



VII. C.

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Planning Commission Staff Report

Project Type: 2nd Amended Site Development Section Plan

Meeting Date: May 11, 2015

From: Jessica Henry
Project Planner

Cc: Aimee Nassif, Planning & Development Services Director

Location: 17369 Chesterfield Airport Road

Applicant: Volz, Inc., on behalf of Chesterfield Plaza, LLC and InterJewel Realty, LLC

Description: **Chesterfield Commons Six, Lot 7B (Courtyard by Marriott):** An Amended Site Development Section Plan, Amended Landscape Plan, Amended Lighting Plan, Amended Architectural Elevations and an Architect's Statement of Design for a 2.807 acre lot of land zoned "C-8" Planned Commercial District located south of Interstate 40 and west of the intersection of Boone's Crossing and Chesterfield Airport Road.

PROPOSAL SUMMARY

Volz, Inc. on behalf of Chesterfield Plaza, LLC and InterJewel Realty, LLC, has submitted a request for a four story, 112 room hotel located within the Chesterfield Commons Six development. The proposed hotel is 61,668 square feet in size and will be located on Parcel 7B, which is 2.8 acres in size. The Chesterfield Commons Six development is zoned "C-8" Planned Commercial District and is governed under the terms and conditions of City of Chesterfield Ordinance 2096. The exterior building materials will be comprised of EIFS, stone veneer, brick, and some sheet metal accent roofing sections. The main roof of the structure will be a flat roof with a parapet wall to screen roof-mounted utility units.

HISTORY OF SUBJECT SITE

The subject site was zoned "C-8" Planned Commercial by St. Louis County Ordinance Number 13,933 in 1988. In 2004, City of Chesterfield Ordinance Number 2096 repealed St. Louis County Ordinance Number 13,933 and was amended to permit Drive-Through restaurants and to increase the height of the light standards. In November of 2004, the Resubdivision of Lot 7 was approved dividing the lot

into two lots, 7A and 7B. Subsequently, a Site Development Section Plan for Lot 7A was approved to construct the 10,000 square foot retail building known as Treasure Rooms. In September of 2005, the Site Development Section Plan for Lot 7B was approved to construct a four story, 73,565 square foot, 102 room Holiday Inn Hotel and associated parking. The project was never constructed and in March of 2009, a Site Development Section Plan for a five story, 77,764 square foot, 123 room Hyatt Place Hotel was approved by the Planning Commission. Again, this project was never constructed.

Land Use and Zoning of Surrounding Properties

Direction	Land Use	Zoning
North	Commercial	“C-8” Planned Commercial District
South	Commercial	“C-8” Planned Commercial District
East	Commercial	“C-8” Planned Commercial District
West	Commercial	“C-8” Planned Commercial District



Figure 1—Chesterfield Commons Six Development

Comprehensive Plan Analysis

The subject site is located within the area of Ward 4 designated by the Comprehensive Plan as the sub-area of Chesterfield Valley. The City of Chesterfield Land Use Plan indicates the Chesterfield Commons Six development is within the Mixed Commercial Land Use designation, which is defined in the following manner: “Appropriate uses in this designation would be retail and office. Depending on location, some areas may combine warehousing and distribution with the office development”.

The Comprehensive Plan includes Commercial Development Policies as well as specific policies which are applicable to developments within the Chesterfield valley sub-area; the policies which are applicable to the proposed development are detailed below.

Commercial Development Policies

- **3.1.1 Quality of Design** – Overall design standards should be provided for smaller-scale, mixed-use, project-oriented developments. Developments should emphasize architectural design, pedestrian circulation, landscaping, open space, innovative parking solutions and landscape buffering between any adjacent residential uses.
 - *This policy is met by this proposed development. Please see Access and Site Circulation, Parking, Landscaping and Open Space, and Architectural Elevations sections starting on Page 4. These sections discuss each of these items in detail, as they apply to this project.*
- **3.4 Signage Considerations** – Signage along the I-64/US 40 Corridor and State Highways should be evaluated in terms of height, size and location while recognizing individual uses' need for identity and visibility.
 - *As discussed on page 7 of this report, an Amended Sign Package must be submitted and approved by the Planning Commission prior to the approval of Sign Permits for the proposed hotel. The Amended Sign Package will be reviewed against this Comprehensive Plan Policy.*

Chesterfield Valley Sub-Area Policy and Chesterfield Valley Design Policy

- **3.5.1 Chesterfield Valley Region Retail and Low Intensity Industry**—Regional retail and low-intensity industrial developments should be located in Chesterfield. Valley. These include mixed-use office/retail planned developments.
 - *This policy is met by the addition of the proposed Courtyard by Marriott Hotel within the Chesterfield Commons Six development in that it contributes to the mixed-use, low intensity development pattern that is desirable in the Chesterfield Valley sub-area.*
- **Façades of Buildings Along I-64/US 40**—Care should be taken to make sure that any portion of a building that can be viewed from I-64/US 40 or any arterial and collector roadways should convey the image of a high-quality office or commercial development and should be equally uniform in materials and attractiveness as the primary façade of the building if it does not face I-64/US 40 or the roadways. The intent is to avoid projects having their view from I-64/US 40 or the roadways appear to be the rear or side of a development.
 - *This policy is met by the proposed Courtyard by Marriott hotel in that the materials used on the primary façade extend to the north side elevation of the building that faces I-64/US 40.*

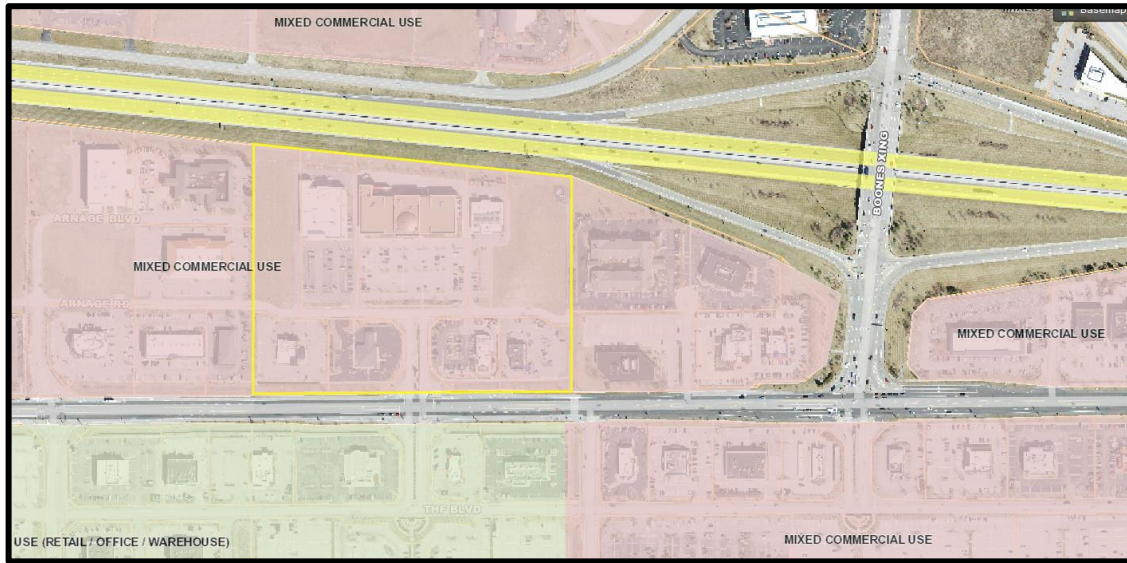


Figure 2—Comprehensive Land Use Plan

STAFF ANALYSIS

Zoning

The subject site is zoned “C-8” Planned Commercial District under the terms and conditions of City of Chesterfield Ordinance Number 2096 and is located within the Chesterfield Commons Six development which contains nine separate lots and seven buildings to date, as shown in yellow above. There are currently two vacant lots within the development, Lot 7B—the subject site, and Lot 5A, to the west of the HH Gregg building.

Access and Site Circulation

The Chesterfield Commons Six development has one full shared access on Chesterfield Airport Road. That access leads to a private east-west cross access drive, shown in red in the image below. This drive serves all nine lots within the development and continues westward across the River Crossings development and the Chesterfield Commons Seven Development, terminating until future development occurs on the vacant parcels to the west of the Commons Seven development. Although the eastern limit of this cross-access drive currently terminates at the boundary line of the Chesterfield Commons Six and McBride and Sons development, the City has corresponded with the property owners to the east in the McBride and Sons development regarding the requirement for a cross access connection in conjunction with any future zoning or ordinance amendment petition.



Figure 3—Multi-Development Cross Access Drive

In addition to this large, multi-development private drive, there is cross-access provided along the northern and southern parking lot perimeters of the three buildings that house HH Gregg, Amini's, and Treasure Rooms. This would extend into the proposed parking area of the Courtyard by Marriott hotel on Lot 7B.

In addition to the sidewalk along Chesterfield Airport Road, internal sidewalks allow for pedestrian circulation to each of the lots within the Chesterfield Commons Six development. This internal sidewalk along the private Butler Drive will extend across the southern perimeter of the Courtyard by Marriott site. Sidewalks are also proposed along the parking spaces located parallel to the northern and western elevations. The overall pedestrian circulation within the site remains under review by Staff.

Parking

Parking is provided on all four sides of the site perimeter, with the structure centered in the middle of the site. As required per the Unified Development Code and after approval of a parking reduction by the Planning and Development Services Director, the number of parking spaces provided for this development is 122.

Landscaping and Open Space

The request includes landscaping required by the City of Chesterfield Tree Preservation and Landscape Requirements. Accordingly, trees will be planted throughout the site. Landscape beds containing shrubs will surround the building and parking island areas. Landscape beds containing annual seasonal plantings are proposed in the front entrance area.

Three bio-retention areas are proposed on the site; these rain gardens will be planted with native plantings. These rain gardens will be designed to MSD standards and will help capture storm water runoff from the site.

A full landscape buffer is proposed along the northern perimeter of the site, which will screen the parking areas from the view of Highway 64/40. The Architectural Review Standards include the following specific requirement that is relevant to this site: *"Locate parking primarily to the side or rear of any building façade facing I-64/40 or along North Outer 40."*

Although the site design under review proposes a significant parking area between the north building façade and I-64/40, the dense landscaping will provide screening of this parking area.

There is an existing MSD pump station at the northeastern corner of the site. MSD will retain access to this station through an easement, and the applicant is proposing to screen the pump station with trees and shrubs.

Lighting

The lighting plan proposes pole mounted parking lot light fixtures, utilitarian building entry wall mounted light fixtures, canopy light fixtures, and bollard light fixtures in the courtyard area. The

bollard light fixtures are decorative in nature and will be fully screened by the wall surrounding the courtyard area. The other light fixtures are utilitarian in nature and all have fully shielded, full cut-off optics as required by the Unified Development Code. The cut-sheets for all the proposed fixtures are included in the Planning Commission submittal.

Architectural Elevations

The applicant is proposing a four story building of just over fifty feet in height and 61,668 square feet in size. Although the building is taller than the surrounding buildings in Chesterfield Commons Six, it is positioned towards the rear of the lot away from the other buildings to give a visual perspective that diminishes the apparent height difference.

The building elevations will be primarily comprised of EIFS, brick, split face concrete block, pre-cast concrete accent band, and sheet metal roofing. Three different colors of EIFS are proposed—white, neutral beige and deep green that correspond to the metal roofs proposed on the rear elevation. The brick and split face concrete block base were selected to match several of the buildings within the development, including Amini's and Treasure Rooms. Each of the proposed materials is used on all four sides of the building; again, this is consistent with the Architectural Review Standards for the Chesterfield Valley. Overall, the proposed materials and color palette were chosen to complement and match the existing buildings within the Chesterfield Commons Six development.

There are roof parapets included in the design that will fully screen the mechanical rooftop equipment. The dumpster enclosure is located at the southeastern corner of the site and is to be constructed of split face stone veneer to match the building with a prefinished metal wall cap and metal enclosure gates, which is consistent with the Architectural Review Standards for the Chesterfield Valley.

The courtyard area that is proposed at the rear of the building will be enclosed by a six foot tall screen wall constructed of split face brick veneer to match the building and topped by a two foot tall aluminum ornamental grille. The interior of the courtyard will have a circular fire pit constructed to have a stacked stone appearance and topped with a stone cap. The courtyard will be furnished with tables and chairs.

The project was reviewed by the Architectural Review Board (ARB) on April 9th, 2015. A motion to forward the submittal to the Planning Commission with a recommendation for approval with the conditions listed below was passed by a vote of 4-0.

1. Provide additional architectural renderings to better represent the building design.
2. Evaluate opportunities to improve some of the terminations, scale, and proportions of the building materials to create a more cohesive design.

In response to the ARB's recommendations, the Applicant has provided an additional rendering of the east elevation of the building to provide a more complete interpretation of the primary front and rear

building façades. Additionally, the Project Architect revised the Architectural Elevations to address the concerns pertaining to the material terminations, proportions of the vertical façade elements, and overall architectural rhythm of the building. Below is a comparison of the Architectural Elevations as presented at the Architectural Review Board and as revised.

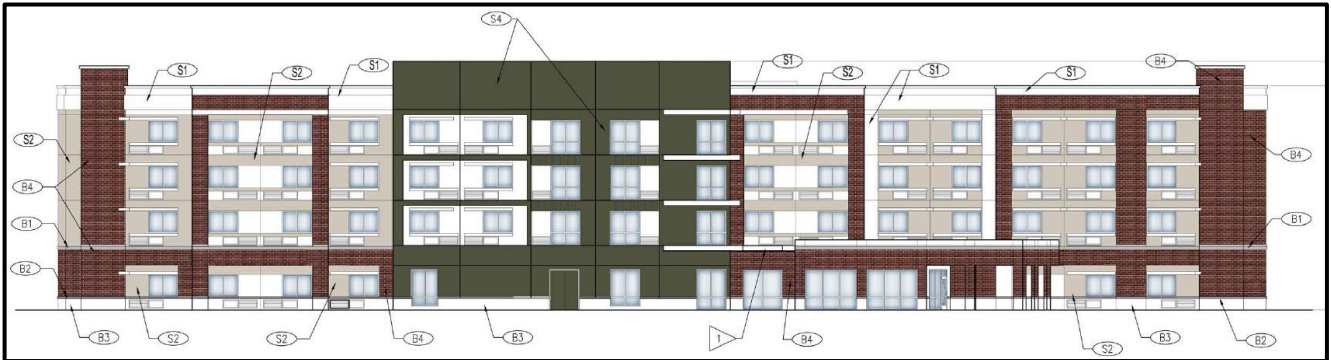


Figure 4 Architectural Elevation as presented at ARB



Figure 5 Revised Architectural Elevation

Signage

Ordinance 2096 requires that a Sign Package for the Chesterfield Commons Six development be submitted and approved by the Planning Commission. Accordingly, the Planning Commission approved a Sign Package for the overall Chesterfield Commons Six development on September 13th, 2004; however, this Sign Package included one freestanding development identification sign and four monument signs for the Outparcels along Chesterfield Airport Road. The Sign Package specifically stated that signage for the remaining lots in the development would necessitate an amendment to the Sign Package to be approved by the Planning Commission. The applicant has been advised that the Sign Package for the Chesterfield Commons Six development must be amended to include any proposed signage for the Courtyard by Marriot Hotel prior to the issuance of sign permits.

STAFF RECOMMENDATION

Staff has reviewed the Amended Site Development Section Plan, Amended Landscape Plan, Amended Lighting Plan, Amended Architectural Elevations, and Architect's Statement of Design and has found the proposal to be in compliance with the site specific ordinance, the Site Development Concept Plan,

Comprehensive Plan, and all City Code requirements. Staff recommends approval of the proposed development of Chesterfield Commons Six, Lot 7B (Courtyard by Marriott).

