



VIII. B.

690 Chesterfield Pkwy W • Chesterfield MO 63017-0760
Phone: 636-537-4000 • Fax 636-537-4798 • www.chesterfield.mo.us

May 7, 2008

Planning Commission
City of Chesterfield
690 Chesterfield Parkway West
Chesterfield, MO 63017

The Planning Commission agenda for **May 12, 2008** will include the following item for your consideration:

Precision Plaza North (SDCP): A Site Development Concept Plan and a Conceptual Landscape Plan for a 14.28 acre tract of land zoned "PI" Planned Industrial District, located north of the intersection of Wings Corporate Estates and Eatherton Road.

Dear Planning Commission:

Bill Decker of Arcturis, on behalf of, Precision Properties, LLC has submitted a Site Development Concept Plan and a Conceptual Landscape Plan for the above referenced project. The Department of Planning and Public Works has reviewed this request and submits the following report.

BACKGROUND

Precision Plaza North is a 14.28 acre tract of land located north of the intersection of Wings Corporate Estates and Eatherton Road. The subject property is zoned "PI" Planned Industrial District under the terms and conditions of the City of Chesterfield Ordinance 2066.

SUBMITTAL INFORMATION

1. The northern most portion of Lot 1 is within the "Future Runway Protection Zone" as defined by the Spirit of St. Louis Airport. Per the airport's regulations only parking stalls are allowed in this area.
2. Landscaping within the "Future Runway Protection Zone" along Eatherton Road is restricted and a note to this effect has been added to the Conceptual Landscape Plan.

May 12, 2008

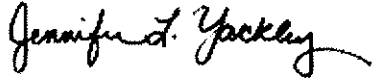
Precision Plaza North

Page 2

DEPARTMENTAL INPUT

The submittal was reviewed and is in compliance with all City of Chesterfield ordinances. The Department of Planning and Public Works recommends approval of the Site Development Concept Plan and Conceptual Landscape Plan.

Respectfully submitted,



Jennifer Yackley
Project Planner

Respectfully submitted,



Aimee Nassif
Senior Planner

Cc: City Administrator
City Attorney
Director of Planning and Public Works

Attachments:
Site Development Concept Plan
Conceptual Landscape Plan

CITY SCRIPT

NAME OF OWNER _____
 IN CONNECTION WITH A CHANGE OF ZONING FOR THE FOLLOWING DESCRIBED PROPERTY FROM _____ TO _____
 (prior zoning) (present zoning)

DESCRIPTION
 TOTAL TRACT
 14.28 ACRES
 A TRACT OF LAND BEING PART OF LOT 1 OF THE "SUBDIVISION OF E. KOENUNG ESTATE" AS RECORDED IN PLAT BOOK 11, PAGE 11, IN U.S. SURVEY 362, TOWNSHIP 45 NORTH, RANGE 3 EAST OF THE FIFTH PRINCIPAL MERIDIAN, CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT AN OLD STONE FOUND MARKING THE SOUTHEAST CORNER OF LOT 1 OF THE "SUBDIVISION OF E. KOENUNG ESTATE" AS RECORDED IN PLAT BOOK 11, PAGE 11, THENCE ALONG THE EASTERN LINE OF SAID LOT 1 NORTH 11°32'04" WEST, 432.37 FEET TO THE POINT OF BEGINNING OF THE TRACT OF LAND HEREIN DESCRIBED; THENCE LEAVING SAID EASTERN LINE SOUTH 78°41'30" WEST, 586.64 FEET TO THE EAST LINE OF EATHERTON (40' WIDE ROAD); THENCE ALONG SAID EAST LINE NORTH 11°56'44" WEST, 1053.81 FEET TO AN OLD STONE FOUND IN THE NORTHERN LINE OF SAID LOT 1; THENCE ALONG SAID NORTHERN LINE NORTH 78°41'30" EAST, 594.21 FEET TO AN OLD STONE FOUND MARKING THE NORTHEAST CORNER OF SAID LOT 1; THENCE ALONG THE EASTERN LINE OF SAID LOT 1 SOUTH 11°32'04" EAST, 1053.75 FEET TO THE POINT OF BEGINNING AND CONTAINING: 622,154 SQUARE FEET OR 14.28 ACRES MORE OR LESS.

THE OWNER(S) OF THE PROPERTY SHOWN ON THIS PLAN FOR AND IN CONSIDERATION OF BEING GRANTED A PERMIT TO DEVELOP PROPERTY UNDER THE PROVISIONS OF CHAPTER 1003, _____ OF CITY OF CHESTERFIELD ORDINANCE (applicable subsection) _____ (present zoning) #624, DO HEREBY AGREE AND DECLARE THAT SAID PROPERTY FROM THE DATE OF RECORDING THIS PLAN SHALL BE DEVELOPED ONLY AS SHOWN THEREON, UNLESS SAID PLAN IS AMENDED BY THE PLANNING COMMISSION, OR VOIDED OR VACATED BY ORDER OF ORDINANCE OF THE CITY OF CHESTERFIELD COUNCIL.

(Signature): _____
 (Name Typed): _____

STATE OF _____)
 COUNTY OF _____) ss.
 ON THIS _____ DAY OF _____, A.D., 20____, BEFORE ME PERSONALLY APPEARED _____, TO ME KNOWN, WHO, BEING BY ME SWORN IN, DID SAY THAT HE/SHE IS THE _____ OF THE _____ (Title) (Name of Corporation)

A CORPORATION IN THE STATE OF _____, AND THAT THE SEAL AFFIXED TO THE FOREGOING INSTRUMENTS IS THE CORPORATE SEAL OF SAID CORPORATION, AND THAT SAID INSTRUMENT WAS SIGNED ON BEHALF OF SAID CORPORATION BY AUTHORITY OF ITS BOARD OF DIRECTORS, AND THE SAID _____ ACKNOWLEDGED SAID INSTRUMENT TO BE THE FREE ACT AND DEED OF SAID CORPORATION.
 (Officer of Corporation)

