



VII. B.

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Planning Commission Staff Report

Project Type: Site Development Section Plan

Meeting Date: April 25, 2016

From: Jessica Henry, AICP
Project Planner

Location: North of Chesterfield Airport Road, west of its intersection with Arnage Blvd.

Applicant: Cochran Engineering & Surveying, Inc. on behalf of AutoZone

Description: **Peter Steffan, Proposed Lot 1 (AutoZone):** A Site Development Section Plan, Landscape Plan, Lighting Plan, Architectural Elevations, and Architect’s Statement of Design for a 0.88 acre tract of land zoned “PC” Planned Commercial District, located north of Chesterfield Airport Road west of its intersection with Arnage Boulevard.

PROPOSAL SUMMARY

The request is for a Site Development Section Plan, Landscape Plan, Lighting Plan, Architectural Elevations and an Architect’s Statement of Design for a new 6,000 square foot AutoZone commercial development. The proposed building is to be constructed of brick veneer, EIFS, and a clear anodized aluminum and glass storefront. Faux and clerestory windows are proposed on three of the building elevations.

HISTORY OF SUBJECT SITE

At 0.88 acres in size, the subject site is roughly one-half of a 1.77 acre parcel and was originally zoned “NU” Non-Urban District by St. Louis County prior to the incorporation of the City of Chesterfield. The site currently contains three buildings that were constructed in the 1940s, a shed, and a pole barn that was constructed in the 1990s. This site was formerly occupied by the Heavy Duty equipment business. In October of 2015, the City Council approved a zoning map amendment from the “NU” Non-Urban District to the “PC” Planned Commercial District via Ordinance 2874. Information regarding the surrounding land uses, site history, and additional comprehensive plan analysis for this site are contained within the Staff report prepared in conjunction with the Site Development Concept Plan that is also being presented for the Planning Commission’s consideration.



Figure 1—Aerial

STAFF ANALYSIS

The subject site is zoned “PC” Planned Commercial District under the terms and conditions of City of Chesterfield Ordinance 2874. The subject site is located within the Chesterfield Valley sub area identified by the City’s Comprehensive Plan, and the following Chesterfield Valley Design Policy is applicable:

- ***Façades of Buildings Along I-64/US 40***—Care should be taken to make sure that any portion of a building that can be viewed from I-64/US 40 or any arterial and collector roadways should convey the image of a high-quality office or commercial development and should be equally uniform in materials and attractiveness as the primary façade of the building if it does not face I-64/US 40 or the roadways. The intent is to avoid projects having their view from I-64/US 40 or the roadways appear to be the rear or side of a development.
 - *This policy is met by the proposed AutoZone in that the materials used on the primary façade extend to all elevations of the building.*

Access and Site Circulation

Currently, this site has direct access from Chesterfield Airport Road and no other roads serve this site. Cross access to Lot 2 of the proposed development as well as to the vacant parcels to the west and north is provided as required by ordinance. As detailed in Staff’s report for the Site Development Concept Plan, this cross access will permit for the eventual connection of Arnage Road which already

serves the three developments to the east. This connection will also allow for few curb cuts on Chesterfield Airport Road as the proposed access into the AutoZone development will be expanded to serve all future development that occurs on the surrounding property.

The proposal includes a sidewalk along Chesterfield Airport Road which will connect to the adjacent sidewalk located to the east. As future development occurs to the west, the sidewalk will be extended to serve the adjacent development.

Parking

Parking is proposed on the front and side of the building, with loading areas located on the side. The parking provided complies with the City's Unified Development Code requirement, and accessible parking spaces are located adjacent to the entry. A loading space is proposed adjacent to the overhead door and loading area on the west elevation.

A modular block retaining wall is proposed along the access drive and will separate the parking loading area from the access drive. The wall will be utilized to make grade adjustments and varies in height from one to three feet. In order to ensure safe vehicular circulation in this area, a metal fence was added to the top of the wall following review of the project by the City's Architectural Review Board.

Landscaping, Tree Preservation and Open Space

As required by the UDC, a thirty foot landscape buffer planted with trees, shrubs, and ornamental grasses is provided along the Chesterfield Airport Road frontage. Although street trees are typically located within the right-of-way, a request for modification permitting street trees to be located within the parcel boundary was approved due to site limitations, including right-of-way dedication for the deceleration lane. As a result, the required street trees are located within the landscape buffer, along with additional plantings.

A solid hedgerow along the parking lot will screen parked vehicles from view from Chesterfield Airport Road. Landscape beds planted with annuals will permit for seasonal color and interest. The proposed monument sign is surrounded by a densely planted landscape bed.

The dumpster enclosure and ground mounted mechanical equipment will be screened by landscaping. Bio retention basins along the rear property line will be planted with a variety of native grasses.

A minimum of 35% open space is required by ordinance for each lot within this development. The proposed AutoZone project on Lot 1 exceeds this requirement, with 37.8% proposed open space.

Architectural Elevations

The applicant is proposing a single story building that is 21 feet in height which permits the parapet to fully screen roof-mounted mechanical equipment. The building contains elements along the front elevation designed to the human scale, including large storefront windows and faux windows.

The building is comprised of brick veneer, evergreen glass clerestory windows, black faux windows, EIFS that is to be painted orange and white, and a large clear anodized aluminum storefront is

proposed. A white cornice is proposed along the top of the parapet wall. The pipe bollards and side access door will be painted red.

The dumpster enclosure will be constructed of smooth block painted to match the building. The gates are constructed of pine boards and the frame will be painted red to match the accent color utilized on the building.

The project was reviewed by the Architectural Review Board (ARB) on March 10th, 2016. A motion to forward the submittal to the Planning Commission with a recommendation for approval with the recommendations listed below was passed by a vote of 5-0.

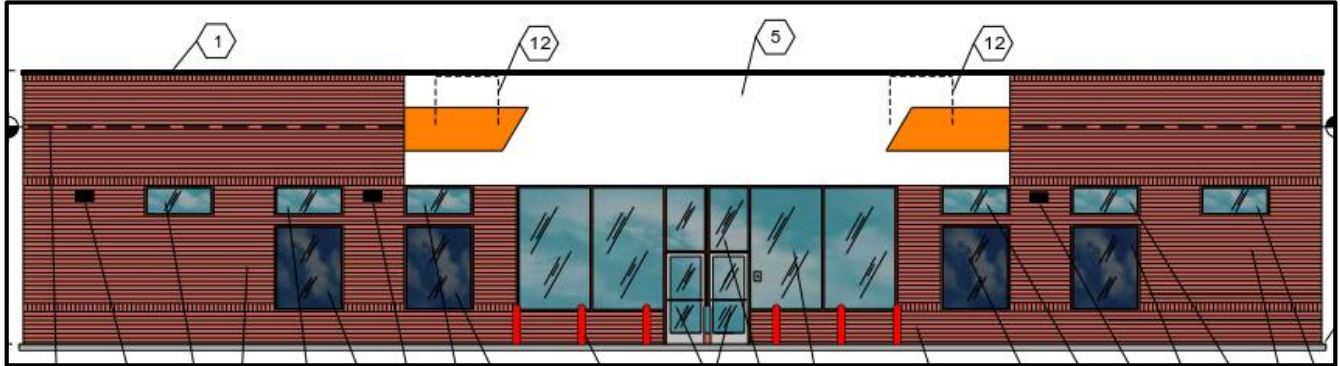
1. The building design should include architectural elements to add depth and to break up the flat façade through change of color, material, or building articulation.
2. Treat the design as a “four sided” building and take into consideration future development of the properties behind the proposed development.
3. The architectural renderings should accurately correspond to the material and color samples provided.
4. Reconsider the location and design, including material and height, of the retaining wall and consider incorporating landscaping to delineate the wall from the adjacent drive aisle.

In response to the ARB’s recommendations, the Applicant has revised the architectural elevations to add greater architectural detail and material and color variation across all four façades. A white cornice tops the parapet walls around the building, and pilasters add depth and articulation. Stacked courses of a tan brick within the pilasters provide color and texture variation. The architectural elevations and renderings have been revised for consistency. Additionally, although additional landscaping was not incorporated into the retaining wall design, a 48 inch black metal fence has been added to the top of the retaining wall to delineate the wall from the adjacent parking area and ensure safe vehicular circulation in this area.

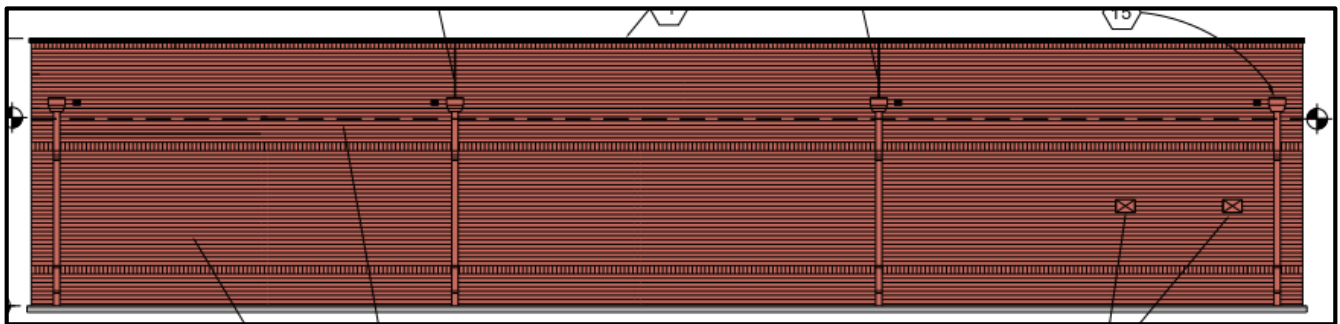
Staff finds that these revisions sufficiently address the ARB’s recommendations and bring the building into compliance with the Chesterfield Valley Design Policy presented on page 2 of this report. Specifically, the revisions result in a four-sided building that is “equally uniform in materials and attractiveness” on the elevations visible from Chesterfield Airport Road, as well as the rear elevation which will be more prominently visible with the extension of Arnage Road and future adjacent development.

The following page contains a comparison of the Architectural Elevations as presented at the Architectural Review Board and as currently proposed.

Figure 3—Architectural Elevation as presented at ARB

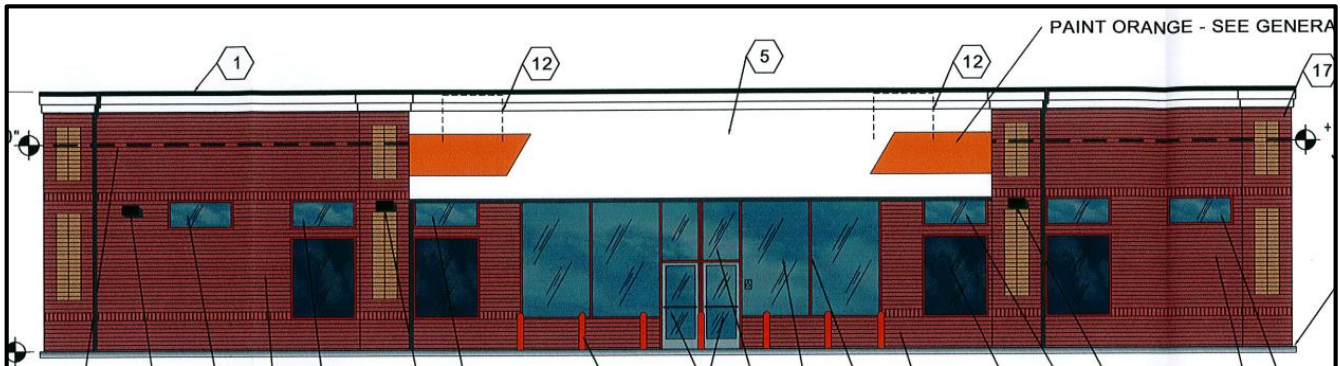


Originally Proposed Front Elevation

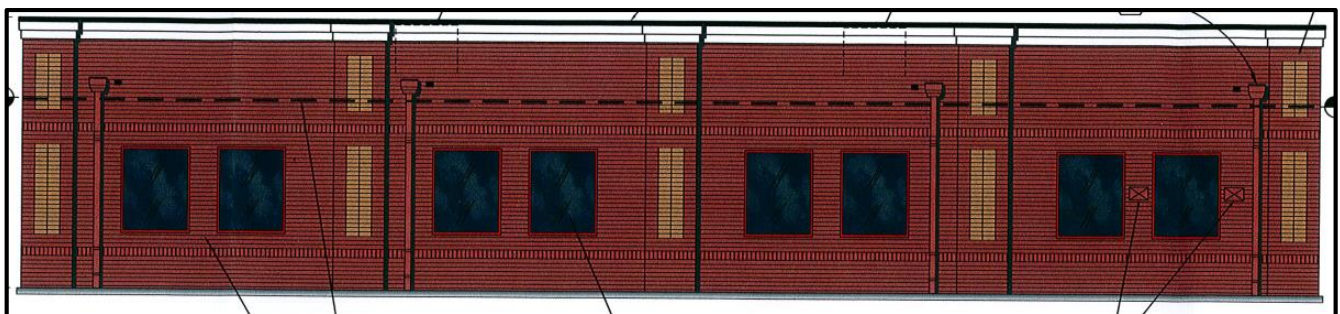


Originally Proposed Rear Elevation

Figure 4—Revised Architectural Elevation



Revised Front Elevation



Revised Rear Elevation

Lighting

The applicant is proposing five wall mounted light fixtures and five pole mounted fixtures. Each of these fixtures is utilitarian in nature and features fully-shielded, full cut-optics as required by the UDC.

STAFF RECOMMENDATION

Staff has reviewed the Site Development Section Plan, Landscape Plan, Tree Preservation Plan, Lighting Plan, Architectural Elevations and an Architect's Statement of Design and has found the proposal to be in compliance with the site specific ordinance, Comprehensive Plan, and all City Code requirements. Staff recommends approval of the proposed development of Peter Steffan, Lot 1 (AutoZone).

MOTION

The following options are provided to the Planning Commission for consideration relative to this application:

- 1) "I move to approve (or deny) the Site Development Section Plan, Landscape Plan, Tree Preservation Plan, Lighting Plan, Architectural Elevations and an Architect's Statement of Design for Peter Steffan, Lot 1 (AutoZone).
- 2) "I move to approve the Site Development Section Plan, Landscape Plan, Tree Preservation Plan, Lighting Plan, Architectural Elevations and an Architect's Statement of Design for Peter Steffan, Lot 1 (AutoZone), with the following conditions..." (Conditions may be added, eliminated, altered or modified)

Attachments: Site Development Section Plan
 Landscape Plan
 Lighting Plan
 Lighting Cut-sheets
 Architect's Statement of Design
 Architectural Elevations
 Architectural Rendering

CC: Aimee Nassif, Planning and Development Services Director



Architect's Statement
AutoZone Store 17505 Chesterfield Airport Road

General Requirements for Site design:

A. Site Relationships

The subject site is located on Chesterfield Airport Road and is comprised of two lots in the Peter Stefan Subdivision. The proposed AutoZone Development will occupy Lot 1 of the subdivision and face Chesterfield Airport Road. There are currently vacant buildings on both lots, which will be demolished as part of this project.