MOTION

The following options are provided to the Planning Commission for consideration relative to this application:

- 1) "I move to approve (or deny) the Amended Site Development Section Plan, Amended Landscape Plan, Amended Lighting Plan, Amended Architectural Elevations and Architect's Statement of Design for Chesterfield Commons Six, Lot 7B (Courtyard by Marriott).
- 2) "I move to approve the Amended Site Development Section Plan, Amended Landscape Plan, Amended Lighting Plan, Amended Architectural Elevations and Architect's Statement of Design for Chesterfield Commons Six, Lot 7B (Courtyard by Marriott), with the following conditions..." (Conditions may be added, eliminated, altered or modified)

Attachments: Architect's Statement of Design
Amended Architectural Elevations
Architectural Renderings
Amended Site Development Section Plan
Amended Landscape Plan
Amended Lighting Plan
Amended Lighting Cut-sheets

CC: Aimee Nassif, Planning and Development Services Director

MAY 05 2015

Department of Public Services

City of Chesterfield,

LJA's design team is pleased to propose a new hotel, Courtyard by Marriott, to your City. This hotel has 112 rooms with four floors and is located at 17369 Chesterfield Airport Road. This will be a new build on a vacant lot. Businesses, Treasure Room, Amini's, and Chick-Fil-A will share a common drive with this hotel. Site design was done by a local civil engineering firm, Volz Incorporated. LJA will serve as the building designer. This hotel is designed to fill a need within the City of Chesterfield by supplying additional rooms for business and leisure travelers who frequent the shops and businesses nearby. This hotel is designed for the business traveler providing 67% of the room mix as Single King rooms. The remaining 33% of rooms are Double Queen rooms. Amenities include: lounge, business center, coffee bar, limited food service, meeting room, pool and spa, exercise room, guest laundry, and market for quick grab and go products. It also includes a signature "Courtyard" out back for a calm and relaxing retreat. The courtyard features a gas fire pit with soft seating as well as other outdoor seating. Marriott's design of this hotel is considered a 'step up' in the amenities which also includes innovative interior design.

The hotel is approximately 244'0" in length and 95'0" in depth. The building footprint is 16,638 square feet while the overall building, including all floors, is 61,668 square feet. The building has a flat roof with parapets. The overall height of the building varies from 45'-3" to 50'-2". The hotel sits on 2.8 acres including 122 parking spaces.

Below are the numbered items referenced in the Architectural Review Board project statistics and checklist for items to be addressed.

10. a. & b. The Courtyard hotel is located on Lot 7b which is a 2.8 ac. site in Chesterfield Commons Six and sidewalks are provided to connect the neighboring sites. The hotel is centered and has parking around on all sides which is similar to the Hampton Inn next door. This allows access to all sides for easy access to rooms. The Hotel will also have a courtyard area for the use of the guest. There are nearby restaurants and shops that are within walking distance of the hotel.

c. This site is located in Chesterfield Valley and so the general topography is flat. There will be little to no slope change across site with minimal grading.

d. There will be one retaining wall that is required due to the storm water requirements from MSD. The wall will be 12' long, 2' at highest point, tapering down to 0' on both sides allowing for water quality retention in the bio-retention basin. The Wall will be a Versa lock system wall matching the color of the slit face block of the development.

11. a. This proposed hotel is designed with 4 stories, while the immediate surrounding businesses are 1 story. There is a 3 story Hampton Inn nearby. The hotel is positioned toward the back of the development so not to block these businesses. Because the hotel is set back from the lower buildings the visual perspective will decrease the apparent height difference.

b-1. The façade of the building has incorporated the same color, types, and material as the development. We used the exact same brick and block that is used and approved in the development including the adjacent Amini's and Treasure Room. Which is a split face block, color white, manufactured by Rockface and brick, medium iron spot #46 manufactured by Edicott. The color pallet is a neutral color with one element that stands out for a dramatic focal point.

2. The building has its own unique lines that curve, inset and protrude to mitigate the repetitive window pattern required by this type of building.

3. The only advertising on this building would be signage identifying it as a Courtyard by Marriott. This replicates the signage of the other businesses in the area. At this meeting we are not asking for signage placement.

4. The front of the building is a drive under port to invite patrons toward the entrance while giving visual architectural detail at street level.

5. While no mural or artisan details are located in or around the building the hotel façade has numerous planes to give it an architecturally pleasing appearance.

6. The building is designed for low-e glass, high efficiency mechanical units, 2x6 exterior walls with insulation and flat insulated roof system.

7. We use environmentally conscious building techniques and materials whenever possible.

8. The entrance has a canopy for drive under protection and access to the building for guest services.

9. The hotel has a courtyard with privacy wall. This privacy wall is a neutral block color that is used in the approved color pallet for this development. The courtyard is the extension of the building elements brought outside.

10. All mechanical units will be roof top and concealed by the parapets. These parapets are designed as an integral part of the overall architectural design. Each guest unit has a ptac unit that protrudes out of the wall. The exterior design of the building takes that into consideration and each ptac louvered cover will match the color of the adjacent plane.

c. The building has incorporated the developers color palate including brick and block. The dryvit colors are similar to surrounding buildings with warm natural colors. This design still leaves room for individual look and style. The drive under porte has contrasting stamped, colored concrete for guided entrance to the building.

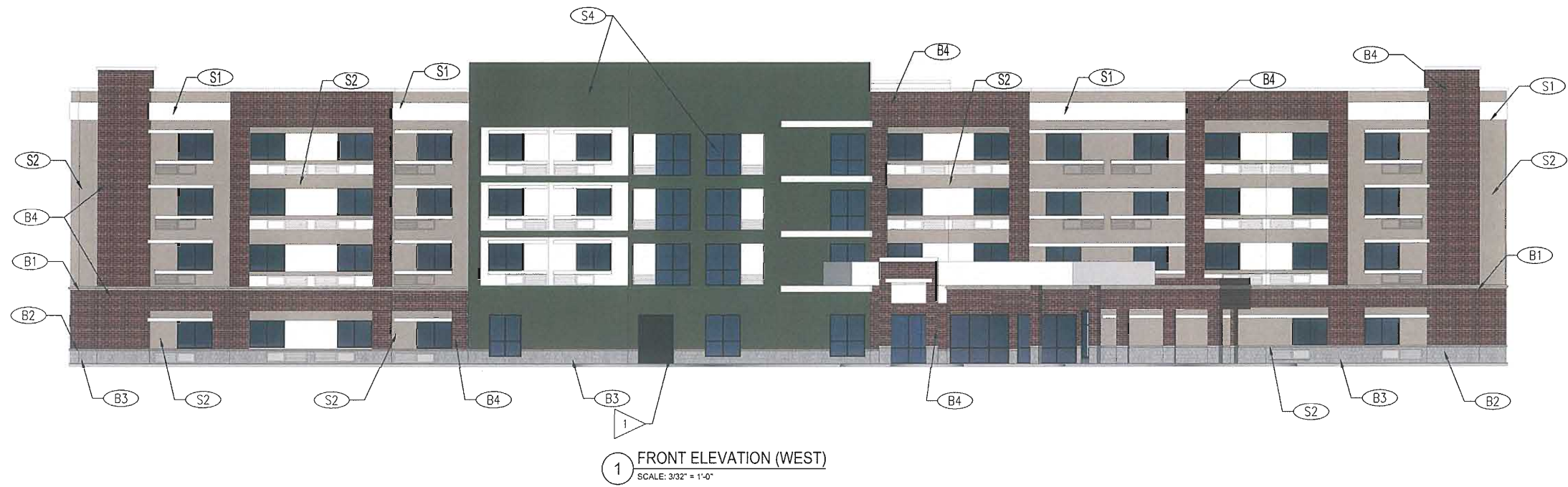
d. Landscaping design is consistent with the development of the area. Trees and shrubs are grouped together to accentuate one another for strong accents. The landscape plan also includes a buffer around the building to soften the look between sidewalks. This includes ground coverage and shrubs to accent the building along with seasonal color. In the parking area there are trees in some of the islands conforming to City of Chesterfield requirements. There is a privacy wall enclosing the courtyard with plantings and grass inside that area.

e. Acknowledged signage is reviewed under separate cover. All signage for this submittal has been removed.

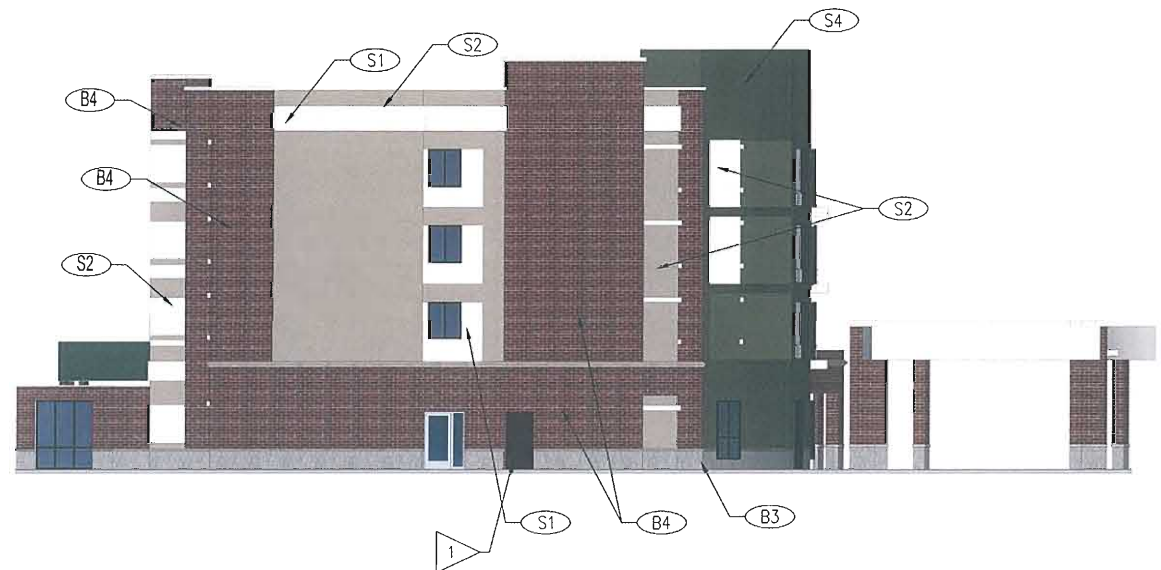
f. Acknowledged site lighting is reviewed under separate review. Specifications for building lighting have been included for review. Under the canopy there are 22 4.5" round led downlights to eliminate the drive under and front entrance to door. There are 8 architecturally lights over each door which also serves as emergency lighting. There are 14 bollards on site with 3 of them in the front by parking and sidewalk and 11 in the back courtyard area. The parking lot lighting while reviewed for footcandle analysis and location under separate review the lights that are specified are shielded.

12. The architectural elements and façade are designed to comply with the requirements of the Chesterfield Valley area. These buildings flow with similar design and color pallets. We strived to achieve this conformity while still adding architectural design and elements that also make this building unique and architectural pleasing. The architectural elements continue on all sides of the building wrapping around for continuous design, color, and material change. Accent lighting is included on the drive under canopy, with soft accent lighting on the building ground level to illuminate the entrance and give the building a soft glow. The courtyard wall is a block wall with a split face veneer that is the same block on the building and in the development. The wall also has a maintenance free lattice type design on the top for another element to that wall. The courtyard is a nice outdoor element for guest as well as breaking up the façade to avoid a straight lengthy wall. The site has a trash enclosure that incorporates the same building finishes on all sides. There are no other storage buildings on this site. All utilities are underground. The parking is designed to allow access from front, sides, and back of building. No loading areas are present in this design that would require extra screening.

The following pages will include site plan, site map location with surrounding uses, color elevations, site photos, floor plan and elevations, details of courtyard area, screening and out buildings, landscape plan, and site lighting specifications.



1 FRONT ELEVATION (WEST)
 SCALE: 3/32" = 1'-0"



1 LEFT ELEVATION (NORTH)
 SCALE: 3/32" = 1'-0"

EXTERIOR FINISH SCHEDULE			
FIN. #	MATERIAL	COLOR	MANUFACTURER
S1	E.F.F.S. (SMARTEPOXY)	#164 BRIGHT WHITE	DEWITT OR EQUAL
S2	E.F.F.S. (QUARTZITE)	S15-S STONE HENGE GRISSE	PITTSBURGH PAINTS
S4	E.F.F.S. (REFLECTIT OVER LYNSTORL)	ANTIQUE PATINA (ARAS)	DEWITT OR EQUAL
M1	SHEET METAL ROOFING	HEMLOCK GREEN	BERRIDGE OR EQUAL
B1	PRE-CAST CONCRETE (DIAMOND PROFILE) ACCENT BAND (8" HIGH)	NATURAL CONCRETE COLOR	
B2	PRE-CAST CONCRETE (DIAMOND PROFILE) ACCENT BAND (4" HIGH)	NATURAL CONCRETE COLOR	
B3	SPLIT FACE CLAY - ENHANCED FACE (3/8" X 2-1/8" H X 1" D) GRADUUM FACE BRICK (ADHERED)	WHITE	ARRISCRAFT REBANGRANCE MASONRY UNIT - ROOFFACE
B4	MODULAR TRIM BRICK (7-1/8" X 2-1/8" H X 1" D) GRADUUM FACE BRICK (ADHERED)	MEDIUM REDHISPOT #46	END/CORT CLAY PRODUCTS

NOTES:
 * ALL MORTAR JOINTS TO BE TUCK POINTED (BRICK MORTAR TO BE SOLD/DON GRIND). MORTAR COLOR 45A MANDON
 * WINDOWS TO BE PAINTED AND TO MATCH ADJACENT SURFACE COLOR. IF WINDOW SHOULD BE IN A LOCATION WITH PAID OR VENEER COLOR SURFACES THEN THE MOST PRE-DOMINANT COLOR SHALL BE THE COLOR COLOR

RECEIVED
 City of Chesterfield
 MAY 05 2015
 Department of Public Services

REVISIONS

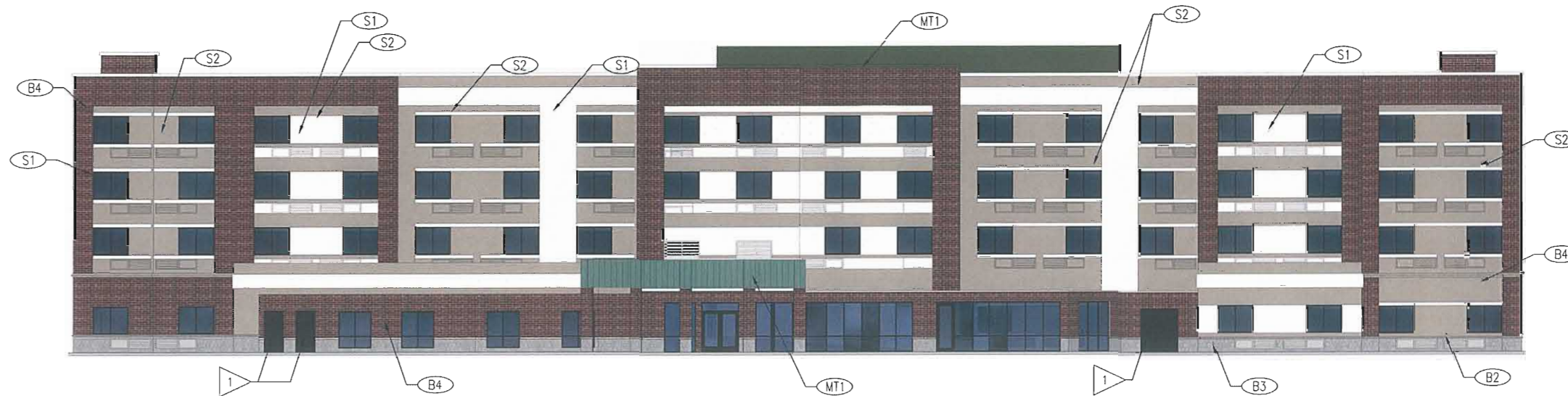
COURTYARD
 112 UNITS, 4 STORY
 17369 CHESTERFIELD AIRPORT RD.
 CHESTERFIELD, MO



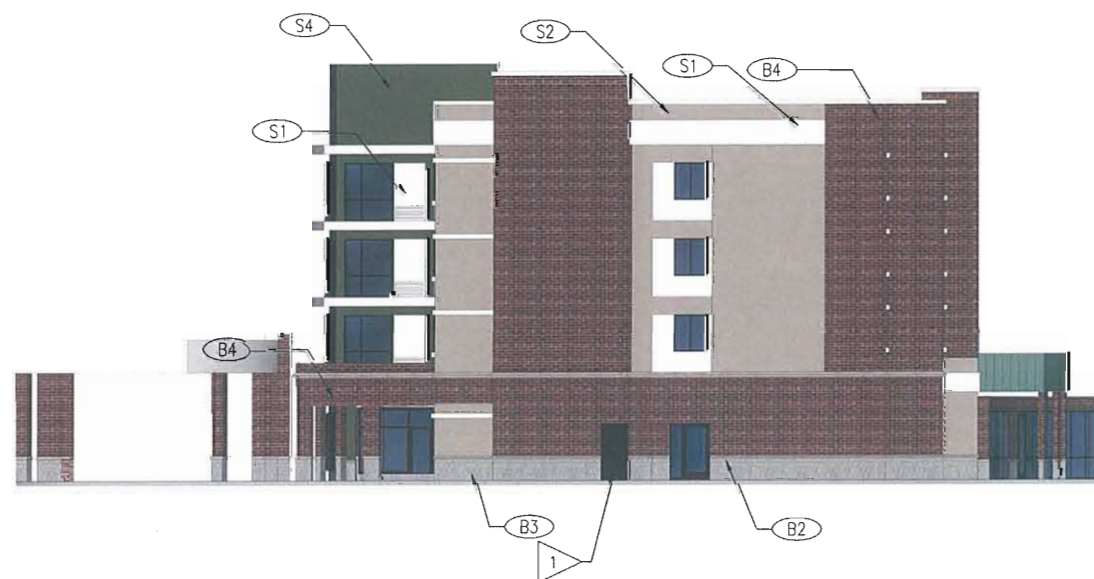
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SHEET DESCRIPTION
 DESCRIPTION
 ARCHITECTURAL
 ELEVATIONS

