation
2. The proposed continuation of the east-west sidewalk is a continuous walk and does not get interrupted with the proposed development
3. An outside patio for dining and public walks are proposed as part of the development.
4. An outside patio for dining and public walks are proposed as part of the development.
5. The proposed business sign is located at the southwest corner of the site and incorporated into the landscape design
6. The placement of the building and site design allows the customer parking to the east of the building with direct access into the main entry.

## Chapter Two / Buildings

### **I. ALL STRUCTURES**

#### **A. General Architectural Guidelines**

1. A boxy, unadorned appearance is avoided with piers, window awnings with decorative light fixtures over each, and the use of cultured stone and brick for exterior cladding.

#### **B. Scale**

1. Our proposed building is of similar size and scale to other restaurants and office buildings on similar lot sizes within the development and nearby area.
2. Our proposed building achieves a sense of human scale with a stone sill on all elevations at 3'-0" above grade. Our main entry projects out beyond the façade in which it is located, but has an overall height of +/-10'-0" to bring the height of the point of entry down from the overall height of +/-19'-0".
3. Our proposed building has a neighboring building on only one side, roughly 63 feet away from its west façade. It is also a restaurant with drive-thru, and of similar massing to our facility.

#### **C. Design**

1. The development will result in diversified quality architecture as the developer mandates. We have received approval for our proposed elevations from the developer, THF Chesterfield Six.
2. Our proposed building includes full-height piers spaced regularly along the facades, thereby avoiding lack of depth. Also, the main entrance and drive-thru protrude to further "break up" the building's length.
3. The developer-approved elevations include brick in place of the typical cement board siding of this style of Culver's, thereby making the look of this building unique and not prototypical.
4. The parapet on our proposed building wraps the entire perimeter of the structure. Because it is continuous, there is no difference in appearance between the lower, building wall and the parapet wall.
5. All elevations include the same design elements, specifically to display so-called "four-sided" architecture.
6. Because all elevations include the same design elements, the look and style of the exterior is inherently harmonious.
7. All roof-top equipment is completely screened by a continuous parapet.

8. The main entry protrudes to “reach out” to customers, and is protected by a canopy wrapped in brushed aluminum; a similar canopy is used to protect the drive-thru serving window. Other doors are protected with awnings.
9. Our proposed building will be compliant with the energy code.
10. This does not pertain to our project.

#### **D. Relation to Adjacent Development**

1. This requirement is presumably addressed by the developer, THF Chesterfield Six, who retains the right to approve elevations and/or require changes to address this issue.
2. This requirement is presumably addressed by the developer, THF Chesterfield Six, who retains the right to approve elevations and/or require changes to address this issue.
3. This requirement is presumably addressed by the developer, THF Chesterfield Six, who retains the right to approve elevations and/or require changes to address this issue.
4. The exterior of our proposed building is a mixture of three main construction materials: cultured stone, brick, and EIFS. The brick, which is the dominant material, has been chosen from the developer’s palette of materials for this development.
5. The siting of our proposed building includes a patio to enhance the use of the building.

#### **E. Materials/Colors**

1. The exterior of our proposed building is a mixture of three main construction materials: cultured stone, brick, and EIFS, none of which are highly reflective. Each of these materials is extremely durable and low maintenance.
2. The material changes are detailed to create a sense of completeness; the cultured stone “band” wraps the lower walls and is topped with a stone sill that underlines the brick. The piers balance the length and height proportions by carrying the stone up just beyond mid-height, and are capped with a stone sill which serves as the foundation of the EIFS at the pier top.
3. The rough texture of the cultured stone compliments the smooth face of the brick. The EIFS pier tops provide a third texture, which serves as a complimentary accent.
4. Our project uses white rock concrete and asphalt.
5. Our building does not contain these elements.

## **II. RESIDENTIAL ARCHITECTURE**

*The items in this section do not apply to our project since it is not a residence.*

## **III. NON-RESIDENTIAL ARCHITECTURE**

### **A. General**

1. All elevations include the same design elements, specifically to display so-called "four-sided" architecture. All elevations have been included in our submittal.
2. Our proposed building includes a patio to enhance the use of the building.
3. Our proposed building includes full-height piers spaced regularly along the facades, thereby avoiding long or continuous wall planes and lack of depth.
4. The main entrance and drive-thru protrude to "break up" the building's length. The design is a single story building.

### **B. Building Equipment and Service**

1. Though no alleys exist, access for trash collection and storage is at the rear of the site.
2. Building equipment and utilities are screened with landscaping.
3. Our building has no service or loading areas.
4. Building utilities are screened with landscaping.

### **C. Fast Food Restaurant Guidelines**

1. The developer-approved elevations include brick in place of the typical cement board siding of this style of Culver's, thereby making the look of this building unique and not prototypical.
2. The drive-thru is not located on the primary street frontage. As opposed to appearing to be "stuck-on" to the building, the drive-thru window is placed to punctuate the change in building width between the dining and kitchen areas, and helps to break up the building's length.
3. Traffic queuing occurs away from all parking, and the main entry. The drive-thru lane is separated from the parking as well.
4. The project contains no play equipment or fencing. Patio seating will be attractive and durable.
5. The dumpster enclosure is constructed of concrete block walls with a stone veneer to match the building.

#### **D. Auto Service Station Guidelines**

*The items in this section do not apply to our project since it is not an auto service station.*

#### **E. Shopping Center Guidelines**

*The items in this section do not apply to our project since it is not a shopping center.*

#### **F. Chesterfield Valley Guidelines**

##### **1. General Guidelines for Chesterfield Valley**

1. Our building does not face or have frontage on I-64/US 40. Though it may be possible to view the rear of the building from this thoroughfare, all elevations include the same design elements, specifically to display so-called "four-sided" architecture. Additionally, all utility and service points will be landscaped.
2. Our building does not face I-64/US 40.
3. Our proposed building will comply with this requirement.
4. Our building does not face or have frontage or parking on I-64/US 40.
5. Our use will not include storage or truck parking. The dumpster enclosure area will be screened with stone veneer to match the building, and will include landscaping.
6. This requirement has presumably been addressed by the developer.
7. The sidewalks on our site will comply with ADA standards.
8. All utilities will be installed underground.
9. Our front façade faces Chesterfield Airport Road, and is predominantly adorned in cultured stone.
10. The project will comply with minimum open space requirements.
11. The project will comply with the Landscape Guidelines for Chesterfield.