B. Circulation System and Access

The development will have an access drive onto Chesterfield Airport Road on the west side of Lot 1. An internal access drive will provide cross access to Lot 2 on the east.

Pedestrian access will be internal on the site.

C. Topography & D. Retaining Walls

The existing grade of the property is nearly flat. The proposed AutoZone site will be raised slightly to allow drainage to existing drainage points. A segmental block retaining wall will be utilized to make grade adjustments for the cross access to Lot 2 to the east.

Landscape Design and Screening

Landscaping will be provided in accordance with the city's Landscaping requirements. A 30-foot Landscape Buffer is provided along the front of the site. This buffer will contain a combination of trees and shrubs, ground cover and landscaping beds. A landscaping bed containing seasonal plantings is proposed around the monument sign. The dumpster enclosure and ground mounted utilities will be screened by plantings

Dry swales are proposed in the rear of the site. These will be planted with a variety native grasses. The swales will be designed to MSD standards and will help capture storm water runoff from the site.

General Requirements for building design:

A. Building scale:

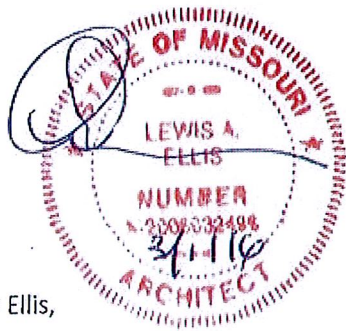
The proposed AutoZone is designed to be 21' in height which will screen the roof top mounted equipment. The building will have similar materials and orientation as the surrounding developments along Chesterfield Airport RD. The size of the building is 6000 square feet, which represents just over 15.6% lot coverage.

B. Human scale, Generic Scale and Design:

Human scale elements have been incorporated into this design, which include large storefront windows and glass entrance doors. Faux and clearstory windows on each side of the entrance to the store have been added for additional scale along the front facade. Additionally, the building will utilize a red wire cut brick veneer with soldier courses to add additional interest and scale.

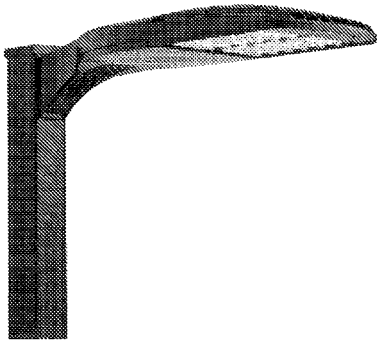
Specific requirements for the Chesterfield Valley:

All four facades of the building will utilize brick veneer with soldier course. The building does not face I-64/US40 therefore; accent lighting and rear parking are not required for the AutoZone development. The trash enclosure will be constructed out of the same material as the building. AutoZone does not incorporate or use any outdoor storage or sales. The loading area will be screened by a tree line to the east and large street trees along Chesterfield Airport Road. All new utilities will be located underground.



Lew Ellis,

Architect for AutoZone, Inc.



D-Series Size 1 LED Area Luminaire

DESIGNLIGHTS
CONSORTIUM



lighting
facts

Catalog
Number

Notes

Type

Specifications

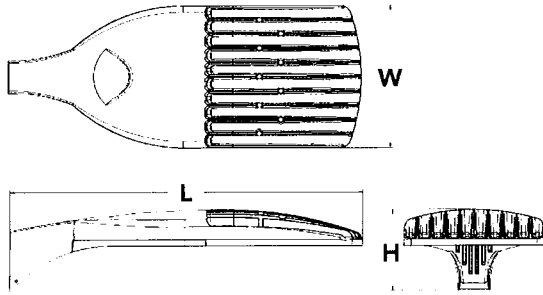
EPA: 1.2 ft²
(0.11 m²)

Length: 33"
(83.8 cm)

Width: 13"
(33.0 cm)

Height: 7-1/2"
(19.0 cm)

Weight (max): 27 lbs
(12.2 kg)



Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment.

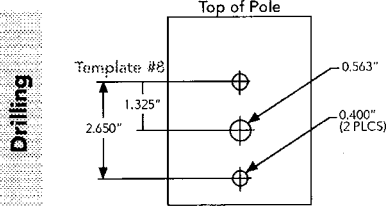
The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing 100 – 400W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Drilling Information

EXAMPLE: DSX1 LED 60C 1000 40K T3M MVOLT SPA DDBXD

DSX1 LED

Series	LED	Power (W)	Current (mA)	Color Temperature (K)	Beam Spread	Beam Type	Voltage	Mounting	Control Options	Other Options	Finish		
DSX1 LED	30C	30 LEDs (one engine)	530	530 mA	30K	3000K	T1S	MVOLT ²	Shipped included	PER NEMA twist-lock receptacle only (no controls)	HS House-side shield ¹¹	DDBXD Dark bronze	
			700	700 mA			T2S	120 ²					SPA Square pole mounting
			1000	1000 mA (1 A)	40K	4000K	T2M	208 ²					
	40C	40 LEDs (two engines)	530	530 mA	40K	4000K	T3S	240 ²	RPA Round pole mounting	DMG 0-10V dimming driver (no controls) ¹	WTB Utility terminal block ¹	DNAXD Natural aluminum	
							T3M	277 ²					
							T4M	347					
	60C	60 LEDs (two engines)	530	530 mA	50K	5000K	TFTM	480 ³	WBA Wall bracket	DCR Dimmable and controllable via ROAM [®] (no controls) ³	SF Single fuse (120, 277, 347V) ³	DWHXD White	
							TSVS						
							T5S						
							T5M			DS Dual switching ^{1,2}	DF Double fuse (208, 240, 480V) ³	DBLTXD Textured dark bronze	
							T5W			PIR Motion sensor, 8-15' mounting height ⁷	TLS Tool-less entry trigger latch	DBLBXD Textured black	
										PIRH Motion sensor, 15-30' mounting height ⁷	L90 Left rotated optics ¹²	DNATXD Textured natural aluminum	
									BL30 Switched dimming, 30% ^{1,3}	R90 Right rotated optics ¹²	DWHGXD Textured white		
									BL50 Switched dimming, 50% ^{1,3}				



DSX1 shares a unique drilling pattern with the AERIS™ family. Specify this drilling pattern when specifying poles, per the table below.

DM19AS	Single unit	DM29AS	2 at 90°
DM28AS	2 at 180°	DM39AS	3 at 90°
DM48AS	4 at 90°	DM32AS	3 at 120°*

Example: SSA 20 4C DM19AS DDBXD

Visit LithoniaLighting.com to see our wide selection of poles, accessories and educational tools.

Tenon Mounting Slipfitter*

1/2"	AS12-10	AS12-20	AS12-30	AS12-32	AS12-33	AS12-40
3/4"	AS15-10	AS15-20	AS15-30	AS15-32	AS15-33	AS15-40
1"	AS18-10	AS18-20	AS18-30	AS18-32	AS18-33	AS18-40

* For round pole mounting (RPA) only

NOTES

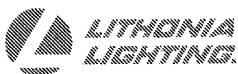
- Configured with 4000K (40K) provides the shortest lead times. Consult factory for 3000K (30K) and 5000K (50K) lead times.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with fusing (SF, DF options).
- Not available with single board, 530mA product (30C 530).
- Not available with 347 or 480V.
- Specifies a ROAM® enabled luminaire with 0-10V dimming capability; PER option required. Not available with 347 or 480V. Additional hardware and services required for ROAM® deployment; must be purchased separately. Call 1-800-442-6745 or email: sales@roomservices.net. Not available with PIRH.
- Requires 40C or 60C. Provides 50/50 luminaire operation via two independent drivers on two separate circuits. N/A with PER, DCR, DMG or WTB.
- Requires an additional switched line.
- Specifies the dimming driver control; see Accessories information for details. Dimming driver standard. Not available with DCR or WTB.
- Specifies the mounting bracket control; see Accessories information for details. Dimming driver standard. Not available with DCR or WTB.
- Dimming driver standard. MVOLT only. Not available with DCR or WTB.
- Also available as a separate accessory; see Accessories information.
- WTB not available with BL30, BL50, DS, PIR or PIRH.
- Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
- Available with 60 LEDs (60C option) only.
- Requires luminaire to be specified with PER option. Ordered and shipped as a separate line item.

Drilling

Accessories
Ordered and shipped separately.

DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ¹
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ¹
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ¹
SC U	Shorting cap ³
DSX1HS 30C U	House-side shield for 30 LED unit
DSX1HS 40C U	House-side shield for 40 LED unit (specify finish)
DSX1HS 60C U	House-side shield for 60 LED unit (specify finish)
SPA19/MR2 DDBXD U	Square pole DM19 to DM19AS adapter (specify finish)
RPA19/MR2 DDBXD U	Round pole DM19 to DM19AS adapter (specify finish)

For more control options, visit LithoniaLighting.com and roomservices.net.





D-Series Size 1 LED Wall Luminaire



Catalog
Number

Notes

Type

For more information, visit www.lithonia.com or call 800.279.8041.

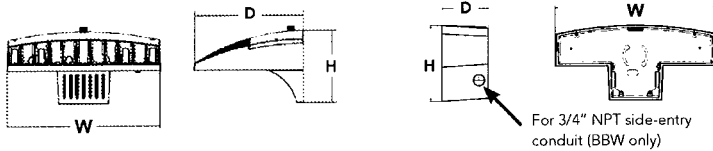
d[®]series

Specifications Luminaire

Width:	13-3/4" (34.9 cm)	Weight:	12 lbs (5.4 kg)
Depth:	10" (25.4 cm)		
Height:	6-3/8" (16.2 cm)		

Back Box (BBW, ELCW)

Width:	13-3/4" (34.9 cm)	BBW Weight:	5 lbs (2.3 kg)
Depth:	4" (10.2 cm)	ELCW Weight:	10 lbs (4.5 kg)
Height:	6-3/8" (16.2 cm)		



Introduction

The D-Series Wall luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

Ordering Information

EXAMPLE: DSXW1 LED 20C 1000 40K T3M MVOLT DBBTD

DSXW1 LED

Series	Performance Package	Distribution	Voltage	Mounting	Control Options	Other Options	Finish (required)
DSXW1 LED	LEDs 10C 10 LEDs (one engine)	T2S Type II Short	MVOLT ¹	Shipped included (blank) Surface mounting bracket	Shipped installed PE Photoelectric cell, button type ²	Shipped installed SF Single fuse (120, 277V) ³	DDBXD Dark bronze
		T2M Type II Medium	120 ¹				DMG 0-10V dimming driver (no controls)
	20C 20 LEDs (two engines)	T3S Type III Short	208 ¹	BBW Surface-mounted back box (for conduit entry)	PIR 180° motion/ambient light sensor, <15' mtg ht ^{4,5}	HS House-side shield ⁶	DNAXD Natural aluminum
		T3M Type III Medium	240 ¹				PIRH 180° motion/ambient light sensor, 15-30' mtg ht ^{4,5}
	Drive current 350 350 mA 530 530 mA 700 700 mA 1000 1000 mA (1A)	T4M Type IV Medium	277 ¹	TFTM Forward Throw Medium	ELCW Emergency battery backup (includes external component enclosure) ⁷	Shipped separately BSW Bird-deterrent spikes ⁸	DSSXD Sandstone
		TFTM Forward Throw Medium					WG Wire guard ⁹
	Color temperature 30K 3000K 40K 4000K 50K 5000K					VG Vandal guard ⁹	DBLXD Textured black
							DNATXD Textured natural aluminum
							DSSTXD Textured sandstone

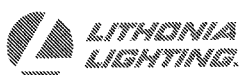
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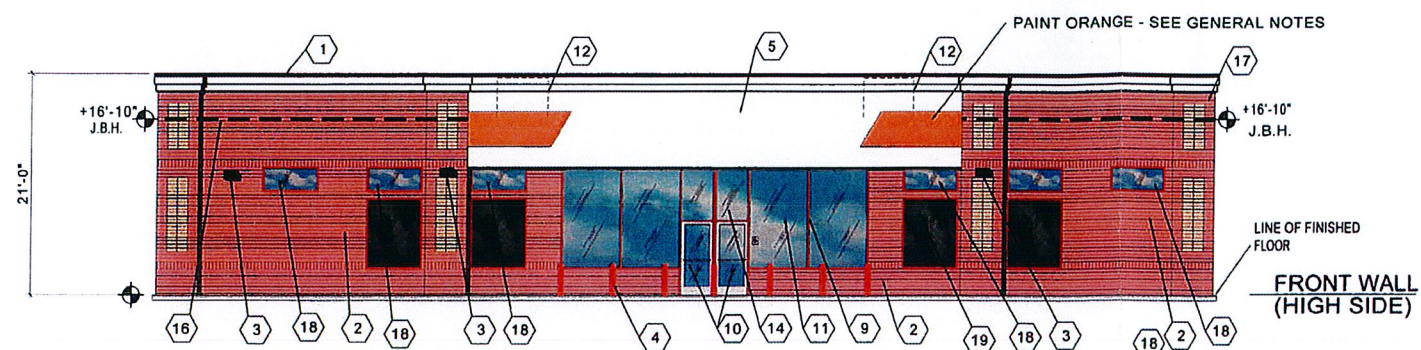
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with fusing (SF, DF options), or photocontrol (PE option).
- Back box ships installed on fixture. Cannot be field installed. Cannot be ordered as an accessory.
- Photocontrol (PE) requires 120, 208, 240 or 277 voltage option. Not available with motion/ambient light sensors (PIR or PIRH).
- Specifies the Sensor Switch IRR 10-ODP control; see Motion Sensor Guide for details. Includes ambient light sensor. Not available with "PE" option (button type photocell). Dimming driver standard.
- Specifies the Sensor Switch IRR 6-ODP control; see Motion Sensor Guide for details. Includes ambient light sensor. Not available with "PE" option (button type photocell). Dimming driver standard.
- Not available with 20 LED/1000 mA configuration (DSXW1 LED 20C 1000).
- Not compatible with conduit entry applications. Not available with BBW mounting option.
- Single fuse (SF) requires 120 or 277 voltage option. Double fuse (DF) requires 208 or 240 voltage option.
- Also available as a separate accessory; see Accessories information.