A200



1 REAR ELEVATION (EAST)
 SCALE: 3/32" = 1'-0"



2 RIGHT ELEVATION (SOUTH)
 SCALE: 3/32" = 1'-0"

EXTERIOR FINISH SCHEDULE			
SYMBOL	DESCRIPTION	COLOR	MANUFACTURE
S1	E.F.F. (BRICKWORK)	#12 BRICKWORK	DEWITT PRODUCTS
S2	E.F.F. (CONCRETE)	5/8" S.S. STONE HEAD GRESS	PITTSBURGH PERYS
S3	E.F.F. (POLYESTER GYDE PANELING)	ANTIQUE PATINA/PANE	DEWITT OR EQUAL
MT1	LIGHT METAL ROOFING	WALDOCK GREEN	DEWITT OR EQUAL
B1	PRE-CAST CONCRETE (DISHED PROFILE) RUGGED BAND (8" HIGH)	NATURAL CONCRETE COLOR	-
B2	PRE-CAST CONCRETE (DISHED PROFILE) ACCHY BAND (4" HIGH)	NATURAL CONCRETE COLOR	-
B3	SPURFACE CMU - (DISHED FACE) THIN SET JOINT	WHITE	ARRESCRAFT PERFORMANCE INSURANCE BEST - NOURFACE
B4	INSULATION (10" THICK) EXTERIOR FINISH (1/2" THICK) SANDOR FINE BRICK (ATHERED)	MEDIUM GREY/SPOT #46	DEWITT CLAY PRODUCTS

NOTES:
 - ALL MORTAR JOINTS TO BE TUCK POINTED.
 - BRICK POINTS TO BE SOLUTION/PAINT. (SEWBAR COLOR: 459-BRICK)

△ JOINTS REPAIR FINISHED TO MATCH ADJACENT SURFACE COLOR. IF DOORS SHOULD BE IN LOCATION WITH TWO OR MORE COLOR SURFACES TRAFFIC MARKS SHOULD BE CONSIDERED BY THE ARCHITECT.

REVISIONS

COURTYARD
 112 UNITS, 4 STORY
 17369 CHESTERFIELD AIRPORT RD.
 CHESTERFIELD, MO



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PROJ. DATE	8-1-2014
FILE NAME	14178_A200-A201_V001.rvt
DWG. SCALE	1:1
CHECKED BY	SRG
DRAWN BY	SLH

SHEET DESCRIPTION
DESCRIPTION ARCHITECTURAL ELEVATIONS



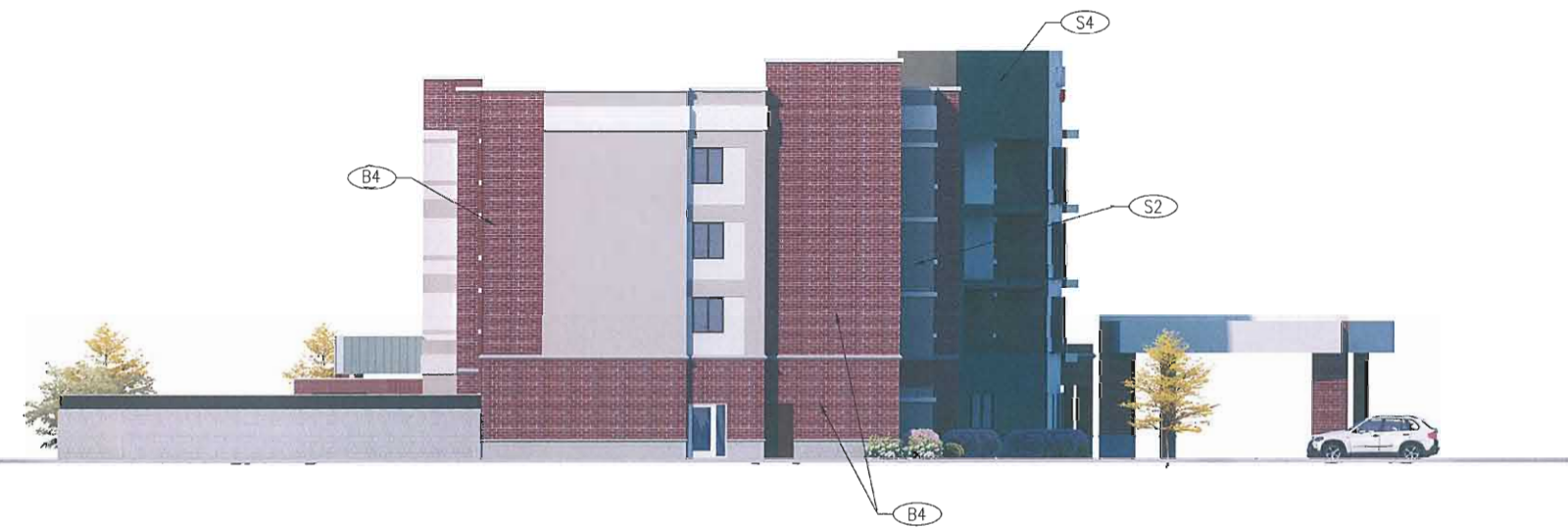
COURTYARD - CHESTERFIELD, MO
FRONT VIEW





COURTYARD - CHESTERFIELD, MO
BACK VIEW





EXTERIOR FINISH SCHEDULE			
FIN #	MATERIAL	COLOR	MANUFACTURER
S1	E.F.S. (SMOOTHABLE)	#104 BRIST WHITE	DRAVIS BRICKWORK
S2	E.F.S. (QUARTZITE)	S15-S STONE HENGE GREEZE	PITTSBURGH MASONRY
S4	E.F.S. (REFLECTIT OVER LYNSTONE)	ANTIQUE PATINA TITANI	DRYVIT OR EQUAL
MT1	SHEET METAL ROOFING	REVALOCK GREEN	REVALOCK OR EQUAL
B1	PRE-CAST CONCRETE DIAMOND PROFILE ACCENT BAND (4" HIGH)	NATURAL CONCRETE COLOR	-
B2	PRE-CAST CONCRETE DIAMOND PROFILE ACCENT BAND (4" HIGH)	NATURAL CONCRETE COLOR	-
B3	SPLIT FACE CMU - CHISELED FACE THIN SET CMU	WHITE	BRUSCHARTI RENAISSANCE MASONRY UNIT - ROCKFACE
B4	MORNING STAR BRICK 7.50" W x 3.14" H x 11" D (SMOOTH FACE BRICK MASTERSEN)	MEDIAN SCOTTEN #44	PERSEUS CLAY PRODUCTS

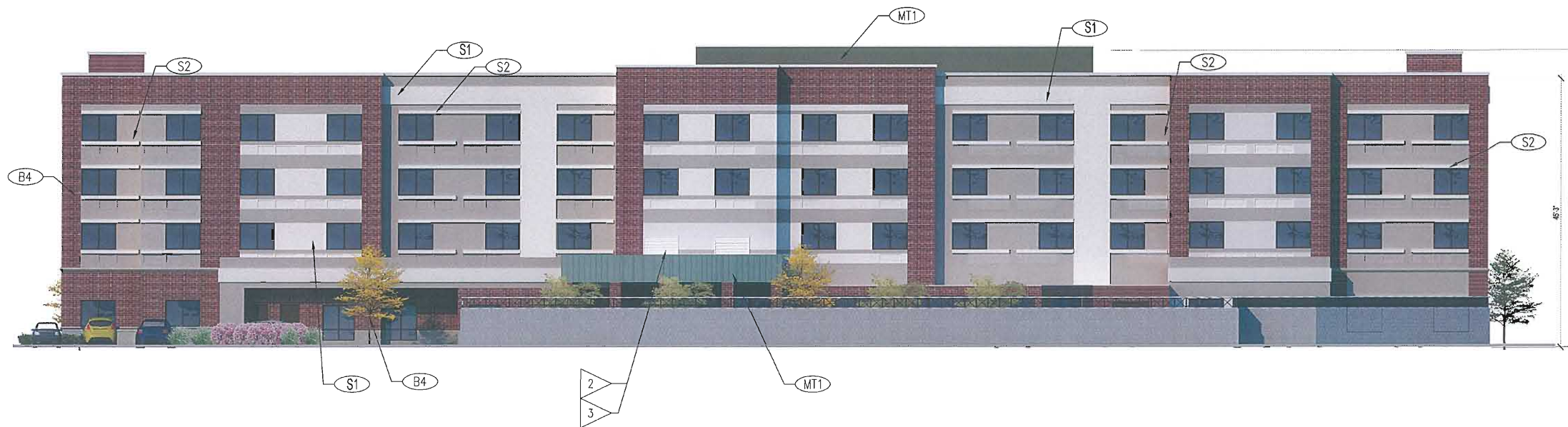
NOTES:
 - ALL VORTAR JOINTS TO BE TUCK POINTED
 - BRICK MORTAR TO BE SOLICOMON GRIND; MORTAR COLOR: 45A MAROON

REVISIONS

COURTYARD
 112 UNITS, 4 STORY
 CHESTERFIELD, MO

LJA JOB #	14178
PROJ. DATE	8-1-2014
FILE NAME	14178_A200-001
DWG. SCALE	1:1
CHECKED BY:	SRG
DRAWN BY:	SLH

SHEET DESCRIPTION
 DESCRIPTION
 BUILDING ELEVATIONS



EXTERIOR FINISH SCHEDULE			
FIN. #	MATERIAL	COLOR	MANUFACTURER
S1	E.F.F.S. (SANDYBODLE)	#104 BRGHT WHITE	DRYVIT OR EQUAL
S2	E.F.F.S. (QUARTZITE)	S15-3 SICHIE PRINCE GREENE	FIT SBLURGH PAINTS
S4	E.F.F.S. (REFLECT OVER LYMBSTONE)	ANTIQUÉ PATINA (ATAS)	DRYVIT OR EQUAL
MT1	SHEET METAL ROOFING	HEXAGLOX GREEN	BOKRIDGE OR EQUAL
B1	PRE-CAST CONCRETE DIAMOND PROFILE ACCENT BAND 18" HIGH	NATURAL CONCRETE COLOR	-
B2	PRE-CAST CONCRETE DIAMOND PROFILE ACCENT BAND 18" HIGH	NATURAL CONCRETE COLOR	-
B3	SPLIT FACE CMU - CHISELED FACE THRU SET CMU	WHITE	ARRISCRAPT RENAISSANCE MASONRY UNIT - ROCKFACE
B4	MODULAR BRICK 7-5/8" W X 2-1/4" H X 1-1/2" SMOOTH FACE BRICK (ADHERED)	MIDJUM IRON/ROSE #46	INDICOTT CLAY PRODUCTS

NOTES:
 - ALL MORTAR JOINTS TO BE TUCK POINTED.
 - BRICK MORTAR TO BE SOLUTION GRIND. MORTAR COLOR 45A MAROON.

REVISIONS

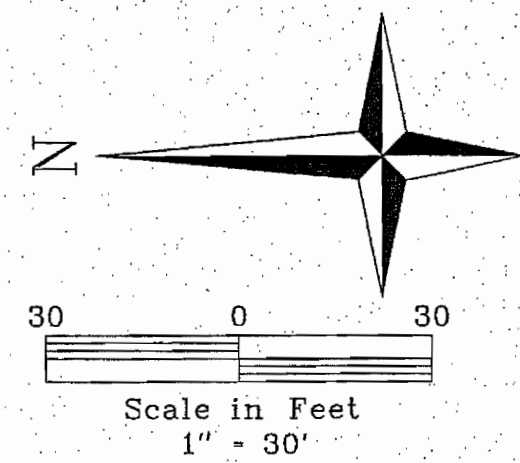
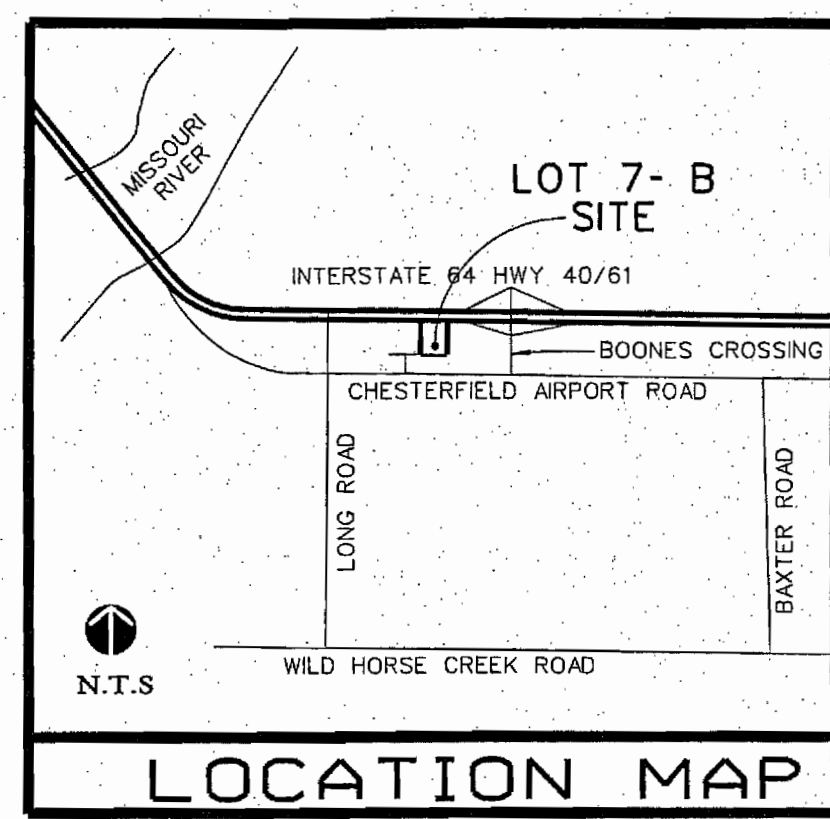
COURTYARD
 112 UNITS, 4 STORY
 CHESTERFIELD, MO

LJA JOB #	14178
PROJ DATE:	8-1-2014
FILE NAME:	14178_A200-A201
DWG. SCALE:	1:1
CHECKED BY:	SRG
DRAWN BY:	SLH

SHEET DESCRIPTION

DESCRIPTION
 BUILDING ELEVATIONS

A201



- FIRE HYDRANT
- LIGHT STANDARD
- LATERAL
- TREE
- CLEANOUT
- CURB INLET
- ELECTRIC BOX
- ELECTRIC TRANSFORMER
- FENCE
- FLARED END
- FLOW LINE
- FORCE MAIN
- GAS LINE
- GAS METER
- GAS VALVE
- NOW OR FORMERLY
- MANHOLE
- POLYETHYLENE GLYCOL
- REINFORCED CONCRETE PIPE
- TELEPHONE LINE
- TELEPHONE PEDESTAL
- TOP
- UNDERGROUND ELECTRIC
- WATER LINE
- WATER METER
- WATER VALVE
- EXISTING UNDERGROUND CABLE TV
- EXISTING UNDERGROUND TELEPHONE
- EXISTING UNDERGROUND ELECTRIC
- EXISTING OVERHEAD UTILITY WIRES
- EXISTING GAS MAIN
- EXISTING WATER MAIN
- BUILDING LINE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING TREE LINE
- PROPOSED TREE LINE
- SILTATION CONTROL
- EX-HIGH WATER OR DITCH

GEOTECHNICAL ENGINEER'S NOTE

Neither SCI Engineering, Inc. (SCI) nor the undersigned has prepared any part of these plans. The signature and seal are intended to confirm our review and professional opinion that these plans and revisions, through the date given below, comply with the *Geotechnical Report* for the project, and are compatible with the soil and geologic conditions at the site, as anticipated from the exploration data.

