

## Memorandum Department of Planning, Public Works & Parks



**To:** Planning and Public Works Committee

**From:** Mara M. Perry, Senior Planner

**Date:** 04/19/2012

**RE:** **Chesterfield Commons Seven, Lot 2 (Valvoline)**: A Site Development Section Plan, Landscape Plan, Lighting Plan, Architectural Elevations, and Architect's Statement of Design for a 0.977 acre tract of land zoned "PC" Planned Commercial District located on the north side of Chesterfield Airport Road, one-half mile west of the corner of Chesterfield Airport Road and Boone's Crossing.

### Summary

TR,i and Wolverton & Associates, on behalf of THF Chesterfield Seven Development LLC., have submitted a Site Development Section Plan, Landscape Plan, Lighting Plan, Architectural Elevations, and Architect's Statement of Design. The request is for a 2,477 square foot retail building located on Lot 2 of the Chesterfield Commons Seven subdivision. The subject site is zoned "PC" Planned Commercial District and is governed under the terms and conditions of City of Chesterfield Ordinance Number 2501. The exterior building materials will be comprised of brick, Arriscraft stone, EIFS and glass. The roof is proposed to be a sloped roof membrane system to the rear of the building with parapet walls.

The plan was reviewed at the Planning Commission meeting held on March 26, 2012. At that meeting of the Planning Commission, a recommendation for approval of the above-referenced matter was approved by a vote of 9-0. This development has Automatic Power of Review.

Attached please find a copy of staff's report and the Planning Commission packet.

Respectfully submitted,

Mara M. Perry, AICP  
Senior Planner

Cc: Michael G. Herring, City Administrator  
Rob Heggie, City Attorney  
Michael O. Geisel, Director of Planning, Public Works & Parks  
Aimee Nassif, Planning and Development Services Director



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## Planning Commission Staff Report

**Project Type:** Site Development Section Plan

**Meeting Date:** March 26, 2012

**From:** Mara Perry, AICP  
Senior Planner

**Location:** Chesterfield Commons Seven, Lot 2

**Applicant:** TR,i and Wolverton & Associates

**Description:** **Chesterfield Commons Seven, Lot 2 (Valvoline)**: A Site Development Section Plan, Landscape Plan, Lighting Plan, Architectural Elevations, and Architect's Statement of Design for a 0.977 acre tract of land zoned "PC" Planned Commercial District located on the north side of Chesterfield Airport Road, one-half mile west of the corner of Chesterfield Airport Road and Boone's Crossing.

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### **PROPOSAL SUMMARY**

TR,i and Wolverton & Associates, on behalf of THF Chesterfield Seven Development LLC., have submitted a Site Development Section Plan, Landscape Plan, Lighting Plan, Architectural Elevations, and Architect's Statement of Design for Planning Commission review. The request is for a 2,477 square foot retail building located on Lot 2 of the Chesterfield Commons Seven subdivision. The subject site is zoned "PC" Planned Commercial District and is governed under the terms and conditions of City of Chesterfield Ordinance Number 2501. The exterior building materials will be comprised of brick, Arriscraft stone, EIFS and glass. The roof is proposed to be a sloped roof membrane system to the rear of the building with parapet walls.

### **LAND USE AND ZONING HISTORY OF SUBJECT SITE**

The site was zoned "NU" Non-Urban District by St. Louis County prior to the incorporation of the City of Chesterfield. The zoning was changed from "NU" Non-Urban District to "PC" Planned Commercial District by City of Chesterfield Ordinance 2501 on November 17, 2008.

On June 28, 2010, the Planning Commission approved a one-year time extension for the submittal of the Site Development Concept Plan as required by the site specific ordinance. A Site Development Concept Plan for the three proposed lots was approved by the Planning Commission in December of 2010.

**Land Use and Zoning of Surrounding Properties:**

Direction	Land Use	Zoning
North	Interstate 64/ Highway 40-61	Interstate 64/ Highway 40-61
South	Commercial/Retail	"PI" Planned Industrial
East	Commercial/Retail	"PC" Planned Commercial
West	Equipment Sales/Vacant	"NU" Non-Urban District



**STAFF ANALYSIS**

**Zoning**

The subject site is zoned "PC" Planned Commercial District. The submittal was reviewed against the requirements of City of Chesterfield Ordinance 2501, and all applicable Zoning Ordinance requirements. The submittal as presented adheres to Ordinance 2501 and all applicable Zoning Ordinance requirements.

**Traffic/Access and Circulation**

The circulation system into the site has been addressed through the approval of the Site Development Concept Plan. The primary roadway into the development is being constructed to align with the adjacent development to the east. An entrance off the internal street is being provided and no vehicular connection is allowed from Chesterfield Airport Road. Cross access to the adjacent lot to the east, that is yet to be developed, is being provided for ease of circulation within the development.

Pedestrian connections are being made to the adjacent development and within the site. A connection will be provided through the parking lot to connect to the sidewalk along Chesterfield Airport Road.

### **Parking**

Parking for the site is provided to the east of the building and on the south side of the lot. The number of parking spaces provided meets the requirements of the Off-Street Parking, Stacking, and Loading Regulations section of the City of Chesterfield Zoning Ordinance.

### **Landscaping**

A Landscape Plan was submitted showing new trees and shrubs to be installed throughout the site. Water quality features are being provided per the requirements of the Metropolitan Sewer District and the proposed plantings were reviewed to ensure no sight distance issues existed.

The Landscape Plan meets all requirements of the City of Chesterfield Tree Preservation and Landscape Requirements. The City Arborist has reviewed the Landscape Plan and had no additional comments.

### **Lighting**

A Lighting Plan has been submitted with pole mounted parking lot fixtures in the parking lot. The fixture design adheres to the City of Chesterfield Lighting Ordinance however the proposed mounting height of the parking lot fixtures is thirty-three (33) feet. The Lighting Ordinance states that the height of all light standards shall be reviewed by the Planning Commission. The applicant has submitted a request to allow a mounting height of thirty-three (33) feet in order to be consistent with the height of the parking lot light standards found on the Chesterfield Commons Six site.

### **Architectural Elevations**

The project was reviewed by the Architectural Review Board on March 8, 2012. A motion was passed by a vote of 5-0 to forward the project to Planning Commission for approval as presented.

### **Signage**

Signage is approved under a separate process and will be reviewed against the approved Sign Package for the development.

### **DEPARTMENTAL INPUT**

Staff has reviewed the Site Development Section Plan, Landscape Plan, Lighting Plan, Architectural Elevations, and Architect's Statement of Design and has found the application to be in conformance with City of Chesterfield Ordinance 2501, and all other applicable Zoning Ordinance requirements. Staff recommends approval of the Site Development Section Plan, Landscape Plan, Architectural Elevations, and Architect's Statement of Design for Chesterfield Commons Seven, Lot 2 (Valvoline).

### **MOTION**

The following options are provided to the Planning Commission for consideration relative to this application:

- 1) "I move to approve (or deny) the Site Development Section Plan, Landscape Plan, Lighting Plan, Architectural Elevations, and Architect's Statement of Design for Chesterfield Commons Seven, Lot 2 (Valvoline)."
- 2) "I move to approve the Site Development Section Plan, Landscape Plan, Lighting Plan, Architectural Elevations, and Architect's Statement of Design for Chesterfield Commons Seven, Lot 2 (Valvoline) with the following conditions..." (Conditions may be added, eliminated, altered or modified)

Cc: City Administrator  
City Attorney  
Department of Planning, Public Works, and Parks

Attachments: Site Development Section Plan  
Landscape Plan  
Lighting Plan  
Architectural Elevations  
Architectural Renderings  
Architect's Statement of Design



"By order of VALVOLINE INSTANT OIL CHANGE", we have prepared a Site Development Section Plan, the results of which are currently represented on this drawing, which is a site Concept Plan - not for construction - and was prepared for the sole limited purpose of providing a concept for the proposed development of the tract, and is intended only for the preliminary use of governmental reviewing authorities for the purpose of obtaining approval of a concept, and is subject to such comments, recommendations, or revisions as may be deemed necessary or appropriate in furtherance of such purposes. We certify that this plan is a correct representation of all existing and proposed land divisions.

WOLVERTON AND ASSOCIATES, INC.

David Mark Woolridge  
 Missouri Registration No. PE-2003021199  
 Date: 1/31/2012

**GEOTECHNICAL ENGINEER'S STATEMENT**

Giles Engineering Associates, Inc. at the request of Valvoline Instant Oil Change, has provided geotechnical services for the project proposed hereon. A geotechnical exploration was conducted for this project. The findings of which indicated that the earth-related aspects are suitable for the development proposed hereon pursuant to the geotechnical recommendations set forth in our December 16, 2011 Report Title "Geotechnical Engineering Exploration & Analysis - Giles Project No. 10-1111008 - Valvoline Instant Oil Change - 17457 Chesterfield Airport Road, Chesterfield, Missouri".

GILES ENGINEERING ASSOCIATES, INC.  
 TERRY L. GILES  
 Missouri Registration No. PE-2157450



**ATTENTION SEWER CONTRACTOR**

For Sewer Pipe (storm, sanitary and combined) with a design grade less than one percent (1%) verification of the pipe grade will be required for each installed reach of sewer, prior to any surface restoration or installation of any surface improvements. The Contractor's final as-builts will be required to provide daily documentation verifying that the as-built pipe grade meets the design grade through the utilization of signed out sheets to the MSD Inspector upon request.

Field surveyed verification must be made under the direction of a licensed land surveyor or registered engineer. The Contractor will be required to remove and replace any sewer reach having an as-built grade which is flatter than the design grade by more than 0.1%. Sewers with grades greater than the design grade may be left in place, provided no other sewer grade is reduced by this variance in the as-built grade.