Accessories

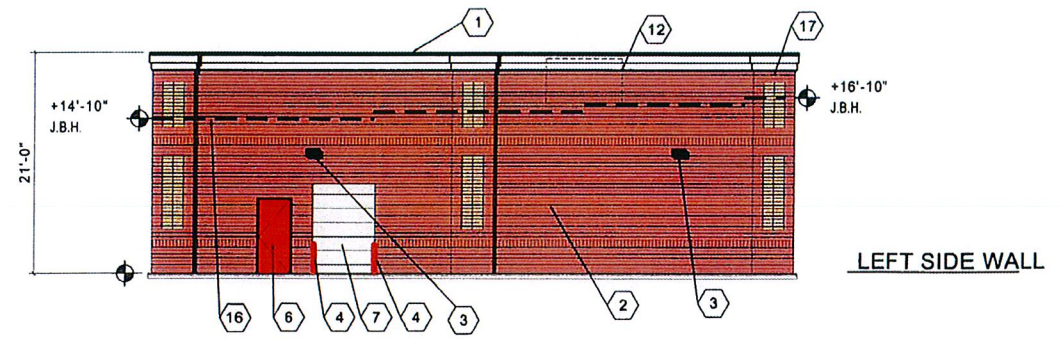
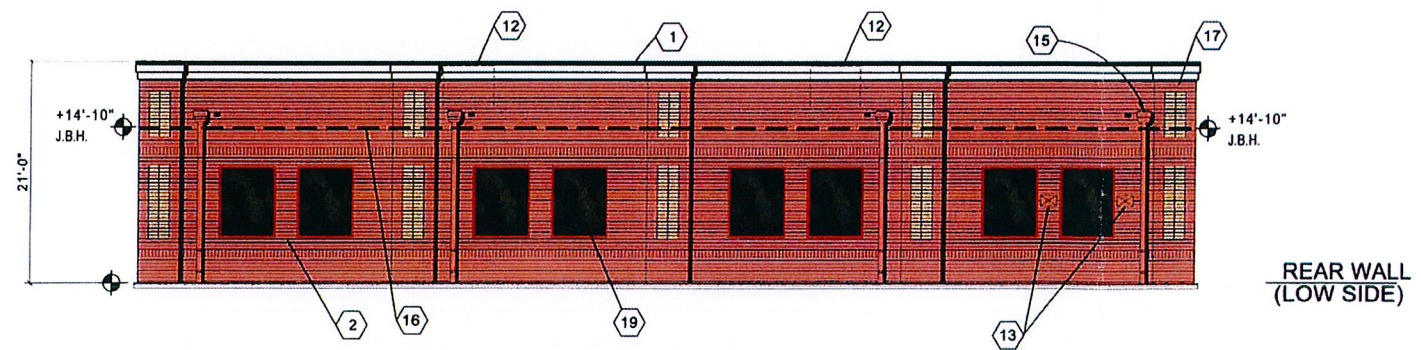
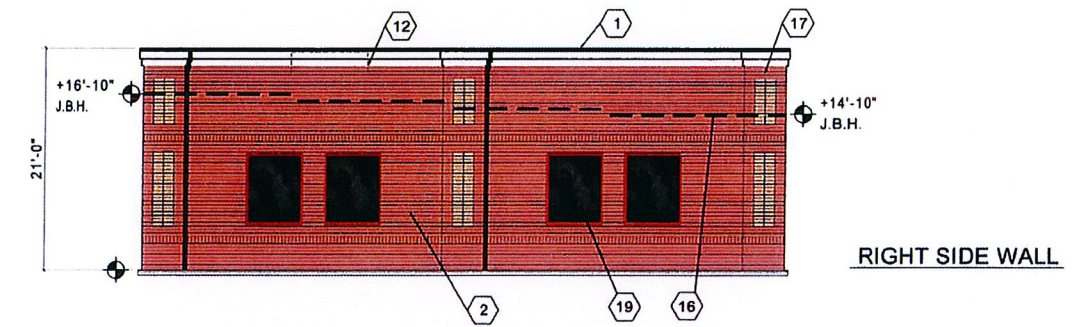
Ordered or shipped separately

DSXWHS U	House-side shield (one per light engine)
DSXWBSW U	Bird-deterrent spikes
DSXWTWG U	Wire guard accessory
DSXWTVG U	Vandal guard accessory



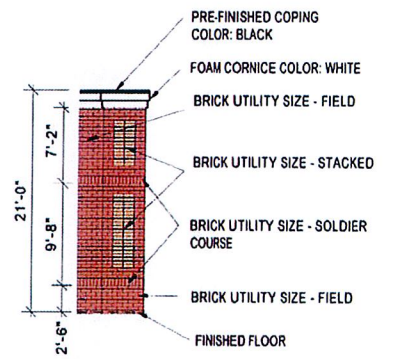


HVAC NOTE:
 HIGHEST POINT OF ROOFTOP UNITS = 20'-8"
 UNIFORM HEIGHT OF PARAPET = 21'-0"



- 1 TWO PIECE COMPRESSION TRIM - BLACK
- 2 BRICK VENEER UNITS SEE PAINT DETAIL SCHEME THIS SHEET
- 3 WALL MOUNTED LIGHT FIXTURE
- 4 PIPE GUARD WITH RED SLEEVE
- 5 MFG. WHITE EXTERIOR INSULATED FINISH - PAINT WHITE (SuperPaint Exterior Latex Salin, A89 Series)
- 6 PAINT MAN DOOR RED & METAL FRAMES BLACK
- 7 DO NOT PAINT OVERHEAD DOOR PAINT ANGLES BLACK
- 8 NOT USED
- 9 ALUMINUM STOREFRONT - RED KYNAR FINISH (PPG Duranar (70 Kynar) Red Exotic #UC45282XL with #UC51132 clear top coat.)
- 10 GLASS AND ALUMINUM DOORS - CLEAR ANODIZED FINISH, 1/2" GLAZING
- 11 9-PILKINGTON 1/2" EVERGREEN GLASS
- 12 SCREENED HVAC UNITS BEHIND PARAPET
- 13 TOILET WALL VENTS PAINT TO MATCH WALL
- 14 STORE ADDRESS - 6" WHITE REFLECTIVE NUMBERS
- 15 SCUPPERS AND DOWNSPOUTS. PAINTED TO MATCH BACKGROUND WALL COLOR. ADJACENT 4" H. X 6" W. OVERFLOW SCUPPER. FLOWLINE 2" ABOVE ROOF.
- 16 BOND BEAM AT ROOF LINE
- 17 BRICK PILASTER (4" PROJECTION)
- 18 CLERESTORY WINDOW - EVERGREEN GLASS
- 19 FAUX WINDOW - OPAQUE BLACK GLASS

ELEVATION KEY NOTES



FIELD BRICK (UTILITY SIZED) - HANSON
 COLOR: RED WIRE CUT IRON SPOT #225

STACKED BRICK (UTILITY SIZED) - HANSON
 COLOR: ROSE (PALOMINO) WIRE CUT MEDIUM #737

SOLDER COURSE BRICK (UTILITY SIZED) - HANSON
 COLOR: RED WIRE CUT IRON SPOT #225

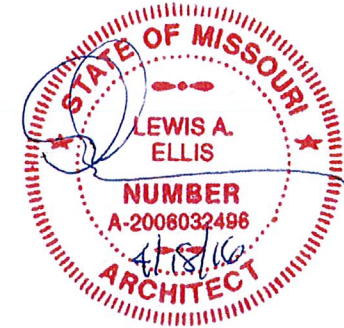
1/8" = 1'-0" AWE01

3 EXTERIOR WALL COLOR SCHEME

- GENERAL NOTES:
- REFER TO SECTION 09900 OF THE SPECIFICATIONS FOR PAINT AND EXTERIOR COATINGS. ALL COLORS ARE BY SHERWIN-WILLIAMS PAINT COMPANY.
 Finish Coat Orange: 2 Coats SherCryl HPA Gloss, B66 Series
 - C. Exterior Orange:
 1. SherCryl Gloss Ultradeep Base, B66T304
 2. 48/32 oz Yellow-101
 3. 2 oz. + 56/32 oz. Orange
 4. 6 oz. Yellow-100
 - PAINT RESTROOM WALL VENTS TO MATCH THE ADJACENT WALL COLOR.
 - SEALANT AT EXPANSION JOINTS TO MATCH ADJACENT WALL COLOR.
 - ALL MASONRY JOINTS TO BE CONCAVE TOOLED.

3 GENERAL NOTES

J.B.H. = JOIST BEARING HEIGHT



REVISIONS	
NO.	DESCRIPTION
1	REV1
2	REV2
3	REV3
4	REV4
5	REV5
6	REV6

AutoZone Store No. 4453	CHESTERFIELD MO 63005
17505 CHESTERFIELD AIRPORT RD.	ARCHITECTURAL PLAN

Architect: LEW ELLIS	38103
123 South Front Street	Memphis, Tennessee
TEL: 901-495-8771	FAX: (901) 495-8969
For Bidding & Contractor Information Contact:	
F. W. Dodge Plan Room Tel. 615-884-1017	

01/07/16
6W2-L
CE-1



AutoZone Development #MO 4453

Chesterfield, Missouri

March, 2016

AutoZone

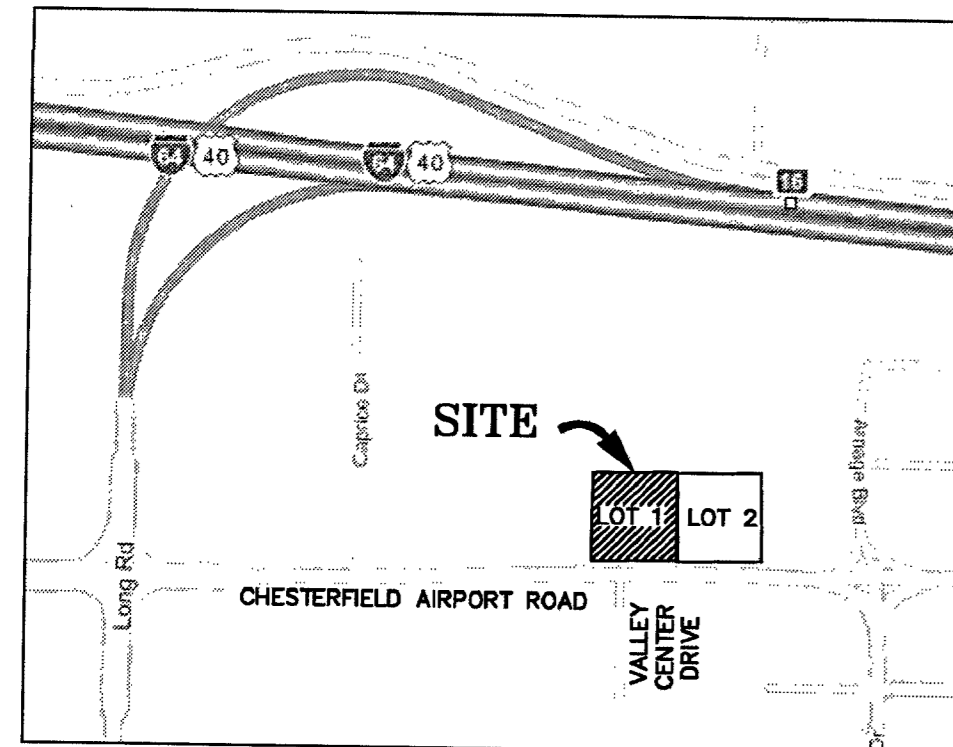
PEA, Inc.
7927 Nemco Way, Ste 115
Brighton, MI 48116
t: 517.546-8583
f: 517.546.8973
www.peainc.com



SITE DEVELOPMENT SECTION PLAN

"AUTOZONE"

17505 CHESTERFIELD AIRPORT ROAD



VICINITY MAP
NO SCALE

NOTES:

- TOTAL SITE ACREAGE: PROPOSED LOT 1 = 0.88 ACRES
- EXISTING ZONING: PC - PLANNED COMMERCIAL DISTRICT
- SETBACKS
BUILDING:
FRONT - 30'
REAR - 10'
SIDE - 35' (WEST SIDE OF LOT 1)
5' (EAST SIDE OF LOT 2)
- PARKING:
FRONT - 30'
REAR - 10'
SIDE - 0' (WEST SIDE OF LOT 1)
5' (EAST SIDE OF LOT 2)
- LANDSCAPE:
FRONT - 30'
- THE SITE LAND USE SHALL BE COMMERCIAL.
- THIS SITE IS SERVED BY:
WATER - MISSOURI AMERICAN WATER
SEWER - METROPOLITAN ST. LOUIS SEWER DISTRICT
TELEPHONE - AT&T DISTRIBUTION/CHARTER COMMUNICATIONS/MCI
ELECTRIC - AMEREN MISSOURI ELECTRIC
GAS - LACLEDE GAS COMPANY
FIRE - CHESTERFIELD MONARCH FIRE PROTECTION DISTRICT
SCHOOL - ROCKWOOD R-6 SCHOOL DISTRICT
LEVEE - CHESTERFIELD MONARCH LEVEE DISTRICT
- THIS SITE FALLS WITHIN THE "UNSHADED ZONE X" AREAS OF 500 YR FLOOD, AREAS OF 100 YR FLOOD WITH AVERAGE DEPTHS LESS THAN 1 FT. OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 100 YR FLOOD, PER FIRM, FOR ST. LOUIS COUNTY, MISSOURI, MAP NUMBER 291890165K, EFFECTIVE DATE OF FEBRUARY 4, 2015.
- EFFORTS WILL BE MADE TO DIRECT DRAINAGE TO EXISTING DISCHARGE POINTS ON SITE.
- ALL UTILITIES ARE TO BE LOCATED UNDERGROUND.
- THE PROPOSED BUILDING HEIGHT SHALL BE NO MORE THAN 30 FT, TWO STORIES.
- THE SITE SHALL CONFORM TO CITY OF CHESTERFIELD STANDARDS.
- UNDERGROUND STRUCTURES, FACILITIES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS, DEEDS AND RECORDS. THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS NOT KNOWN.
- ALL PAVEMENT AND CURBING DIMENSIONS SHOWN ARE TO THE BACK OF CURB, EXCEPT FOR ROADWAY WIDTHS, WHICH ARE FROM FACE OF CURB TO FACE OF CURB.
- NO INVESTIGATION HAS BEEN PERFORMED BY COCHRAN REGARDING HAZARDOUS WASTE, UNDERGROUND CONDITIONS OR UTILITIES AFFECTING THE TRACT SHOWN HEREON.
- THIS DRAWING DOES NOT CONSTITUTE A BOUNDARY SURVEY.
- ALL PAVEMENT STRIPING SHALL BE 4" WIDE PAINTED YELLOW.
- ACCESSIBLE PARKING STRIPING SHALL BE BLUE.
- LOCATION, REPLACEMENT, AND CONNECTION OF THE UTILITIES SHALL BE COORDINATED WITH THE UTILITY COMPANIES.
- TRASH ENCLOSURE IS TO BE 6"-4" HIGH MASONRY TO MATCH THE BUILDING AND SCREENED ACCORDING TO CITY REQUIREMENTS.
- ALL MECHANICAL, HVAC, AND UTILITY EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW ACCORDING TO CITY ORDINANCE.
- ALL LANDSCAPING MATERIAL AND DESIGN WILL FOLLOW CHESTERFIELD CITY CODES, INCLUDING TYPES OF PLANTS AND SPACING.
- ALL DISTURBED AREAS ON LOT 1 INTENDED FOR GRASS SHALL BE SODDED. ANY DISTURBED AREAS ON LOT 2 SHALL BE SEED & STRAWED.
- ALL OPEN SPACE AND ON LOT 1 LANDSCAPE BEDS SHALL BE IRRIGATED.
- OPEN SPACE SHALL BE A MINIMUM OF 35% OF EACH LOT FOR THE DEVELOPMENT.
- DOWNSPOUTS WILL DRAIN TO GRADE.
- ALL STORMWATER RUNOFF SHALL MEET CHESTERFIELD AND MSD STANDARDS. DETENTION IS NOT REQUIRED SINCE THIS IS A REDEVELOPMENT PROJECT. SITE WILL DRAIN TO GRADE AT EXISTING DRAINAGE POINTS FROM THE SITE.
- SIGNAGE FOR THIS SITE WILL REQUIRE A SEPARATE APPROVAL AND PERMIT.