Conditions may vary from those encountered during the exploration or can change due to construction activities, weather, or other conditions. Therefore, SCI must be involved during the construction of this project to observe the actual subsurface conditions and implementation of our recommendations relative to construction. Construction means and methods shall be left to the Contractor.

SCI ENGINEERING, INC.

Shawanna L Ester
Shawanna Ester, P.E.

Date:



GENERAL NOTES:

SANITARY SEWER CONNECTIONS SHALL BE AS APPROVED BY THE METROPOLITAN ST. LOUIS SEWER DISTRICT.

STORMWATER MANAGEMENT SHALL BE DESIGNED PURSUANT TO THE CITY OF CHESTERFIELD AND METROPOLITAN ST. LOUIS SEWER DISTRICT REQUIREMENTS AND DISCHARGED AT AN ADEQUATE NATURAL DISCHARGE POINT.

THE LOCATION OF STORM AND SANITARY SEWER IMPROVEMENTS ARE APPROXIMATE ONLY. ACTUAL CONDITIONS AND SHALL BE INDICATED ON THE LOCATION SHALL BE DETERMINED BY FIELD IMPROVEMENT PLANS.

GRADING SHALL BE PER CITY OF CHESTERFIELD STANDARDS A GRADING PERMIT OR IMPROVEMENT PLAN APPROVAL WILL NEED TO BE OBTAINED PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES ON THE SITE.

NO TREES OR SHRUBS MAY BE PLANTED WITHIN THE BASE FLOOD ELEVATION LIMITS OF THE CHANNEL.

THE PROPOSED STRUCTURE WILL BE LOCATED WITHIN THE 200 FOOT WIDE SUPPLEMENTAL PROTECTION AREA (SPA) BUFFER. ELEVATION CERTIFICATE WILL BE REQUIRED PRIOR TO OCCUPANCY.

FLOOD PLAIN DEVELOPMENT PERMIT APPLICATION (FPDPA) WILL BE REQUIRED PRIOR TO APPROVAL OF IMPROVEMENT PLANS.

SIGNAGE TO BE REVIEWED AND APPROVED BY SEPARATE PROCESS.

THE UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NONEXISTENCE, SIZE, TYPE, NUMBER, OR LOCATION OF THESE OR OTHER UTILITIES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND UTILITIES, SHOWN OR NOT SHOWN AND SHALL BE LOCATED IN EXCAVATION, OR CONSTRUCTION OF IMPROVEMENTS IN THE FIELD PRIOR TO ANY GRADING. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319, RSMO.

LOT 7B
A TRACT OF LAND BEING PART OF LOT 7 OF "CHESTERFIELD COMMONS SIX" A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 352 PAGE 210 OF THE ST. LOUIS COUNTY RECORDS, IN U.S. SURVEY 125, TOWNSHIP 45 NORTH - RANGE 4 EAST, ST. LOUIS COUNTY, MISSOURI AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 7; THENCE SOUTHWARDLY ALONG THE EAST LINE OF SAID LOT 7, ALSO BEING THE WEST LINE OF "MCBRIDE & SON CENTER", A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 347 PAGES 314 THROUGH 315 OF THE ST. LOUIS COUNTY RECORDS, SOUTH 80 DEGREES 21 MINUTES 46 SECONDS WEST 506.56 FEET TO THE SOUTH LINE OF SAID LOT 7; THENCE SOUTHWARDLY ALONG SAID SOUTH LINE OF LOT 7, THE FOLLOWING COURSES AND DISTANCES: SOUTH 89 DEGREES 35 MINUTES 06 SECONDS WEST 53.98 FEET, NORTH 59 DEGREES 51 MINUTES 26 SECONDS WEST 51.99 FEET ALONG A CURVE TO THE LEFT, WHOSE RADIUS POINT BEARS SOUTH 30 DEGREES 08 MINUTES 34 SECONDS WEST 45.50 FEET FROM THE LAST MENTIONED POINT, A DISTANCE OF 24.27 FEET, AND SOUTH 89 DEGREES 35 MINUTES 06 SECONDS WEST 151.14 FEET TO A POINT; THENCE LEAVING SAID SOUTH LINE NORTH 00 DEGREES 24 MINUTES 54 SECONDS WEST 245.79 FEET TO A POINT; THENCE NORTH 89 DEGREES 35 MINUTES 06 SECONDS EAST 62.00 FEET TO A POINT; THENCE NORTH 00 DEGREES 24 MINUTES 54 SECONDS WEST 252.04 FEET TO THE NORTH LINE OF SAID LOT 7, SAID NORTH LINE ALSO BEING THE SOUTH LINE OF MISSOURI INTERSTATE HIGHWAY 64 VARYING WIDTH; THENCE EASTWARDLY ALONG SAID NORTH LINE OF LOT 7, SOUTH 84 DEGREES 06 MINUTES 54 SECONDS EAST 219.22 FEET TO THE POINT OF BEGINNING AND CONTAINING 2.80 ACRES ACCORDING TO A SURVEY BY VOLZ, INC. DURING JULY 2004.

ST. LOUIS COUNTY BENCH MARKS:
12-171 466106 "STANDARD ALUMINUM DISK" STAMPED SL-38, 1990. DISK IS SET AT THE NORTHWEST CORNER OF CHESTERFIELD AIRPORT ROAD AND CAPRICE DRIVE.

GENERAL NOTES

THIS SITE IS IN THE FOLLOWING UTILITY SERVICE AREAS:

- MISSOURI-AMERICAN WATER COMPANY
- AMEREN UE COMPANY
- SOUTHWESTERN BELL TELEPHONE COMPANY
- CHARTER COMMUNICATIONS (CABLE TV)
- LACLEDE GAS COMPANY

THIS SITE IS IN THE FOLLOWING DISTRICTS:

- METROPOLITAN ST. LOUIS SEWER DISTRICT
- MONARCH FIRE PROTECTION DISTRICT
- ROCKWOOD SCHOOL DISTRICTS
- MISSOURI RIVER WATERSHED

PROJECT NOTES

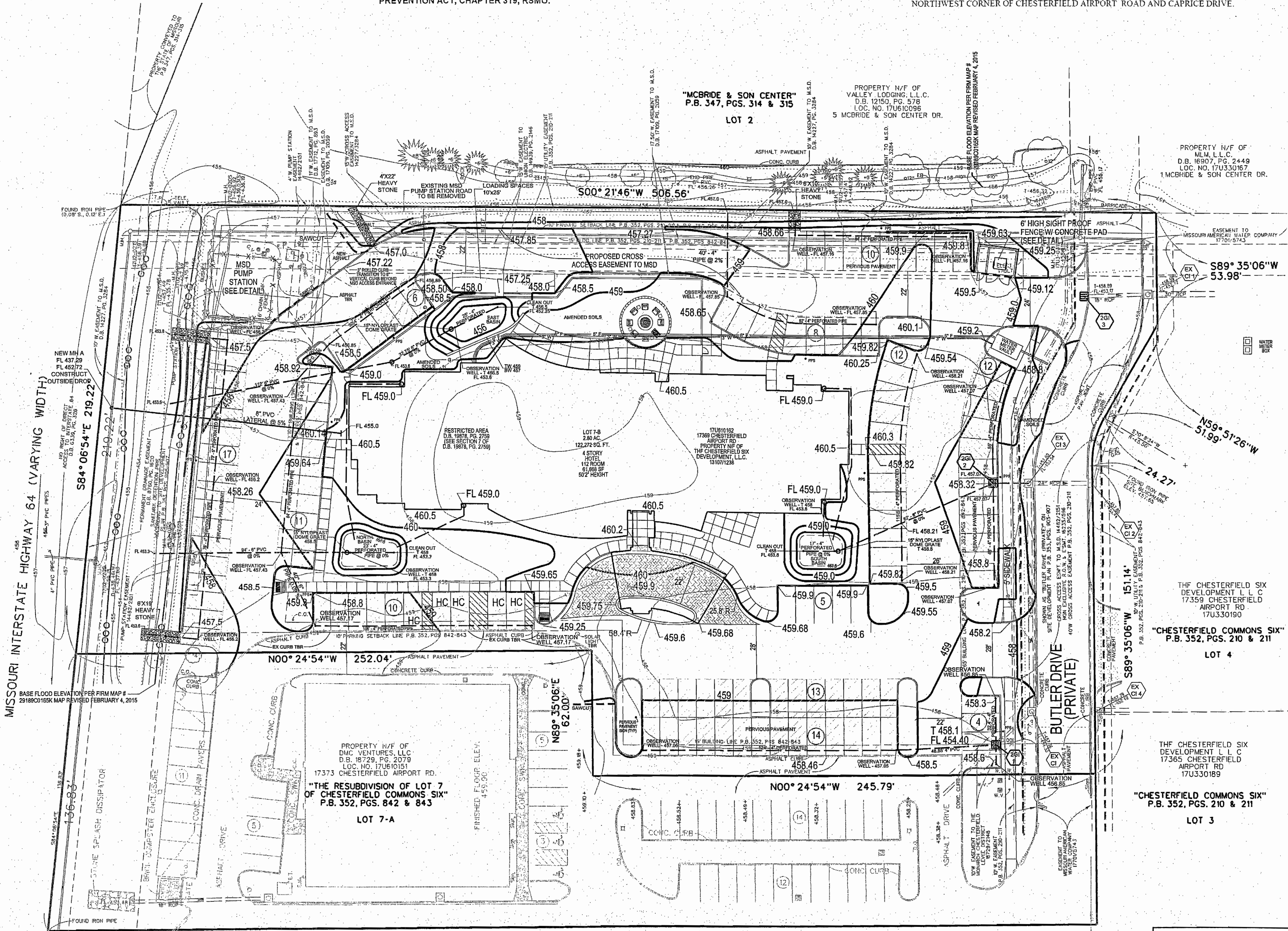
LOCATOR NUMBER:	17U610151
OWNER OF RECORD:	THF CHESTERFIELD SIX DEVELOPMENT LLC 17373 CHESTERFIELD AIRPORT RD. CHESTERFIELD, MO. 63005 17U610151 2127 INNERBELT BUSINESS CENTER DR. SUITE 200 ST. LOUIS, MO. 63114
PREPARED BY:	VOLZ Incorporated 10849 INDIAN HEAD IND'L BLVD. ST. LOUIS, MISSOURI 63132 314.426.6212 314.890.1250 (FAX)
PREPARED FOR:	CHESTERFIELD PLAZA LLC & INTERJEWEL REALTY LLC 1995 MACON STREET KANSAS CITY, MO. 64116 816.221.1633
EXISTING ZONING:	"C-8" PLANNED COMMERCIAL
ORDINANCE NUMBERS:	2096 - CHESTERFIELD 1617 - ST. LOUIS COUNTY
PROPOSED USES:	4 STORY HOTEL - 112 ROOMS 61,668 SF 50'2" HEIGHT
AREA OF SITE:	2.80 AC 122,272 SF
PARKING REQUIRED:	1.2 PARKING SPACES FOR EACH UNIT, IF THERE ARE OTHER ACCESSORY USES PROVIDED THEREIN, ADDITIONAL OFF-STREET PARKING SHALL BE PROVIDED FOR THOSE ACCESSORY USES AT THE RATE OF 40 PERCENT OF THE REQUIREMENTS FOR SUCH USES. 112 UNITS x 1.2 = 134.4 SPACES 1300 SF / 200 SF x 0.40 = 2.6 SPACES
TOTAL REQUIRED:	137 SPACES 2 - 10'x25' 5 - ACCESSIBLE SPACES
PARKING PROPOSED:	122 SPACES - 11% PARKING REDUCTION
GREEN SPACE:	37,426 SF / 122,272 = 30.0 %
BASE FLOOD ELEVATION PER FIRM MAP # 29189C0165K MAP REVISED FEBRUARY 4, 2015	

BY ORDER OF CHESTERFIELD PLAZA LLC & INTERJEWEL REALTY LLC WE HAVE PREPARED AN AMENDED SITE DEVELOPMENT SECTION PLAN. THE RESULTS OF WHICH ARE CURRENTLY REPRESENTED ON THIS DRAWING, WHICH IS AN AMENDED SITE DEVELOPMENT SECTION PLAN NOT FOR CONSTRUCTION AND WAS PREPARED FOR THE SOLE LIMITED PURPOSE OF PROVIDING A CONCEPT FOR THE PROPOSED DEVELOPMENT OF THE TRACT, AND IS INTENDED ONLY FOR THE PRELIMINARY USE OF GOVERNMENTAL REVIEWING AUTHORITIES FOR THE PURPOSE OF OBTAINING A CHANGE IN ZONING, A GRADING PERMIT UPON APPROVAL OF A GRADING PLAN AND/OR APPROVAL OF A CONCEPT, AND IS SUBJECT TO SUCH COMMENTS, RECOMMENDATIONS OR REVISIONS AS MAY BE DEEMED NECESSARY OR APPROPRIATE IN FURTHERANCE OF SUCH PURPOSE.

IN THE PREPARATION OF THIS PLAN, NO GRADING BALANCES HAVE BEEN DONE AND THIS DEVELOPMENT PLAN IS SUBJECT TO THAT WHICH A MORE DETAILED EVALUATION MAY INDICATE. THE LOCATION, CAPACITY AND AVAILABILITY OF UTILITIES ARE TAKEN FROM AVAILABLE INFORMATION WITHOUT CERTIFICATION; ACCORDINGLY, THE UNDERSIGNED DISCLAIMS RESPONSIBILITY FOR THE ACCURACY OF THE AFORESAID MATTERS AND FOR DILIGENCE THAT WOULD BE NECESSARY TO ADDRESS ALL OTHER ISSUES OF DEVELOPMENT.

THIS IS TO CERTIFY THAT THIS SITE DEVELOPMENT SECTION PLAN IS A CORRECT REPRESENTATION OF ALL EXISTING AND PROPOSED LAND DIVISIONS. THIS IS AN SITE DEVELOPMENT PLAN - NOT FOR CONSTRUCTION.

Timothy J. Meyer
TIMOTHY J. MEYER, P.E.
PROFESSIONAL ENGINEER
E-24865
STATE OF MISSOURI
LICENSE NUMBER
PLS-2005000074
ERIC J. KIRBY, P.L.S.
PROFESSIONAL LAND SURVEYOR
P.L.S.#2005000074



LOT 7 B OF CHESTERFIELD COMMONS SIX
A TRACT OF LAND BEING PART OF LOT 7 OF "CHESTERFIELD COMMONS SIX" A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 352 PAGE 210 OF THE ST. LOUIS COUNTY RECORDS, IN U.S. SURVEY 125 TOWNSHIP 45 NORTH - RANGE 4 EAST, ST. LOUIS COUNTY, MISSOURI

COURTYARD
Marriott

AMENDED SITE DEVELOPMENT SECTION PLAN
17369 CHESTERFIELD AIRPORT ROAD
LOT 7-B
Base Map No. 17U 20343
12/28/2014
10-10-2014

RECEIVED
City of Chesterfield
MAY - 4 2015
Department of Public Services

VOLZ Incorporated
10849 INDIAN HEAD IND'L BLVD.
ST. LOUIS, MISSOURI 63132
314.426.6212
314.890.1250 (FAX)
ENGINEERING - LAND SURVEYING - LAND SUBDIVISION
TRANSPORTATION - CONSTRUCTION MANAGEMENT

REVISED: 2-4-2015
REVISED: 3-2-2015

the owner(s) of the property shown on this plan for and in consideration of being granted approval of said plan to develop property under the provisions of Section 03 _____ of City of Chesterfield Unified Development Code, do hereby agree and declare that said property from the date of recording this plan shall be developed only as shown thereon, unless said plan is amended by the City of Chesterfield, or voided or vacated by order of ordinance of the City of Chesterfield Council.

(Signature): _____
(Name Typed): _____

State of _____)
County of _____) S.S.

On this _____ day of _____ A.D., 20____, before me personally appeared _____ to me known, who, being by me sworn in, did say

(Officer of Corporation) _____ of _____ a corporation in the State of _____ and that the seal affixed to the foregoing instruments is the corporate seal of said corporation, and that said instrument was signed on behalf of said corporation by authority of its Board of Directors, and the said _____ (Officer of Corporation) acknowledged said instrument to be the free act and deed of said corporation.

This Site Development Plan was approved by the City of Chesterfield Planning Commission and duly verified on the _____ day of _____, 20____, by the Chairperson of said Commission, authorizing the recording of this Site Development Plan pursuant to Chesterfield Ordinance Number 200, as attested to by the Planning and Development Services Director and the City Clerk.