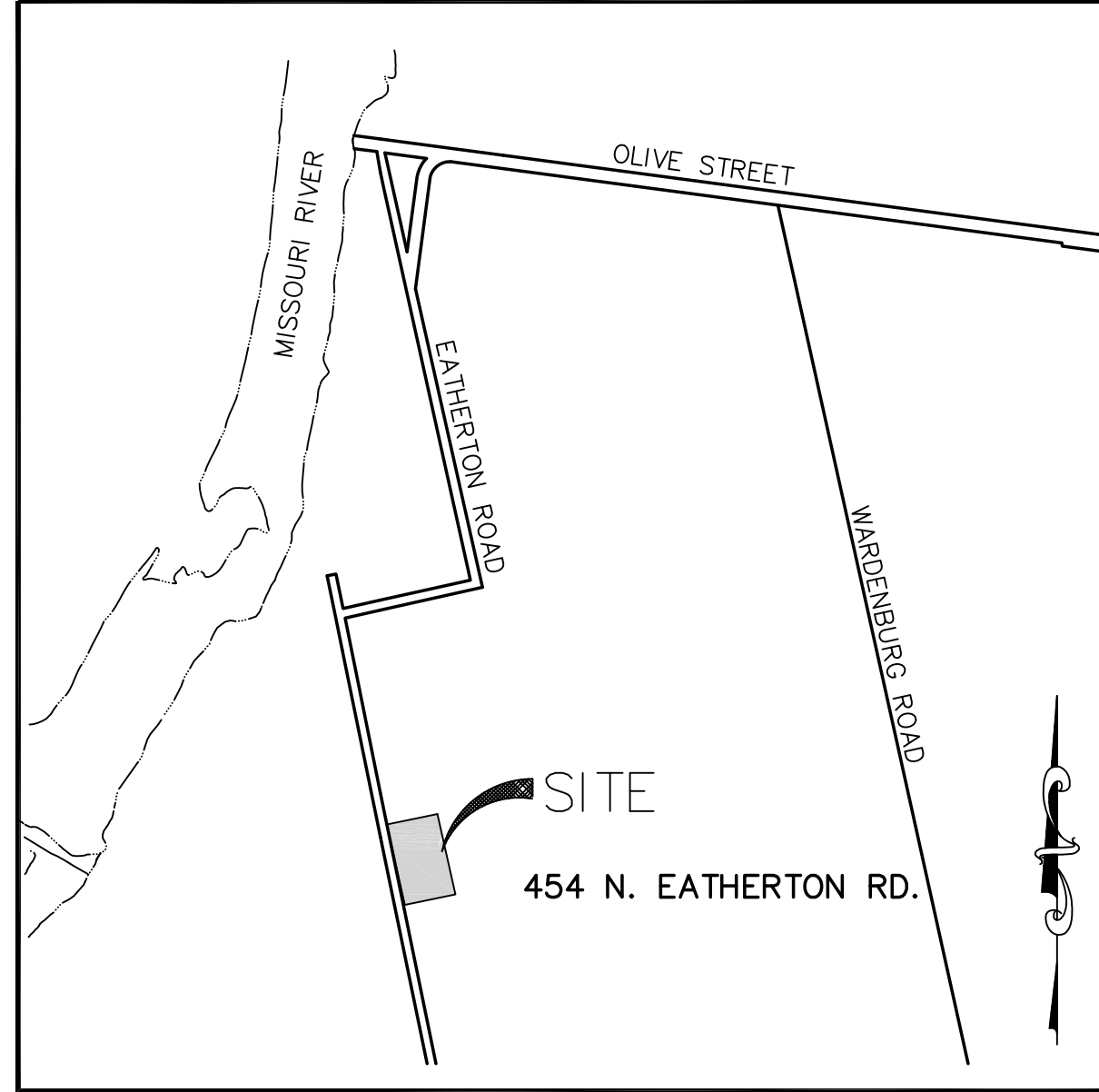
THIS SITE DEVELOPMENT CONCEPT PLAN WAS APPROVED BY THE CITY OF CHESTERFIELD PLANNING COMMISSION AND DULY VERIFIED ON THE _____ DAY OF _____, 20____ BY THE CHAIRPERSON OF SAID COMMISSION, AUTHORIZING THE RECORDING OF THIS SITE PLAN PURSUANT TO CHESTERFIELD ORDINANCE NUMBER 200, AS ATTESTED TO BY THE DIRECTOR OF PLANNING AND THE CITY CLERK.

PLANNING AND DEVELOPMENT SERVICES DIRECTOR _____
 CITY CLERK _____

PRECISION PLAZA NORTH SITE DEVELOPMENT CONCEPT PLAN

A TRACT OF LAND BEING PART OF LOT 1
 OF E. KROENUNG ESTATE IN U.S. SURVEY 362,
 TOWNSHIP 45 NORTH, RANGE 3 EAST OF THE FIFTH PRINCIPAL MERIDIAN
 CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI

PREPARED FOR:
PRECISION PROPERTIES, LLC
JIM NIENHAUS
2516 HWY 109
WILDWOOD, MO. 63040
PH: 636-458-5565



LOCATION MAP
 N.T.S.

SHEET INDEX

- C1 COVER SHEET
- C2 SITE DEVELOPMENT CONCEPT PLAN

RESOURCE LIST:

ROCKWOOD SCHOOL DISTRICT 16695 WILD HORSE CREEK RD CHESTERFIELD MO 63005	METROPOLITAN ST. LOUIS SEWER DISTRICT 2350 MARKET ST ST. LOUIS, MO 63115
CHESTERFIELD FIRE DISTRICT 13725 OLIVE BLVD. CHESTERFIELD MO 63017	AMEREN UE 6440 N. HANLEY ST. LOUIS, MO 63108
MISSOURI AMERICAN WATER 535 N. NEW BALLAS RD ST. LOUIS, MO 63141	LACLEDE GAS CO 720 OLIVE RM. 1408 ST. LOUIS, MO 63106
SOUTHWESTERN BELL 14780 MANCHESTER ST. LOUIS, MO 63011	



PREPARED BY:



LDC, INCORPORATED

LAND PLANNING – LAND SURVEYING – CIVIL ENGINEERING
 1441 TRIAD CENTER DR
 ST. PETERS, MO. 63376
 PH: (636) 441-1010 FAX: (636) 441-8686

GRADING NOTES:

ALL GRADING AND DRAINAGE TO BE IN CONFORMANCE WITH ST. LOUIS COUNTY AND M.S.D. STANDARDS.
 NOTIFY THE ST. LOUIS COUNTY DEPARTMENT OF PUBLIC WORKS 48 HOURS PRIOR TO THE COMMENCEMENT OF GRADING AND/OR PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
 A LAND DISTURBANCE PERMIT MAY BE REQUIRED. SITE PLAN/PLAT APPROVAL IS NOT TO BE CONSTRUED AS APPROVAL OF A LAND DISTURBANCE PERMIT.
 PARKING ON NON-SURFACED AREAS IS PROHIBITED IN ORDER TO ELIMINATE THE CONDITION WHEREBY MUD FROM CONSTRUCTION AND EMPLOYEE VEHICLES IS TRACKED ONTO THE PAVEMENT CAUSING HAZARDOUS ROADWAY AND DRIVING CONDITIONS. CONTRACTOR SHALL KEEP ROAD CLEAR OF MUD AND DEBRIS.
 THE STREETS SURROUNDING THIS DEVELOPMENT AND ANY STREET USED FOR CONSTRUCTION ACCESS THERETO SHALL BE CLEANED THROUGHOUT THE DAY.
 NO EXCAVATION SHALL BE MADE SO CLOSE TO THE PROPERTY LINE AS TO ENDANGER ANY ADJOINING PROPERTY, PUBLIC OR PRIVATE STREET WITHOUT SUPPORTING AND PROTECTING SUCH PROPERTIES FROM SETTLING, CRACKING OR OTHER DAMAGE.
 COMPACTION REQUIREMENTS, TESTING AND GRADING OPERATIONS SHALL BE CONSTRUCTED ACCORDING TO THE RECOMMENDATIONS OUTLINED IN THE EXPLORATION OF SUBSURFACE CONDITIONS PREPARED BY A SOILS ENGINEER OBTAINED BY THE OWNER.
 GEOTECHNICAL REPORT RECOMMENDATIONS, IF AVAILABLE, SHALL BE FOLLOWED. NORMALLY ANY HIGHLY PLASTIC SOIL BELOW THE BUILDING SHOULD BE REMOVED AND REPLACED WITH LOW PLASTICITY SOIL TO A MINIMUM DEPTH OF 3 FEET BELOW PROPOSED FLOOR SUBGRADE ELEVATION. REMEDIAL TREATMENT IS ALSO ADVISED IN THE UPPER 2 FEET OF PAVEMENT AREAS, SIDEWALKS AND OTHER AREAS NEAR-SURFACE FEATURES FOR STABILITY.

ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH WITH 4 INCHES OF TOPSOIL APPLIED TO ACHIEVE FINAL PROPOSED GRADE. THE AREA SHALL THEN BE SEEDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASONS PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
 ALL FILLS PLACED UNDER PROPOSED STORM AND SANITARY SEWER LINES AND/OR PAVED AREAS, INCLUDING TRENCH BACKFILLS WITHIN AND OFF ROAD RIGHT-OF-WAY, SHALL BE COMPACTED TO 90% OF MAXIMUM DENSITY AS DETERMINED BY THE "MODIFIED AASHTO T-180 COMPACTION TEST" (ASTM D-1557) FOR THE ENTIRE DEPTH OF THE FILL. COMPACTED GRANULAR BACKFILL IS REQUIRED IN ALL TRENCH EXCAVATION WITHIN THE STREET RIGHT-OF-WAY AND UNDER ALL PAVED AREAS. ALL TESTS SHALL BE PERFORMED UNDER THE DIRECTION OF AND VERIFIED BY A SOILS ENGINEER CONCURRENT WITH GRADING AND BACK FILLING OPERATIONS.
 SOFT SOILS IN THE BOTTOM OF BANKS OF ANY EXISTING OR FORMER POND SITES OR TRIBUTARIES OR ANY SEDIMENT BASINS OR TRAPS SHOULD BE REMOVED, SPREAD OUT AND PERMITTED TO DRY SUFFICIENTLY TO BE USED AS FILL. NONE OF THIS MATERIAL SHOULD BE PLACED IN PROPOSED PUBLIC RIGHT-OF-WAY LOCATIONS OR IN ANY STORM SEWER LOCATION.
 NO SLOPE SHALL BE GREATER THAN 3:1 AND SHALL BE EITHER SODDED OR SEEDED AND MULCHED UNLESS OTHERWISE NOTED.
 STORM WATER PIPES, OUTLETS AND CHANNELS SHALL BE PROTECTED BY SILT BARRIERS AND KEPT FREE OF WASTE AND SILT AT ALL TIMES.
 ALL PROPOSED SWALES/CHANNELS SHALL BE LINED WITH OVERLAPPING STAKED SOD STRIPS (PROPERLY ORIENTED TO THE DIRECTION OF FLOW) AND ANY OTHER MEASURES REQUIRED TO PREVENT EROSION DURING OR AFTER CONSTRUCTION.
 ANY WELLS, CISTERNS AND/OR SPRINGS SHALL BE LOCATED & SEALED OR TREATED IN A MANNER ACCEPTABLE TO THE ST. LOUIS COUNTY PUBLIC WORKS DEPARTMENT AND MISSOURI DEPARTMENT OF NATURAL RESOURCES.
 ALL RIP-RAP OR REVETMENT SHALL CONFORM TO THE FOLLOWING STANDARDS (IDENTICAL TO MODO'S HEAVY STONE REVETMENT): STONE FOR RIP-RAP SHALL BE SOUND, DURABLE AND FREE FROM CRACKS AND OTHER STRUCTURAL DEFECTS THAT MAY CAUSE IT TO DETERIORATE. IT SHALL NOT CONTAIN ANY SOAPSTONE, SHALE OR OTHER MATERIAL EASILY DISINTEGRATED. THE STONE SHALL BE IN BLOCKS AT LEAST 12 INCHES WIDE OR MORE. ALL BLOCKS SHALL NOT WEIGH LESS THAN 50 POUNDS AND AT LEAST 60% SHALL NOT WEIGH LESS THAN 100 POUNDS. THE RIP-RAP SHALL BE PLACED ON A LAYER OF DURABLE GEOTEXTILE FILTER FABRIC. USE OF GROUT IS FORBIDDEN.
 EROSION CONTROL SHALL NOT BE LIMITED TO WHAT IS SHOWN ON THE PLANS. THE CONTRACTOR SHALL TAKE WHATEVER MEANS NECESSARY TO PREVENT SILTATION FROM LEAVING THE SITE AND/OR ENTERING ADJACENT ROADWAYS, PROPERTIES AND DITCHES.

A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE DEVELOPED FOR THIS PROJECT. CONTRACTORS SHALL BE FAMILIAR WITH SWPPP MATTERS AND ASSOCIATED REQUIREMENTS OF THE MISSOURI DEPARTMENT OF NATURAL RESOURCES, OR ELSE FINES AND POSSIBLE PROJECT SHUT-DOWN MAY OCCUR.

BENCHMARKS:

PROJECT BENCHMARK MSD-11-109-46136 "STANDARD ALUMINUM DISK" STAMPED SL-41 191. DISK IS SET ALONG THE EAST SIDE OF EATHERTON ROAD JUST NORTH OF THE SHELL PIPELINE MARKER; 19' EAST OF THE CENTERLINE OF EATHERTON ROAD AND 60' NORTH OF THE EAST PIPELINE MARKER. APPROXIMATELY 1.1 MILE SOUTH OF THE INTERSECTION OF OLIVE STREET ROAD AND EATHERTON ROAD.

SITE BENCHMARK #1 EL=463.88 CROSS CUT IN CONCRETE AS SHOWN HEREON. SURVEYED PROPERTY AS SHOWN HEREON

FLOODPLAN INFO:

FEMA FLOOD MAP DESIGNATION: ALL OF THIS PARCEL IS IN ZONE X: THIS AREA PROTECTED FROM THE ONE PERCENT (1%) ANNUAL CHANCE (100-YEAR) FLOOD BY LEVEE, DIKE, OR OTHER STRUCTURES SUBJECT TO POSSIBLE FAILURE OR OVERTOPPING DURING LARGER FLOODS.

SITE INFO:

SITE DATA: LOC # 17N10011, 49% EATHERTON ROAD, CHESTERFIELD, MO 63005. 14.28 AC±, ZONING CHANGED FROM "NU" TO "P1".

PARKING REQUIREMENTS
 4 SPACES PER 1,000 SF/BLDG

MINIMUM PARKING SPACE DIMENSIONS: 19' LONG X 9' WIDE

ANTICIPATED BUILDING CONSTRUCTION: MASONRY-TYPE FACADE

30% OPEN AREA REQUIRED

THIS PROJECT IS LOCATED WITHIN THE ST. LOUIS COUNTY TRAFFIC GENERATION ASSESSMENT (TGA)

UTILITY NOTE:

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES AND SERVICE LINES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

NOTICE TO CONTRACTOR:

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE AND VERIFY ALL RELATED WORK AND ASSOCIATED DISCIPLINES DRAWINGS INCLUDING BUT NOT LIMITED TO PLUMBING, ELECTRICAL, ARCHITECTURAL, UTILITIES, GRADING, STRUCTURAL, PAVING, ETC. PRIOR TO CONSTRUCTION. THIS WILL INCLUDE ALL SECTIONS OF WORK FOR THIS PROJECT. IF THE CONTRACTOR INSTALLS ANY SITE RELATED WORK PRIOR TO VERIFICATION, IT WILL BE AT THE CONTRACTOR'S RISK AND EXPENSE.