PROPERTY DESCRIPTION:

FIRST AMERICAN TITLE INSURANCE COMPANY
FILE NO.: 05020609067; EFFECTIVE DATE: APRIL 7, 2015
SCHEDULE A, No. 4.

A TRACT OF LAND BEING PART OF LOTS 5 AND 6 OF THE SUBDIVISION IN PARTITION OF THE ESTATE OF PETER STEFFAN, DECEASED, IN U.S. SURVEYS 125 AND 126, TOWNSHIP 45 NORTH, RANGE 4 EAST, ACCORDING TO THE PLAN OF SAID SUBDIVISION ATTACHED TO REPORT OF COMMISSIONERS IN PARTITION SUIT OF KRANING, ET AL VS STEFFAN, ET AL, IN CAUSE NO. 4159 OF THE CIRCUIT COURT OF ST. LOUIS COUNTY, MISSOURI, A CERTIFIED COPY OF WHICH IS RECORDED IN BOOK 80 PAGE 457 OF THE ST. LOUIS COUNTY RECORDS, AND SAID TRACT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT THE POINT OF INTERSECTION OF THE NORTHERLY LINE OF CHESTERFIELD AIRPORT ROAD, 100 FEET WIDE, WITH THE EASTERLY LINE OF A PARCEL DESCRIBED IN DEED TO JAMES WALLER RECORDED IN BOOK 4129 PAGE 488 OF THE ST. LOUIS COUNTY RECORDS, SAID POINT BEING 10 FEET WESTERLY OF THE EASTERLY LINE OF SAID LOT 2, THENCE ALONG THE NORTHERLY LINE OF SAID LOT 2, SOUTH 89 DEGREES 09 MINUTES 00 SECONDS WEST 365.00 FEET TO THE WESTERLY LINE OF A PARCEL DESCRIBED IN DEED TO JAMES WALLER RECORDED IN BOOK 4129 PAGE 492 OF SAID COUNTY RECORDS, THENCE ALONG SAID WESTERLY LINE NORTH 00 DEGREES 07 MINUTES 00 SECONDS EAST 200.00 FEET TO THE NORTHWESTERLY CORNER OF SAID WALLER PARCEL RECORDED IN BOOK 4192 PAGE 492, THENCE ALONG THE NORTHERLY LINE OF SAID WALLER PARCEL AND THE NORTHERLY LINE OF A PARCEL DESCRIBED IN DEED TO JAMES WALLER RECORDED IN BOOK 2932 PAGE 441 OF SAID COUNTY RECORDS, NORTH 89 DEGREES 09 MINUTES 00 SECONDS EAST 389.00 FEET TO THE NORTHWESTERLY CORNER OF SAID WALLER PARCEL RECORDED IN BOOK 4129 PAGE 488, THENCE ALONG THE EASTERLY LINE OF SAID WALLER PARCEL RECORDED IN BOOK 4129 PAGE 488 SOUTH 00 DEGREES 07 MINUTES 00 SECONDS WEST 200.00 FEET TO THE POINT OF BEGINNING TO SURVEY NO. 118469 EXECUTED BY JAMES ENGINEERING & SURVEYING CO., INC. IN MAY 1993.

PROJECT BENCHMARK:
ELEV=480.06 (NGVD 1929)

ST. LOUIS COUNTY BENCHMARK SYSTEM 12-171: "STANDARD ALUMINUM DISK" STAMPED SL-38, 1990, DISK IS SET AT THE NORTHWEST CORNER OF CHESTERFIELD AIRPORT ROAD AND CAPRICE DRIVE.

SITE BENCHMARK:
ELEV=463.04

*0" IN OPEN ON A FIRE HYDRANT LOCATED APPROXIMATELY 50 NORTH OF THE CENTERLINE OF CHESTERFIELD AIRPORT ROAD AND 1,165 FEET EAST OF THE INTERSECTION WITH CAPRICE DRIVE IN CHESTERFIELD, MISSOURI.

THE OWNER(S) OF THE PROPERTY
[NAME OF OWNER(S)]
SHOWN ON THIS PLAN FOR AND IN CONSIDERATION OF BEING GRANTED APPROVAL OF SAID PLAN TO DEVELOP PROPERTY UNDER THE PROVISIONS OF SECTION 03.04C, PC- PLANNED COMMERCIAL, OF THE CITY OF CHESTERFIELD UNIFIED DEVELOPMENT CODE, DO HEREBY AGREE AND DECLARE THAT SAID PROPERTY FROM THE DATE OF RECORDING THIS PLAN SHALL BE DEVELOPED ONLY AS SHOWN THEREON, UNLESS SAID PLAN IS AMENDED BY THE CITY OF CHESTERFIELD, OR VOIDED OR VACATED BY ORDER OF ORDINANCE OF THE CITY OF CHESTERFIELD COUNCIL.

(SIGNATURE): _____

(NAME TYPED): _____

STATE OF _____
COUNTY OF _____

ON THIS _____ DAY OF _____, A.D., 20____, BEFORE ME PERSONALLY APPEARED _____ TO ME (OFFICER OF CORPORATION) _____ KNOWN, WHO, BEING BY ME SWORN IN, DID SAY THAT HE/SHE IS THE _____ OF _____ (NAME OF CORPORATION) _____ CORPORATION IN THE STATE OF _____ AND THAT THE SEAL AFFIXED TO THE FOREGOING INSTRUMENTS IS THE CORPORATE SEAL OF SAID CORPORATION, AND THAT SAID INSTRUMENT WAS SIGNED ON BEHALF OF SAID CORPORATION BY AUTHORITY OF ITS BOARD OF DIRECTORS, AND THE SAID _____ (OFFICER OF CORPORATION) _____ ACKNOWLEDGED SAID INSTRUMENT TO BE THE FREE ACT AND DEED OF SAID CORPORATION.

IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY NOTARIAL SEAL AT MY OFFICE IN _____ THE DAY AND YEAR LAST ABOVE WRITTEN.
(COUNTY AND STATE)

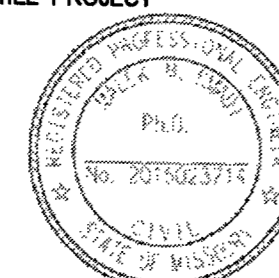
MY TERM EXPIRES _____

(NOTARY PUBLIC)

THIS SITE DEVELOPMENT SECTION PLAN WAS APPROVED BY THE CITY OF CHESTERFIELD PLANNING COMMISSION AND DULY VERIFIED ON THE _____ DAY OF _____, 2016, BY THE CHAIRPERSON OF SAID COMMISSION, AUTHORIZING THE RECORDING OF THIS SITE DEVELOPMENT PLAN PURSUANT TO CHESTERFIELD ORDINANCE NUMBER 200, AS ATTESTED TO BY THE PLANNING AND DEVELOPMENT SERVICES DIRECTOR AND THE CITY CLERK.

AIMEE NASSIF, AICP
PLANNING AND DEVELOPMENT SERVICES
DIRECTOR CITY OF CHESTERFIELD,
MISSOURI

VICKIE HASS, CITY CLERK
CITY OF CHESTERFIELD, MISSOURI



(SIGNATURE): Malek Smadi
(NAME TYPED): Malek Smadi, Ph.D., PE

FLOOR AREA SITE AREA RATIO
RETAIL BUILDING AREA = 6,000 S.F.
LOT AREA = 38,157 S.F.
FLOOR TO SITE RATIO = 6000/38157=0.157 OR 15.7%
PAVEMENT AREA = 17,739 S.F.
OPEN SPACE REQ = 35%
OPEN SPACE PROVIDED = 14418/38157=0.378 OR 37.8%

PARKING DATA
RETAIL BUILDING AREA = 6,000 S.F.
REQ'D PARKING RATIO (RETAIL SALES, COMMUNITY) = 4.5 / 1000 S.F. (MINIMUM) = 120% OF MINIMUM (MAXIMUM)
PARKING SPACES REQ'D = 27 SPACES
ACCESSIBLE SPACES REQ'D = 2 SPACES PROVIDED:
STANDARD SPACES = 25 SPACES
ACCESSIBLE SPACES = 2 SPACES
PARKING SPACES PROVIDED = 30 SPACES
LOADING SPACES REQUIRED (10'x25') = 1 SPACE
LOADING SPACES PROVIDED (10'x25') = 1 SPACE

PROJECT DATA
SITE AREA = 38,157 S.F. (0.88 AC.)
BUILDING AREA = 6,000 S.F. (15.7%)
OPEN SPACE = 14,418 S.F. (37.8%)
PAVEMENT AREA = 17,739 S.F. (46.5%)

LEGEND

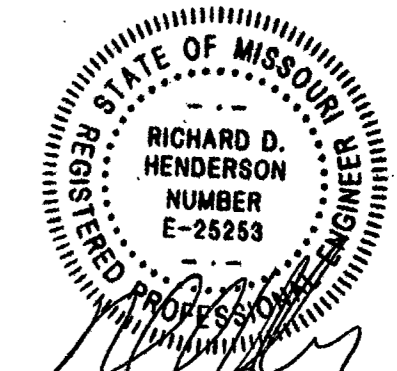
RIGHT OF WAY	R/W
PROPERTY LINE	P.L.
BUILDING SETBACK	B.S.
ADJACENT PROPERTY LINE	A.P.L.
EXISTING AERIAL ELECTRIC	-AE-
EXISTING GAS	-G-
EXISTING UNDERGROUND TELEPHONE	-UGT-
EXISTING WATER LINE	-W-
EXISTING EASEMENT	-E-
EXISTING CONTOUR	-XX-
EXISTING CONTOUR IX	-XXX-
NEW STORM SEWER	-SS-
NEW SANITARY SEWER	-SAN-
NEW GAS	-G-
NEW SANITARY SEWER LATERAL	-LAT-
NEW WATER LINE	-W-
EXISTING ASPHALT PAVEMENT	ASPH
NEW BUILDING	BUILDING
NEW STANDARD DUTY ASPHALT	STD ASP
NEW HEAVY DUTY ASPHALT	HVY ASP
NEW CONCRETE SIDEWALK AND APPROACHES	CONC
NEW CONCRETE PAVED V DITCH	CONC V
NEW WATER QUALITY AREA	WQA
CROSS ACCESS EASEMENT	CAE
NEW PERVIOUS ASPHALT PAVEMENT	PERV ASP
EXISTING WATER VALVE	WV
EXISTING FIRE HYDRANT	FH
EXISTING UTILITY POLE	UP
EXISTING LIGHT	L
HANDICAP PARKING SYMBOL	HP
BENCHMARK	B
EXISTING TREE	ET
EXISTING TREELINE	ETL
NEW TREELINE	NTL
NEW SANITARY CLEANOUT	SC
NEW LIGHT	L
NEW SANITARY MANHOLE	SM
(TBR) TO BE REMOVED	TBR
(TBA) TO BE ABANDONED	TBA

SHEET INDEX

	SHEET
CITY DEVELOPMENT SECTION PLAN	C1
SITE DEVELOPMENT SECTION PLAN	C2
PHOTOMETRIC PLAN	P1
LANDSCAPE PLAN	L1

PROPERTY OWNER:
HDE CORP
1065 EXECUTIVE PARKWAY DRIVE,
SUITE 300
ST. LOUIS, MO 63141

DEVELOPER:
THE REDDING COMPANY, LLC
2460 EXECUTIVE DRIVE,
SUITE 114
ST. CHARLES, MO 63303



Richard D. Henderson E-25253
Registered Professional Engineer
State of Missouri
for Cochran Engineering & Surveying
SLC H&T NO:
MSD P-
BASE MAP: 17U