Aimee Nassif, AICP
Planning and Development Services Director
City of Chesterfield, Missouri

Vickie Hass, City Clerk
City of Chesterfield, Missouri

BY ORDER OF CHESTERFIELD PLAZA LLC & INTERJEWEL REALTY LLC WE HAVE PREPARED AN AMENDED SITE DEVELOPMENT SECTION PLAN, THE RESULTS OF WHICH ARE CURRENTLY REPRESENTED ON THIS DRAWING, WHICH IS AN AMENDED SITE DEVELOPMENT SECTION PLAN NOT FOR CONSTRUCTION AND WAS PREPARED FOR THE SOLE LIMITED PURPOSE OF PROVIDING A CONCEPT FOR THE PROPOSED DEVELOPMENT OF THE TRACT, AND IS INTENDED ONLY FOR THE PRELIMINARY USE OF GOVERNMENTAL REVIEWING AUTHORITIES FOR THE PURPOSE OF OBTAINING A CHANGE IN ZONING, A GRADING PERMIT UPON APPROVAL OF A GRADING PLAN AND/OR APPROVAL OF A CONCEPT, AND IS SUBJECT TO SUCH COMMENTS, RECOMMENDATIONS OR REVISIONS AS MAY BE DEEMED NECESSARY OR APPROPRIATE IN FURTHERANCE OF SUCH PURPOSE.

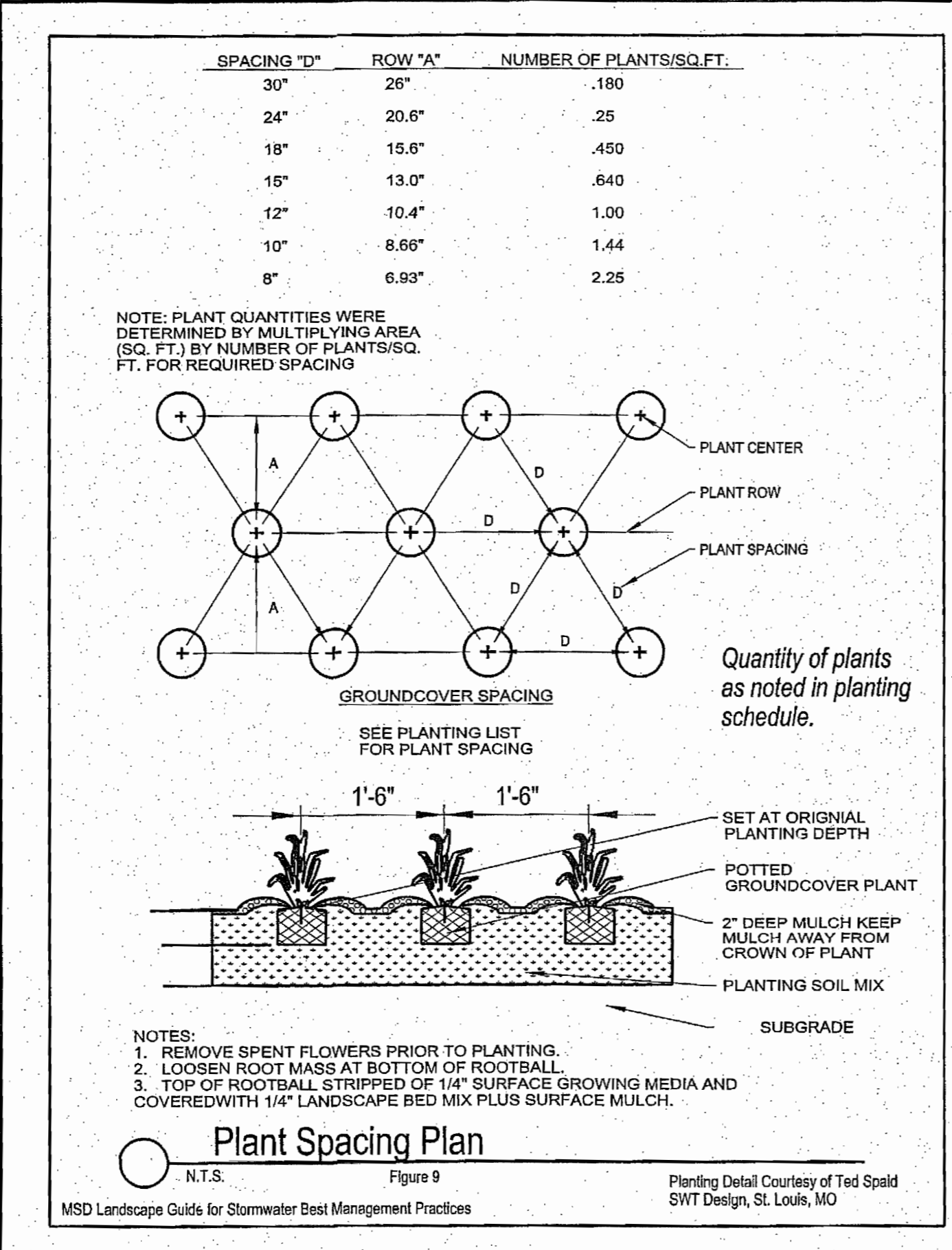
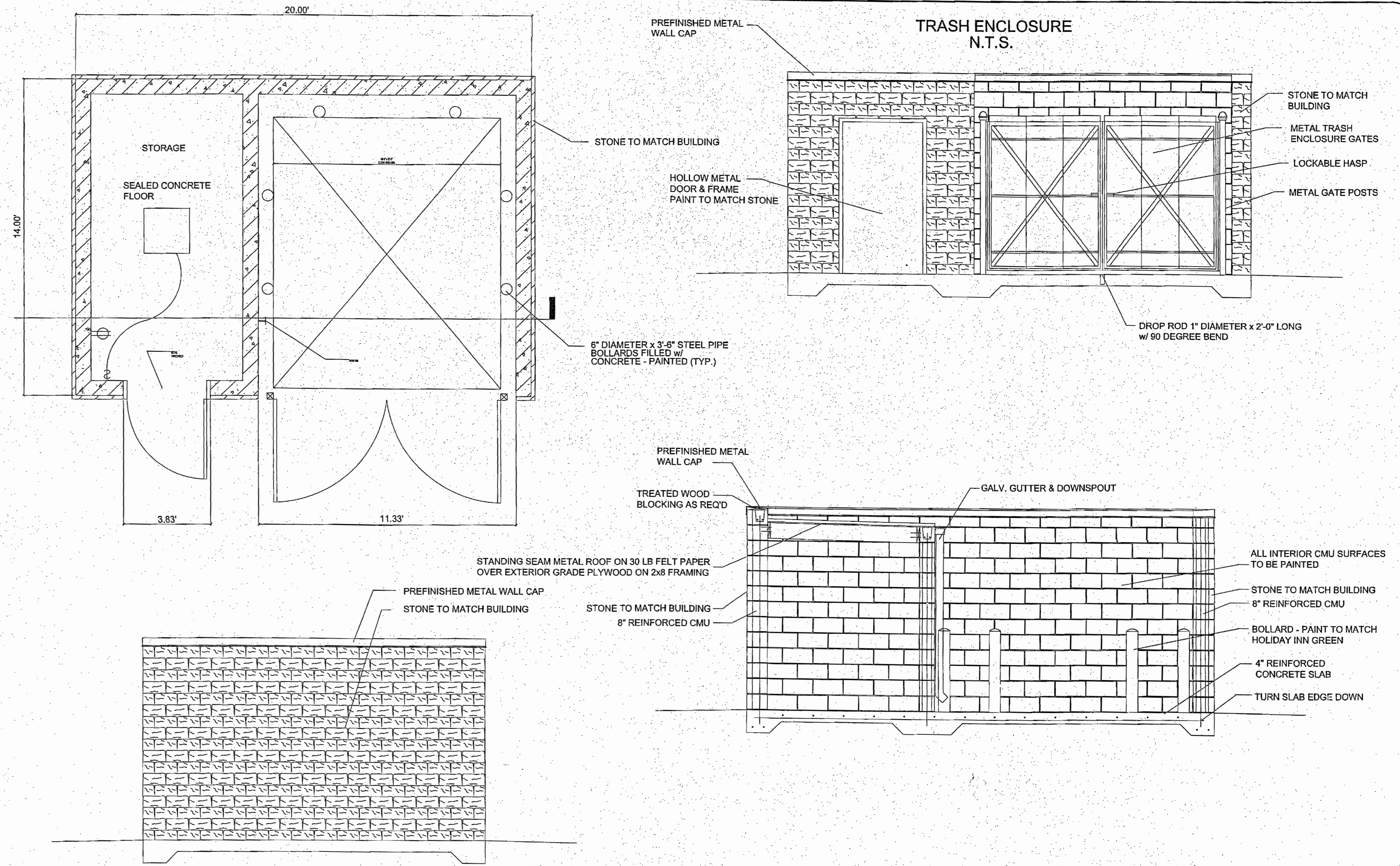
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Timothy J. Meyer
TIMOTHY J. MEYER, P.E.
PROFESSIONAL ENGINEER

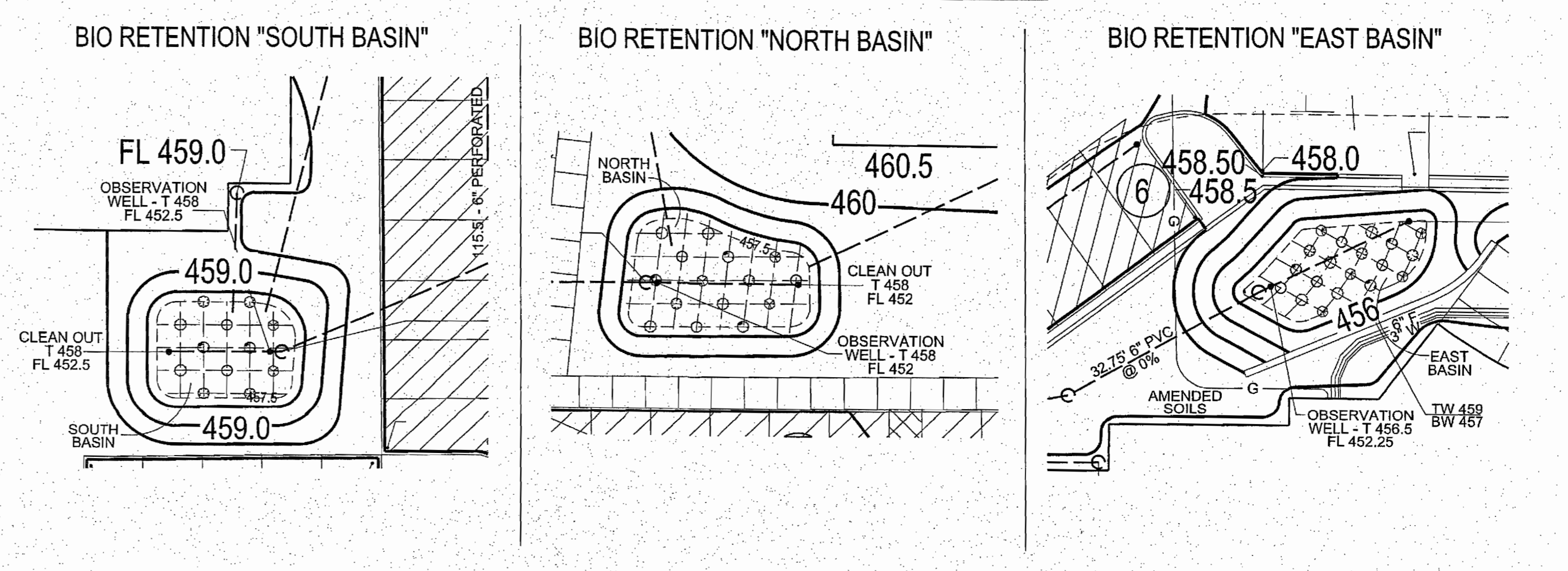
STATE OF MISSOURI
ERIC J. KIRBY, ERIC J. KIRBY, P.L.S.
PROFESSIONAL LAND SURVEYOR
PLS-200590001031 S.L.S. #2605000074

STATE OF MISSOURI
TIMOTHY JOHN MEYER
NUMBER E-24665
PROFESSIONAL ENGINEER



LANDSCAPING DETAILS AND PLANT SCHEDULE

LATIN NAME / COMMON NAME	LEGEND	QTY	SPACING
Carex vulpinoidea / Fox Sedge	FS / ○	10	Plug @ 1.5' o.c.
Coreopsis lanceolata / Lanceleaf Coreopsis	LC / ○	8	Plug @ 1.5' o.c.
Echinacea purpurea / Purple Coneflower	PC / ○	9	Plug @ 1.5' o.c.
Iris Virginica / Southern Blueflag Iris	SBI / ○	10	Plug @ 2' o.c.
Cercis Canadensis / Redbud	RB / ○	9	Plug @ 15' o.c.