LAND DEVELOPMENT CONSULTANTS, INC (LDC) CONSULTING ENGINEERS, AND UNDERSIGNED ENGINEER HAVE NO RESPONSIBILITY FOR SERVICES PROVIDED BY OTHERS TO IMPLEMENT THE IMPROVEMENTS SHOWN ON THIS PLAN AND ALL OTHER DRAWINGS WHERE THE UNDERSIGNED ENGINEER'S SEAL APPEARS. THE CONSTRUCTION MEANS AND METHODS ARE THE SOLE RESPONSIBILITY OF THE OWNER AND CONTRACTOR. LDC HAS NO RESPONSIBILITY TO VERIFY FINAL IMPROVEMENTS AS SHOWN ON THIS PLAN UNLESS SPECIFICALLY ENGAGED AND AUTHORIZED TO DO SO BY THE OWNER OR CONTRACTOR.

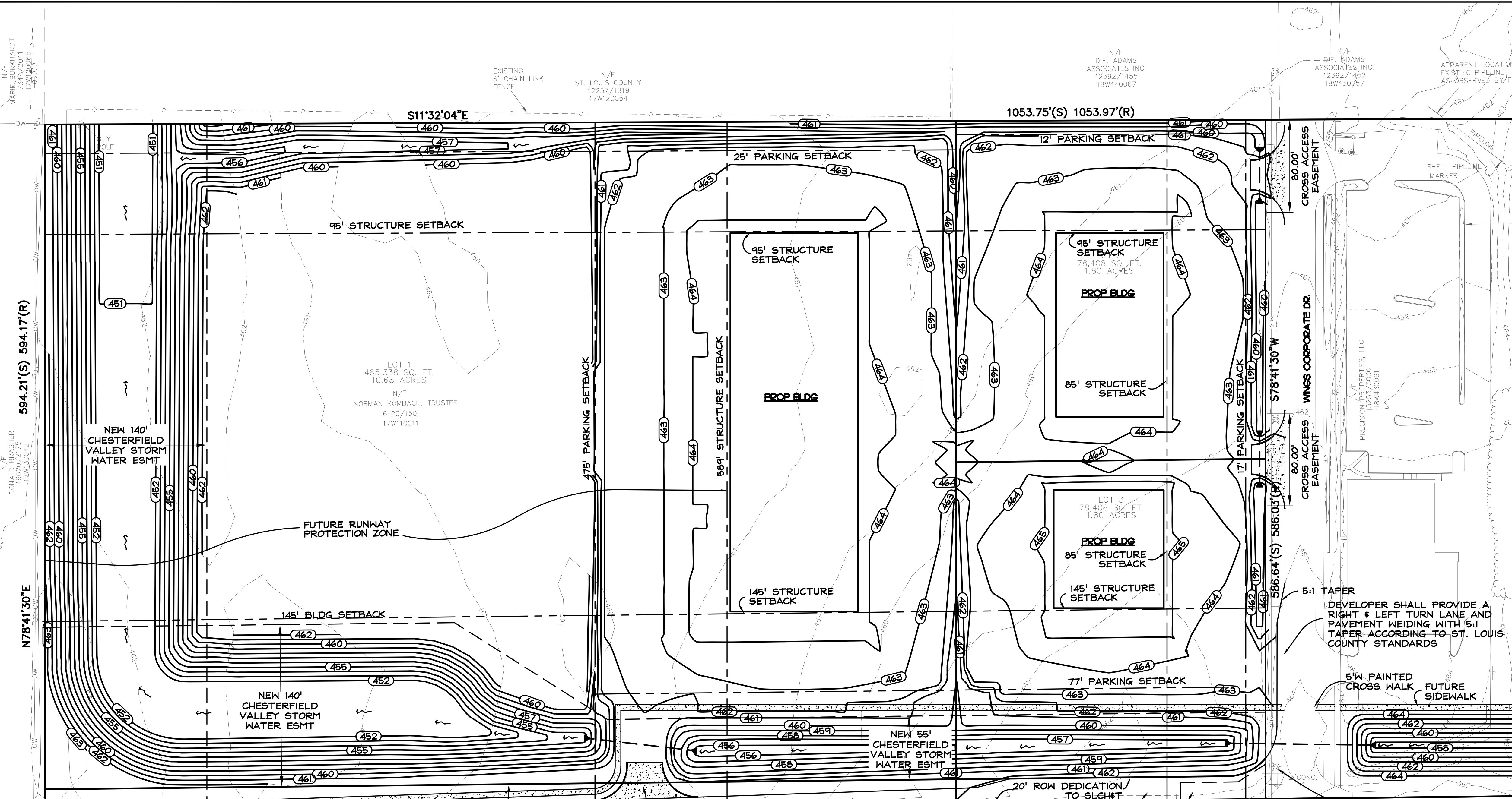
ENGINEERS CERTIFICATION:

THE PLAN SHEETS C1 & C2 IS A CORRECT REPRESENTATION OF ALL EXISTING AND PROPOSED LAND DIVISIONS.

WILLIAM A HEYSE - PE E24297

REVISION	
1	12-7-07
2	1-4-08
3	2-12-08
4	3-28-08 CITY COMMENTS
5	4-28-08 CITY COMMENTS
DRAWN BY	GMK
CHECKED BY	JPT
DATE	10/26/07
JOB. NO.	06-290
SCALE	
SHEET	C1

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GENERAL NOTES:
 TOPOGRAPHIC SURVEY DATA PREPARED BY LAND DEVELOPMENT CONSULTANTS, INC. (LDC, INC.), 2006-07.

ENGINEER'S NOTICE TO CONTRACTOR
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNER REGARDING EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS. AT NO ADDITIONAL COST, PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES INCLUDED WITHIN THE JOINT TRENCH, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL THE A/E OF ANY CONFLICTS OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION.

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR THEIR WORK AND SHALL BE LIABLE FOR ANY PROPERTY DAMAGE (PUBLIC OR PRIVATE) CAUSED AS A RESULT OF THEIR ACTIONS. CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO ADEQUATELY PROTECT EXISTING FACILITIES AND STRUCTURES, ETC.

SAFETY NOTICE TO CONTRACTOR
 IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

THE DUTY OF THE A/E TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.

EXISTING ABOVE- & BELOW-GROUND UTILITIES/IMPROVEMENTS SHALL BE PROTECTED & USED IN-PLACE UNLESS OTHERWISE NOTED.

ALL PROPOSED IMPROVEMENTS, CONSTRUCTION & MATERIALS, INCLUDING SEWER CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE MOST CURRENT (2000) EDITION OF METROPOLITAN ST. LOUIS SEWER DISTRICT'S STANDARD CONSTRUCTION SPECIFICATIONS FOR SEWERS AND DRAINAGE FACILITIES, AND ST. LOUIS COUNTY DEPARTMENT OF PUBLIC WORKS STANDARDS & SPECIFICATIONS.

MANHOLES AND INLET TOPS BUILT WITHOUT ELEVATIONS FURNISHED BY THE ENGINEER WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.