MSD also reserves the right to require the Contractor to remove and replace any sewer (at any time prior to construction approval) for which the as-built grade does not comply with the grade tolerance stated in the above paragraph.

The Sewer Contractor shall be responsible for any costs associated with the field verification of the sewer grade, or removal and replacement of the sewer pipe or associated appurtenances.

Maintenance of the sewers designated as "public" shall be the responsibility of the Metropolitan St. Louis Sewer District upon dedication of the sewers to the district.

**NOTE**  
 A GRADING PERMIT IS REQUIRED PRIOR TO ANY GRADING OF THE SITE. NO CHANGE IN WATERWAYS SHALL BE PERMITTED.  
 INTERIOR STORMWATER DRAINAGE CONTROL IN THE FORM OF SILTATION CONTROL MEASURES ARE REQUIRED.  
 THE PETITIONER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE DEPARTMENT OF NATURAL RESOURCES CLEAN WATER COMMISSION AS THEY RELATE TO THE DEVELOPMENT OF THIS TRACT AS DIRECTED BY THE CITY OF CHESTERFIELD.

- A. THE DEVELOPER IS REQUIRED TO PROVIDE ADEQUATE STORMWATER SYSTEMS IN ACCORDANCE WITH ST. LOUIS COUNTY AND M.S.D. STANDARDS AND IN ACCORDANCE WITH THE MASTER PLAN FOR MANAGEMENT OF STORMWATER WITHIN THE CHESTERFIELD VALLEY AREA.
- B. ALL STORMWATER SHALL BE DISCHARGED AT AN ADEQUATE NATURAL DISCHARGE POINT BY MEANS OF BLEEDER DITCHES AND/OR CONSTRUCTION OF PORTIONS OF THE MAIN CHANNEL AS OUTLINED IN THE CHESTERFIELD VALLEY MASTER DRAINAGE PLAN OR BY OTHER MEANS THAT MAY BE APPROVED BY THE ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC AND THE CITY OF CHESTERFIELD. THIS MAY REQUIRE EXTENSIVE OFF-SITE STORM SEWER DITCH WORK AND APPROPRIATE EASEMENTS.
- C. ALL DRAINAGE DETENTION STORAGE FACILITIES SHALL BE PLACED OUTSIDE OF THE STANDARD GOVERNMENTAL AGENCY PLANNING AND ZONING SETBACKS, OR 15 FEET FROM THE NEW OR EXISTING RIGHT-OF-WAY, WHICHEVER IS GREATER.

PRIOR TO ISSUANCE OF FOUNDATION OR BUILDING PERMITS, ALL APPROVALS FROM THE ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC AND THE METROPOLITAN ST. LOUIS SEWER DISTRICT MUST BE ON FILE.

ROAD IMPROVEMENTS AND ROADWAY EASEMENT DEDICATION SHALL BE COMPLETED PRIOR TO ISSUANCE OF AN OCCUPANCY PERMIT. THE DELAYS DUE TO UTILITY RELOCATION AND ADJUSTMENTS WILL NOT CONSTITUTE A CAUSE TO ALLOW OCCUPANCY PRIOR TO COMPLETION OF ROAD IMPROVEMENTS.

PROVIDE ADEQUATE TEMPORARY OFF-STREET PARKING FOR CONSTRUCTION EMPLOYEES. PARKING ON NON-SURFACED AREAS SHALL BE PROHIBITED IN ORDER TO MAINTAIN THE CONDITION WHEREBY AID FROM CONSTRUCTION AND EMPLOYEE VEHICLES IS TRACKED ON THE PAVEMENT CAUSING HAZARDOUS ROADWAY AND DRIVING CONDITIONS.

PRIOR TO SPECIAL USE PERMIT ISSUANCE BY ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC, A SPECIAL CASH ESCROW OR A SPECIAL ESCROW SUPPORTED BY AN IRREVOCABLE LETTER OF CREDIT MUST BE ESTABLISHED WITH THIS DEPARTMENT TO GUARANTEE COMPLETION OF THE REQUIRED ROADWAY IMPROVEMENTS.

STORM WATER AND ROADWAY IMPROVEMENT CONTRIBUTIONS SHALL BE PAID PRIOR TO THE ISSUANCE OF ANY SPECIAL USE PERMIT (SUP) BY ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC AND A BUILDING PERMIT BY ST. LOUIS COUNTY DEPARTMENT OF PUBLIC WORKS. AN APPROVED SITE DEVELOPMENT SECTION PLAN WILL NEED TO BE SUBMITTED FOR THE ASSESSMENT OF THOSE CONTRIBUTIONS.

**ST. LOUIS COUNTY HIGHWAYS & TRAFFIC NOTES**

- ROADWAY IMPROVEMENT CONTRIBUTIONS SHALL BE PAID PRIOR TO THE ISSUANCE OF ANY SPECIAL USE PERMIT (SUP) BY ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC AND A BUILDING PERMIT BY ST. LOUIS COUNTY DEPARTMENT OF PUBLIC WORKS. AN APPROVED SITE DEVELOPMENT SECTION PLAN WILL NEED TO BE SUBMITTED FOR THE ASSESSMENT OF THOSE CONTRIBUTIONS.
- A SEPARATE SPECIAL USE PERMIT WILL BE REQUIRED FOR ANY UTILITY RELATED WORK WITHIN THE CHESTERFIELD AIRPORT ROAD RIGHT-OF-WAY. PLEASE CONTACT JAMES HAYES AT 314-613-8913.

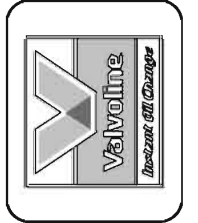
**City of Chesterfield**  
 DEPARTMENT OF PLANNING & PUBLIC WORKS  
 SCRIPT FOR A SITE DEVELOPMENT SECTION PLAN

IN CONNECTION WITH A CHANGE OF ZONING FOR THE FOLLOWING DESCRIBED PROPERTY FROM \_\_\_\_\_ TO "PC" PLANNED COMMERCIAL DISTRICT

A TRACT OF LAND BEING OUTPARCEL 2 OF "CHESTERFIELD COMMONS SEVEN", A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 359 PAGE 156 OF THE ST. LOUIS COUNTY RECORDS, IN U.S. SURVEY 125, TOWNSHIP 45 NORTH - RANGE 4 EAST, CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT FOUND COTTON PICKER SPINDLE AT THE SOUTHWEST CORNER OF SAID OUTPARCEL 2, SAID POINT BEING ON THE NORTH LINE OF CHESTERFIELD AIRPORT ROAD, 100 FEET WEST, THENCE NORTHWEST 1/4 ALONG THE WEST LINE OF SAID OUTPARCEL 2, NORTH 00 DEGREES 34 MINUTES 14 SECONDS EAST 200.00 FEET TO A POINT, A FOUND IRON PIPE BEING 0.05 FEET NORTH AND 0.21 FEET WEST OF SAID POINT, THENCE NORTH 89 DEGREES 35 MINUTES 06 SECONDS EAST 10.00 FEET TO A FOUND IRON PIPE, THENCE NORTH 00 DEGREES 34 MINUTES 14 SECONDS EAST 83.96 FEET TO A FOUND BRASS MONUMENT, BEING ON THE SOUTH LINE OF OUTPARCEL 2 OF SAID "CHESTERFIELD COMMONS SEVEN", THENCE EASTWARD ALONG SAID SOUTH LINE, NORTH 89 DEGREES 35 MINUTES 06 SECONDS EAST 140.37 FEET TO THE WEST LINE OF OUTPARCEL 1 OF SAID "CHESTERFIELD COMMONS SEVEN", THENCE SOUTHWARD ALONG SAID WEST LINE SOUTH 00 DEGREES 24 MINUTES 54 SECONDS EAST 283.92 FEET TO A FOUND IRON PIPE ON THE NORTH LINE OF CHESTERFIELD AIRPORT ROAD, THENCE WESTWARD ALONG SAID NORTH LINE, SOUTH 89 DEGREES 35 MINUTES 06 SECONDS WEST 125.26 FEET TO THE POINT OF BEGINNING, AND CONTAINING 0.977 ACRES ACCORDING TO A SURVEY BY VOLZ, INC. DURING JANUARY, 2012.

THE CHESTERFIELD SEVEN DEVELOPMENT, L.L.C., the owner(s) of the property shown on this plan for and in consideration of being granted a permit to develop property under the provisions of Chapter 1003, 1003.010, 1003.020, 1003.030, 1003.040, 1003.050, 1003.060, 1003.070, 1003.080, 1003.090, 1003.100, 1003.110, 1003.120, 1003.130, 1003.140, 1003.150, 1003.160, 1003.170, 1003.180, 1003.190, 1003.200, 1003.210, 1003.220, 1003.230, 1003.240, 1003.250, 1003.260, 1003.270, 1003.280, 1003.290, 1003.300, 1003.310, 1003.320, 1003.330, 1003.340, 1003.350, 1003.360, 1003.370, 1003.380, 1003.390, 1003.400, 1003.410, 1003.420, 1003.430, 1003.440, 1003.450, 1003.460, 1003.470, 1003.480, 1003.490, 1003.500, 1003.510, 1003.520, 1003.530, 1003.540, 1003.550, 1003.560, 1003.570, 1003.580, 1003.590, 1003.600, 1003.610, 1003.620, 1003.630, 1003.640, 1003.650, 1003.660, 1003.670, 1003.680, 1003.690, 1003.700, 1003.710, 1003.720, 1003.730, 1003.740, 1003.750, 1003.760, 1003.770, 1003.780, 1003.790, 1003.800, 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1004.810, 1004.820, 1004.830, 1004.840, 1004.850, 1004.860, 1004.870, 1004.880, 1004.890, 1004.900, 1004.910, 1004.920, 1004.930, 1004.940, 1004.950, 1004.960, 1004.970, 1004.980, 1004.990, 1005.000, 1005.010, 1005.020, 1005.030, 1005.040, 1005.050, 1005.060, 1005.070, 1005.080, 1005.090, 1005.100, 1005.110, 1005.120, 1005.130, 1005.140, 1005.150, 1005.160, 1005.170, 1005.180, 1005.190, 1005.200, 1005.210, 1005.220, 1005.230, 1005.240, 1005.250, 1005.260, 1005.270, 1005.280, 1005.290, 1005.300, 1005.310, 1005.320, 1005.330, 1005.340, 1005.350, 1005.360, 1005.370, 1005.380, 1005.390, 1005.400, 1005.410, 1005.420, 1005.430, 1005.440, 1005.450, 1005.460, 1005.470, 1005.480, 1005.490, 1005.500, 1005.510, 1005.520, 1005.530, 1005.540, 1005.550, 1005.560, 1005.570, 1005.580, 1005.590, 1005.600, 1005.610, 1005.620, 1005.630, 1005.640, 1005.650, 1005.660, 1005.670, 1005.680, 1005.690, 1005.700, 1005.710, 1005.720, 1005.730, 1005.740, 1005.750, 1005.760, 1005.770, 1005.780, 1005.790, 1005.800, 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**VALVOLINE INSTANT OIL CHANGE**  
 17457 CHESTERFIELD AIRPORT ROAD  
 CHESTERFIELD, MO 63005