A DETAILED PLANTING PLAN PER MSD REQUIREMENTS WILL BE PROVIDED ON THE IMPROVEMENT ALONG WITH THE FINAL BMP DESIGN

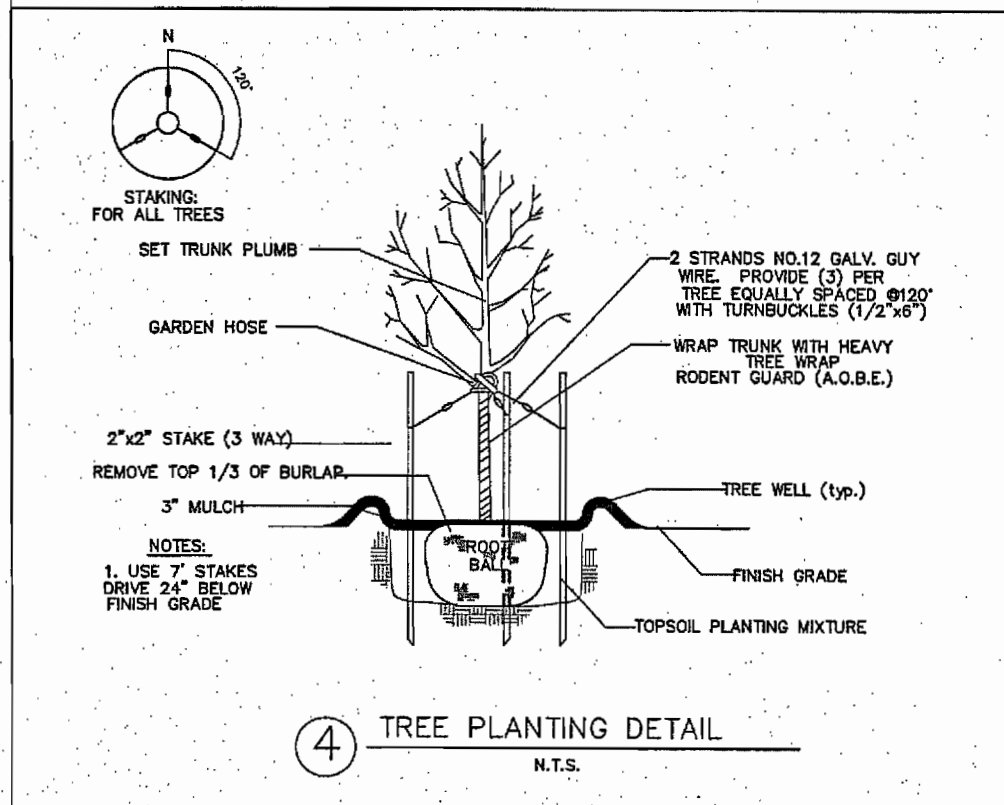
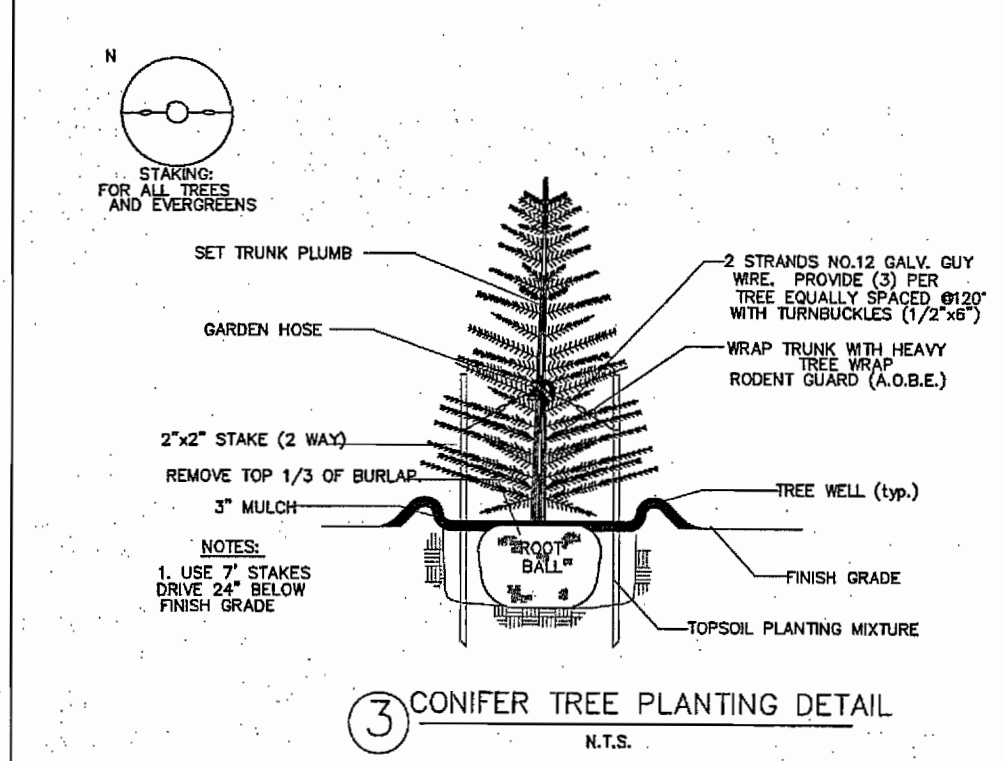
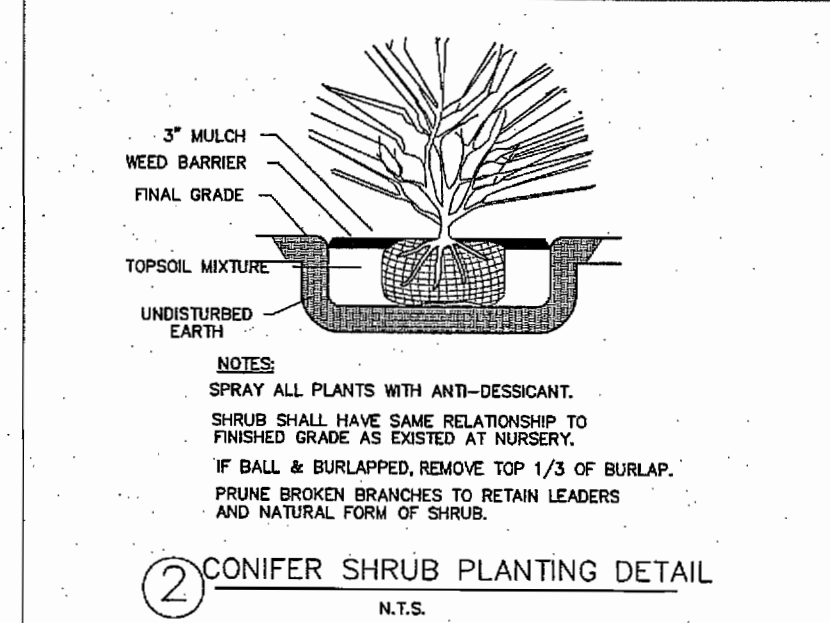
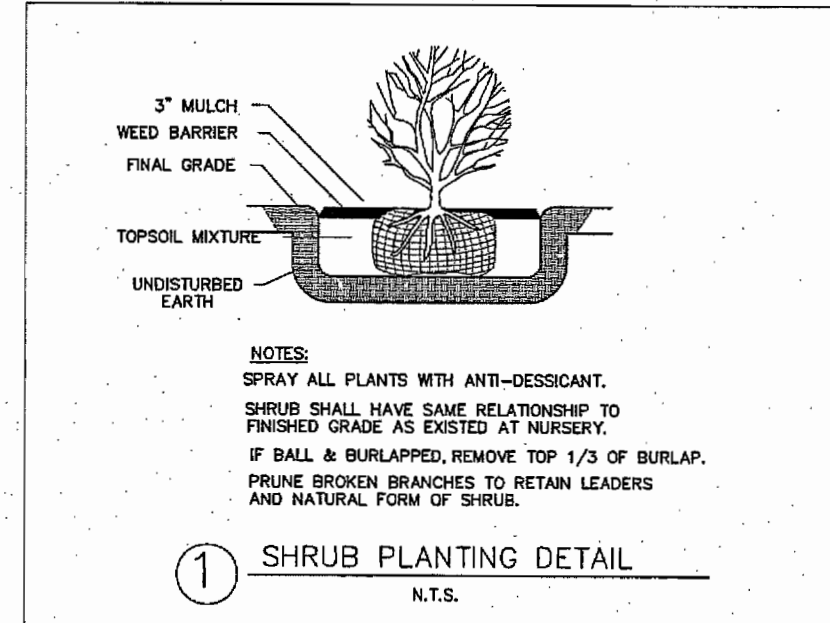
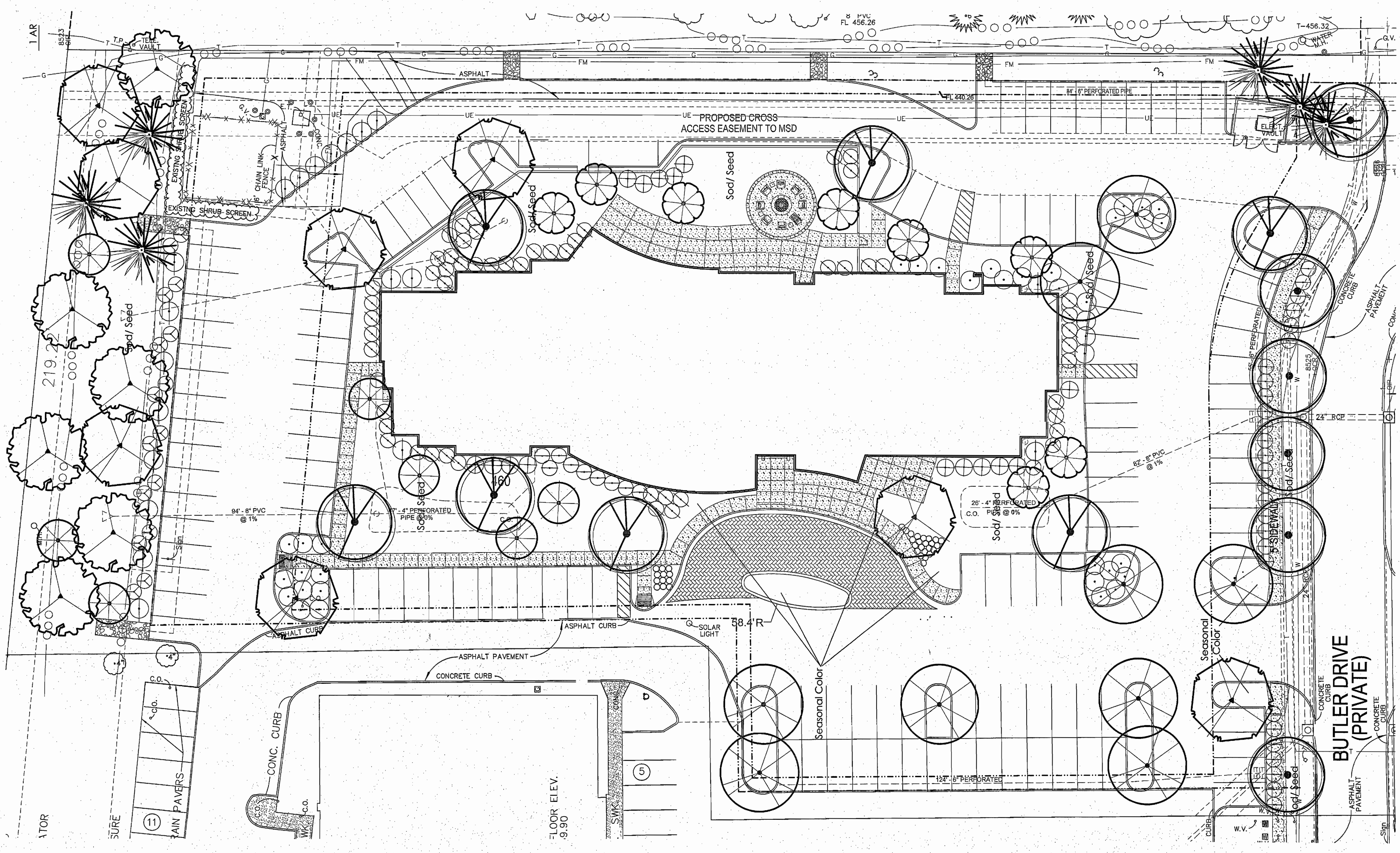
JAY KOSHIVA
CHESTERFIELD PLAZA LLC & INTERJEWEL REALTY LLC
17388 CHESTERFIELD AIRPORT ROAD
NORTH KANSAS CITY, MISSOURI 64116
TEL: 816.221.1633

1046 INDIAN HEAD INC. BLDG
ST. LOUIS, MISSOURI 63132
314.861.1280 FAX
www.volz.com
INCORPORATED
ENGINEERING AND ARCHITECTURE
LANDSCAPE ARCHITECTURE
MANAGEMENT

REVISOR
LOT 7 B OF CHESTERFIELD COMMONS SIX
A TRACT OF LAND BEING PART OF LOT 7 OF
"CHESTERFIELD COMMONS SIX" A SUBDIVISION
ACCORDING TO THE PLAT THEREOF RECORDED
IN PLAT BOOK 352 PAGE 210 OF THE ST. LOUIS
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TOWNSHIP 45 NORTH - RANGE 4 EAST,
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COURTYARD
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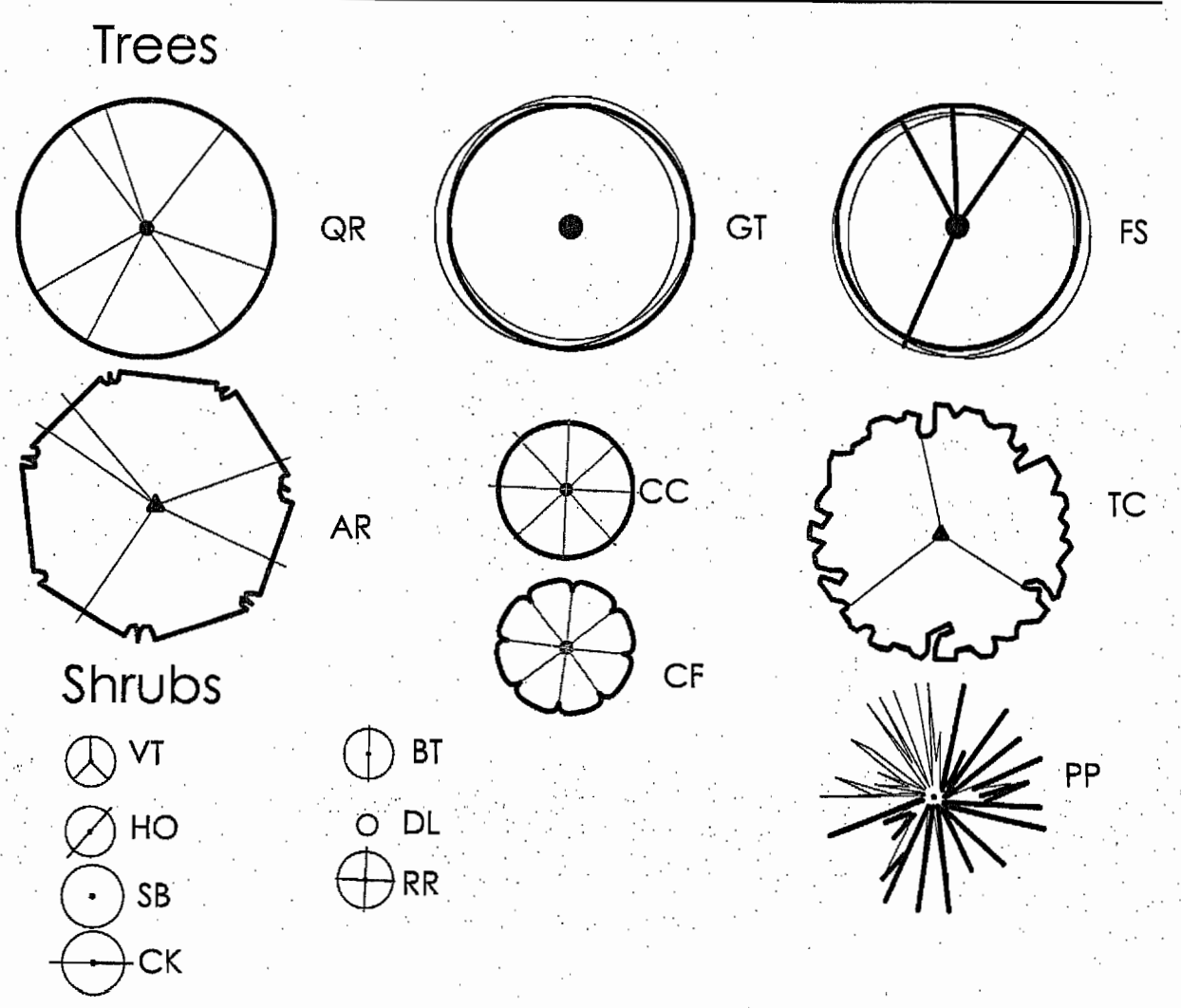
AMENDED SITE DEVELOPMENT SECTION PLAN
Base Map No. 7U
LOT 7 B
17388 CHESTERFIELD AIRPORT ROAD
20343
12,268 SQ. FT.
H:\CAD\20300-20399\20343\Planning\SDP\20343_SDP.dwg
10-10-2014
2
Revised: 2-4-2015



Planting List

Trees						
Symbol	Botanical Name	Common Name	Everg./Decid.	Height	Size	Qty
Deciduous 52.6%						
QR	Quercus rubra	Red Oak	D	45'	2 1/2" Cal.	9 15.8%
AR	Acer saccharum	Legacy Sugar Maple	D	45'	2 1/2" Cal.	8 14.0%
GT	Gleditsia triaca. 'Shade Master'	Honey Locust	D	45'	2 1/2" Cal.	6 10.5%
FS	Fagus sylvatica	European Beech	D	45'	2 1/2" Cal.	7 12.3%
Evergreen 21.1%						
PP	Picea pungens	Colorado Blue Spruce	E	48'	2 1/2" Cal.	6 10.5%
TC	Tsuga canadensis	Canadian Hemlock	E	48'	2 1/2" Cal.	6 10.5%
Ornamental 26.3%						
CC	Cercis canadensis	Redbud	O	30'	2 1/2" CAL	7 12.3%
CF	Cornus florida	Flowering Dogwood	O	25'	2 1/2" CAL	8 14%
Shrubs						
Symbol	Botanical Name	Common Name		Height	Size	Qty
VT	Viburnum trilobum 'Alfred'	Alfred O Comp. Am. Cran.	E	4'	5 gal	18
RR	Rugosa Rose	F. J. Grootendorst	D	6'	5 gal	16
HO	Ilex x meserveae	Blue Prince Holly	E	4'	5 gal	53
SB	Juniperus squamata	Blue Star Juniper	E	3'	5 gal	38
BT	Berberis thunbergii 'Rose Glow'	Rose Glow Barberry	D	4'	5 gal	18
DL	Stella De Oro, Grape Magic, Little Wine Cup Daylilies		E	3'	1 gal	56
CK	syringa patula	Miss Kim Lilac	D	5'	5 gal	36
Ground Cover						
Symbol	Botanical Name	Common Name				
FLRS	Annual Flowers	Seasonal				
LAWN	Lawn	SOD				4" Pts @ 12" oc

Planting Legend

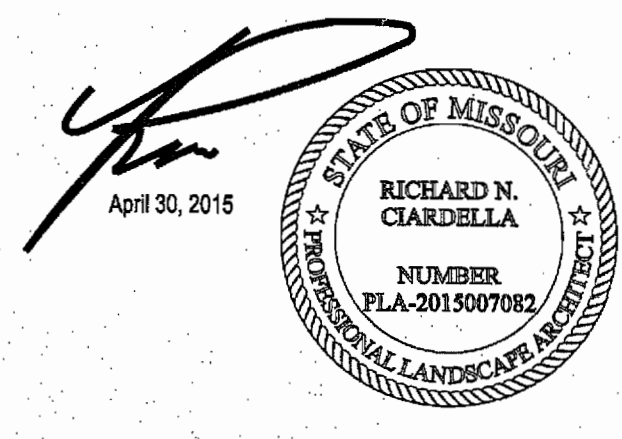


Planting Notes

- Plant locations are to be adjusted as necessary to screen utilities but not block windows or impede access.
- All ground cover areas shall be top-dressed with a 2" layer of bark mulch. All trees are to be staked per detail.
- All groundcover planting will be placed no farther than 6" from edge of pavement, edge of header or back of curb. Spacing shall ensure full coverage in one year.
- There shall be no storing of material or equipment, permitting of any burning or operating or parking of equipment under branches of any existing plants to remain. If existing plants to remain are damaged during construction, the plants shall be replaced with the same species and size as those damaged.
- All plant material shall be nursery grown stock and meet ANSI Z60.1 standards. All plant materials shall be tagged at the nursery at least 1 month prior to planting for the Landscape Architects review.
- Review layout of all landscape elements with the Landscape Architect prior to installation. Field modifications may be necessary. Final layout to be reviewed by the Landscape Architect. Any changes must be submitted to the city for review and approval.
- The quality of plant material shall follow the guidelines of the American Standard for Nursery Stock.
- Plantings shall be warranted (for replacement) for one year after final acceptance.
- All planting areas shall be automatically irrigated using state of the art system.
- See Civil Plans for bioretention seed mix.