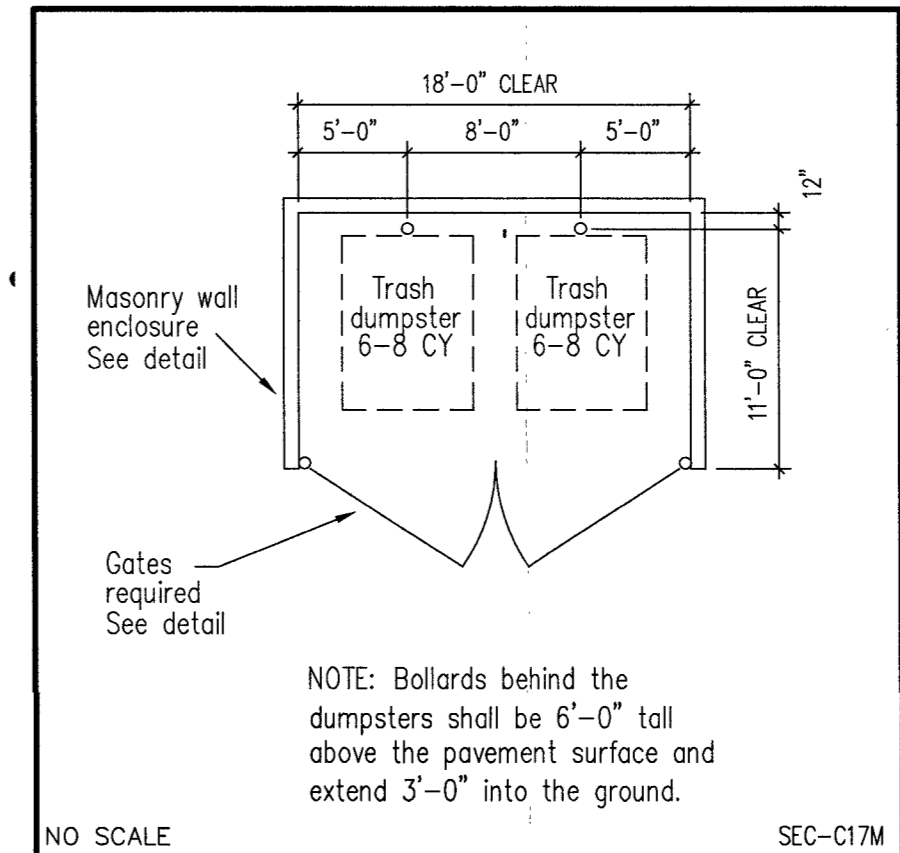
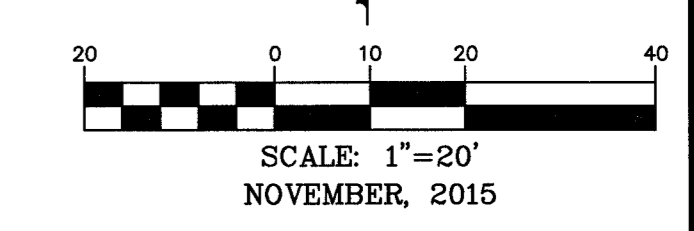
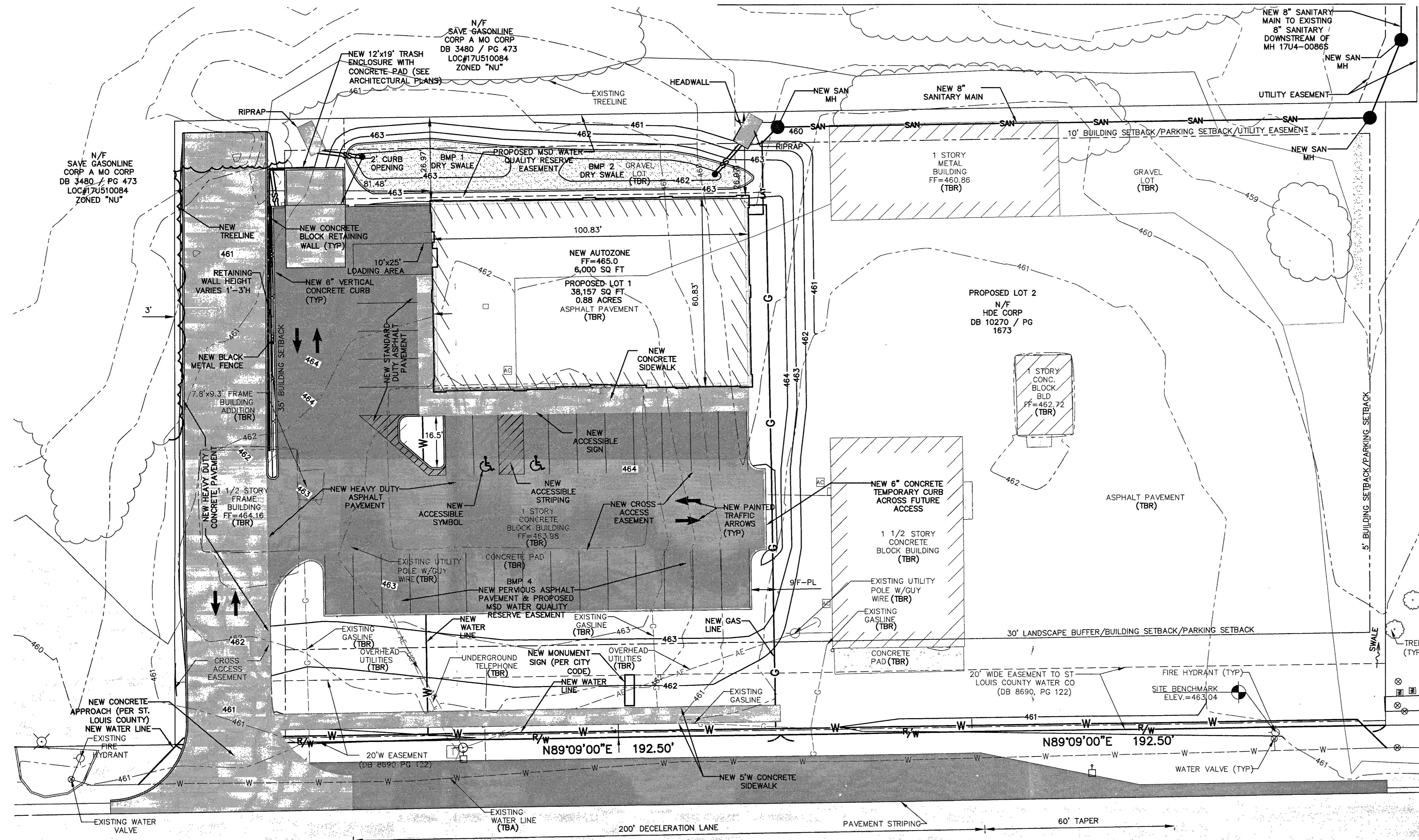
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SITE DEVELOPMENT SECTION PLAN FOR
AUTOZONE
 CHESTERFIELD, MISSOURI

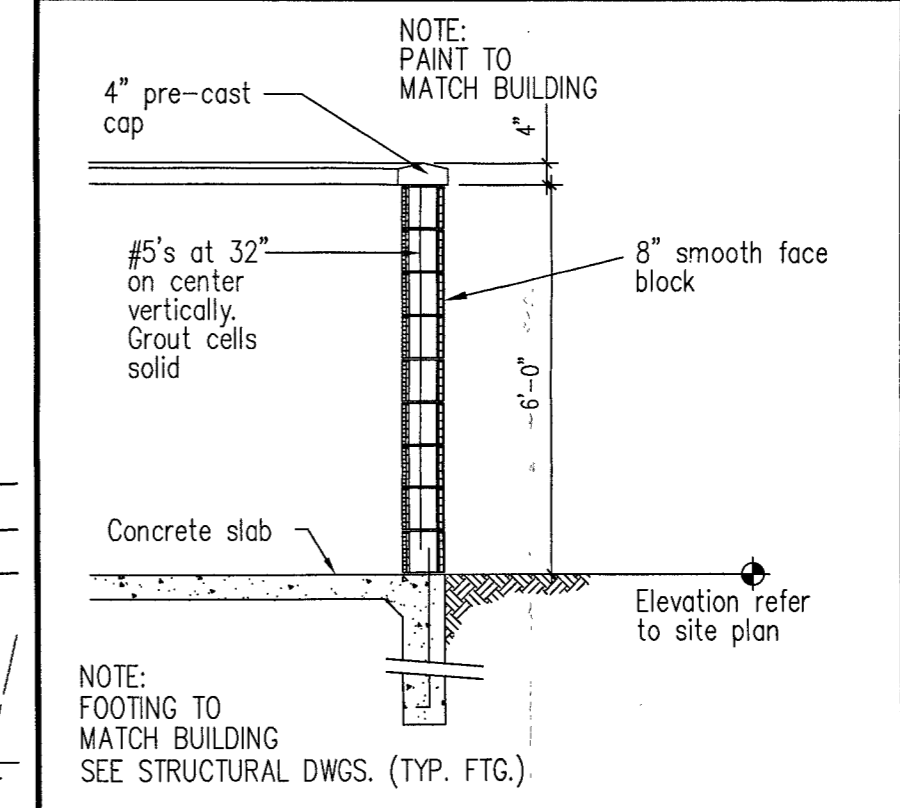
COCHRAN
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 Architecture
 Site Development
 General Consulting
 Master Planning