##### **2. Specific Guidelines in Geographic Sub-areas of Chesterfield Valley**

*The items in this section do not apply to our project since it is not in a sub-area.*

### Chapter Three / Landscape Design

1. The overall landscape for Culver's Restaurant was arranged to give views using deciduous/evergreen plant material in such a way that provides seasonal interest no matter what side of the building is viewed. In addition, fragrance plays a part in that strategically placed plant material are located to afford customers the enjoyment of lilac, clethra, etc. as they move around the site, whether in their vehicles or as pedestrians.
2. A landscape theme is consistent throughout the site via the use of perennials which tie all elements together while guiding the customers to entrance points of the building.
3. Where possible, setbacks have trees (both existing and proposed) located to break up site lines between existing buildings and the drive lanes.
4. Potential damage by vehicles or pedestrians has been taken into account as the planting plan was developed. All islands throughout the site are curbed and hedges are located to delineate and direct pedestrian traffic patterns. Two islands in the parking lot are sodded and would be the point where snow plows would push and stockpile snow loads. This would help prevent shrub damage in other areas.
5. Grouping plant material, especially at the sign and at the patio areas, help to soften the views to the parking fields as customers drive through or eat inside the facility.
6. No sculpture or fountains are planned for this site.
7. Considerable seasonal interest is provided in the overall plan with accent planting at entrance points.
8. Site elements, such as utilities, signage and the trash receptacle (including fencing) are indicated clearly on the plan.
9. The plant material chosen for this site were selected to avoid high maintenance such as pruning, special water needs, etc. and all plant material on the plan are shown at or very close to full-grown spread. This is done to prevent an overgrown look at a later date.
10. Where shown, existing trees on the site are noted to be retained. Also, no rock outcroppings have been encountered on this site.
11. The irrigation system (designed by others) will be coordinated to work with bed shapes, lawn, etc. and will be designed to minimize overspray and wasteful water practices.
12. Due to the greenspace configurations and drainage flows, berms have not been incorporated in this design.
13. There are no parking structures planned for this site.

## Chapter Four / Miscellaneous

### **A. Signage**

1. This requirement is presumably addressed by the developer, THF Chesterfield Six, who has stipulated design requirements that our monument sign match others in the development.
2. This does not pertain to our project.
3. Our site plan and signage package are coordinated to provide signs in logical areas.
4. We have received developer approval for our proposed signage package.

### **B. Lighting**

1. Illumination will be provided at appropriate levels, as indicated on the photometric plans.
2. Signage light sources will not be visible.
3. Exterior lighting will be provided with the fixtures as selected by the developer.
4. Fixture mounting height will comply with Chesterfield and developer limits.
5. Our project does not incorporate this type of lighting.
6. Exterior lighting will be provided with the fixtures as selected by the developer.
7. The project will use LED lighting, not neon, around the perimeter of the parapet.

### **C. Utilities**

1. All utilities will be installed underground. The transformer will be screened with landscaping.

### **D. Stormwater Drainage**

1. Our project will discharge storm water per city requirements.
2. Our project will discharge storm water per city requirements.
3. Our project will discharge storm water per city requirements.
4. There are no detention areas for this project.

### **E. Energy Conservation**

1. Our proposed building will be compliant with the energy code.



**F. Screening (Fences and Walls)**

1. This project does not have sound walls, masonry walls, or fences.
2. The dumpster enclosure area will be screened with stone veneer to match the building, and will include landscaping.
3. This does not apply to our project.
4. Our project does not include chain link fence.
5. Our project does not include these elements.
6. The dumpster enclosure is constructed of concrete block walls with a stone veneer to match the building.

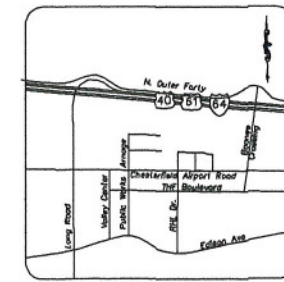


# SITE DEVELOPMENT SECTION PLAN

LOT 4 OF "CHESTERFIELD COMMONS SIX", ACCORDING TO THE INSTRUMENT RECORDED IN PLAT BOOK 352 PAGES 210 AND 211 OF THE ST. LOUIS COUNTY RECORDS.

Resubdivision of Lot 7 of Chesterfield Commons Six Plat Book 352 Pages 842/843

LOT 7B



LOCATION MAP NOT TO SCALE

## PROPERTY DATA

**OWNER:** CHESTERFIELD SIX DEVELOPMENT, LLC  
**OWNER UNDER CONTRACT:** KMG DEVELOPMENT CO., L.L.C.  
**ADDRESS:** 17349 CHESTERFIELD AIRPORT ROAD  
**LOCATOR NO.:** 17U33019D  
**ACREAGE:** 1.345 AC ±  
**EXISTING ZONING:** C-8 PLANNED COMMERCIAL  
**ORDINANCE:** 2006  
**FIRE DISTRICT:** MONARCH FIRE PROTECTION DISTRICT  
**SCHOOL DISTRICT:** ROCKWOOD  
**SEWER DISTRICT:** METRO. ST. LOUIS SEWER DISTRICT  
**WATER SHED:** MISSOURI RIVER  
**FEES:** 2918904/04N; LOWR APRIL 17,2000  
**ELECTRIC COMPANY:** AMERENUE  
**GAS COMPANY:** LACLEDE GAS COMPANY  
**PHONE COMPANY:** SOUTHWESTERN BELL TELEPHONE  
**WATER COMPANY:** MISSOURI AMERICAN WATER COMPANY

## GENERAL NOTES

- ALL UTILITIES SHOWN HAVE BEEN LOCATED BY THE ENGINEER FROM AVAILABLE RECORDS. THEIR LOCATION SHOULD BE CONFIRMED APPROXIMATELY. THE CONTRACTOR HAS THE RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES PRIOR TO CONSTRUCTION TO HAVE EXISTING UTILITIES FIELD LOCATED. THE CONTRACTOR SHALL BE ON RECORD WITH THE MISSOURI ONE CALL SYSTEM.
- ALL ELEVATIONS ARE BASED ON M.S.D. BENCHMARK.
- BOUNDARY AND TOPOGRAPHIC SURVEY BY WABLER SURVEYING CO.
- ALL MATERIALS AND METHODS OF CONSTRUCTION TO MEET THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF CHESTERFIELD.
- ALL GRADED AREAS SHALL BE PROTECTED FROM EROSION BY EROSION CONTROL DEVICES AND JOB BEEDING AND HOLDING AS REQUIRED BY THE CITY OF CHESTERFIELD.
- PRIOR TO BEGINNING ANY WORK ON THE SITE, THE CONTRACTOR SHALL CONTACT THE ENGINEER FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE BEGINNING OF WORK.
- GRAVING CONTRACTOR SHALL INSTALL SALTATION CONTROL DEVICES PRIOR TO STARTING THE GRAVING. ADDITIONAL SALTATION CONTROL DEVICES SHALL BE INSTALLED AS DIRECTED BY THE CITY OF CHESTERFIELD.
- ALL FILLS AND BACKFILLS SHALL BE MADE OF SELECTED EARTH MATERIALS, FREE FROM BROKEN WASTEWAY, ROCK, FROZEN EARTH, RUBBER, ORGANIC MATERIALS AND OTHER UNDESIRABLES.
- GRAVING CONTRACTOR SHALL KEEP EXISTING ROADWAYS CLEAN OF MUD AND DEBRIS AT ALL TIMES.
- PROPOSED CONTOURS SHOWN ARE FINISHED ELEVATIONS ON PAVED AREAS.
- GRAVING & STORM WATER PER M.S.D. STANDARD SPECIFICATIONS AND THE CITY OF CHESTERFIELD STANDARDS.
- DRIVE ENTRANCES ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF CHESTERFIELD.
- SEEDING, SOODING, MULCHING AND PLANTING FOR ALL DISTURBED AREAS SHALL BE SPECIFIED ON THE LANDSCAPE PLAN.
- SLOPES ALONG THE ACCESSIBLE ROUTE SHALL NOT HAVE A SLOPE EXCEEDING 1% 20'. SLOPES GREATER THAN 1% 20' MUST BE DESIGNED AS A RAMP.
- SIDEWALKS, CURB RAMPS, RAMPS AND ACCESSIBLE PARKING SPACES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT APPROVED AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES (TITLED ALONG WITH THE REQUIRED GRADES, CONSTRUCTION MATERIALS, SPECIFICATIONS AND SIGNAGE. IF ANY CONFLICT EXISTS BETWEEN THE ADA ACCESSIBILITY AND THE INFORMATION ON THE PLANS, THE ADA ACCESSIBILITY SHALL TAKE PRECEDENCE AND THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER PRIOR TO ANY CONSTRUCTION.
- PARKING CALCULATIONS