Green Space Calculation
37,426/122,272 = 30%

Ciardella & Associates
640 Menlo Ave, Suite 10
Menlo Park, CA 94025
Tel 650 326 6100
F 650 453 2400
Urban Design
ca@ciardella-assoc.com
Richard Ciardella PLA-201500782



REVISIONS

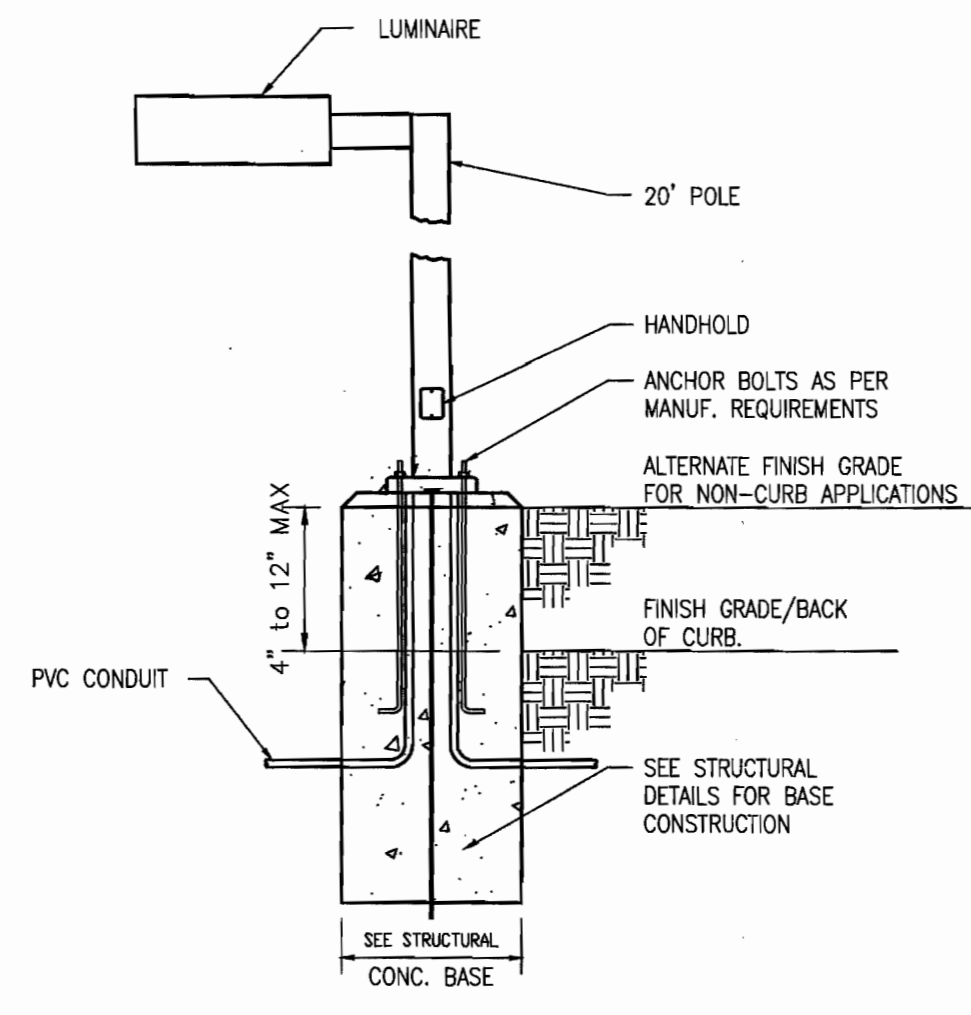
COURTYARD
112 UNITS, 4 STORY
CHESTERFIELD, MO

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DWG. SCALE:	1"=20'
CHECKED BY:	
DRAWN BY:	

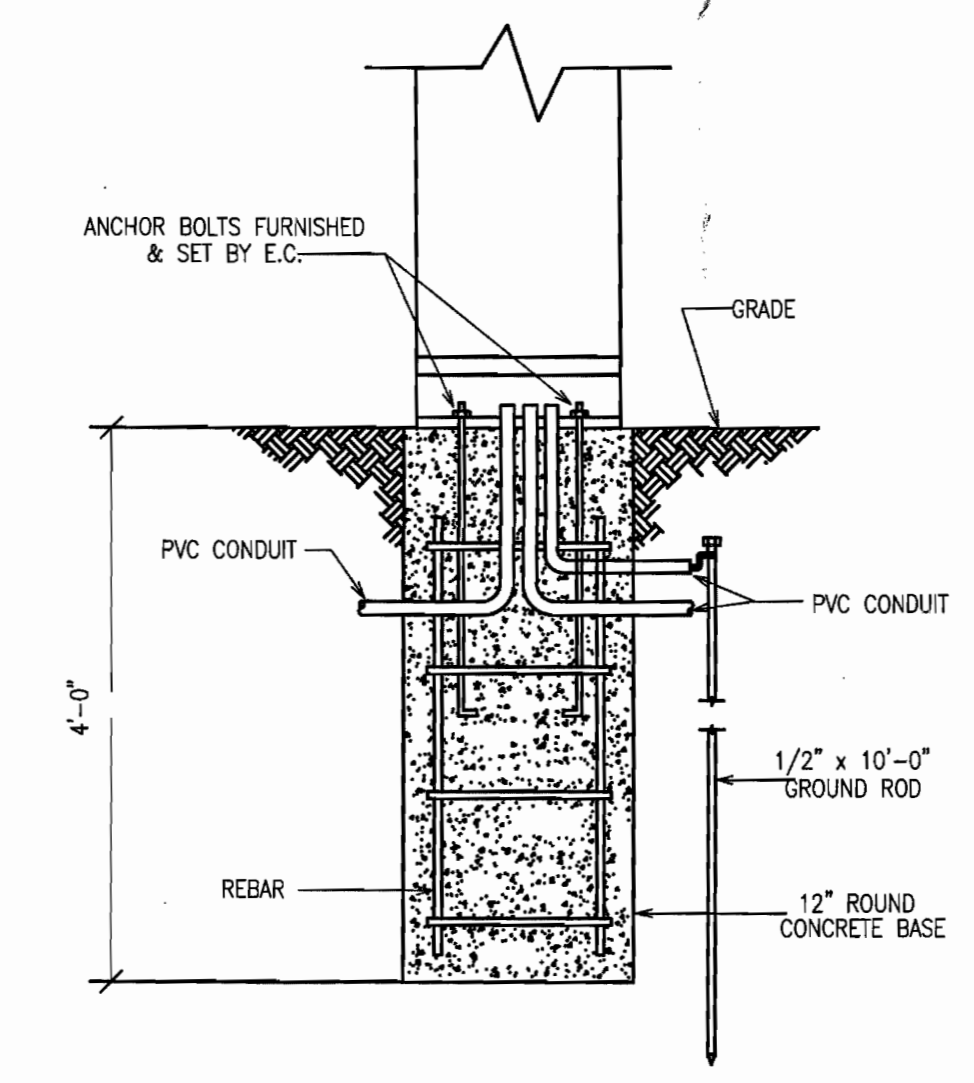
SHEET DESCRIPTION	LANDSCAPE PLAN
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Landscape Plan

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
○	L504	11	PHILIPS GARDCO	ECF-4.215LA-641A-NW-UNV-NP-IS	ECOFORM	(1) LIGHT ARRAY OF 64 LEDs DRIVEN AT 1050mA	1	19991.37	1	210.2
□	L507	3	PHILIPS GARDCO	ECF-3.215LA-641A-NW-UNV-NP-IS	ECOFORM	(1) LIGHT ARRAY OF 64 LEDs DRIVEN AT 1050mA	1	20254.71	1	210
⊗	L53	22	LIGHTOLIER	C4L10DL30KCLW	LED 20 W DOWNLIGHT 4.5" ROUND 3000K CL FINISH	LED LUMEN RATING = 1034 LMS	1	1034	1	19.7
⊙	L506	11	PHILIPS-HADCO LIGHTING	R66AK10NA	R66 WLED MODULE, 10 LED, REBEL, CCT 4000K @ 700 mA	10 LED, CCT REBEL	1	802.824	1	26.1
⊖	Z30	8	MCGRAW-EDISON	ISC 902 LED E1 BULB AP GWS	CUT OFF EXTERIOR LED WALL LIGHT WITH COLD WEATHER EMERGENCY POWER PACK	TWO 21 LED LIGHT BARS	2		1	51



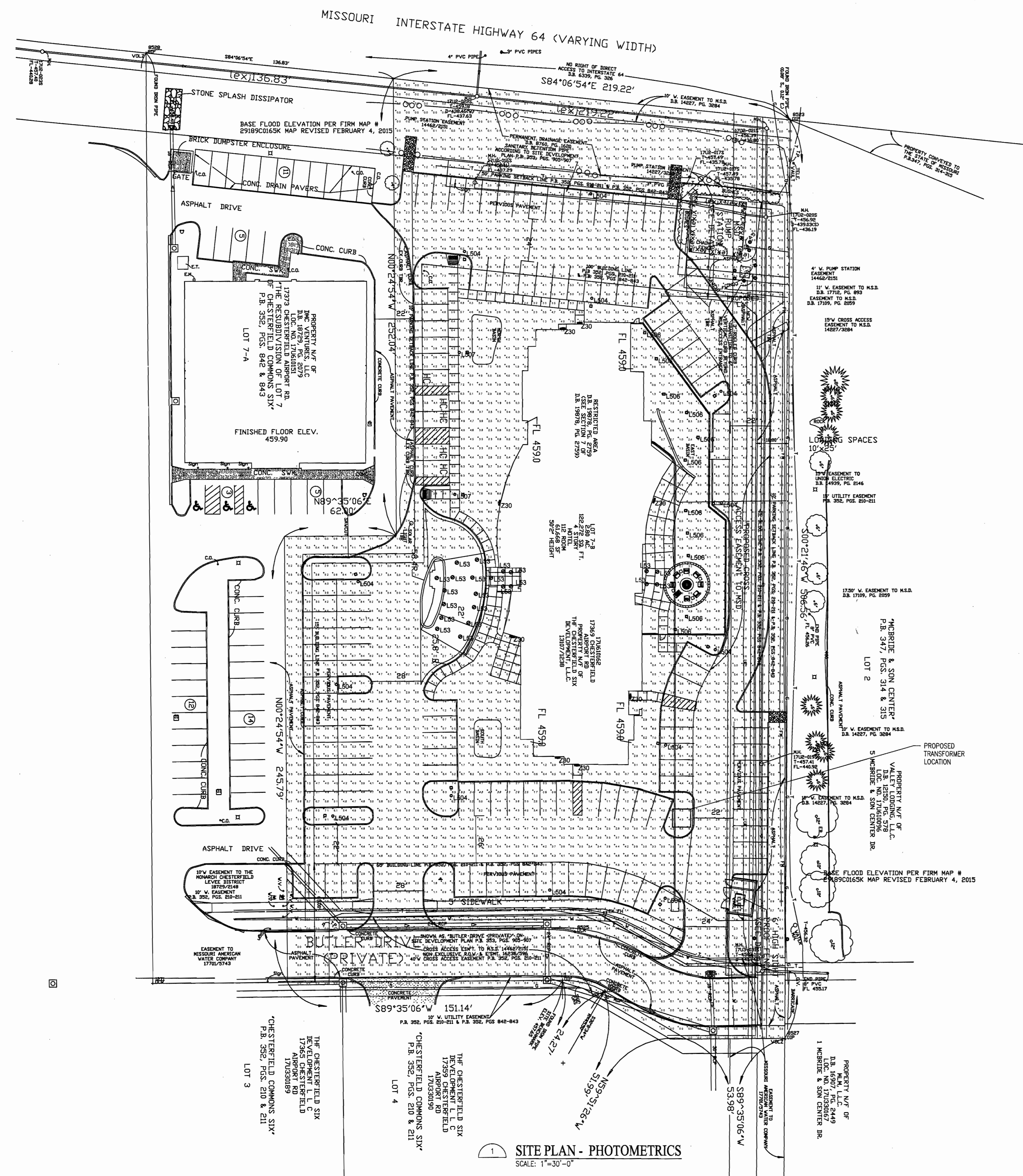
2 STANDARD PARKING LOT POLE WITH CONCRETE BASE
 NO SCALE



3 BOLLARD DETAIL
 NO SCALE

STATISTICS	UNIFIED DEVELOPMENT CODE	PROPOSED SITE
MINIMUM INITIAL LEVEL AT ANY POINT ON PARKING AREA	0.5 FOOT CANDLES	0.5 FOOT CANDLES
MAXIMUM INITIAL LEVEL 5 FEET FROM THE BASE OF A LIGHT STANDARD	8.0 FOOT CANDLES	7.9 FOOT CANDLES

GENERAL NOTES:
 1. POLE LOCATIONS PRELIMINARY. NOT FOR CONSTRUCTION. COORDINATE WITH ALL EASEMENTS.
 2. PER THE CITY OF CHESTERFIELD UNIFIED DEVELOPMENT CODE, ALL FIXTURES SHALL BE FULLY SHIELDED, FULL CUT-OFF FIXTURES.



1 SITE PLAN - PHOTOMETRICS
 SCALE: 1"=30'-0"

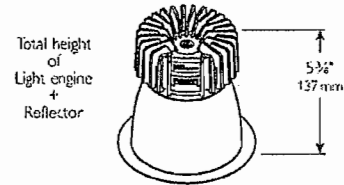
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City of Chesterfield

MAY - 4 2015

Department of Public Services

Make
the
switch
to LED.

C4L-DL-VB
CALCULITE
WHITE LED 4 1/2"
DOWNLIGHT



PHILIPS LIGHTOLIER, CALCULITE, PROFESSIONAL-GRADE
DOWNLIGHTING, WHITE LED 4 1/2" ROUND APERTURE
DOWNLIGHT, WIDE 500/1000/1500LM, C4L-DL-VB

Calculite LED 4 1/2" features an LED array of high brightness white light LEDs. The new LED boards in Calculite LED ensure a less than 2-step SDCM color variation between luminaires.

Project: Courtyard
Location: Chesterfield MO
Catalog No:
Fixture Type: LS3
Mfg: Lamps: Qty:
Notes:

Frame-in kit Complete product = Frame-in kit + Trim kit example: C4L05NUVBZ10V

Series	Lumens	Installation	Input voltage	Version	Dimming	Options ¹
<u>C4L</u>	<u>10</u>	<u>N</u>	<u>U</u>	<u>VB</u>	<u>E-10V</u>	<input type="checkbox"/>
C4L Calculite, 4 1/2" aperture, LED luminaire	05 500 lumen	N New construction	U Universal (120/277V)	VB Version B	Z10V 0-10V dimming LD Lutron driver	EM Emergency ³
	10 1000 lumen	R Remodeler				LC Chicago Plenum
	15 1500 lumen	N New construction	1 120V	VB Version B	Z10V 0-10V dimming LD Lutron driver	EM Emergency ³
		R Remodeler	2 277V		LD Lutron driver	LC Chicago Plenum
CUL Calculite, Universal aperture, LED luminaire	05 500 lumen	J J-box mount retrofit	U Universal (120/277V)	VB Version B	Z10V 0-10V dimming LD Lutron driver	
	10 1000 lumen					
	05 500 lumen	S Screw-in base retrofit	1 120V	VB Version B	Z10V 0-10V dimming LD Lutron driver	
	10 1000 lumen					

Trim kit Includes light engine and reflector. Lumen package of the trim and the frame-in kit must match. example: C4L10DL35KCCDPVB

Series	Lumens	Style	CCT	Reflector finish	Flange	Version	Options
<u>C4L</u>	<u>10</u>	<u>DL</u>	<u>30K</u>	<u>CL</u>	<u>W</u>	<u>VB</u>	<input type="checkbox"/>
C4L Calculite, 4 1/2" aperture, LED luminaire	05 500 lumen 10 1000-1500 lumen	DL Downlight	27K 2700K	CL Clear	W Painted white	VB Version B	EM Integral emergency test switch ³
			30K 3000K	CCL Comfort clear	P Aperture-matching/polished		
			35K 3500K	CCD Comfort clear diffuse	FT Flush-mount/flangeless ^{1,2}		
			40K 4000K	CCZ Champagne bronze			
			WH Painted white				

- Available for new construction (N) installation frame-in kits only.
- Accessory CA4FMR required for gypsum applications (minimal 1/4" reflector flange).
- See LED-EM for details and restrictions.