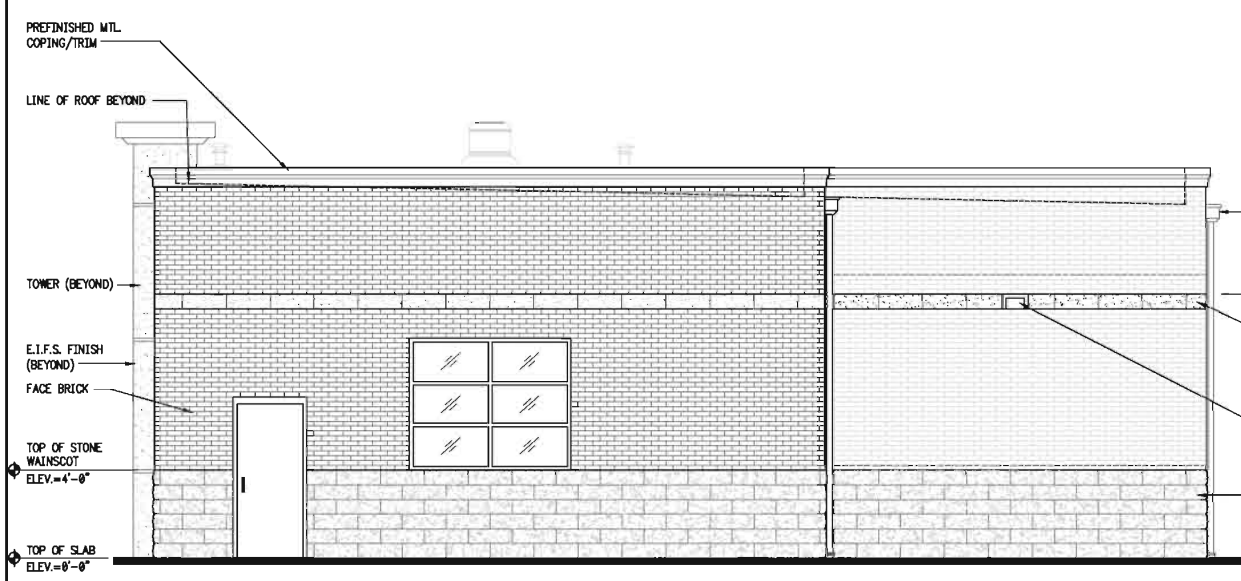


**EXTERIOR ELEVATIONS**  
 The Roberts Group, P.C.  
 Architects - Engineers - Landscape Architects  
 289-C Southbay Drive - Leesport, Pa 19353  
 610-278-1081 / 610-278-1081 Faxline

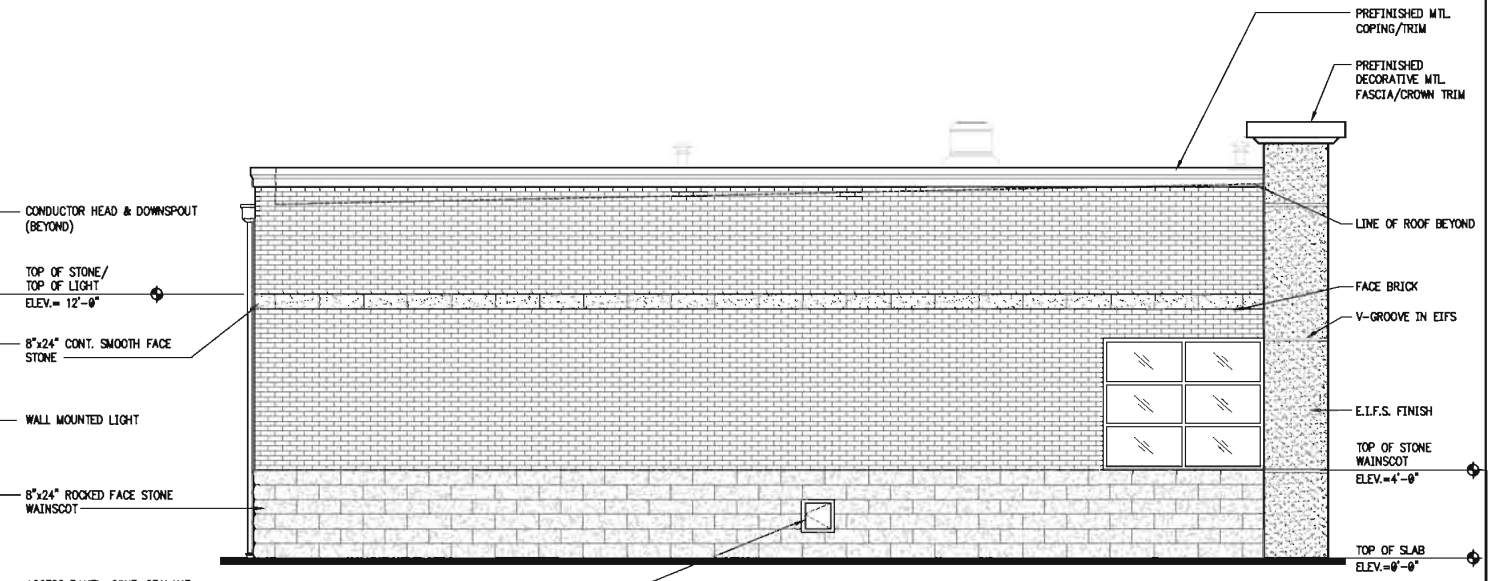
JOB NO.	0000
DATE	1-24-12
DRAWN	TRG
CHECKED	TRG