NO.	DATE	BY	APP'D. BY
1	NOVEMBER, 2015	SLH	RDH
SCALE: NONE			
PROJECT NO: M14-7090A			
C1			

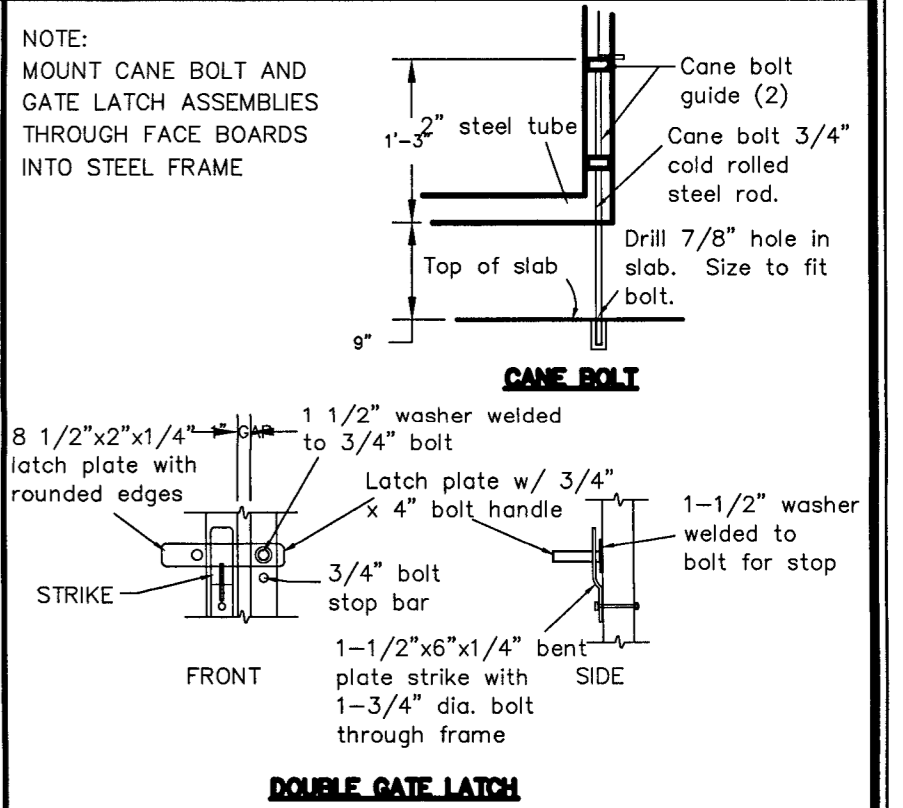
SITE DEVELOPMENT SECTION PLAN



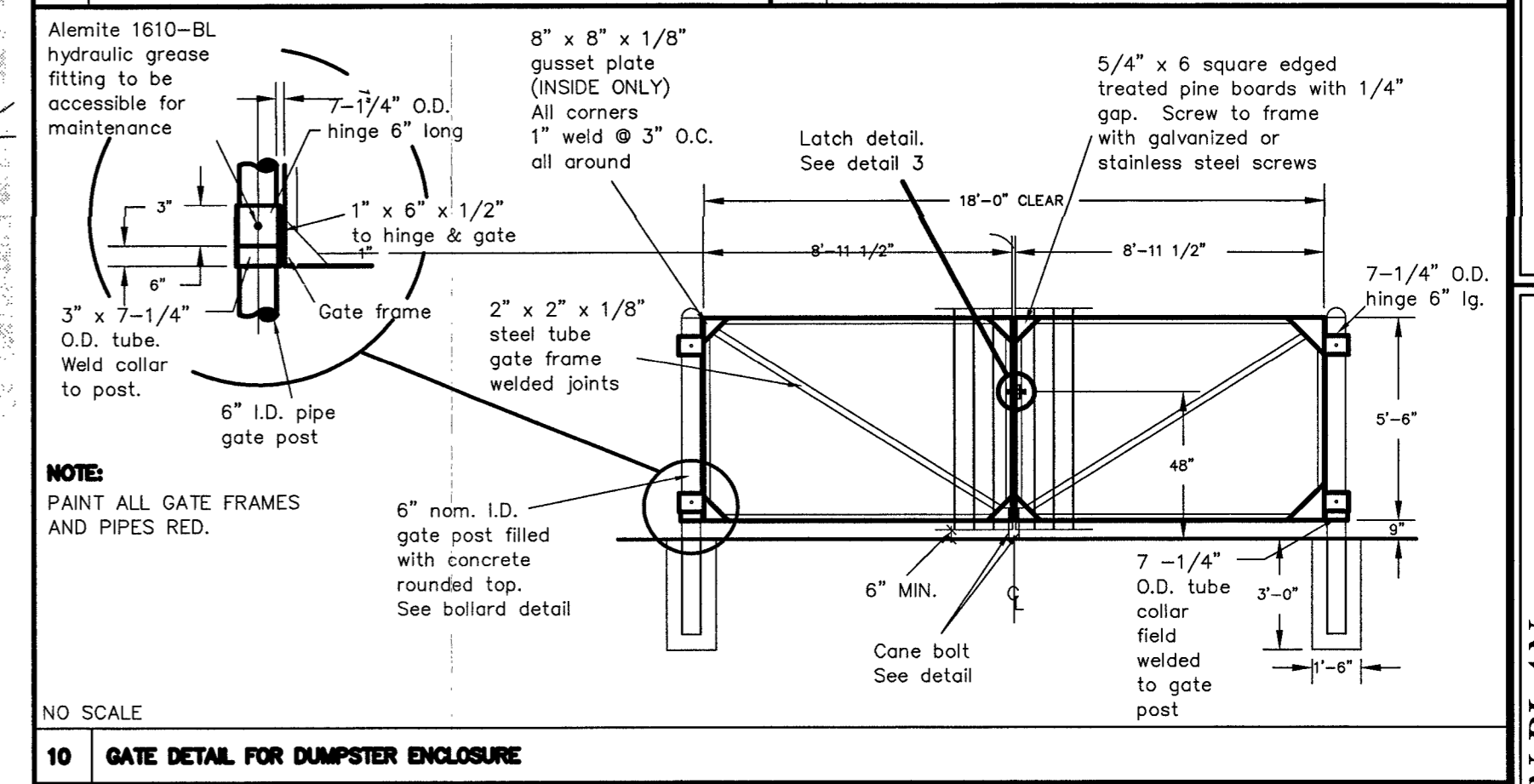
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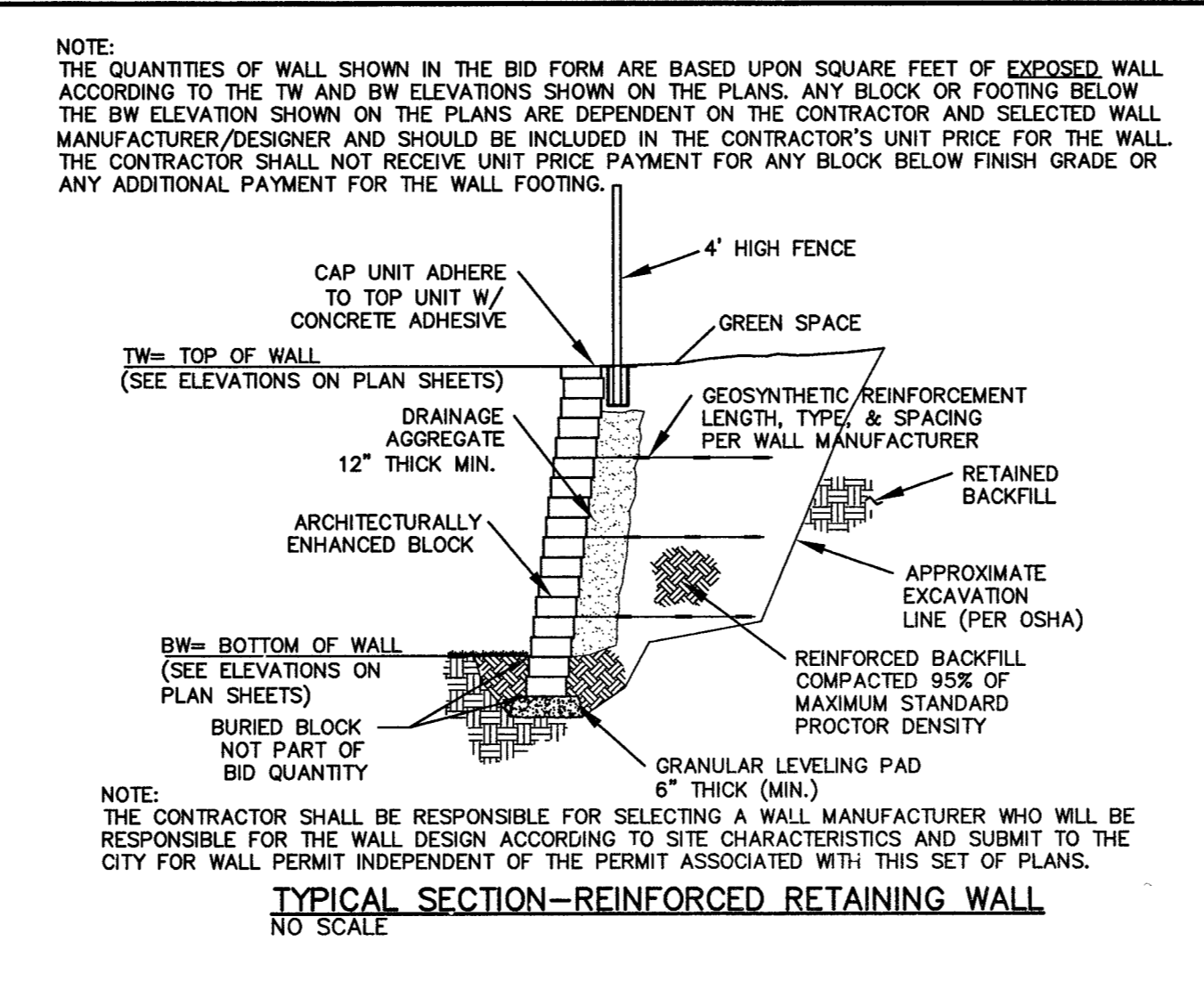
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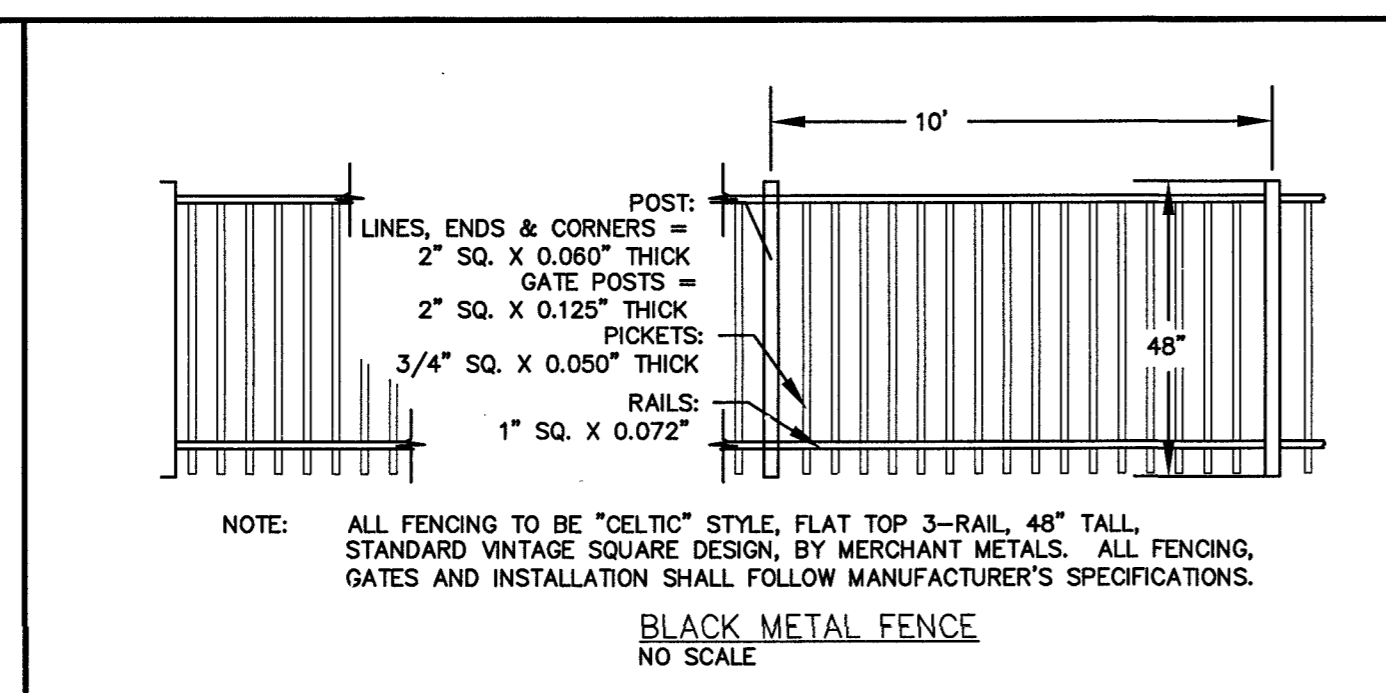
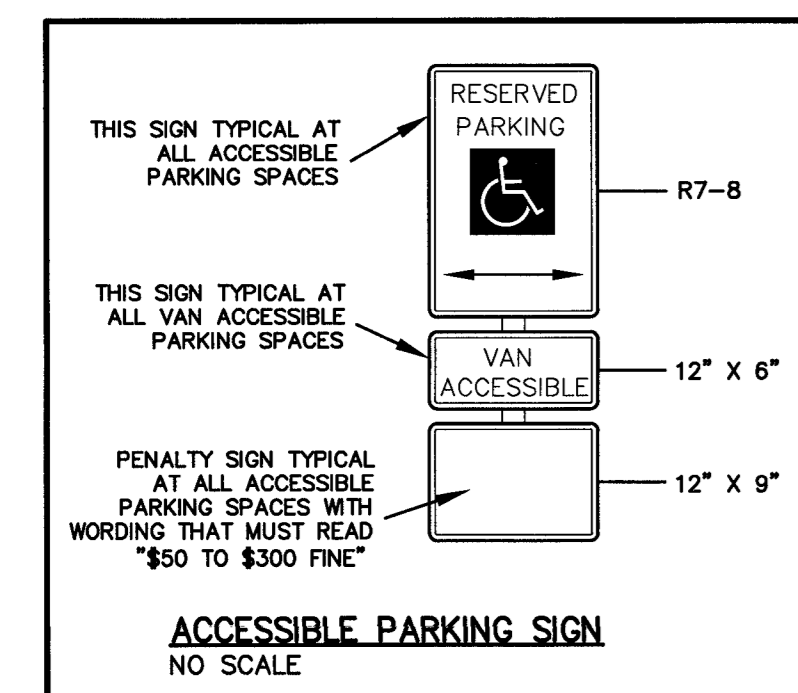
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NO SCALE 10



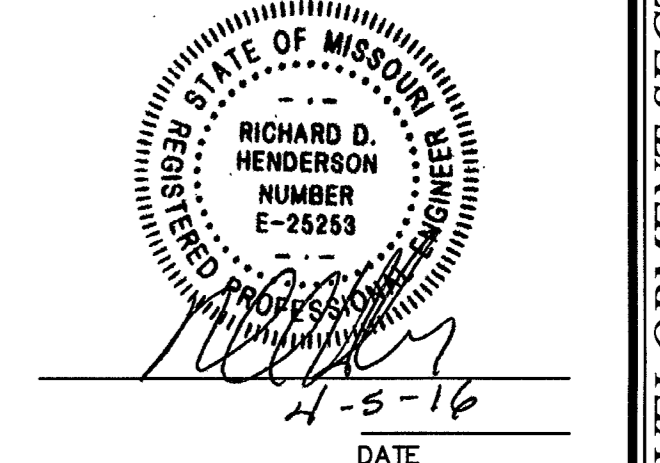
NO SCALE



NO SCALE

PROPERTY OWNER:
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DEVELOPER:
THE REDING COMPANY, LLC
2460 EXECUTIVE DRIVE,
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State of Missouri
for Cochran Engineering & Surveying
SLC H&T NO:
MSD P-
BASE MAP: 17U

DATE: 11-5-16

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SITE DEVELOPMENT SECTION PLAN FOR
AUTOZONE
CHESTERFIELD, MISSOURI

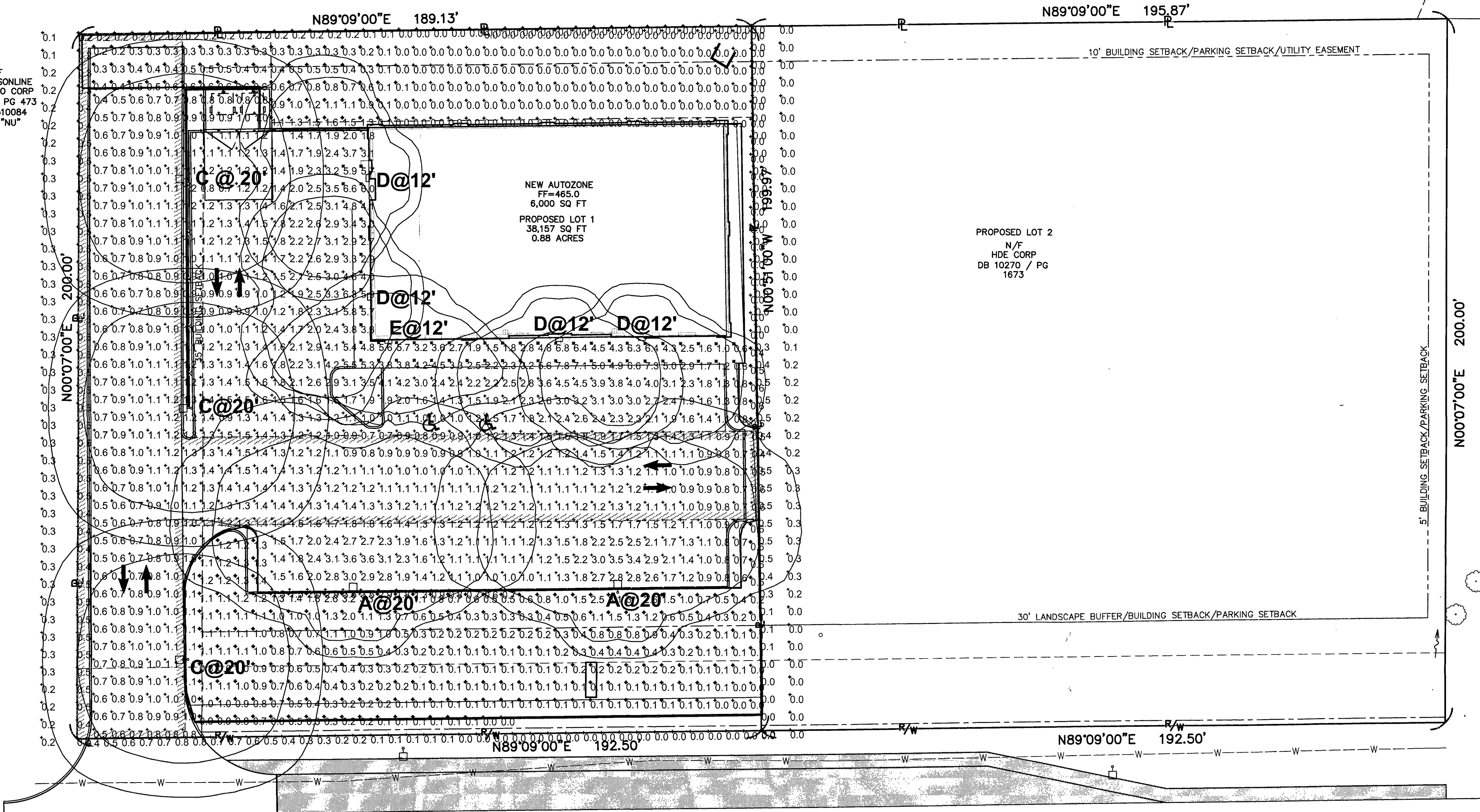
SITE DEVELOPMENT SECTION PLAN

DATE:	NOVEMBER, 2015
SCALE:	1"=20'
PROJ. NO.:	M14-7090A
DWG. NO.:	C2

PHOTOMETRICS PLAN

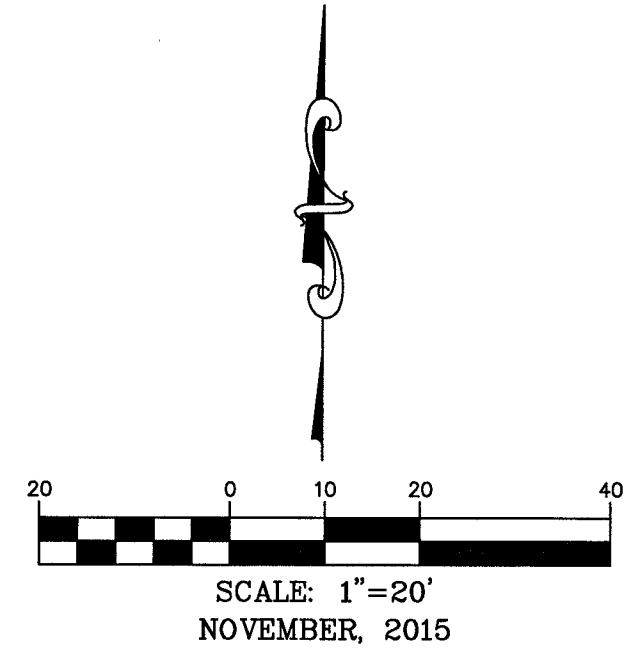
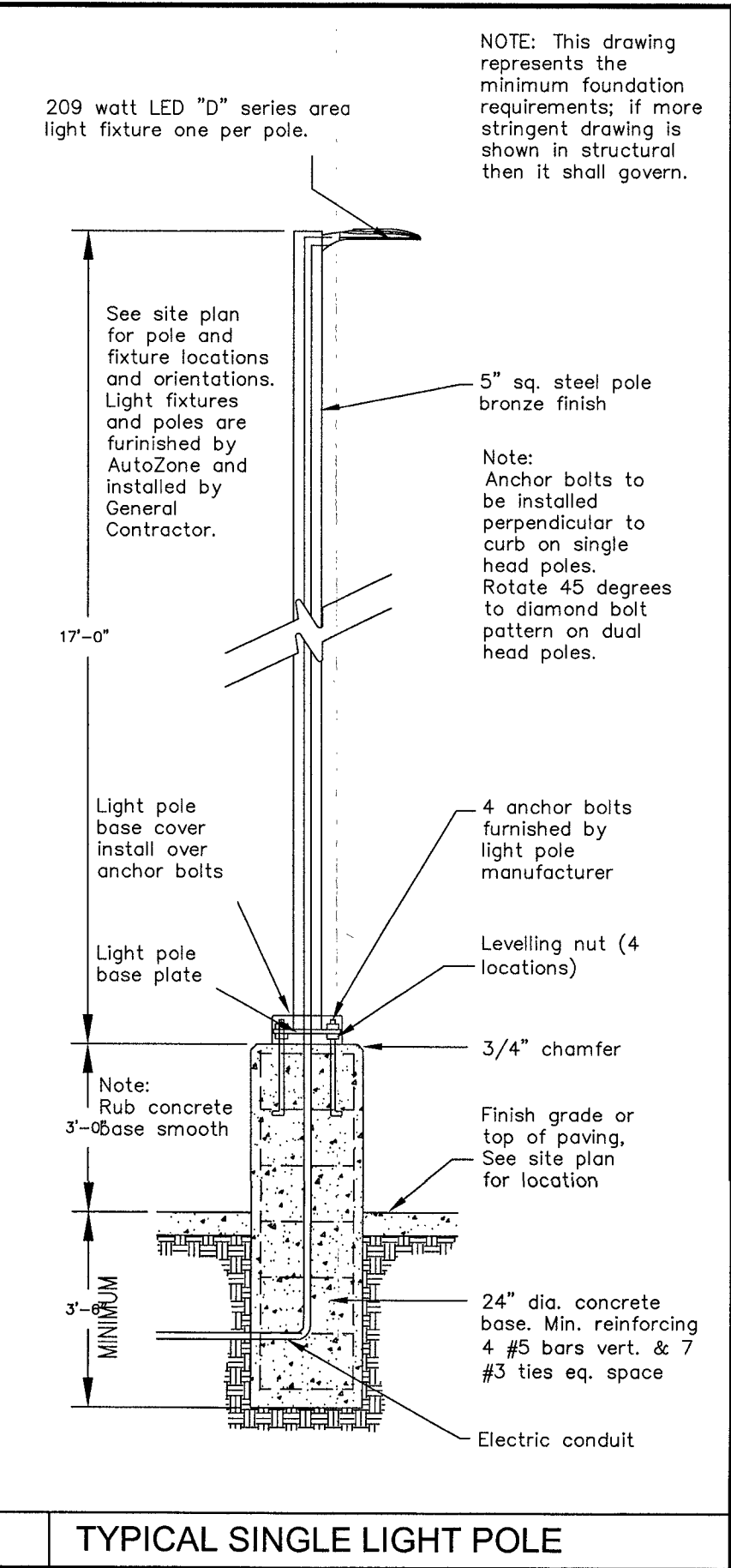
N/F
SAVE GASOLINE
CORP A MO CORP
DB 3480 / PG 473
LOC#17U510084
ZONED "NU"