ALL STORM SEWER PIPES SHALL BE REINFORCED CONCRETE PIPE, A.S.T.M. C-76, CLASS III MINIMUM AND SHALL ACCOUNT FOR ALL VERTICAL LOADS. IN NO CASE SHALL THE DESIGN PROVIDE FOR LESS THAN HS-20 LOADING PER AASHTO.

ALL P.V.C. SEWER PIPE SHALL BE A.S.T.M. D-3034, SDR-35

CONTRACTOR TO INSTALL STORM SEWERS, SANITARY SEWERS, WATER LINES, METERS, METER BOXES, VALVES, ETC. AS REQUIRED AND IN ACCORDANCE WITH THE LOCAL UTILITIES AND MUNICIPALITIES.

LOCATION AND ELEVATION OF EXISTING INLETS, MANHOLES AND PIPES TO BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

ALL MATERIALS AND METHODS OF CONSTRUCTION FOR NEW WATER MAINS, SERVICE LINES AND APPURTENANCES TO MEET THE REQUIREMENTS OF THE MISSOURI-AMERICAN WATER CO.

DOMESTIC WATER SERVICE SHALL BE TYPE "L" COPPER WITH SILVER SOLDERED JOINTS AND HAVE A MINIMUM COVER OF 42"

FIRE SERVICE SHALL BE INSTALLED BY THE CONTRACTOR TO A POINT INSIDE THE BUILDING AND GAPPED OFF.

ALL ELECTRIC, TELEPHONE AND GAS EXTENSIONS AND SERVICE LINES TO BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY WORK TO BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.

CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.

SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PORCHES, RAMPS, VESTIBULES, SLOPED PAVING AND BUILDING UTILITY ENTRANCE LOCATION AND PRECISE BUILDING DIMENSIONS.

A.D.A. RAMPS:
 - MINIMUM 36" CLEAR WIDTH.
 - MAXIMUM SLOPE OF RAMP 1:12.
 - MAXIMUM 30" RISE IN RAMP RUN BETWEEN INTERMEDIATE 60" LANDINGS.
 - LANDINGS REQUIRED AT TOP AND BOTTOM (60" DEEP X MIN. 36" WIDE).
 - RAMPS RISING MORE THAN 6" OR LONGER THAN 72" NEED HANDRAILS ON BOTH SIDES.

THERE SHALL BE NO STEP AT HANDICAPPED ENTRANCE DOORS.

DIMENSIONS ARE TO FACE OF CURB AND FACE OF BUILDING, UNLESS OTHERWISE SPECIFIED.

CURB RADII SHALL BE A MINIMUM OF 3' UNLESS OTHERWISE NOTED.

STORM WATER SHALL DISCHARGE AT AN ADEQUATE NATURAL DISCHARGE POINT. SINKHOLES ARE NOT ADEQUATE DISCHARGE POINTS.

THE DEVELOPER IS ADVISED THAT UTILITY COMPANIES WILL REQUIRE COMPENSATION FOR RELOCATION OF THEIR FACILITIES WITHIN THE PUBLIC ROAD RIGHT-OF-WAY. UTILITY RELOCATION COST SHALL BE CONSIDERED THE DEVELOPER'S RESPONSIBILITY. THE DEVELOPER SHOULD ALSO BE AWARE OF EXTENSIVE DELAYS IN UTILITY COMPANY RELOCATION AND ADJUSTMENTS. SUCH DELAYS WILL NOT CONSTITUTE A CAUSE TO ALLOW OCCUPANCY PRIOR TO COMPLETION OF ROAD IMPROVEMENTS.

PERMIT IS REQUIRED BY ST. LOUIS COUNTY DEPARTMENT OF PUBLIC WORKS FOR ROOF DRAIN CONNECTIONS.

OFF-SITE PROPERTY OWNERS SHALL BE PROVIDED WITH WRITTEN NOTICE AT LEAST 48 HOURS IN ADVANCE OF ANY WORK ON OR NEAR THEIR PROPERTY.

ANY DISTURBED OFF-SITE PROPERTY (I.E. BUSHES, FENCES, MAILBOXES, ETC.) SHALL BE REPLACED, IN KIND, AT THE DEVELOPER'S EXPENSE.

ALL SIDEWALKS TO BE CONSTRUCTED TO ST. LOUIS COUNTY ADA AND CITY OF CHESTERFIELD STANDARDS

ALL PROPOSED IMPROVEMENT SHALL BE CONSTRUCTED TO ST. LOUIS COUNTY STANDARDS

ALL CONSTRUCTION INSIDE OF EATHERTON RD. R/W SHALL CONFORM TO ST. LOUIS COUNTY STANDARDS

APPROVAL OF THIS PLAN DOES NOT CONSTITUTE APPROVAL OF SIGNAGE. SIGN APPROVAL IS A SEPARATE PROCESS.

ALL LIGHT STANDARDS WITHIN THIS DEVELOPMENT WILL NOT EXCEED A TOTAL VERTICAL HEIGHT OF TWENTY-FOUR (24) FEET.

SLEEVES FOR FUTURE TELECOMMUNICATION SERVICES SHALL BE INSTALLED ADJACENT AND/OR PARALLEL TO ANY PROPOSED ROADWAY OR OTHER LOCATION AS DIRECTED BY THE CITY OF CHESTERFIELD IN ORDER TO FACILITATE THE INSTALLATION OF UTILITIES AND TELECOMMUNICATION INFRASTRUCTURE FOR CURRENT AND FUTURE USERS.

ALL UTILITIES WILL BE INSTALLED UNDERGROUND. THE DEVELOPER OF THIS PARCEL WILL COORDINATE THE INSTALLATION OF ALL UTILITIES IN CONJUNCTION WITH THE CONSTRUCTION OF ANY ROADWAY ON SITE.

THE PROPOSED SITE IS LOCATED WITHIN 2000 FT. OF THE NORTH RUNWAY AND WITHIN THE PRIMARY TRANSITIONAL SURFACES OF THE AIRPORT. THE MAXIMUM ALLOWABLE HEIGHT OF STRUCTURES AND OBJECTS LOCATED ON THE PROPERTY SHALL BE LIMITED SO AS NOT TO PENETRATE THE FEDERAL AVIATION REGULATIONS PART 77 SURFACES FOR RUNWAY & LEFT. NO TREES SHALL EXCEED 25 FT IN HEIGHT TO ASSURE COMPLIANCE WITH THE PART 77 HEIGHT REQUIREMENT.

SITE DEVELOPMENT CONCEPT PLAN

SEAL

ENGINEER'S NOTICE TO CONTRACTOR
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LAND PLANNING • LAND SURVEYING
CIVIL ENGINEERING

PRECISION PLAZA NORTH
SITE DEVELOPMENT CONCEPT PLAN

PROJECT	PRECISION PLAZA NORTH SITE DEVELOPMENT CONCEPT PLAN
REVISION	
1	12-7-07
2	1-4-08
3	2-12-08
4	4-28-08
5	4-28-08
DRAWN BY	GMK
CHECKED BY	JPT
DATE	10/26/07
JOB NO.	06-290
SCALE	1" = 50'
SHEET	C2

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Call BEFORE you DIG
 TOLL FREE
 1-800-344-7483
 MISSOURI ONE-CALL SYSTEM, INC.