REVISIONS
1/23/12 REMOVED SIGNAGE - P&Z

SHEET  
**A-3**

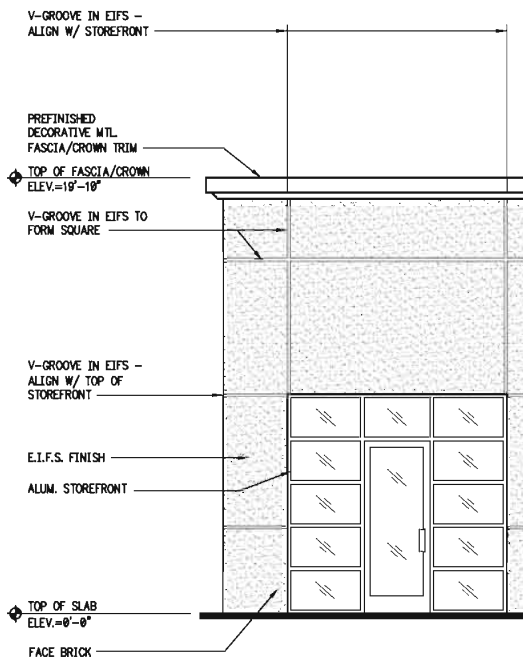


**LEFT ELEVATION**  
 SCALE: 1/4" = 1'-0"

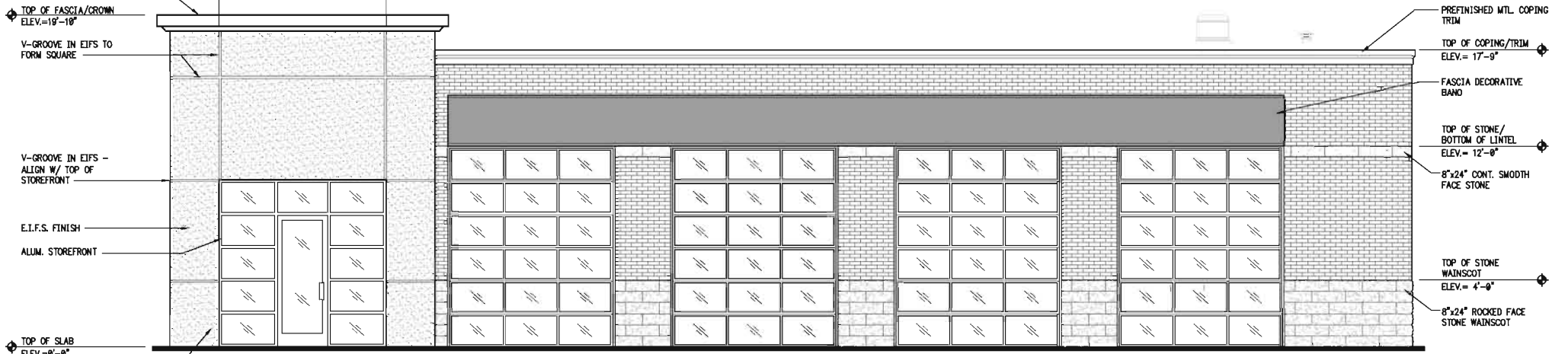


**RIGHT ELEVATION**  
 SCALE: 1/4" = 1'-0"

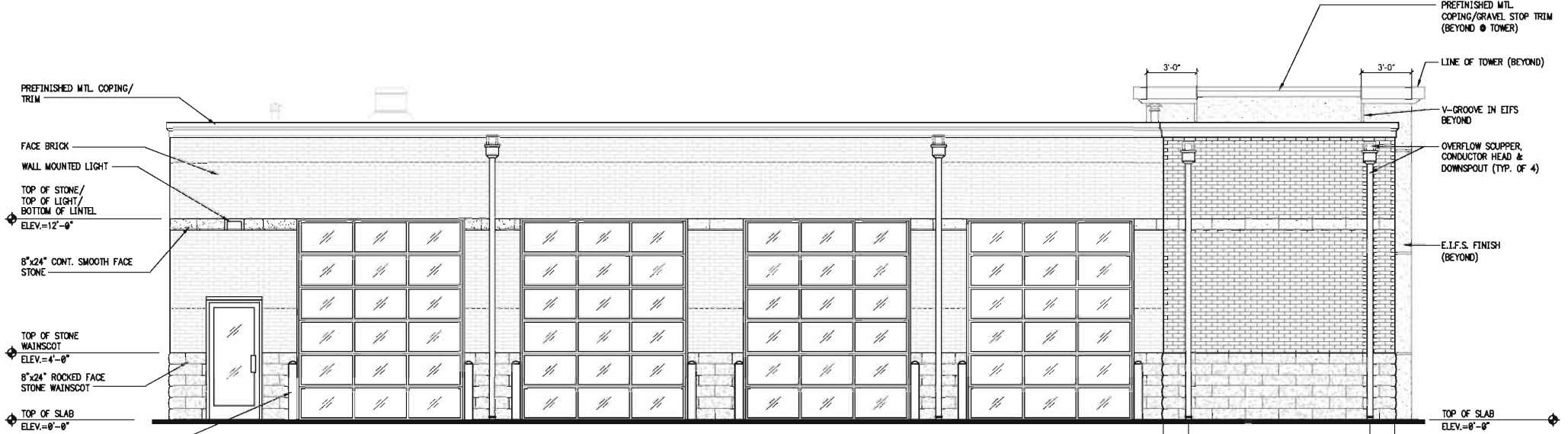
EXTERIOR FINISHES	
STONE WAINSCOT:	ARRISCRAFT - 8"x24" RENAISSANCE, ROCKED FACE - WHITE
STONE ACCENT COURSE:	ARRISCRAFT - 8"x24" RENAISSANCE, SMOOTH FACE - WHITE
STONE MORTAR:	NATURAL
BRICK:	ENDICOTT CLAY - MEDIUM IRONSPOT #46 (VELOUR MODULAR SIZE)
BRICK MORTAR:	SOLOMAN GRIND - #5A (TO MATCH ADJACENT CENTER)
MASONRY SEALER:	ALL BRICK/STONE SURFACES SHALL BE TREATED W/ SEALER. REFER TO SPECIFICATIONS.
E.I.F.S.:	DRYVIT - COLOR #544A STONE GRAY - SANDPEBBLE FINE FINISH
COPING & DECORATIVE TOWER FASCIA/CROWN:	FIRESTONE/UNI-CLAD 24 GAUGE PREFINISHED COIL STOCK "SILVER METALLIC"
CONDUCTOR HEAD & DOWNSPOUTS:	FIRESTONE/UNI-CLAD 24 GAUGE PREFINISHED COIL STOCK "SILVER METALLIC"
STOREFRONT SYSTEM:	2x4 1/2" KAWNEER TRIFAB VG 451T SERIES CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM W/ 1" INSULATED GLAZING.
DUMPSTER WALLS:	MATCH BUILDING
H.M. DOORS & FRAMES:	FIELD PAINT W/SHERWIN-WILLIAMS 866-310 PRO-CYRL PRIMER FOLLOWED BY (2) FINISH COATS OF B66-300 SHER-CYRL HPA. COLOR SHALL BE SHERWIN WILLIAMS - COMPUTER MATCH BRICK COLOR.
BOLLARDS/GUARD POSTS:	FIELD PAINT W/SHERWIN-WILLIAMS 866-310 PRO-CYRL PRIMER FOLLOWED BY (2) FINISH COATS OF B66-300 SHER-CYRL HPA. COLOR SHALL BE "VALVOLINE RED".
PARKING LOT STRIPING:	SHERWIN-WILLIAMS #TM226 SETFAST TM PAINT. COLOR SHALL BE "WHITE".
HANDICAP STALL STRIPING:	SHERWIN-WILLIAMS #TM2133 SETFAST TM PAINT. COLOR SHALL BE "ADA BLUE".



NOTE: ALL SIGNAGE SHALL BE APPLIED FOR & PERMITTED UNDER A SEPARATE SIGNAGE SUBMITTAL.  
 G.C. SHALL PROVIDE BLOCKING IN STUD WALL BEHIND EACH SIGN AS REQUIRED BY SIGN VENDOR - FIELD VERIFY REQUIREMENTS W/ VENDOR & OWNER'S REPRESENTATIVE.



**FRONT ELEVATION**  
 SCALE: 1/4" = 1'-0"

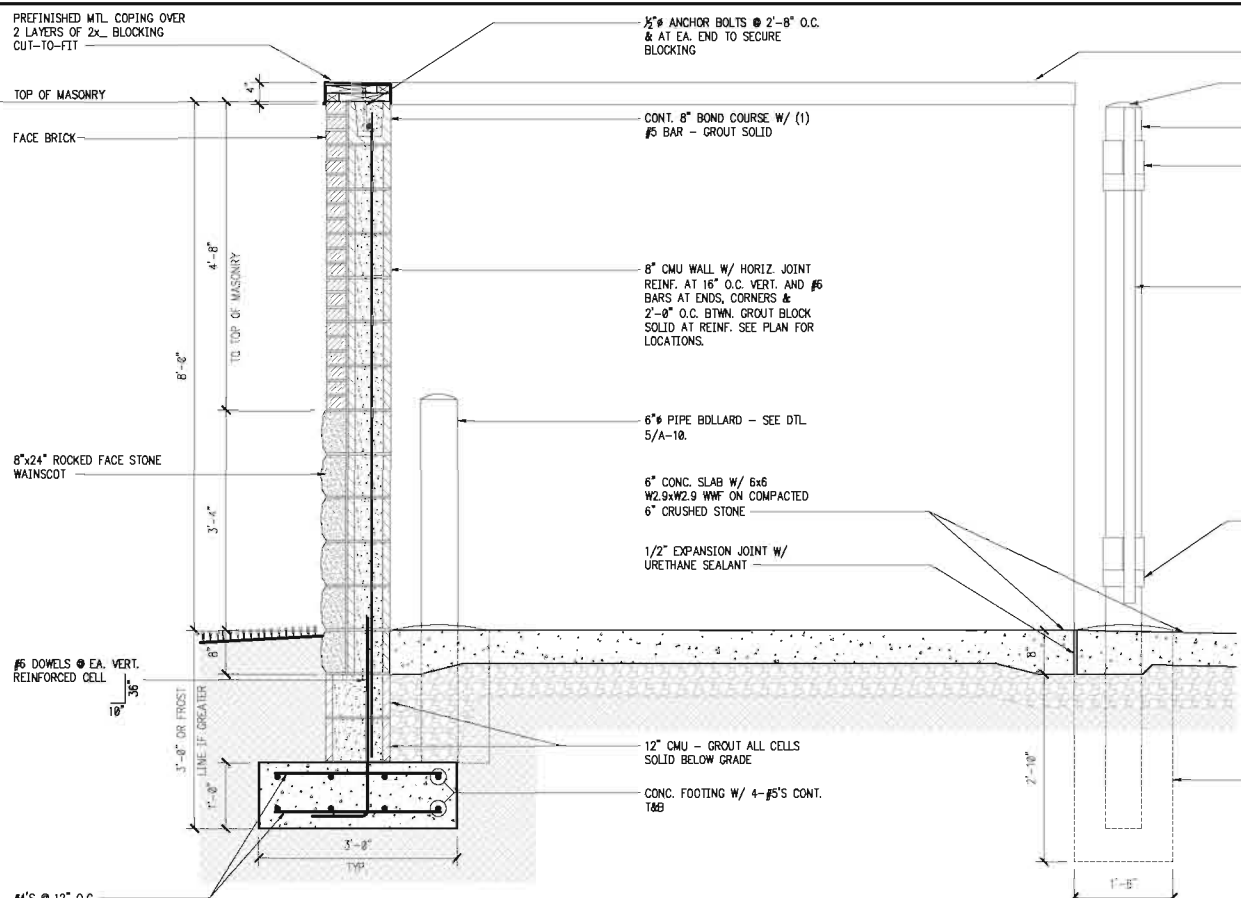


**REAR ELEVATION**  
 SCALE: 1/4" = 1'-0"

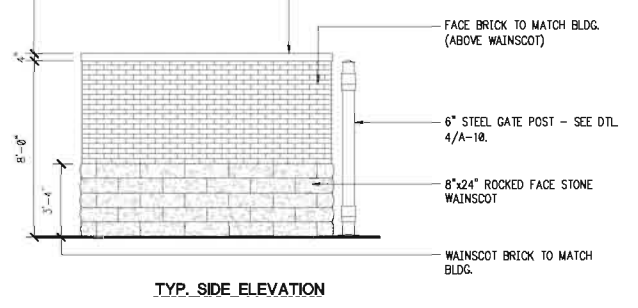
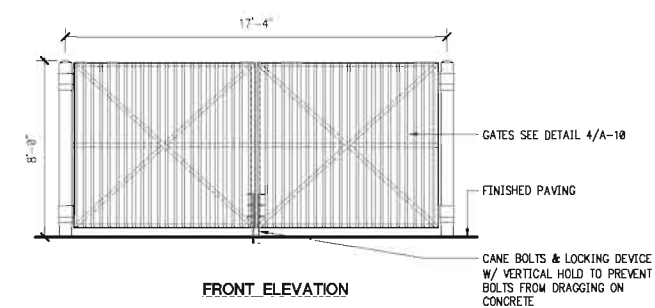