**PARKING REQUIRED:**  
 1 space for every 2 seats plus 2 spaces for every 3 employees on the maximum shift.  
 88 SEATS / 2 = 44 SPACES (INCLUDES OUTDOOR SEATS)  
 12 EMPLOYEES / 3 = 4 SPACES  
**TOTAL REQUIRED: 57 SPACES**

**PARKING PROVIDED:**  
 9'x12' A.D.A. = 57 STALLS  
 Total = 57 STALLS

**SETBACKS PER ZONING:**

SETBACK	REAR	FRONT	SIDE
FRONT	30'	10'	10'
REAR	30'	10'	10'

**16) DENSITY CALCULATIONS:**

Open Space	23.300 s.f.	x 100 = 23.3%
50.000 s.f. total site		
Building Coverage	3.954 s.f.	x 100 = 6.7%
58.000 s.f. total site		

19) Subject property lies within Flood Zone "X" (area of 500-year flood, areas of 100-year flood with average depths of less than one (1) foot, or with drainage areas less than one (1) square mile, and areas protected by levees from the 100-year flood) and Flood Zone "AH" (flood depths of 1 to 3 feet) (usually areas of parking) base flood elevation determined (Elevation 458) according to the National Flood Insurance Program Flood Insurance Rate Map for St. Louis County, Missouri and Incorporated Areas. The map is identified as Map No. 221802404H with an effective date of January 6, 1998 and revised to reflect LOMR dated April 17, 2000.

20) No on-site illumination source shall be so situated that light is cast directly on adjoining properties or public roadways. ILLUMINATION LEVELS SHALL COMPLY WITH THE PROVISIONS OF SECTION 100.3.40 STREET AND PARKING AREA LIGHTING OF THE CITY OF CHESTERFIELD SUBMISSION ORDINANCE.

21) APPROVAL OF THIS PLAN DOES NOT CONSTITUTE APPROVAL OF SIGNAGE, SIGN PROCEDURE, OR SIGN PROCEDURE.

22) ALL PROPOSED UTILITIES SHALL BE PLACED UNDERGROUND.

23) ROOF TOP EQUIPMENT SHALL BE SCREENED.

**NOTE:**  
 CIVIL ENGINEERING DESIGN CONSULTANTS, INC. AND THE UNDERSIGNED ENGINEER HAVE NO RESPONSIBILITY FOR SERVICES PROVIDED BY OTHERS TO IMPLEMENT THE IMPROVEMENTS SHOWN ON THIS PLAN AND ALL OTHER DRAWINGS WHERE THE UNDERSIGNED ENGINEER'S SEAL APPEARS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE OWNER AND CONTRACTOR. CIVIL ENGINEERING DESIGN CONSULTANTS, INC. HAS NO RESPONSIBILITY TO VERIFY ANY INFORMATION SHOWN ON THIS PLAN UNLESS SPECIFICALLY ENLARGED AND AUTHORIZED TO DO SO BY THE OWNER OR CONTRACTOR.

**UTILITY NOTE:**  
 UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS, RECORDS AND INFORMATION AND THEREFORE DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NON-EXISTENCE, SIZE, TYPE, NUMBER OR LOCATION OF THESE FACILITIES, STRUCTURES AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES, EITHER THROUGH THE USE OF THESE PLANS OR THROUGH FIELD SURVEYING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES, EITHER THROUGH THE USE OF THESE PLANS OR THROUGH FIELD SURVEYING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES, EITHER THROUGH THE USE OF THESE PLANS OR THROUGH FIELD SURVEYING.

**NOTE TO CONTRACTOR:**  
 CONTRACTOR/SUBCONTRACTOR SHALL INVESTIGATE, ASCERTAIN AND CONFORM TO ANY AND ALL PERMIT REQUIREMENTS OF ANY VARIOUS AFFECTED UTILITY COMPANIES AND/OR REGULATORY AGENCIES WITH REGARDS TO MARCH CONNECTIONS TO, OR DISPOSITIONS OF ANY FACILITIES, WORKING WITHIN THEIR RIGHT-OF-WAY OR EASEMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND FOR SPECIAL BACKFILL REQUIREMENTS, SUCH INVESTIGATION TO INCLUDE BUT NOT LIMITED TO THE MARCH OF NECESSARY APPLICATIONS AND PAYMENTS OF ALL REQUIRED FEES.

THE LOCATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS OR PROFILES ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR/SUBCONTRACTOR TO VERIFY THE FIELD LOCATION, ANTICIPATED CLEARANCES AND THE EXISTENCE OF ANY FACILITIES NOT SHOWN HEREON, AS PART OF THE INVESTIGATION IN THE PARAGRAPH ABOVE.