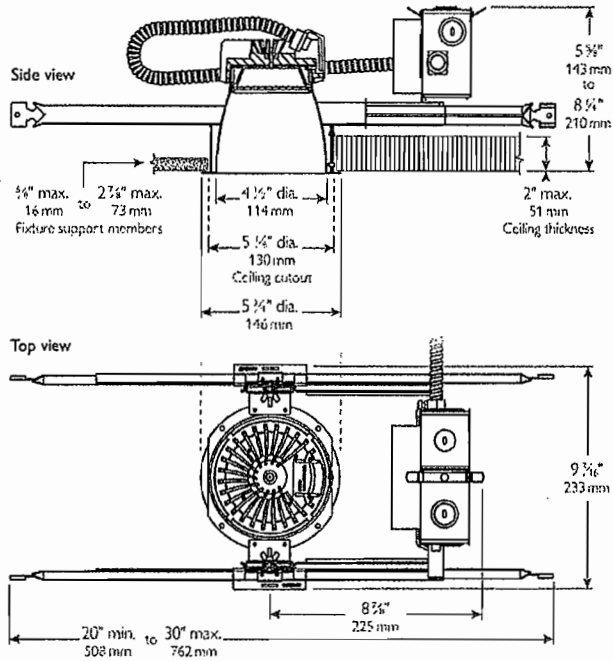


CA4FMR
Flangeless trim with plaster ring accessory.
(Recommended for gypsum installations)

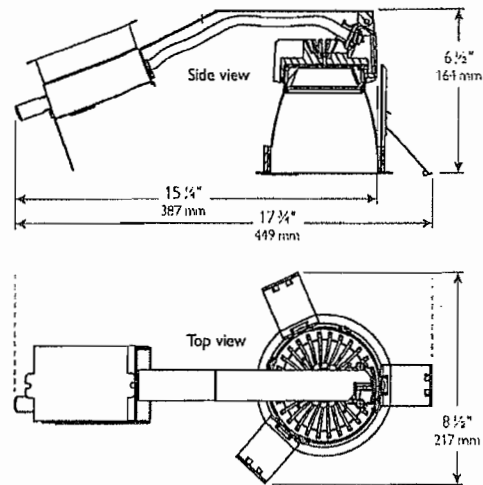


C4L-DL-VB CALCULITE WHITE LED 4 1/2" DOWNLIGHT

New Construction



Remodeler



Frame-in kits

New construction

Mounting frame: Galvanized stamped steel for dry or plaster ceilings.

Vertical adjustment: Light engine adjusts in frame below ceilings up to 1 1/4".

Mounting brackets: Galvanized Steel.

Adjustable through aperture. Use 3/4" or 1 1/2" lathing channel, 1/2" EMT or optional mounting bars.

Remodeler

Compatibility: Flanged downlight only.

Power pack: Swivel junction box for tight plenum spaces. Snap-off covers permits wiring from top.

Spring holder: Galvanized steel. Accepts up to 2 1/2" (64mm) ceiling thickness.

Retrofit

Compatibility: Downlight only.

Capability: Converts 4 1/2" (115mm) or 6" (153mm) Lightolier incandescent frame-in kit without additional wiring using existing Calculite E26 base.

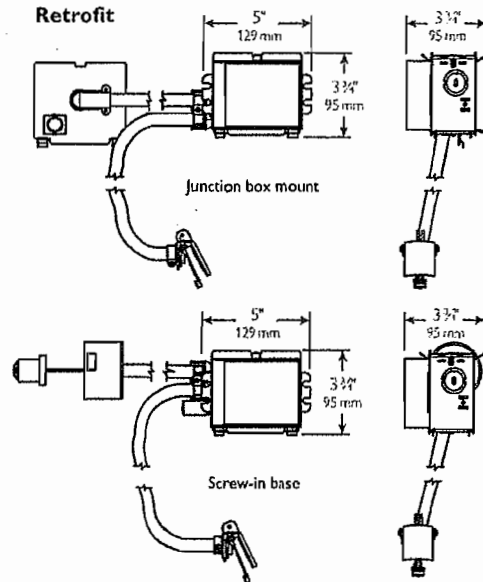
Socket cup support: Spun steel.

Holds Calculite incandescent socket cup.

Socket extender: Phenolic E26 base.

Connect to existing lampholder.

Retrofit

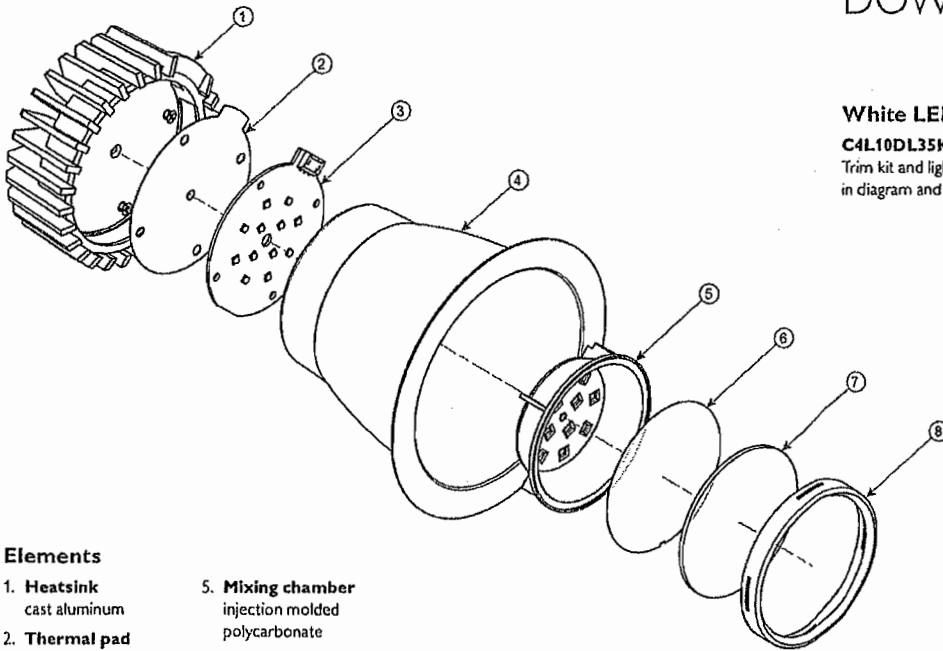


C4L-DL-VB CALCULITE WHITE LED 4 1/2" DOWNLIGHT

White LED 4 1/2"

C4L10DL35KCCDPVB

Trim kit and light engine shown
in diagram and photograph below



Elements

- | | |
|--|---|
| <p>1. Heatsink
cast aluminum</p> <p>2. Thermal pad</p> <p>3. LED board</p> <p>4. Reflector
0.030" minimum
wall thickness in
anodized or painted
aluminum</p> | <p>5. Mixing chamber
injection molded
polycarbonate</p> <p>6. Diffuse film</p> <p>7. Glass
0.09" clear
borosilicate</p> <p>8. Retaining ring
0.040" anodized
aluminum</p> |
|--|---|

Features

Ceiling cutout: 4 1/2" aperture; 5 1/4" (130 mm) cutout.
Depth: 6 1/2" (156mm) including light engine.
Power connection: Attaches to light engine via push-in connector (on frame). Removable cover provides access.
Junction box: Allows inspection from below.
Thermal protector: Meets NEC & UL requirements. Do not install insulation above or within 3" of luminaire.
Thermal Management: Heat sink and thermal design along with the clean room assembly process ensures specified performance levels are maintained.

Options and accessories

Dimming capability: 0-10V or Lutron dimming. See LED-DIM specification sheet.
Emergency capability: Inverter; See LED-LMI specification sheet.
Sloped ceilings: Compatible with slope ceiling adaptors. See specification sheet SCA. Requires SCAHID accessory.

Electrical

Electronic power supply: 120 or 277V, 50/60Hz, enclosed, overload and short circuit protected, thermal regulation to protect against overheating, sound rating: "A", -20°C minimum starting temperature, 35°C maximum ambient environment.
Rated life: 60,000 hrs at 70% lumen maintenance based on IES LM-80-08 and TM-21-11.

Labels

cULus, I.B.E.W.
 Suitable for wet locations.
 5 year warranty.

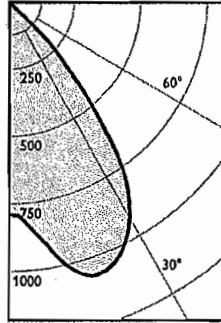
Frame-In kit Electrical specifications	Input volts	Input freq.	Input current	LED drive current	Input power*	LED power	THD factor	Power factor
C_L05_VBZ10V 500lm w/0-10V dimming	120V	50/60Hz	0.07A	350mA	8W	6W	<20%	>0.9
C_L10_VBZ10V 1000lm w/0-10V dimming	120V	50/60Hz	0.12A	350mA	14W	11W	<20%	>0.8
C_L15_VBZ10V 1500lm w/0-10V dimming	120V	50/60Hz	0.18A	520mA	23W	17W	<20%	>0.9
	277V	50/60Hz	0.09A	520mA	24W	17W	<20%	>0.9

* +/- 5%

C4L-DL-VB CALCULITE WHITE LED 4 1/2" DOWNLIGHT

22W LED, 3500K, 1500 lumen

Candela Curve



Frame: C4L15NUVBZ10V
Trim: C4L10DL35KCLWVB

CCT: 3500K
Output lumens: 1492 lms
Input watts: 22.5 W
Efficacy: 66.3 lm/w
CRI: 80 min
Spacing Crit.: 1.4
Report no: F31436

Zonal summary

Zone	Lumens	%Luminaire
0-30	845	56.6%
0-40	1305	87.5%
0-60	1488	99.7%
0-90	1492	100.0%

Angle	Mean CP	Lumens
0	797	
5	838	85
10	940	
15	1044	293
20	1071	
25	1030	468
30	930	
35	764	460
40	499	
45	228	175
50	21	
55	7	8
60	4	
65	2	2
70	1	
75	1	1
80	0	
85	0	0
90	0	

Single unit data

Height to lighted plane	Initial center beam foot-candles	Beam diameter (ft)*
5'	32	7.0
6'	22	8.4
7'	16	9.8
8'	12	11.2
9'	10	12.6

* Beam diameter is where foot-candles drop to 50% of maximum.

Multiple unit data - RCR 2

Spacing on center	Initial center beam foot-candles	Watts per sq. ft.
5'	67.1	1.00
6'	44.0	0.65
7'	31.5	0.47
8'	26.2	0.39
9'	21.0	0.31

38"x38"x10" Room, Workplane 2 1/2' above floor, 80/50/20% Reflectances

Finish Adjust. factors

CL = 100%
CCL = 95%
CCD = 87%
CCZ = 63%
WH = 87%

CCT Adjust. factors

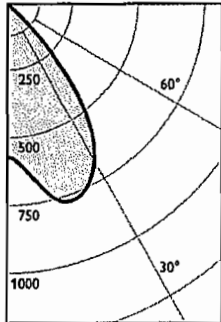
4000K = 103%
3500K = 100%
3000K = 97%
2700K = 87%

Coefficients of utilization

Ceiling	80%					70%					50%					30%					0%
	70	50	30	10	50	10	50	10	50	10	50	10	50	10	50	10	50	10			
RCR	Zonal cavity method - Effective floor reflectance = 20%																				
Room Cavity Ratio	0	119	119	119	119	116	116	111	111	106	106	100	100	100	97	92	85	85	85		
1	113	110	107	105	108	103	104	100	100	96	90	93	88	85	85	85	85	85	85		
2	107	101	97	93	100	92	96	90	93	87	80	78	78	78	78	78	78	78	78		
3	101	94	88	84	92	83	90	82	87	80	78	78	78	78	78	78	78	78	78		
4	95	86	80	76	85	75	83	74	81	73	71	71	71	71	71	71	71	71	71		
5	89	80	74	69	79	68	77	68	75	67	65	65	65	65	65	65	65	65	65		
6	84	74	67	63	73	63	72	62	70	62	60	60	60	60	60	60	60	60	60		
7	79	69	62	57	68	57	67	57	65	57	55	55	55	55	55	55	55	55	55		
8	74	64	57	53	63	53	62	52	61	52	50	50	50	50	50	50	50	50	50		
9	70	60	53	49	59	49	58	48	57	48	47	47	47	47	47	47	47	47	47		
10	66	56	49	45	55	45	54	45	54	45	45	45	45	45	45	45	45	45	45		

14W LED, 3500K, 1000 lumen

Candela Curve



Frame: C4L10NUVBZ10V
Trim: C4L10DL35KCLWVB

CCT: 3500K
Output lumens: 1078 lms
Input watts: 14.6 W
Efficacy: 73.8 lm/w
CRI: 80 min
Spacing Crit.: 1.4
Report no: F31435

Zonal summary

Zone	Lumens	%Luminaire
0-30	612	56.8%
0-40	944	87.6%
0-60	1076	99.8%
0-90	1078	100.0%

Angle	Mean CP	Lumens
0	575	
5	604	61
10	679	
15	755	212
20	774	
25	744	339
30	671	
35	550	333
40	360	
45	161	126
50	15	
55	5	5
60	3	
65	2	2
70	1	
75	1	1
80	0	
85	0	0
90	0	

Single unit data

Height to lighted plane	Initial center beam foot-candles	Beam diameter (ft)*
5'	23	7.0'
6'	16	8.4'
7'	12	9.8'
8'	9	11.2'
9'	7	12.6'

* Beam diameter is where foot-candles drop to 50% of maximum.

Multiple unit data - RCR 2

Spacing on center	Initial center beam foot-candles	Watts per sq. ft.
5'	48.5	0.65
6'	31.8	0.42
7'	22.7	0.30
8'	18.9	0.25
9'	15.2	0.20

38"x38"x10" Room, Workplane 2 1/2' above floor, 80/50/20% Reflectances

Finish Adjust. factors

CL = 100%
CCL = 95%
CCD = 87%
CCZ = 63%
WH = 87%

CCT Adjust. factors

4000K = 103%
3500K = 100%
3000K = 97%
2700K = 87%

Coefficients of utilization

Ceiling	80%					70%					50%					30%					0%
	70	50	30	10	50	10	50	10	50	10	50	10	50	10	50	10	50	10			
RCR	Zonal cavity method - Effective floor reflectance = 20%																				
Room Cavity Ratio	0	119	119	119	119	116	116	111	111	106	106	100	100	100	97	92	85	85	85		
1	113	110	107	105	108	103	104	100	100	96	90	93	88	85	85	85	85	85	85		
2	107	101	97	93	100	92	96	90	93	87	80	78	78	78	78	78	78	78	78		
3	101	94	88	84	92	83	90	82	87	80	78	78	78	78	78	78	78	78	78		
4	95	86	80	76	85	75	83	74	81	73	71	71	71	71	71	71	71	71	71		
5	89	80	74	69	79	68	77	68	75	67	65	65	65	65	65	65	65	65	65		
6	84	74	67	63	73	63	72	62	70	62	60	60	60	60	60	60	60	60	60		
7	79	69	62	57	68	57	67	57	65	57	55	55	55	55	55	55	55	55	55		
8	75	64	57	53	63	53	62	52	61	52	50	50	50	50	50	50	50	50	50		
9	70	60	53	49	59	49	58	48	57	48	47	47	47	47	47	47	47	47	47		
10	66	56	49	45	55	45	54	45	54	45	45	45	45	45	45	45	45	45	45		

1. Correlated Color Temperature within specs as defined in ANSI_NEMA_ANSI C78.377-2008: Specifications for the Chromaticity of Solid State Lighting Products.
2. Wattage controlled to within 5%.
3. Tested using absolute photometry as specified in LM79: IESNA Approved Method for the Electrical and Photometric Measurements of Solid-State Lighting Products.

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www.philips.com/luminaire