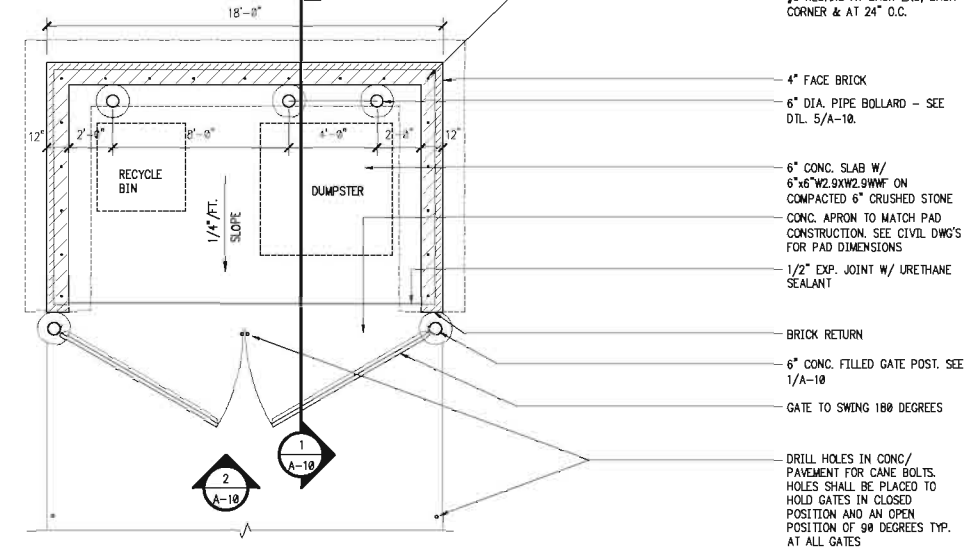




**1 SECTION @ TRASH ENCLOSURE**  
SCALE: 3/4" = 1'-0"

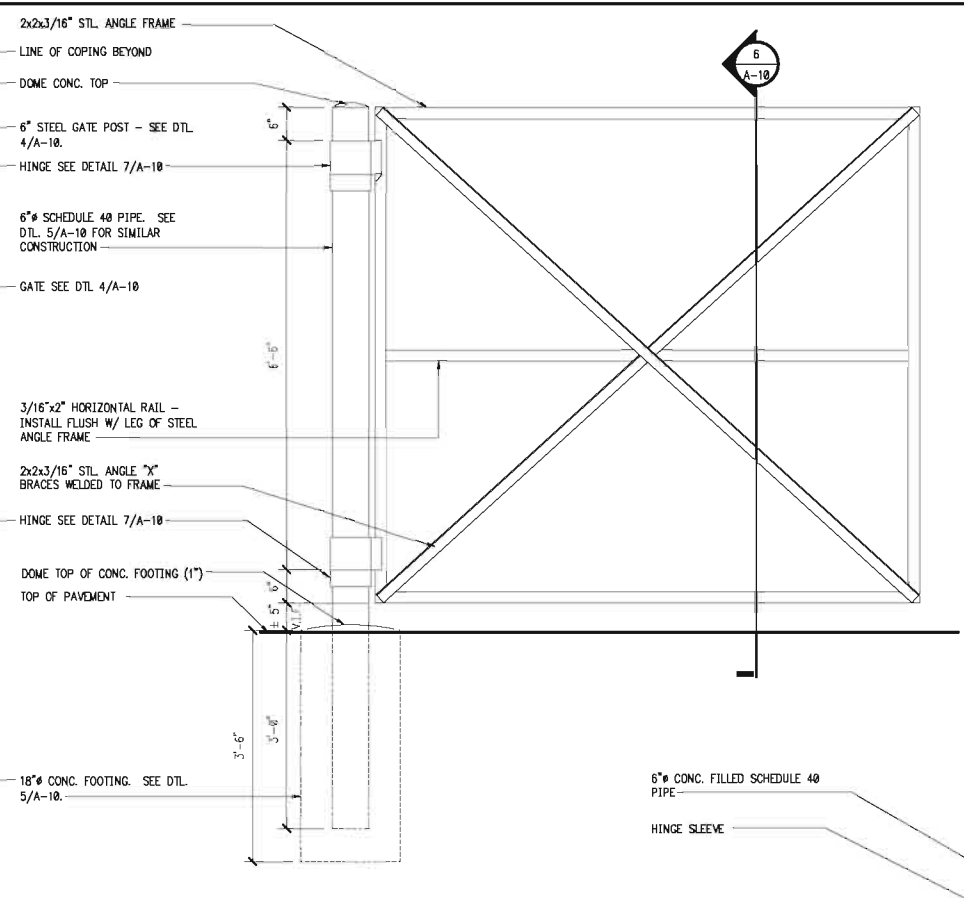


**2 TRASH ENCLOSURE ELEVATIONS**  
SCALE: 1/4" = 1'-0"

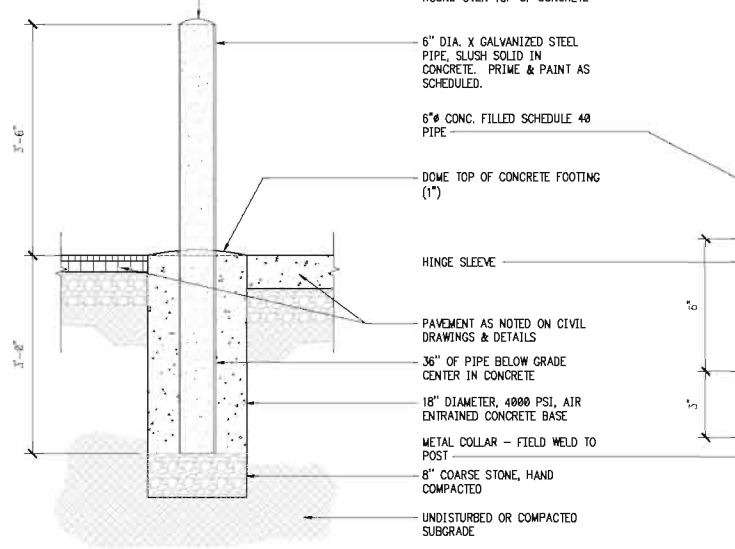


**3 TRASH ENCLOSURE PLAN**  
SCALE: 1/4" = 1'-0"

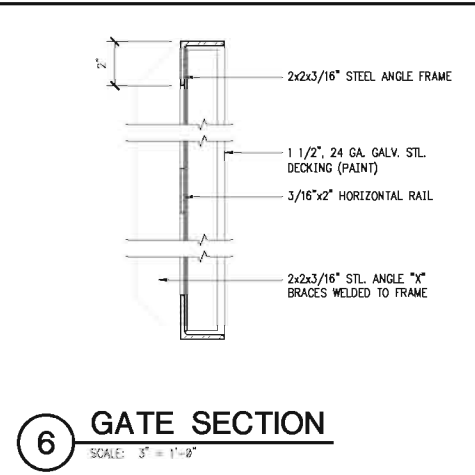
**NOTE:**  
GATES SHALL BE EQUIPPED WITH DROP (CANE) BOLTS, HEAVY DUTY HINGES AND LATCHES (WITH PADLOCK) DRILL HOLES 2" DEEP IN CONG. / PAVING TO ALLOW DROP BOLTS TO HOLD GATES IN CLOSED POSITION AND AT AN OPEN POSITION OF 90°. POSITION VERTICAL HOLD TO KEEP CANE BOLTS FROM DRAGGING CONG.