## LEGEND

- EXISTING CONTOURS
- PROPOSED CONTOURS
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- NIGHT-OF-WAY
- EASEMENT
- CENTERLINE
- EXISTING TREE
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- SHALL/ DRAINAGE PATH TO BE REMOVED
- TO BE REMOVED & RELOCATED
- TO BE USED IN PLACE
- TO BE ADJUSTED
- BACK OF CURB
- FACE OF CURB
- WATER MAIN
- GAS MAIN
- UNDERGROUND TELEPHONE
- OVERHEAD WIRE
- UNDERGROUND ELECTRIC
- FIRE HYDRANT
- POWER POLE
- WATER VALVE

## SYMBOLS

- WATER VALVE
- WATER MANHOLE
- TELEPHONE MANHOLE
- BRUSH & SHRUB LINE
- TREE & SIZE
- BUSH & SIZE
- BOLLARD
- SGN
- ELECTRIC YARD LIGHT
- BORING LOCATION
- MISE MAL BOX
- ELECTRIC BOX
- POWER POLE & GUY
- CLEAN OUT
- GAS VALVE
- GAS METER
- GAS DRP

## ABBREVIATIONS

- NORTH
- EAST
- WEST
- CONC. CONCRETE
- ASPH. ASPHALT
- PLAT BOOK
- DEED BOOK
- PAGE
- SQ. SQUARE FEET
- AC. ACRES
- ELEV. ELEVATION
- FINISH FLOOR
- FL. FLOORING
- POLYURETHANE CHLORIDE PIPE
- REINFORCED CONCRETE PIPE
- STEEL
- SAN. SANITARY
- BY REMOVE

I, the owner(s) of the property shown on this plan for and in consideration of being granted a permit to develop property under the provisions of Chapter 100.3 (Ordinance amended) (current reading) of the City of Chesterfield Ordinance #254, do hereby agree and declare that said property from the date of recording this plan shall be developed in accordance with the recording of this Site Plan pursuant to Chesterfield Ordinance Number 200, as amended by the Director of Planning and the City Clerk.

(Signature) \_\_\_\_\_  
 (Name Typed) \_\_\_\_\_  
 State of \_\_\_\_\_  
 County of \_\_\_\_\_

On this \_\_\_\_\_ day of \_\_\_\_\_ A.D., 20\_\_\_\_ before me personally appeared \_\_\_\_\_  
 (Official or Corporation) \_\_\_\_\_ Is he/hers, who, being by me sworn in, did say that he/she is the \_\_\_\_\_ (Title) of the \_\_\_\_\_ (Name of Corporation) a corporation in the State of \_\_\_\_\_ and that the seal affixed to the foregoing instruments is the corporate seal of said corporation, and that said instrument was signed on behalf of said corporation by its Board of Directors, and the said \_\_\_\_\_ acknowledged said instrument to be the free act and deed of said corporation.

This Site Development Section Plan was approved by the City of Chesterfield Planning Commission and duly verified on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ by the Chairperson of said Commission, authorizing the recording of this Site Plan pursuant to Chesterfield Ordinance Number 200, as amended by the Director of Planning and the City Clerk.

Planning and Development Services Director  
 City Clerk

Ordinance \_\_\_\_\_ dated \_\_\_\_\_ which prescribed conditions relating to approved \_\_\_\_\_ on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, in the St. Louis County Recorder's Office.

## LEGAL DESCRIPTION

LOT 4 OF "CHESTERFIELD COMMONS SIX", ACCORDING TO THE INSTRUMENT RECORDED IN PLAT BOOK 352 PAGES 210 AND 211 OF THE ST. LOUIS COUNTY RECORDS.

**BENCHMARK:**  
 M.S.D. BENCHMARK 13-171 ELEV. 460.00' STANDARD ALUMINUM DISK STAMPED 33-30, 1990, 30K IS SET AT THE NORTHWEST CORNER OF CHESTERFIELD AIRPORT ROAD AND CAPEX DRIVE.

**SITE BENCHMARK:**  
 SITE BENCHMARK ELEV. 463.87'  
 BRASS PLAT IN SIDEWALK 6.5' WEST OF WEST ENTRANCE TO WARDER & SON OFFICE BUILDING.

## SURVEYOR'S CERTIFICATION

This is to certify that the Plat is a correct representation of all existing and proposed land divisions.  
 Marlor Surveying Company  
 By Delmar F. Vincent

Delmar F. Vincent, R.L.S.

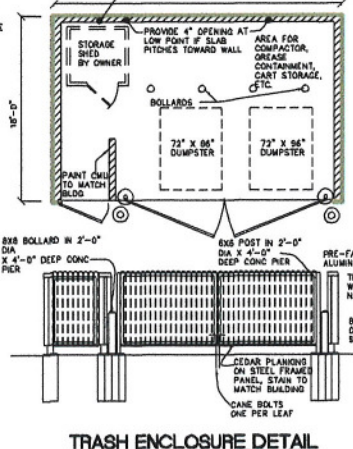
## PREPARED FOR:

KMG Development Company, L.L.C.  
 1801 Olive Boulevard  
 St. Louis, Missouri 63141  
 c/o Patrick Gunn, Gunn Gunn, P.C.  
 314-432-4550

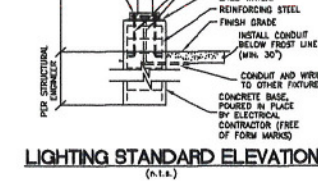
## PREPARED BY:

**CEDC**  
 CIVIL ENGINEERING  
 DESIGN CONSULTANTS

11402 Gravois Road  
 Suite 100  
 Saint Louis, Missouri 63126  
 314.729.1400  
 Fax: 314.729.1404  
 www.cedc.net



TRASH ENCLOSURE DETAIL



## GEOTECHNICAL ENGINEER'S NOTE

Neither Midwest Testing nor the undersigned was involved with the preparation of any part of these plans. The signature and seal of the undersigned professional engineer or intended to confirm that the undersigned has reviewed these plans, relative to geotechnical considerations only through the date given below. It is the professional opinion of the undersigned engineer that the improvements shown on these sheets are compatible with the soil and geologic conditions at the site as anticipated from our Geotechnical Report for the project dated \_\_\_\_\_.

Conditions may vary from those encountered during the exploration or can change due to construction, weather, or other conditions. Therefore, the undersigned geotechnical engineer must be involved during the construction of this project to observe the actual subsurface conditions and implementation of recommendations relative to construction. Construction means and methods shall be left to the Contractor.