N/F
SAVE GASOLINE
CORP A MO CORP
DB 3480 / PG 473
LOC#17U510084
ZONED "NU"



NEW AUTOZONE
FF=465.3
6,000 SQ FT
PROPOSED LOT 1
38,157 SQ FT
0.88 ACRES

PROPOSED LOT 2
N/F
HDE CORP
DB 10270 / PG
1673



636-332-4574 (tel)
636-327-0760 (fax)
www.cochran-engineering.com
N. Office: 8118 South Valley Street, Wentzville, Missouri 63385

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PHOTOMETRICS PLAN
AUTOZONE
CHESTERFIELD, MISSOURI

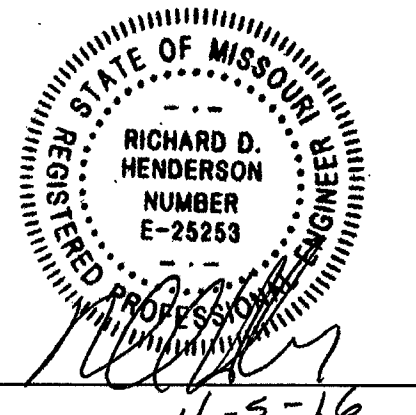
DEVELOPER:
THE REDING COMPANY, LLC
2460 EXECUTIVE DRIVE, STE. 114
ST. CHARLES, MO 63303

SSL LIGHTING & CONTROLS REPRESENTATIVES
680 Crown Ind. Ct., Suite K, Chesterfield, MO 63005
314.429.5483 (LITE) www.SSLtg.com

Note
1. Mounting Height Next to Each Fixture
2. Calcs Ever 5' on Ground

Symbol	Label	QTY	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage
□	A	2	VMX-1-T4-32LC-5-4K-UNV	31-1/2 in.L. X 15 in.W. X 11-3/4 in.H. LED LUMINAIRE		1	6172.351	0.95	54.8
□	C	3	VMX-1-T5-32LC-3-4K-UNV	31-1/2 in.L. X 15 in.W. X 11-3/4 in.H. LED LUMINAIRE		1	4703.473	0.95	36.4
□	D	4	VSC-1-T4-32LC-3-4K-UNV	14-1/4 in. L X 10-1/2 in. W X 4-1/2 in.H. LED LUMINAIRE		48	82.65927	0.95	36
□	E	1	VSC-1-T2-32LC-3-4K-UNV	14-1/4 in. L X 10-1/2 in. W X 4-1/2 in.H. LED LUMINAIRE		48	84.5832	0.95	36

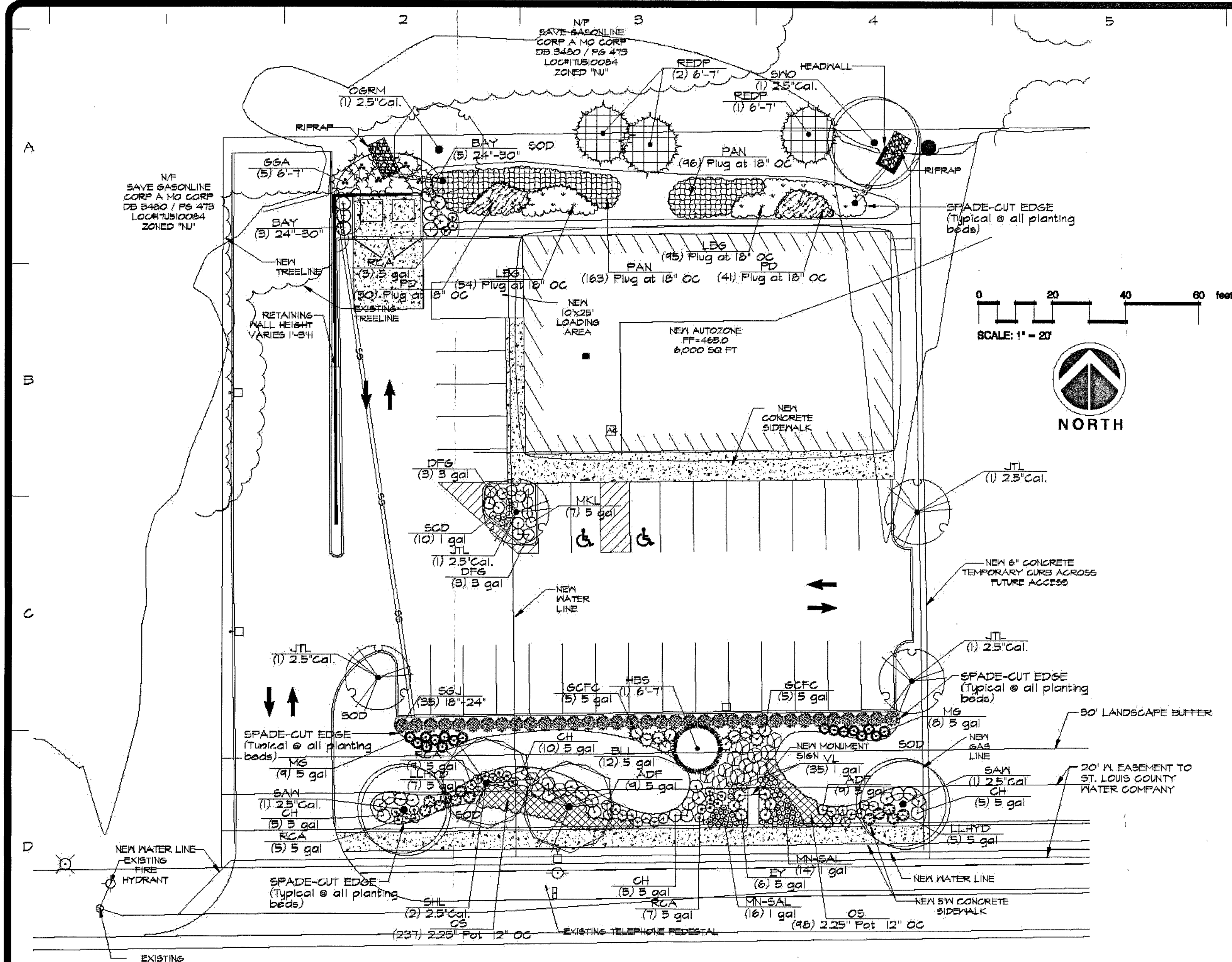
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
10' From Property Line	+	0.3 fc	0.3 fc	0.1 fc	3.0:1	3.0:1
10' From Property Line	+	0.1 fc	0.4 fc	0.0 fc	N/A	N/A
AUTOZONE PARKING LOT	+	1.7 fc	8.2 fc	0.5 fc	16.4:1	3.4:1
Front Entry	✗	6.7 fc	8.2 fc	5.0 fc	1.6:1	1.3:1
Property Line	+	0.5 fc	0.5 fc	0.2 fc	2.5:1	2.5:1
Property Line	+	0.2 fc	0.5 fc	0.0 fc	N/A	N/A
Side Exit	✗	6.4 fc	7.0 fc	6.0 fc	1.2:1	1.1:1
Sidewalk	✗	4.1 fc	8.2 fc	0.6 fc	13.7:1	6.8:1



Richard D. Henderson E-25253
Registered Professional Engineer
State of Missouri
for Cochran Engineering & Surveying
S/C H&T NO:
MSD P-
BASE MAP: 17U

PHOTOMETRICS PLAN

DATE	NOVEMBER, 2015
SCALE	1"=20'
PROJ. NO.	M14-7090A
DWG. NO.	P1



PLANT SCHEDULE

TREES	QTY	COMMON NAME / BOTANICAL NAME	SIZE
BAN	2	Santa Barbara Oak / <i>Quercus acutissima</i>	2.5" Cal.
BNO	1	Shamp White Oak / <i>Quercus bicolor</i>	2.5" Cal.
OSRM	1	October Glory Maple / <i>Acer rubrum</i> 'October Glory'	2.5" Cal.
SHL	2	'Skyline' Locust / <i>Gleditsia triacanthos</i> 'Skyline'	2.5" Cal.

EVERGREEN TREES	QTY	COMMON NAME / BOTANICAL NAME	SIZE
GGA	5	Green Giant Arborvitae / <i>Thuja plicata</i> 'Green Giant'	6"-7"
HBS	1	Hoops! Blue Spruce / <i>Picea pungens</i> 'Hoops!'	6"-7"
REDP	3	Red Pine / <i>Pinus resinosa</i>	6"-7"

FLOWERING TREES	QTY	COMMON NAME / BOTANICAL NAME	SIZE
JTL	4	Ivory Silk Japanese Tree Lilac / <i>Syringa reticulata</i> 'Ivory Silk'	2.5" Cal.

SHRUBS	QTY	COMMON NAME / BOTANICAL NAME	SIZE
ADF	18	Arnold's Dwarf Forsythia / <i>Forsythia x intermedia</i> 'Arnold's Dwarf'	5 gal
BLL	12	Blomering Lilac / <i>Syringa x 'Penda'</i>	5 gal
CH	25	China Boy/Girl Holly / <i>Ilex meserveae</i> 'China Boy/Girl' TM	5 gal
EY	6	Everlon Yew / <i>Taxus x media</i> 'Everlon'	5 gal
GCFC	10	Golden Charm False Cypress / <i>Chamaecyparis pisifera filifera</i> 'Golden Charm'	5 gal
LLHYD	12	Little Lime Hydrangea / <i>Hydrangea paniculata</i> 'Little Lime'	5 gal
MKL	7	Miss Kim Lilac / <i>Syringa patula</i> 'Miss Kim'	5 gal
BAY	8	Northern Bayberry / <i>Myrica pensylvanica</i>	24"-30"
RCA	24	Rose Creek Abelia / <i>Abelia x grandiflora</i> 'Rose Creek'	5 gal
SSJ	35	Sea Green Juniper / <i>Juniperus chinensis</i> 'Sea Green'	18"-24"

ANNUALS/PERENNIALS	QTY	COMMON NAME / BOTANICAL NAME	SIZE
MN-SAL	30	May Night Salvia / <i>Salvia nemorosa</i> 'May Night'	1 gal
SCD	10	Stranberry Candy Daylily / <i>Hemerocallis x 'Stranberry Candy'</i> TM	1 gal
VL	35	Variegated Liriope / <i>Liriope muscari</i> 'Variegata'	1 gal

GRASSES	QTY	COMMON NAME / BOTANICAL NAME	SIZE
DFG	6	Dwarf Fountain Grass / <i>Fernisetum alopecuroides</i> 'Homen'	5 gal
MS	17	Malden Grass / <i>Miscanthus sinensis</i> 'Gracillimus'	5 gal

GROUND COVERS	QTY	COMMON NAME / BOTANICAL NAME	SIZE
OS	545	Orange Stonecrop / <i>Sedum kamtschaticum</i>	2.25" Pot

NATIVE GRASSES	QTY	COMMON NAME / BOTANICAL NAME	SIZE
MS	144	Little Bluestem Grass / <i>Schizachyrium scoparium</i>	Plug at 18" OC

PERENNIALS	QTY	COMMON NAME / BOTANICAL NAME	SIZE
OS	41	Prairie Dropseed / <i>Sporobolus heterolepis</i>	Plug at 18" OC
MS	254	Switch Grass / <i>Panicum virgatum</i>	Plug at 18" OC

Proposed Trees constitute: 3 FAST GROWTH (17%) AND 15 SLOW/MEDIUM GROWTH (83%)