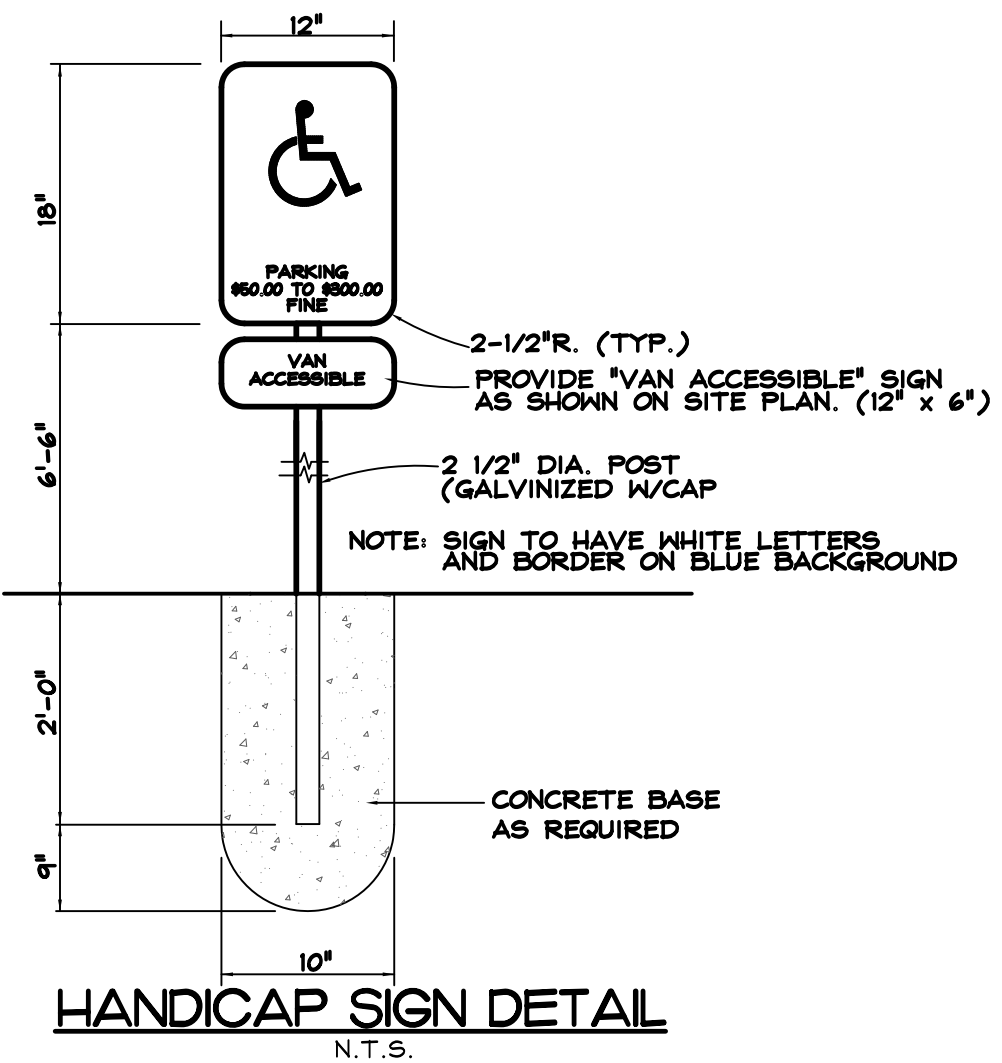
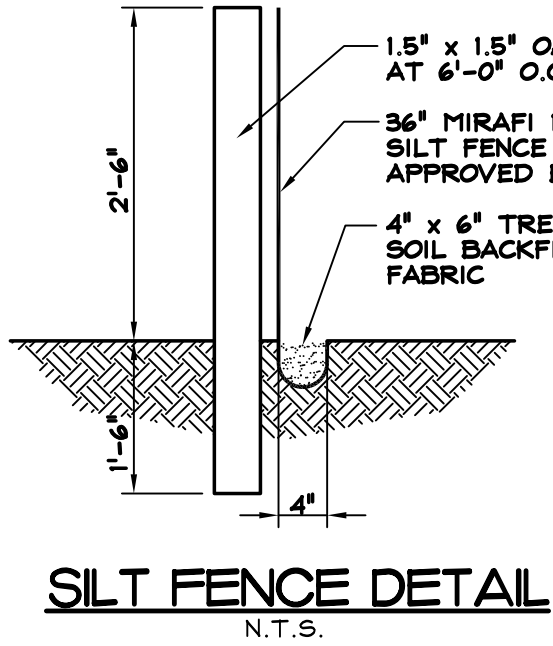
LEGEND OF IMPROVEMENTS

- H.C. SYMBOL
- H.C. SIGN
- PAINTED DIRECTIONAL ARROW
- WATER LINE AND SIZE
- CONC. CURB
- CONC. PAVING
- EXISTING CONTOURS
- PROPOSED CONTOURS
- PAINTED STRIPING
- ASPHALT PAVEMENT

UTILITY NOTE:

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES AND SERVICE LINES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

LAND DEVELOPMENT CONSULTANTS, INC. (LDC) CONSULTING ENGINEERS, AND UNDERSIGNED ENGINEER HAVE NO RESPONSIBILITY FOR SERVICES PROVIDED BY OTHERS TO IMPLEMENT THE IMPROVEMENTS SHOWN ON THIS PLAN AND ALL OTHER DRAWINGS WHERE THE UNDERSIGNED ENGINEER'S SEAL APPEARS. THE CONSTRUCTION MEANS AND METHODS ARE THE SOLE RESPONSIBILITY OF THE OWNER AND CONTRACTOR. LDC HAS NO RESPONSIBILITY TO VERIFY FINAL IMPROVEMENTS AS SHOWN ON THIS PLAN UNLESS SPECIFICALLY ENGAGED AND AUTHORIZED TO DO SO BY THE OWNER OR CONTRACTOR.