## MIDWEST TESTING

DANIEL W. GREENWOOD, P.E.  
 #28451  
 Date: \_\_\_\_\_

BRANDON A. HAMP, P.E. E-18850

11402 Gravois Road  
 Suite 100  
 Saint Louis, Missouri 63126  
 314.729.1404  
 www.cedc.net

**CEDC**  
 CIVIL ENGINEERING  
 DESIGN CONSULTANTS

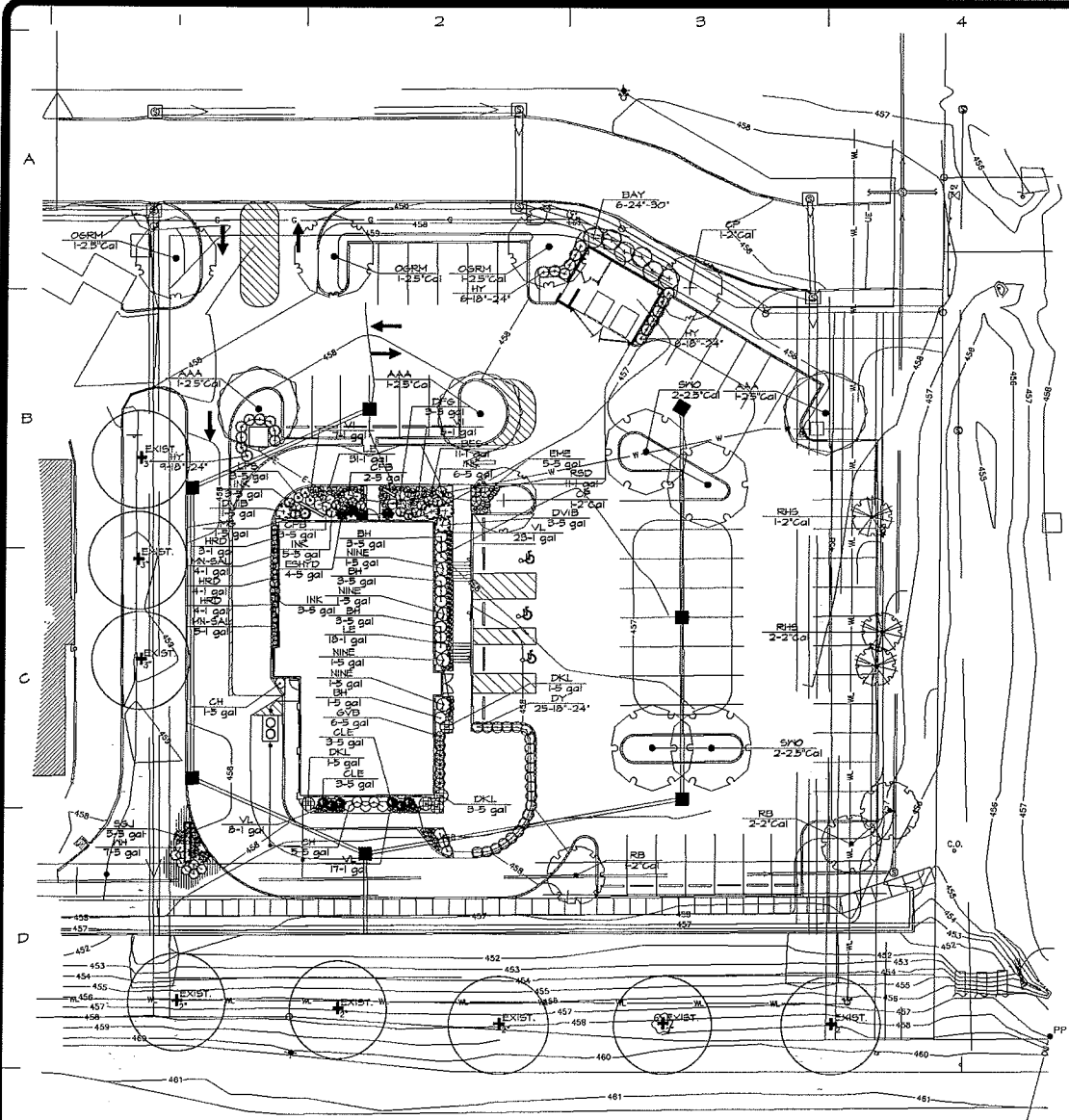
Site Development Section Plan  
**Culvers Restaurant**  
 17349 Chesterfield Airport Road  
 Chesterfield, Missouri 63005

Proj. # 0809  
 No. Description Date  
 City Submit 04/04/09  
 Per City 04/23/09

Site Development  
 Section Plan

SD1





**PLANT SCHEDULE**

TREES	QTY	BOTANICAL/COMMON	SIZE
OSRM	3	Acer rubrum 'October Glory' / October Glory Maple	2 1/2' Gal
AAA	3	Fraxinus americana 'Autumn Applause' / Autumn Applause Ash	2 1/2' Gal
SNO	4	Quercus bicolor / Swamp White Oak	2 1/2' Gal

FLOWERING TREES	QTY	BOTANICAL/COMMON	SIZE
RHS	3	Amelanchier X grandiflora 'Robin Hill' / Robin Hill Serviceberry	2' Gal
RB	3	Cercis canadensis / Redbud	2' Gal
CP	2	Pyrus calleryana 'Capital' / Capital Pear	2' Gal

SHRUBS	QTY	BOTANICAL/COMMON	SIZE
CFB	5	Berberis thunbergii 'Crimson Pigeon' / Crimson Pigeon Barberry	5 gal
GVB	6	Buxus 'Green Velvet' / Green Velvet Boxwood	5 gal
CLE	6	Clethra alnifolia 'Hummingbird' / Hummingbird Summersweet	5 gal
EME	5	Euonymus fortunei 'Emerald Gaiety' TM / Emerald Gaiety Euonymus	5 gal
ESHYD	4	Hydrangea macrophylla 'Endless Summer' TM / Endless Summer Hydrangea	5 gal
INK	17	Ilex glabra 'Compacta' / Compact Inkberry	5 gal
CH	10	Ilex meserveae 'Blue Princess/Princess' TM / Blue Holly	5 gal
NH	1	Ilex verticillata 'Red Sprite' / Red Sprite Winterberry	5 gal
SGJ	5	Juniperus chinensis 'Sea Green' / Sea Green Juniper	5 gal
BAY	6	Myrica pensylvanica / Northern Bayberry	24"-30"
NINE	4	Physocarpus opulifolius 'Diabolo' TM / Diabolo Purple Ninebark	5 gal
LFS	3	Spiraea japonica 'Little Princess' / Little Princess Spirea	5 gal
DKL	5	Syringa mayori 'Palatin' / Dwarf Korean Lilac	5 gal
DY	25	Taxus media 'Densiflora' / Dense Yew	18"-24"
HY	2	Taxus media 'Hicksii' / Hicks Yew	18"-24"
DVIB	4	Viburnum plicatum tomentosum 'Mariesii' / Mariesii Double File Viburnum	5 gal

ANNUALS/PERENNIALS	QTY	BOTANICAL/COMMON	SIZE
HRD	11	Hemerocallis hybrid 'Happy Returns' / Happy Returns Daylily	1 gal
RSD	11	Hemerocallis hybrid 'Red Stella' / Red Stella Daylily	1 gal
VI	12	Iris pallida 'Variegata' / Variegated Iris	1 gal
VL	48	Lilippe muscari 'Variegata' / Variegated Lily Turf	1 gal
DES	11	Rudbeckia fulgida 'Goldsturm' / Goldsturm Black-eyed Susan	1 gal
MN-SAL	4	Salvia nemorosa 'May Night' / May Night Salvia	1 gal
LE	44	Stachys byzantina 'Silver Carpet' / Lamb's Ears	1 gal

GRASSES	QTY	BOTANICAL/COMMON	SIZE
MS	1	Miscanthus sinensis 'Gracillimus' / Maiden Grass	5 gal
DFS	3	Fennisetum alopecuroides 'Hemelin' / Dwarf Fountain Grass	5 gal