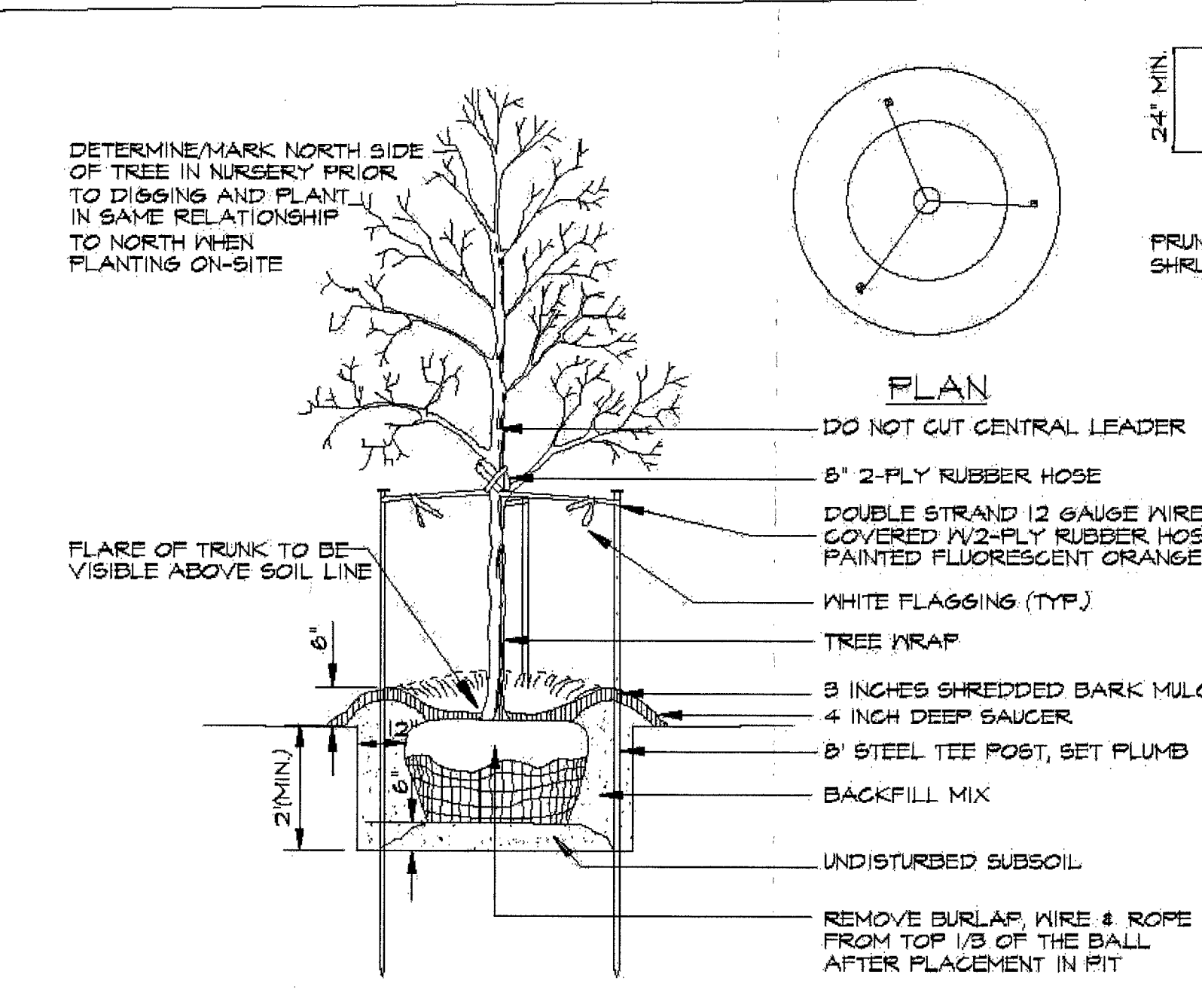
PROPERTY OWNER:
HDE CORP
1065 EXECUTIVE PARKWAY DR.
SUITE 300
ST. LOUIS, MO 63141

DEVELOPER:
THE REDDING COMPANY, LLC
2460 EXECUTIVE DRIVE,
SUITE 114
ST. CHARLES, MO 63303

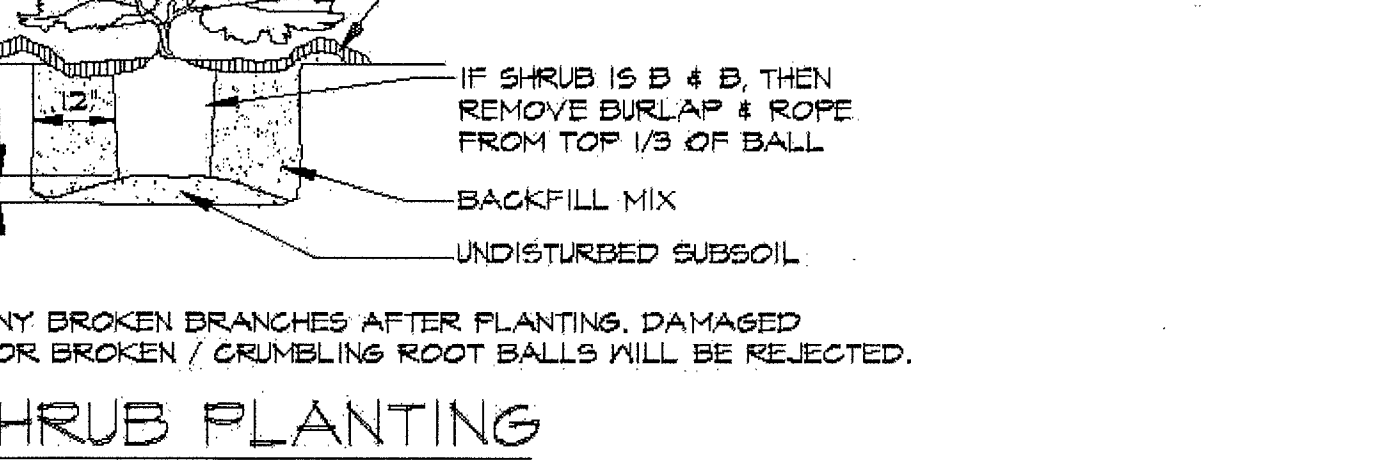
SITE AREA = 38,51 SF
OPEN SPACE = 14,418 SF
OPEN SPACE REQ'D = 35%
PAYEMENT = 17,139 SF (46.5%)

- NOTES:**
- All natural vegetation shall be maintained where it does not interfere with construction or the permanent plan of operation. Every effort possible shall be made to protect existing structures or vegetation from damage due to equipment usage. Contractor shall at all times protect all materials and work against injury to public. The landscape contractor shall be responsible for any coordination with other site related work being performed by other contractors. Refer to architectural drawings for further coordination of work to be done. Coordinate locations of trees with the location of proposed light standards, fire hydrants and utilities.
 - Underground facilities, structures and utilities must be considered approximate only. There may be others not presently known or shown. It shall be the landscape contractor's responsibility to determine or verify the existence of and exact location of the above (Call 1-800-DIG-RIE).
 - Plant material are to be planted in the same relationship to grade as was grown in nursery conditions.
 - All mulch to be shredded oak bark, mulch at 3" depth (after compaction) unless otherwise noted. Mulch shall be clean and free of all foreign materials. Edge all beds with spade-cut edges unless otherwise noted.
 - It shall be the landscape contractor's responsibility to:
 - Verify all existing and proposed features shown on the drawings prior to commencement of work.
 - Report all discrepancies found with regard to existing conditions or proposed design to the landscape architect immediately for a decision.
 - State the locations of all proposed plant material and obtain the approval of the owner's representative or landscape architect prior to installation.
 - The landscape contractor is to receive the site graded to within 1/10 of a foot. Landscape contractor to obtain letter of grade certification from the general contractor prior to commencement of work.
 - All planting beds shall be cultivated to 6" depth minimum and graded smooth immediately before planting of plants. Plant groundcover to within 12" of trunk of trees or shrubs planted within the area.
 - All plant material (excluding ground cover, perennials and annuals) are to be warranted for a period of 12 months after installation at 100% of the installed price.
 - All disturbed lawn areas to be seeded with a mixture of Turf-Type Tesso (300# per acre) and bluegrass (18# per acre). Landscape contractor shall offer an alternate price for seed in lieu of seed. Lawn areas shall be unconditionally warranted for a period of 90 days from date of final acceptance. Bare areas more than one square foot per any 50 square feet shall be replaced.
 - Items shown on this drawing take precedence over the material list. It shall be the landscape contractor's responsibility to verify all quantities and conditions prior to implementation of this plan. No substitutions of types or size of plant materials will be accepted without written approval from landscape architect.
 - The minimum setback is 30'-0" from an existing or proposed right of way.
 - Siltation controls may be required to prevent run-off. Straw bales placed end-to-end shall be used, anchored with no less than two 3/8" x 36" reinforcing rods. Bales shall remain until all graded areas are seeded or sodded.
 - One (1) tree is required for every fifty (50) linear feet of street frontage.
 - Landscape islands shall be placed at the ends of parking aisles as required by Ordinance #2512 of the City of Chesterfield Zoning Ordinance.
 - There shall be a minimum landscape width of nine (9) feet and a minimum area of 100 square feet. Provide one (1) deciduous tree per island.
 - At the end of double row parking, a minimum of 210 square feet shall be provided for with a minimum of two (2) deciduous trees per island.
 - Islands shall have plantings consisting of groundcovers such as shrubs, flowers and grasses. Mulch or rock may be used instead of grass or in combination with grass.
 - Consideration shall be given to the type of grass to be used due to need for drought tolerance in areas without irrigation systems. (Examples: Turf Type Tesso blend less than five years old and Grassfire, a semi-dwarf variety, blended with 5-10% bluegrass and referred to as a Transition mix.)
 - A minimum of sixty percent (60%) of the deciduous trees must be of a species which matures at 40', evenly dispersed throughout the project.
 - If the estimated materials cost of new landscaping indicated on the site development plan, as required by the Planning Commission, exceeds one thousand (1000) dollars, as determined by a plant nursery, the petitioner shall furnish a two (2) year bond or escrow sufficient in amount to guarantee the installation of new landscaping. Upon release of the landscape installation bond, a two (2) year Landscape Maintenance Bond shall be required.

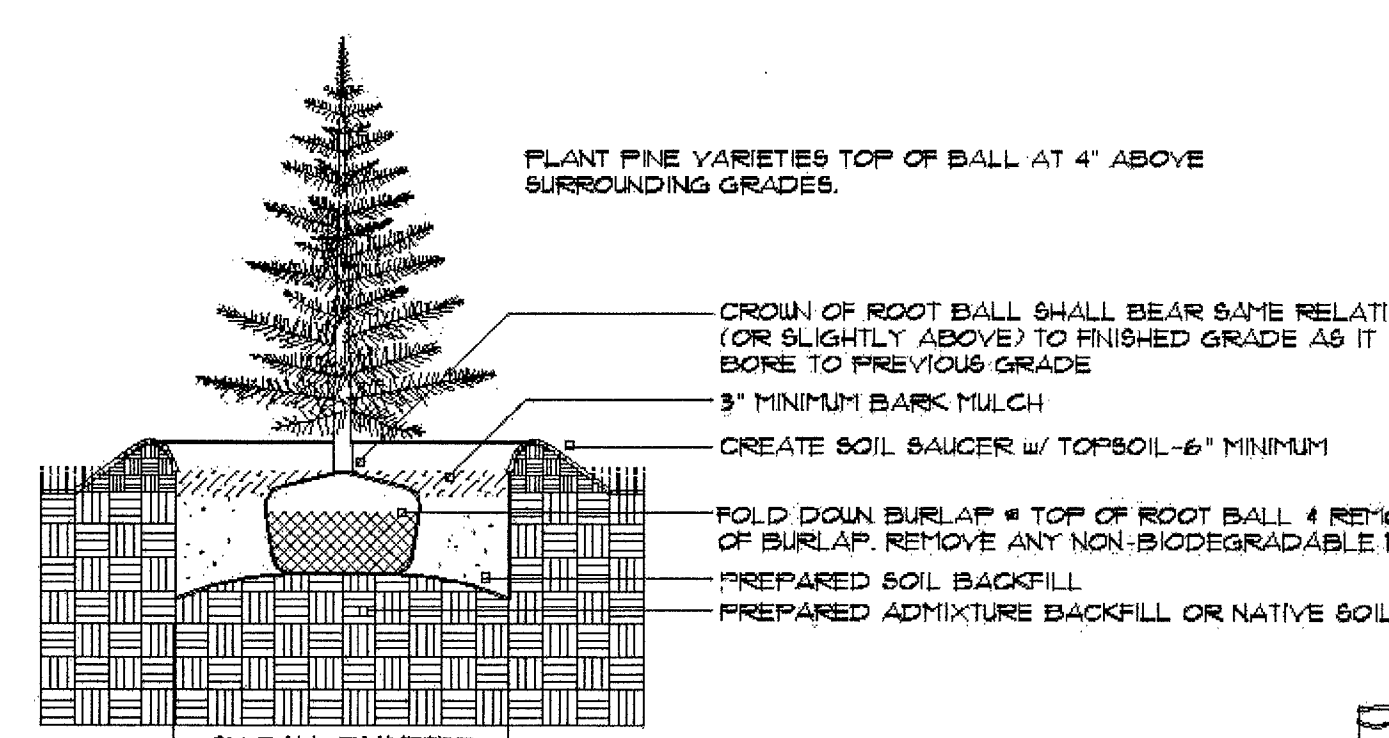
DECIDUOUS TREE PLANTING
N.T.S.



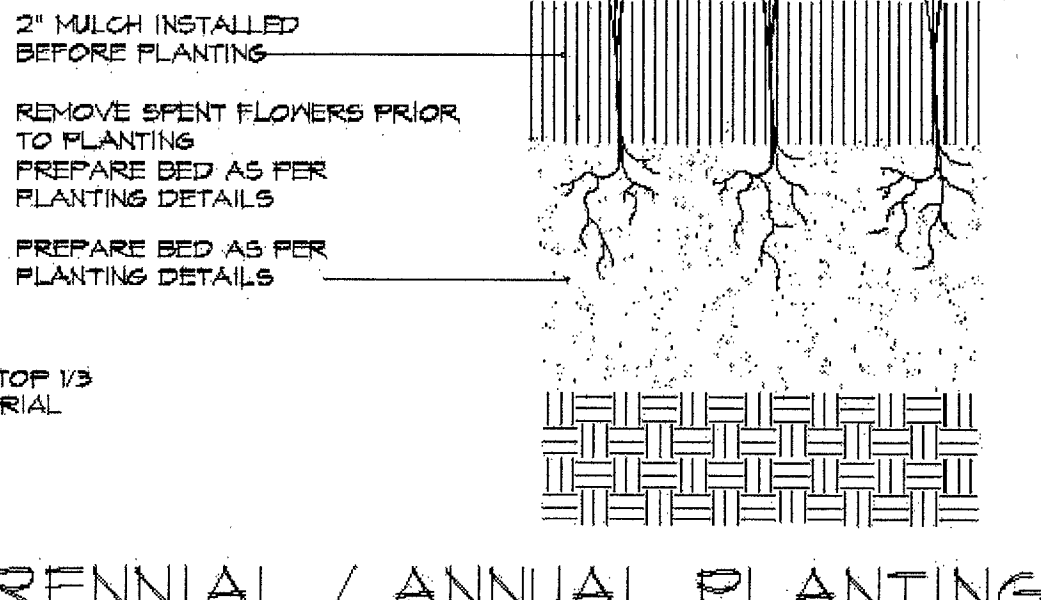
SHRUB PLANTING
N.T.S.



EVERGREEN TREE PLANTING
N.T.S.



PERENNIAL / ANNUAL PLANTING
N.T.S.



REVISIONS

NO.	DATE	BY
1	1/2/15	R/M
2	1/14/15	R/M
3	1/19/16	R/M
4	1/20/16	R/M
5	2/18/16	R/M

LANDSCAPE TECHNOLOGIES
57 Locust Creek Drive
St. Charles, Missouri 63304
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Fax: (636) 427-1880
www.landscapetechnologies.com

REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT
STATE OF MISSOURI
No. 019

PLANTING PLAN FOR THE PROPOSED
AutoZone Store
CHESTERFIELD, MISSOURI

DRAWN R. MARZIS
CHECKED R/M
DATE 12/20/15
SCALE 1/4"=1'-0"
JOB NO. 2015-114
SHEET L-1
OF ONE SHEET