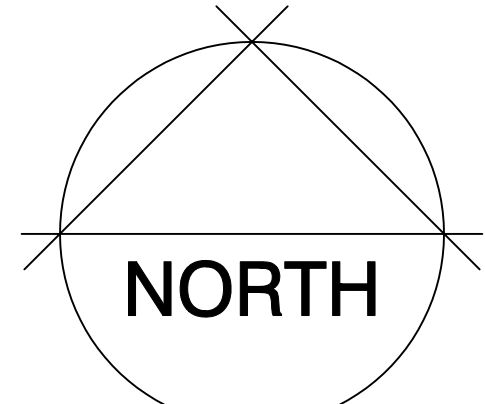


REVISIONS	BY
JAN. 8, 2008	RYM

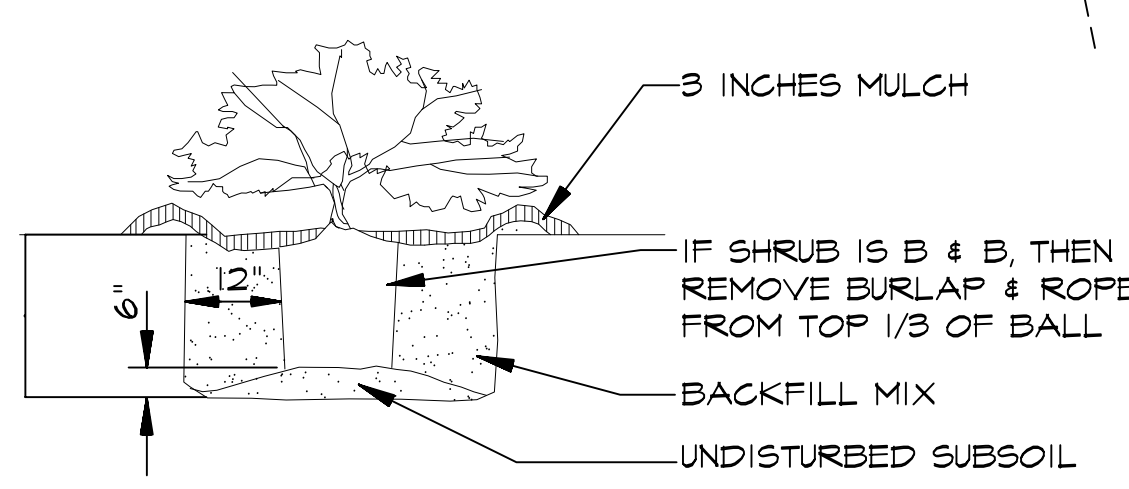
landscape TECHNOLOGIES
 67. Lincoln Center Dr., Suite 100
 St. Charles, Missouri 63044
 Tel: (636) 428-4553
 Fax: (636) 428-4553

PLANT SCHEDULE:

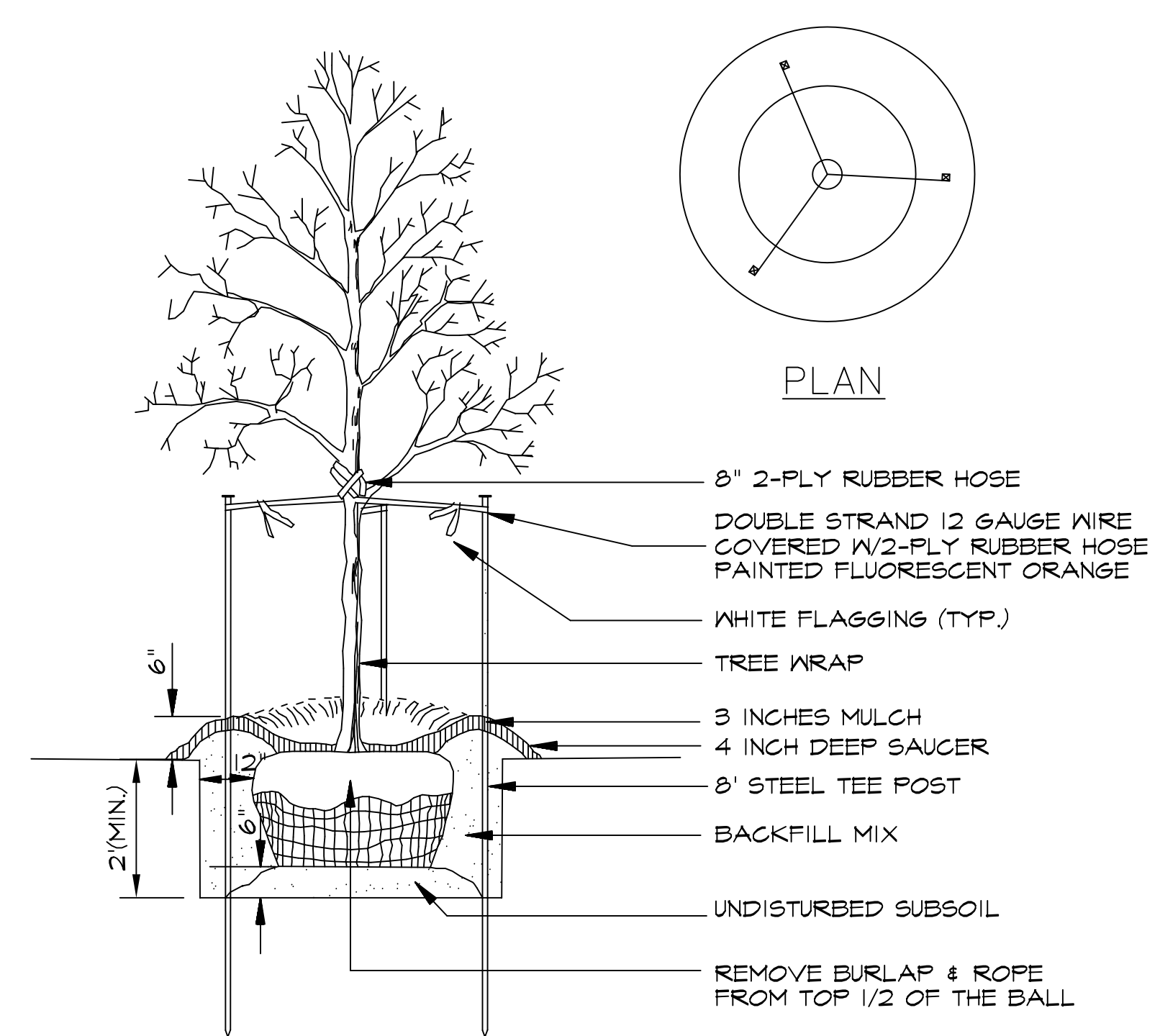
TREES	QTY	BOTANICAL/COMMON	SIZE	MATURE SIZE	DECIDUOUS/EVERGREEN
GMSM	4	Acer saccharum 'Green Mountain' / Green Mountain Sugar Maple	2.5" Cal	45'+	DECIDUOUS
SHL	4	Gleditsia triacanthos 'Skyline' / 'Skyline' Locust	2.5" Cal	45'+	DECIDUOUS
SWO	4	Quercus bicolor / Swamp White Oak	2.5" Cal	45'+	DECIDUOUS
GL	4	Tilia cordata 'Greenspire' / Greenspire Littleleaf Linden	2.5" Cal	45'+	DECIDUOUS
V6Z	4	Zelkova serrata 'Village Green' / Village Green Zelkova	2.5" Cal	45'+	DECIDUOUS