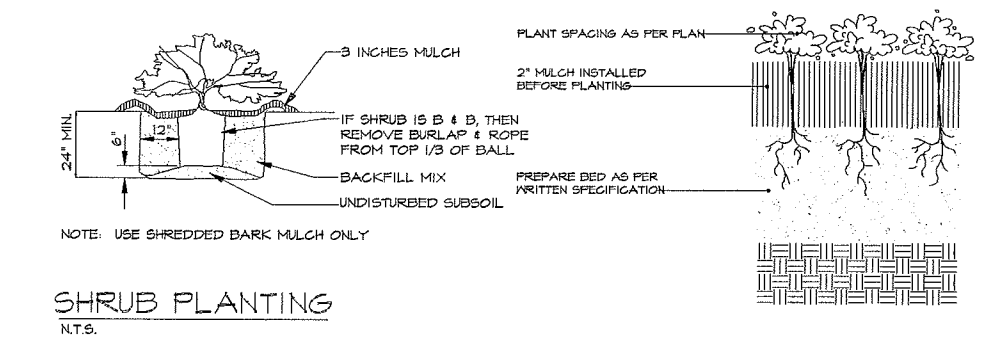
GROUND COVERS	QTY	BOTANICAL/COMMON	SIZE
ANN	231	Mn. of Five Varieties / Mixed Annuals	2.25" Pot @ 12" oc

**NOTES:**

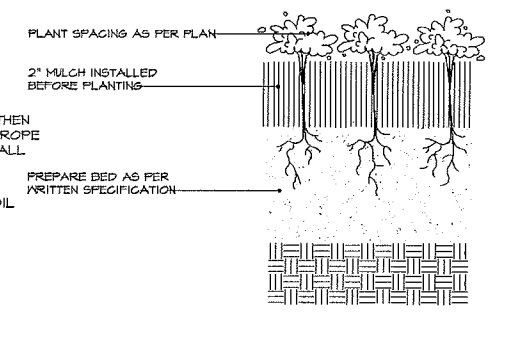
- All natural vegetation shall be maintained where it does not interfere with construction or the permanent plan of operation. Every effort possible shall be made to protect existing structures or vegetation from damage due to equipment usage. Contractor shall at all times protect all materials and work against injury to public.
- The landscape contractor shall be responsible for any coordination with other site related work being performed by other contractors. Refer to architectural drawings for further coordination of work to be done. Coordinate locations of trees with the location of proposed light standards, fire hydrants and utilities.
- Underground facilities, structures and utilities must be considered approximate only. There may be others not presently known or shown. It shall be the landscape contractor's responsibility to determine or verify the existence of and exact location of the above (Call 1-800-DIG-RITE).
- Plant material are to be planted in the same relationship to grade as was grown in nursery conditions.
- All mulch to be shredded oak bark mulch at 3" depth (after compaction) unless otherwise noted. Mulch shall be clean and free of all foreign materials. Edge all beds with spade-cut edge unless otherwise noted.
- It shall be the landscape contractor's responsibility to:
  - Verify all existing and proposed features shown on the drawings prior to commencement of work.
  - Report all discrepancies found with regard to existing conditions or proposed design to the landscape architect immediately for a decision.
  - State the locations of all proposed plant material and obtain the approval of the owner's representative or landscape architect prior to installation.
- The landscape contractor is to receive the site graded to within 1/10 of a foot. Landscape contractor to obtain letter of grade certification from the general contractor prior to commencement of work.
- All planting beds shall be cultivated to 6" depth minimum and graded smooth immediately before planting of plants. Plant groundcover to within 12" of level of trees or plants planted within the area.
- All plant material (excluding ground cover, perennials and annuals) are to be warranted for a period of 12 months after installation at 100% of the installed price.
- All disturbed lawn areas to be seeded with a mixture of Turf-Type Tesso (500# per acre) and bluegrass (10# per acre). Landscape contractor shall offer an alternate price for seed in lieu of seed. Lawn areas shall be unconditionally warranted for a period of 40 days from date of final acceptance. Bare areas more than one square foot per any 50 square feet shall be replaced.
- Items shown on this drawing take precedence over the material list. It shall be the landscape contractor's responsibility to verify all quantities and conditions prior to implementation of this plan. No substitutions of types or size of plant materials will be accepted without written approval from landscape architect.
- Siltation controls may be required to prevent run-off. Straw bales placed end-to-end shall be used, anchored with no less than two 3/8" x 36" reinforcing rods. Bales shall remain until all graded areas are seeded or sodded.
- The minimum setback is 50'-0" from an existing or proposed right of way.
- One tree is required for every fifty (50) lineal feet of street frontage.
- Landscape islands shall be placed at the ends of parking aisles as required by Ordinance #2397 of the City of Chesterfield Zoning Ordinance.
  - There shall be a minimum landscape width of six (6) feet and a minimum area of 100 square feet. Provide one (1) deciduous tree per island.
  - At the end of double row parking, a minimum of 210 square feet shall be provided for with a minimum of two (2) deciduous trees per island.
  - Islands shall have plantings consisting of groundcovers such as shrubs, ivy, flowers and grasses. Mulch or rock may be used instead of grass or in combination with grass.
- Consideration shall be given to the type of grass to be used due to need for drought tolerance in areas without in-ground irrigation systems. (Examples: Turf Type Tall Fescue blend less than five years old, and Coastfire, a semi-dwarf variety, blended with 5-10% bluegrass and referred to as a Transition mix).
- A minimum of sixty percent (60%) of the deciduous trees must be of a species which matures at 40', evenly dispersed throughout the project.
- If the estimated materials cost of new landscaping indicated on the Site Development Plan, as required by the Planning Commission, exceeds one thousand (1,000) dollars, as determined by a plant nursery, the petitioner shall furnish a two (2) year bond or escrow sufficient in amount to guarantee the installation of said landscaping.
- Upon release of the landscape installation bond, a two (2) year Landscape Maintenance Bond shall be required.

**GREENSPACE CALCULATIONS FOR CULVER'S RESTAURANT**

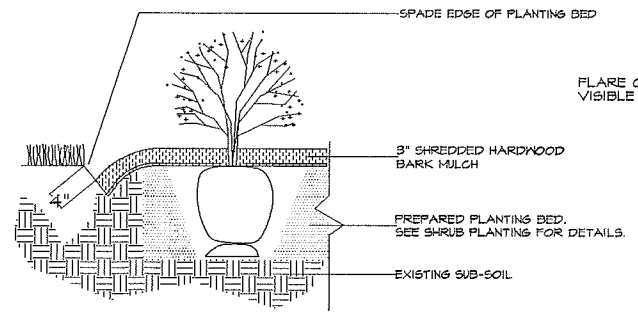
TOTAL SITE: 1.35 ACRES (58,621 S.F.)  
 BUILDING AREA = 0.01 ACRE (3,454 SF)  
 BLDG. COVERAGE = 6.1%  
 GREEN / OPEN SPACE = 0.53 ACRE (23,300 SF)  
 GREEN SPACE = 34.7%