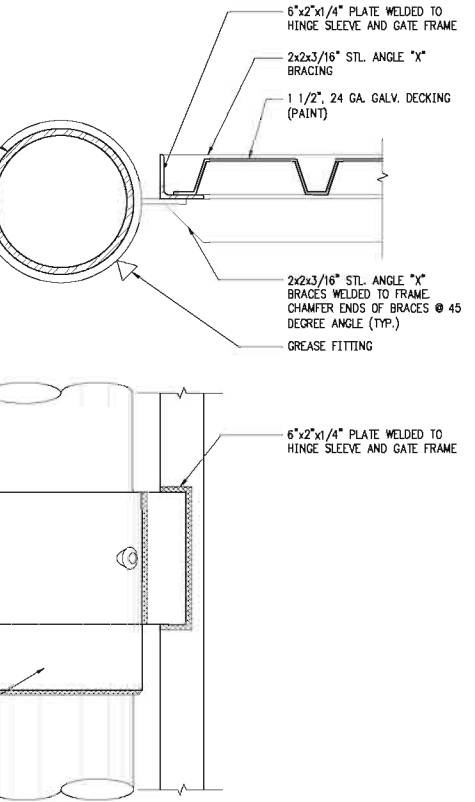
**4 TRASH ENCLOSURE GATE DETAIL**  
SCALE: 3/4" = 1'-0"



**5 BOLLARD DETAIL**  
SCALE: 3/4" = 1'-0"



**6 GATE SECTION**  
SCALE: 3" = 1'-0"



**7 HINGE DETAIL**  
SCALE: 3" = 1'-0"

DUMPSTER BRICK & EXTERIOR FINISH NOTES		REFER ALSO TO "EXTERIOR FINISHES", SHEET A-3.
STONE:	MATCH BUILDING STONE (WAINSCOT)	BOLLARDS / GUARD POSTS:
BRICK:	MATCH BUILDING BRICK	FIELD PAINT w/SHERWIN-WILLIAMS B66-310 PRO-CYRL PRIMER FOLLOWED BY (2) FINISH COATS OF B66-300 SHER-CYRL HPA. COLOR SHALL BE "VALVOLINE RED".
MORTAR:	MATCH BUILDING BRICK	GATES & GATE POSTS:
COPING:	MATCH BUILDING COPING/TRIM.	FIELD PAINT w/SHERWIN-WILLIAMS B66-310 PRO-CYRL PRIMER FOLLOWED BY (2) FINISH COATS OF B66-300 SHER-CYRL HPA. COLOR SHALL MATCH EXTERIOR HOLLOW METAL DOOR & FRAME COLOR.
SEALER:	ALL BRICK SURFACES SHALL BE TREATED w/ SEALER. REFER TO SPECIFICATIONS.	



**VALVOLINE INSTANT OIL CHANGE**  
17457 CHESTERFIELD AIRPORT ROAD  
CHESTERFIELD, MO 63005

**DUMPSTER ENCLOSURE**  
**The Roberts Group** P.C.  
Architects - Engineers - Landscape Architects  
239-C Southland Drive - Lexington, KY 40503  
609-276-2006 / 609-276-2011 Faxline

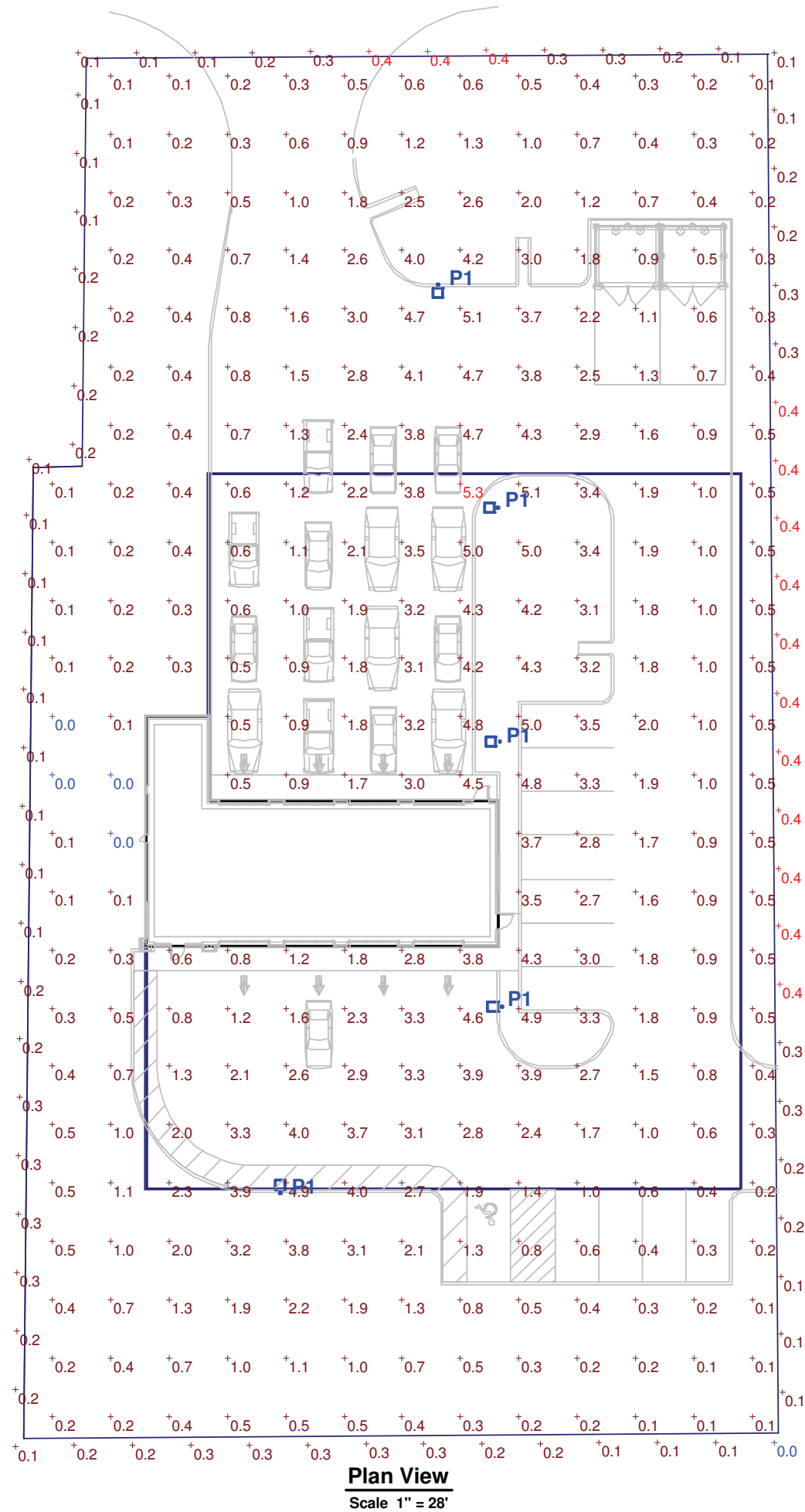
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DATE	1-24-12
DRAWN	TRG
CHECKED	TRG

REVISIONS

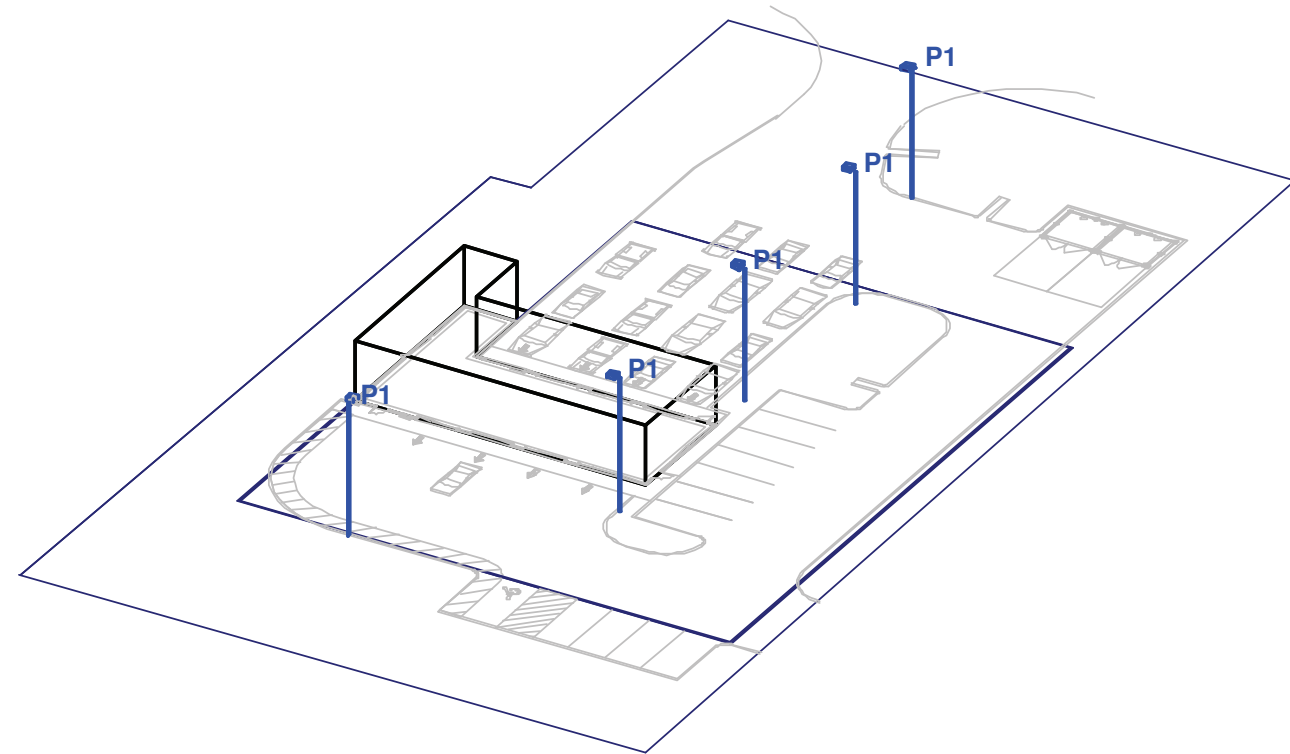
SHEET  
**A-10**



Chesterfield, MO Valveine Lighting Layout



**Plan View**  
Scale 1" = 28'



**Southeast View**  
Not to Scale

30ft. Pole Height w/3ft. Pole Base  
50ft. Building Perimeter

These calculations are for estimation or informational purposes only. Actual light levels may vary due to reflectance, temperature, obstructions and other factors. SSL Lighting will not be held responsible for light levels that differ from what is shown on this or any layout provided. Consult with a professional engineer if a more detailed study is needed.