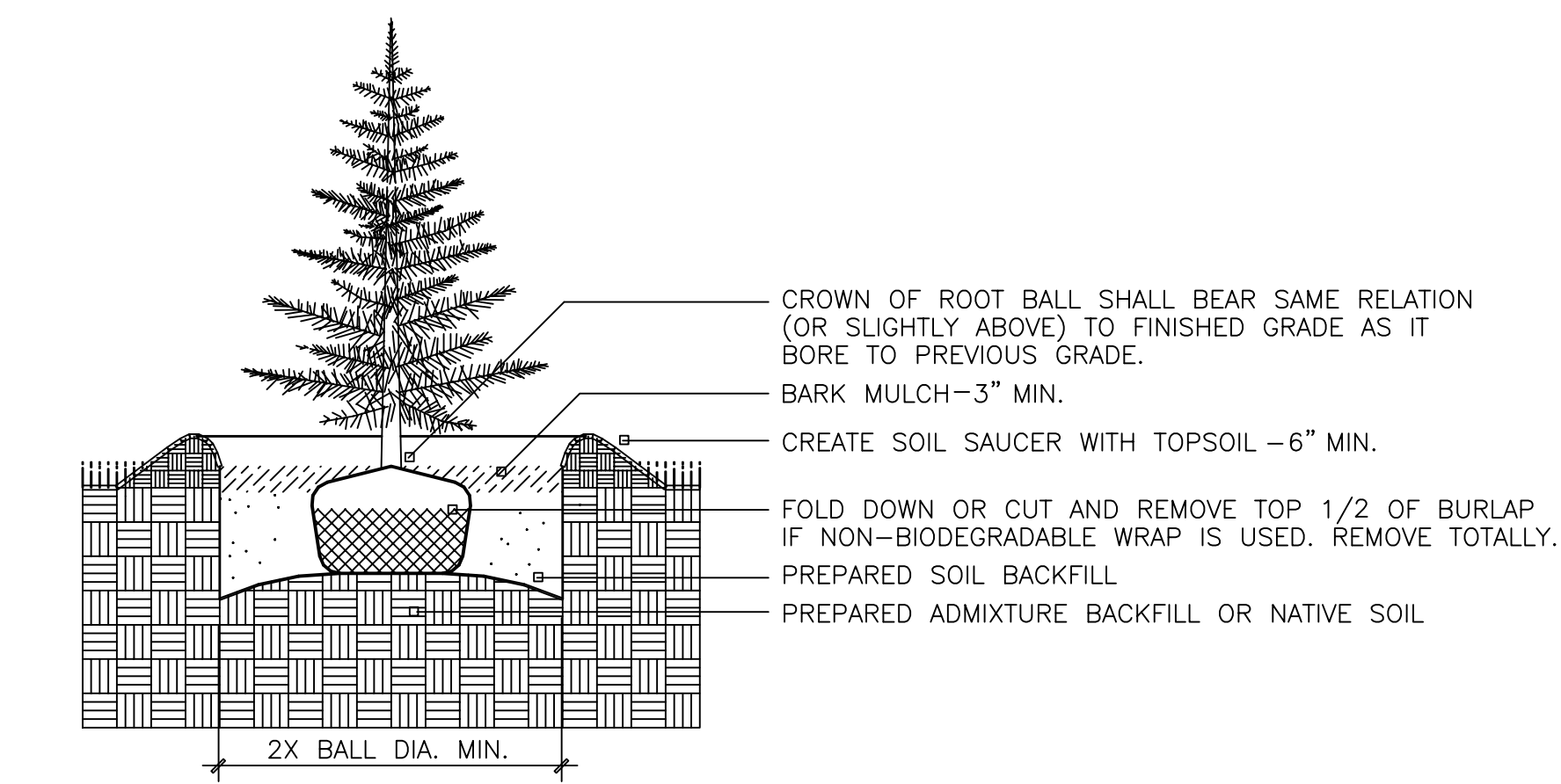
0 60 120 180 feet
SCALE: 1" = 60'



SHRUB PLANTING
N.T.S.



DECIDUOUS TREE PLANTING
N.T.S.



EVERGREEN TREE PLANTING
N.T.S.

NOTES:

- All natural vegetation shall be maintained where it does not interfere with construction or the permanent plan of operation. Every effort possible shall be made to protect existing structures or vegetation from damage due to equipment usage. Contractor shall at all times protect all materials and work against injury to public.
- The landscape contractor shall be responsible for any coordination with other site related work being performed by other contractors. Refer to architectural drawings for further coordination of work to be done.
- Underground facilities, structures and utilities must be considered approximate only. There may be others not presently known or shown. It shall be the landscape contractor's responsibility to determine or verify the existence of and exact location of the above (call 1-800-DIG-RITE).
- Plant material are to be planted in the same relationship to grade as was grown in nursery conditions.
- All mulch to be shredded oak bark mulch at 3" depth (after compaction) unless otherwise noted. Mulch shall be clean and free of all foreign materials. Edge all beds with spade-cut edge unless otherwise noted.
- It shall be the landscape contractor's responsibility to:
 - Verify all existing and proposed features shown on the drawings prior to commencement of work.
 - Report all discrepancies found with regard to existing conditions or proposed design to the landscape architect immediately for a decision.
 - Stake the locations of all proposed plant material and obtain the approval of the owner's representative or landscape architect prior to installation.
- The landscape contractor is to receive the site graded to within 1/2 of a foot. Landscape contractor to obtain letter of grade certification from the general contractor prior commencement of work.
- All planting beds shall be cultivated to 6" depth minimum and graded smooth immediately before planting of plants. Plant groundcover to within 12" of trunk of trees or shrubs planted within the area.
- All plant material (excluding ground cover, perennials and annuals) are to be warranted for a period of 12 months after installation at 100% of the installed price.
- All disturbed lawn areas to be seeded with a mixture of Turf-Type fescue (500# per acre) and bluegrass (18# per acre). Landscape contractor shall offer an alternate price for sod in lieu of seed. Lawn areas shall be unconditionally warranted for a period of 90 days from date of final acceptance. Bare areas more than one square foot per any 50 square feet shall be replaced.
- Items shown on this drawing take precedence over the material list. It shall be the landscape contractor's responsibility to verify all quantities and conditions prior to implementation of this plan. No substitutions of types or size of plant materials will be accepted without written approval from landscape architect.
- Siltation controls may be required to prevent run-off. Straw bales placed end-to-end shall be used, anchored with no less than two 3/8" X 36" reinforcing rods. Bales shall remain until all graded areas are seeded or sodded.
- The minimum parking/building setback is 30'-0" from an existing or proposed right of way.
- One (1) tree is required for every fifty (50) lineal feet of landscape setback area.
- Landscape islands shall be placed at the ends of parking aisles as required by Section 1003.164 of the City of Chesterfield Zoning Ordinance:
 - There shall be a minimum landscape width of six (6) feet and a minimum area of 100 square feet. Provide one (1) deciduous tree per island.
 - At the end of double row parking, a minimum of 210 square feet shall be provided for with a minimum of two (2) deciduous trees per island.
 - Islands shall have plantings consisting of groundcovers such as shrubs, ivy, flowers and grasses. Mulch or rock may be used instead of grass or in combination with grass.
- Consideration shall be given to the type of grass to be used due to need for drought tolerance in areas without in-ground irrigation systems. (Examples: Turf-Type Tall Fescue blend less than five years old and Crossfire, a semi-dwarf variety blended with 5-10% bluegrass and referred to as a Transition mix).
- A minimum of sixty percent (60%) of the deciduous trees must be of a species which matures at +35', evenly dispersed throughout the project.
- If the estimated materials cost of new landscaping indicated on the Site Development Plan, as required by the Planning Commission, exceeds one thousand (1,000) dollars, as determined by a plant nursery, the petitioner shall furnish a two (2) year bond or escrow sufficient in amount to guarantee the installation of said landscaping.
- Upon release of the landscape Installation Bond, a two (2) year Landscape Maintenance Bond shall be required.

CONCEPTUAL PLAN FOR THE PROPOSED Precision Plaza CHESTERFIELD, MISSOURI

DRAWN R. MARDIS
 CHECKED RYM
 DATE MARCH 15, 2007
 SCALE 1"=60'-0"
 JOB No. 2007-120
 SHEET
L-1
 OF ONE SHEET