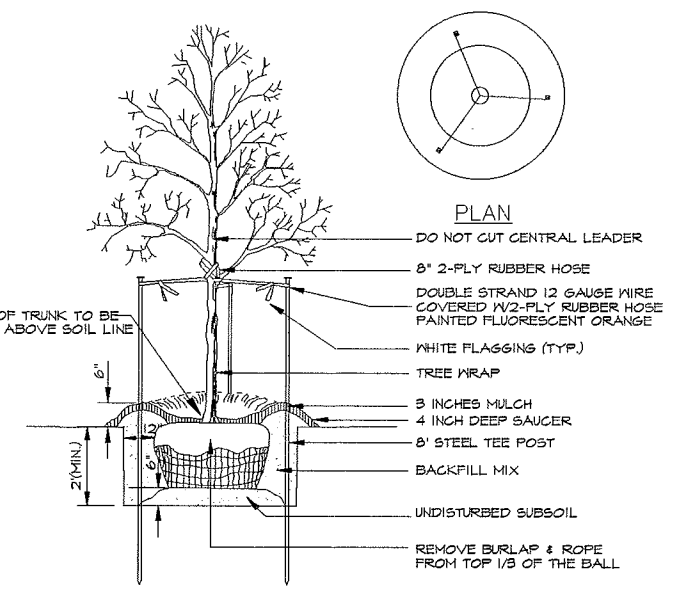
**SHRUB PLANTING**  
N.T.S.



**PERENNIAL / ANNUAL PLANTING**  
N.T.S.



**SPADE-CUT EDGE DETAIL**  
N.T.S.



**DECIDUOUS TREE PLANTING**  
N.T.S.

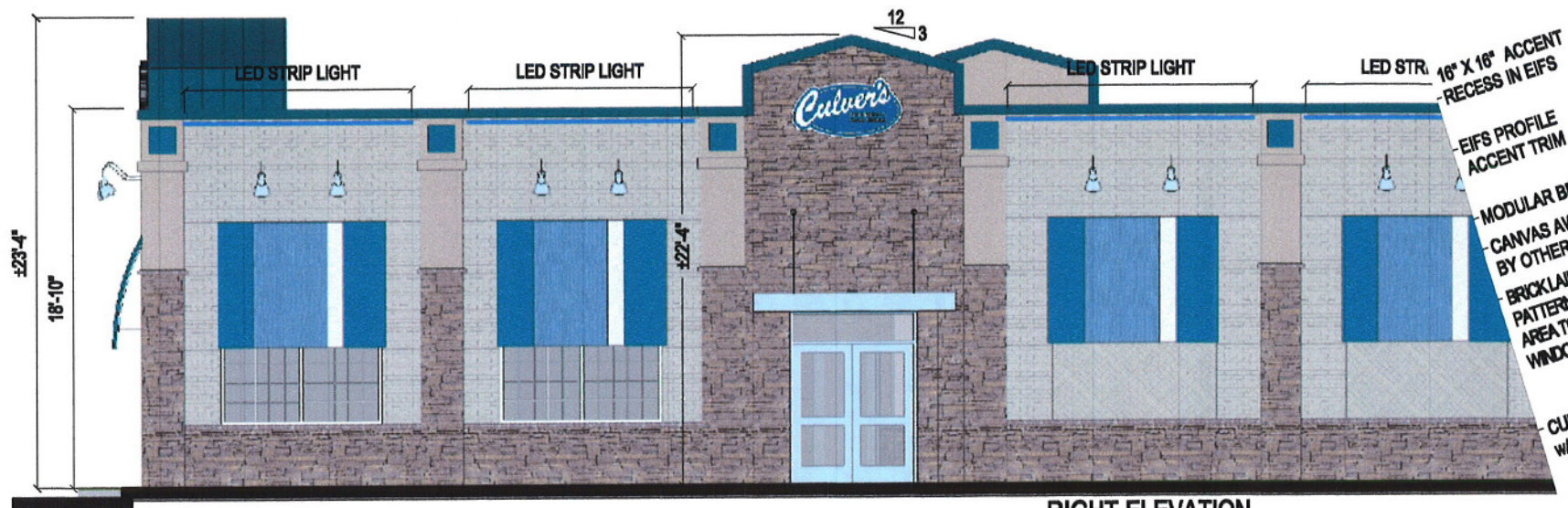
REVISIONS	BY
APRIL 23, 2008	RHM

**landscape TECHNOLOGIES**  
 61 Jacobs Creek Drive  
 St. Charles, Missouri 63044  
 (636) 428-2900  
 Fax: (636) 428-4593

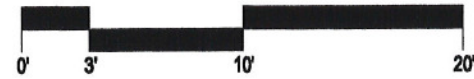
**PLANTING PLAN FOR THE PROPOSED**  
**Culver's Restaurant**  
 CHESTERFIELD, MISSOURI

DRAWN: R. HANDBY  
 CHECKED: RHM/LSB  
 DATE: APRIL 1, 2008  
 SCALE: 1"=20'-0"  
 JOB NO.: 2008-126  
 SHEET: **L-1**  
 OF ONE SHEET

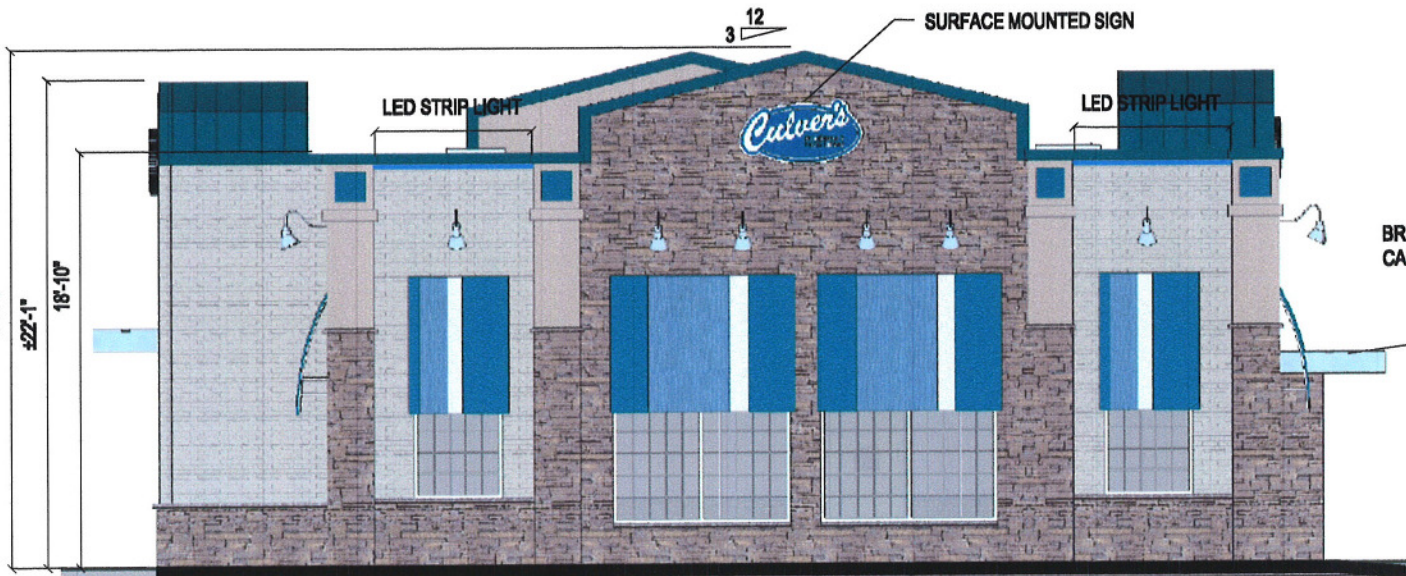




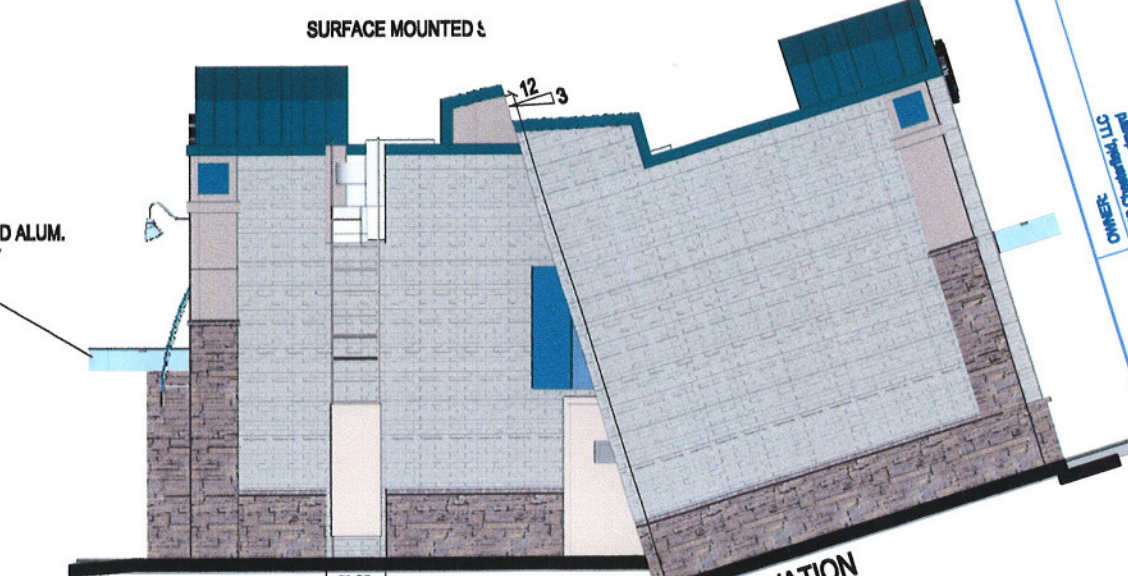
RIGHT ELEVATION



- 16" X 16" ACCENT RECESS IN EIFS
- EIFS PROFILE ACCENT TRIM
- MODULAR BRICK
- CANVAS AWNING BY OTHERS, TYP
- BRICK Laid IN HERRINGBONE PATTERN, RECESSED 1/2" IN AREA TO MATCH SIZE OF WINDOW TYPE C (S LOCATIONS)
- CULTURED STONE W/ STONE SILL TRIM PIECES

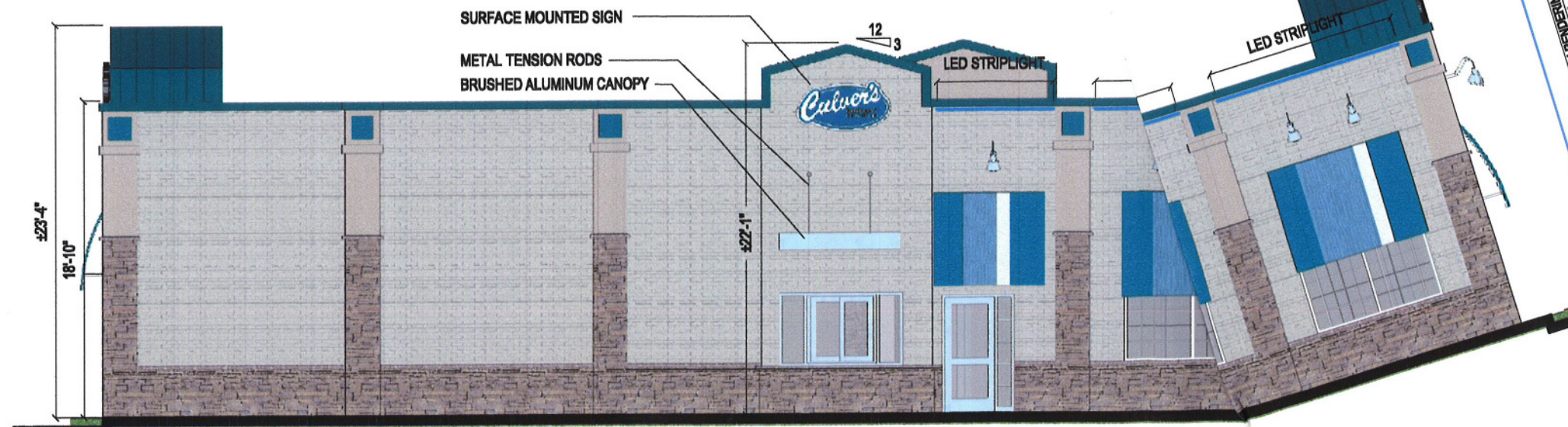


FRONT ELEVATION



REAR ELEVATION

REPRESENTATION	MATERIAL	COLOR
	UNI-CLAD COPPER SALES	REGAL BLUE
	GE "GELCORE"	
	"REGATTA" SH. WLLMS. SW 6617	
	ALUMINUM	
	"BRUSHWOOD," PAREX, 10423	
	"STEELE GRAY" ACME BRICK COMPANY	
	SUNBRELLA ROYAL BLUE 4817 SKY BLUE 4824, OYSTER 4842	
	OWENS CORNING; PRO-FIT ALPINE LEDGESTONE, "CHARDONNAY" CSV-420113	



LEFT ELEVATION

NEW CULVER'S RESTAURANT  
 650636  
 17349 Chesterfield Airport Road  
 Chesterfield, Missouri  
 63005  
 17349 Chesterfield Airport Road  
 Chesterfield, Missouri  
 63005

OWNER: RAG CHESTERFIELD, LLC  
 11801 Olive Boulevard  
 Suite 312, MO 63041  
 St. Louis, MO  
 CONTRACT: Dan Wanko & Patrick Gurn

CONSULTING ARCHITECTS  
 CULLINAN ERBEST ARCHITECTS  
 600 South State Street  
 Suite 200  
 St. Louis, MO 63108  
 1-314-544-7700 Fax  
 1-314-544-7702

PRELIMINARY ARCHITECTURAL DRAWINGS  
 Made to order through the architect's office. Not for construction.  
 2008-022  
 4-30-2008



