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Perimeter Light Levels	+	0.2 fc	0.4 fc	0.0 fc	N / A	N / A
Facility Lot Light Levels	+	1.5 fc	5.3 fc	0.0 fc	N / A	N / A

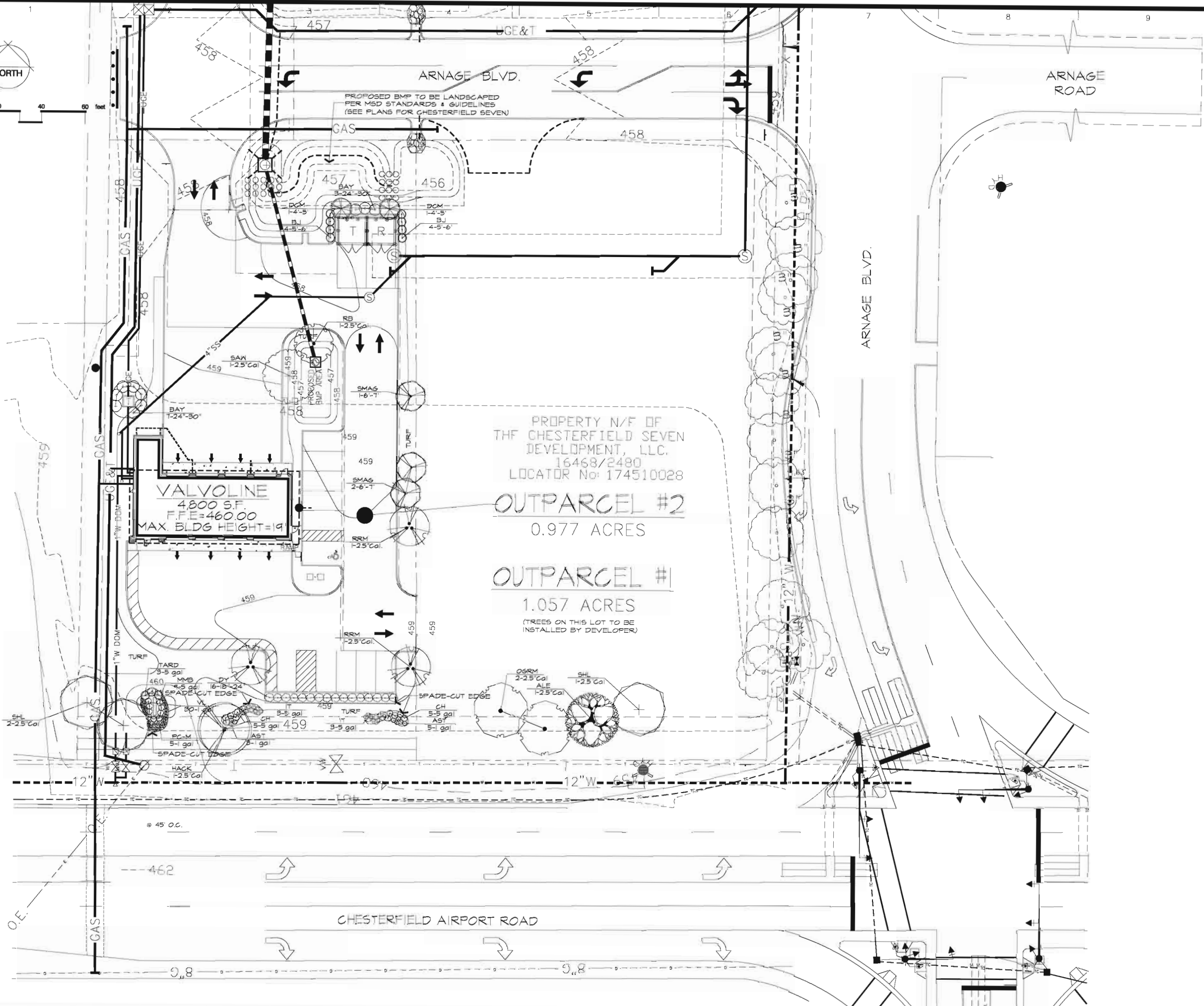
LUMINAIRE SCHEDULE								
Symbol	Label	Qty	Catalog Number	Description	Lamp	Lumens	LLF	Watts
□	P1	5	37250-UNV-SA6	250w Neptun Induction Area Unit	(1) - 250w IND Lamps	19152	0.92	256

Calculated values include direct and interreflected components.

Designer  
AMC  
Date  
Jan 24 2012  
Scale  
Drawing No.



0 20 40 60 feet  
SCALE 1" = 20'



PROPERTY N/F OF  
THE CHESTERFIELD SEVEN  
DEVELOPMENT, LLC.  
16468/2480  
LOCATOR No: 174510028

**OUTPARCEL #2**  
0.977 ACRES

**OUTPARCEL #1**  
1.057 ACRES  
(TREES ON THIS LOT TO BE  
INSTALLED BY DEVELOPER)

REVISIONS	BY
2/29/12	RWH

**landscape TECHNOLOGIES**  
 67 Jacobs Creek Drive  
 St. Charles, Missouri 63043  
 Tel: (636) 438-4569  
 Fax: (636) 438-4569  
 HQ Landscape Architecture Corporation #2008008702

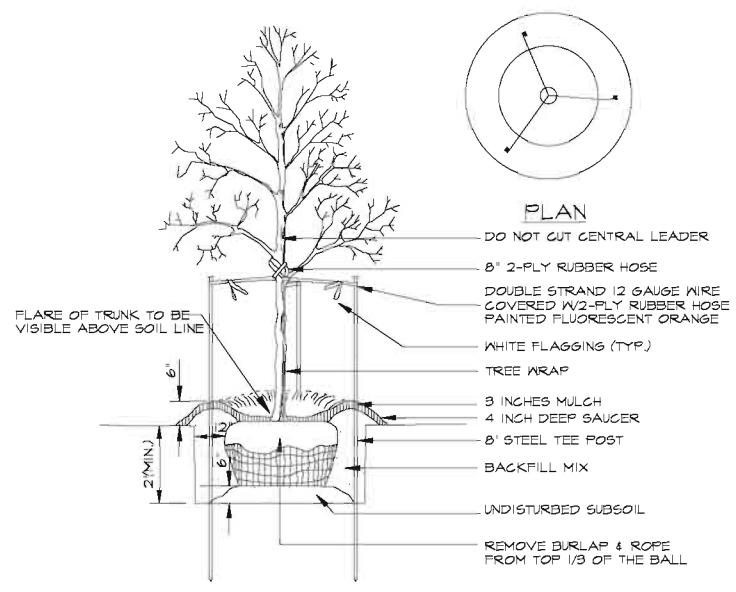
REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT #0000014  
 RANDALL A. WARDIS  
 MISSOURI LICENSE NUMBER 001  
 DATE 01/15/12

PLANTING PLAN FOR THE PROPOSED  
**Valvoline**  
CHESTERFIELD, MISSOURI

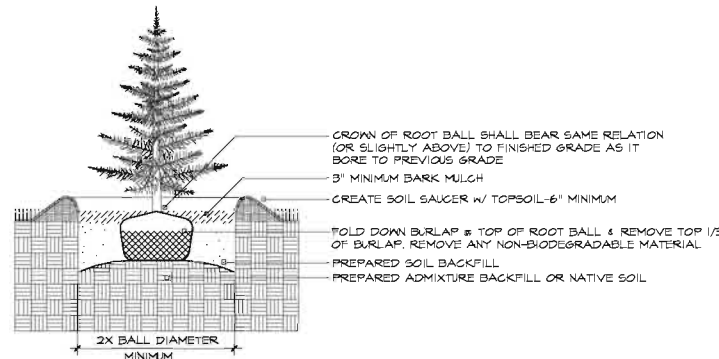
DRAWN  
R. WARDIS  
CHECKED  
RWH  
DATE  
JANUARY 31, 2012  
SCALE  
1" = 20' 0"  
JOB NO  
2012-08  
SHEET

NOTES:

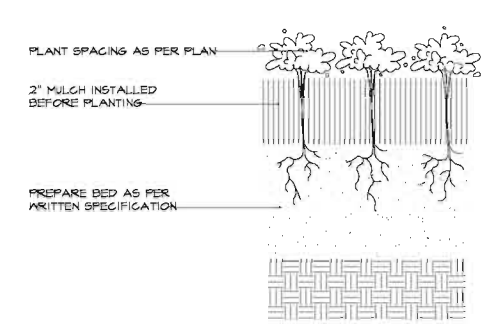
- 1.) All natural vegetation shall be maintained where it does not interfere with construction or the permanent plan of operation. Every effort possible shall be made to protect existing structures or vegetation from damage due to equipment usage. Contractor shall at all times protect all materials and work against injury to public.
- 2.) The landscape contractor shall be responsible for any coordination with other site related work being performed by other contractors. Refer to architectural drawings for further coordination of work to be done. Coordinate locations of trees with the location of proposed light standards, fire hydrants and utilities.
- 3.) Underground facilities, structures and utilities must be considered approximate only. There may be others not presently known or shown. It shall be the landscape contractor's responsibility to determine or verify the existence of and exact location of the above (Call 1-800-DIG-RITE).
- 4.) Plant material are to be planted in the same relationship to grade as was grown in nursery conditions.
- 5.) All mulch to be shredded oak bark mulch at 3" depth (after compaction) unless otherwise noted. Mulch shall be clean and free of all foreign materials. Edge all beds with spade-cut edge unless otherwise noted.
- 6.) It shall be the landscape contractor's responsibility to:
  - A.) Verify all existing and proposed features shown on the drawings prior to commencement of work.
  - B.) Report all discrepancies found with regard to existing conditions or proposed design to the landscape architect immediately for a decision.
  - C.) Stake the locations of all proposed plant material and obtain the approval of the owner's representative or landscape architect prior to installation.
- 7.) The landscape contractor is to receive the site graded to within 1/10 of a foot. Landscape contractor to obtain letter of grade certification from the general contractor prior commencement of work.
- 8.) All planting beds shall be cultivated to 6" depth minimum and graded smooth immediately before planting of plants. Plant groundcover to within 12" of trunk of trees or shrubs planted within the area.
- 9.) All plant material (excluding ground cover, perennials and annuals) are to be warranted for a period of 12 months after installation at 100% of the installed price.
- 10.) All disturbed lawn areas to be seeded with a mixture of Turf-Type fescue (300# per acre) and bluegrass (10# per acre). Landscape contractor shall offer an alternate price for sod in lieu of seed. Lawn areas shall be unconditionally warranted for a period of 90 days from date of final acceptance. Bare areas more than one square foot per any 50 square feet shall be replaced.
- 11.) Items shown on this drawing take precedence over the material list. It shall be the landscape contractor's responsibility to verify all quantities and conditions prior to implementation of this plan. No substitutions of types or size of plant materials will be accepted without written approval from landscape architect.
- 12.) Siltation controls may be required to prevent run-off. Straw bales placed end-to-end shall be used, anchored with no less than two 3/8" X 36" reinforcing rods. Bales shall remain until all graded areas are seeded or sodded.
- 13.) The minimum setback is 30'-0" from an existing or proposed right of way.
- 14.) One (1) tree is required for every fifty (50) lineal feet of street frontage.
- 15.) Landscape islands shall be placed at the ends of parking aisles as required by Ordinance #2512 of the City of Chesterfield Zoning Ordinance:
  - A.) There shall be a minimum landscape width of nine (9) feet and a minimum area of 100 square feet. Provide one (1) deciduous tree per island.
  - B.) At the end of double row parking, a minimum of 210 square feet shall be provided for with a minimum of two (2) deciduous trees per island.
  - C.) Islands shall have plantings consisting of groundcovers such as shrubs, ivy, flowers and grasses. Mulch or rock may be used instead of grass or in combination with grass.
- 16.) Consideration shall be given to the type of grass to be used due to need for drought tolerance in areas without inground irrigation systems. (Examples: Turf Type Tall Fescue blend less than five years old; and Crossfire, a semi-dwarf variety, blended with 5-10% bluegrass and referred to as a Transition mix).
- 17.) A minimum of sixty percent (60%) of the deciduous trees must be of a species which matures at +35', evenly dispersed throughout the project.
- 18.) If the estimated materials cost of new landscaping indicated on the Site Development Plan, as required by the Planning Commission, exceeds one thousand (1,000) dollars, as determined by a plant nursery, the petitioner shall furnish a two (2) year bond or escrow sufficient in amount to guarantee the installation of said landscaping.
- 19.) Upon release of the landscape installation bond, a two (2) year Landscape Maintenance Bond shall be required.



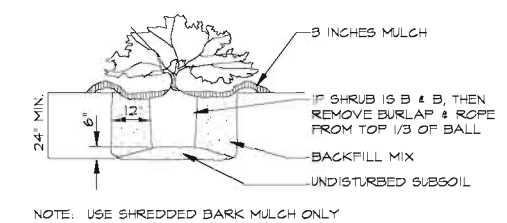
**DECIDUOUS TREE PLANTING**  
N.T.S.



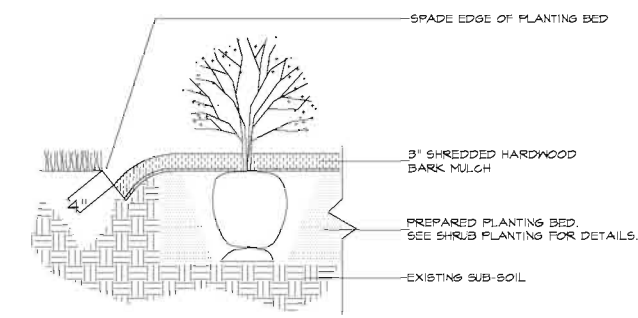
**EVERGREEN TREE PLANTING**  
N.T.S.



**PERENNIAL / ANNUAL PLANTING**  
N.T.S.



**SHRUB PLANTING**  
N.T.S.



**SPADE-CUT EDGE DETAIL**  
N.T.S.

PLANT SCHEDULE					
TREES	QTY	COMMON NAME / BOTANICAL NAME	SIZE	EVERGREEN/DECIDUOUS	RATE OF GROWTH
ALE	1	Athena Lacebark Elm / <i>Ulmus parvifolia</i> 'Emer II'	2.5' Gal	DECIDUOUS	FAST
HACK	1	Common Hackberry / <i>Celtis occidentalis</i>	2.5' Gal	DECIDUOUS	FAST
RRM	3	Red Rocket Maple / <i>Acer rubrum</i> 'Red Rocket'	2.5' Gal	DECIDUOUS	FAST
SAW	1	Sawtooth Oak / <i>Quercus acutissima</i>	2.5' Gal	DECIDUOUS	MEDIUM
OGRM	2	'October Glory' Maple / <i>Acer rubrum</i> 'October Glory'	2.5' Gal	DECIDUOUS	FAST
SHL	3	'Skyline' Locust / <i>Gleditsia triacanthos</i> 'Skyline'	2.5' Gal	DECIDUOUS	FAST
EVERGREEN TREES	QTY	COMMON NAME / BOTANICAL NAME	SIZE	EVERGREEN/DECIDUOUS	RATE OF GROWTH
BJ	3	Burkii Juniper / <i>Juniperus virginiana</i> 'Burkii'	5'-6'	EVERGREEN	MEDIUM
FLOWERING TREES	QTY	COMMON NAME / BOTANICAL NAME	SIZE	EVERGREEN/DECIDUOUS	RATE OF GROWTH
DCM	2	Dynamite Grape Myrtle / <i>Lagerstroemia indica</i> 'White II'	4'-5'	DECIDUOUS	MEDIUM
RB	1	Redbud / <i>Cercis canadensis</i>	2.5' Gal	DECIDUOUS	FAST
SMAG	3	Saucer Magnolia / <i>Magnolia X soulangeana</i>	6'-7'	DECIDUOUS	SLOW
SHRUBS	QTY	COMMON NAME / BOTANICAL NAME	SIZE	EVERGREEN/DECIDUOUS	RATE OF GROWTH
CH	0	China Boy/Girl Holly / <i>Ilex meseryvae</i> 'China Boy/Girl' TM	5 gal	EVERGREEN	
DY	16	Dense Yew / <i>Taxus media</i> 'Densiformis'	16"-24"	EVERGREEN	
IT	6	Little Henry Sweetspire / <i>Itea virginica</i> 'Little Henry'	5 gal	DECIDUOUS	
MMB	1	Morris Midget Boxwood / <i>Buxus microphylla japonica</i> 'Morris Midget'	5 gal	EVERGREEN	
BAY	7	Northern Bayberry / <i>Myrica pensylvanica</i>	24"-30"	EVERGREEN	
TARD	3	Tardivo Hydrangea / <i>Hydrangea paniculata</i> 'Tardivo'	5 gal	DECIDUOUS	
ANNUALS/PERENNIALS	QTY	COMMON NAME / BOTANICAL NAME	SIZE	EVERGREEN/DECIDUOUS	RATE OF GROWTH
PC-M	5	Purple Coneflower / <i>Echinacea purpurea</i> 'Magnus'	1 gal	DECIDUOUS	
AST	3	Purple Dome Aster / <i>Aster navae-angliae</i> 'Purple Dome'	1 gal	DECIDUOUS	
VL	30	Variegated Lily Turf / <i>Liriope muscari</i> 'Variegata'	1 gal	DECIDUOUS	

REVISIONS	BY
2/23/12	RYM

**landscape TECHNOLOGIES**

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Date: 2/23/12

REGISTERED ARCHITECT  
NUMBER 03110  
STATE OF MISSOURI

PLANTING PLAN FOR THE PROPOSED

**Valvoline**

CHESTERFIELD, MISSOURI

DRAWN	R. WARDIS
CHECKED	RYM
DATE	JANUARY 31, 2012
SCALE	N.A.
JOB No.	2012-108
SHEET	
<b>L-2</b>	
OF 1740 SHEETS	



17457 Chesterfield Airport Rd. Chesterfield, MO

2/22/12



17457 Chesterfield Airport Rd. Chesterfield, MO

2/22/12



February 21, 2012

**Re: Chesterfield Seven Development □ Valvoline  
Chesterfield, Missouri**

## **ARCHITECTS STATEMENT**

The following items identify how the City of Chesterfield Architectural Review Board guidelines are being addressed for the above mentioned project:

### **INTRODUCTION**

The Chesterfield Commons development has provided the City of Chesterfield with quality business and commercial development in the Chesterfield Valley. THF Realty and Valvoline Instant Oil Change brings you a new addition to the Chesterfield Commons development. Valvoline will be located on Lot 2 of Chesterfield Seven Development which is located at the Northwest corner of the intersection of Chesterfield Airport Road and Public Works Drive. The building will imitate the architectural style and scale of the surrounding Chesterfield Commons development.

The new Valvoline building will provide approximately 2,500 S.F. of new Service Retail space. Vehicular movement to and through the site to parking and building entries is convenient, expedited by the inner development drive, Arnage Road with cross access to Outlot 1.

### **GENERAL REQUIREMENTS FOR SITE DESIGN**

#### **A. Site Relationships**

The site consists of 0.977 acres and is a flat parcel of land with multiple existing metal barn structures. The existing barn structures will be demolished and finish grading will be required to prepare the building pad, but there will not be a significant change in the pad elevation. No retaining walls will be required to tie grades to adjacent properties. The building's general orientation is intended to make its frontage and entries plainly visible to the surrounding access roadways while using landscaping to screen its trash enclosures from the neighboring roadways. Sidewalks are included to establish safe, recognizable and convenient pedestrian access to the building's entry doors.

#### **B. Circulation System & Access**

Vehicular and pedestrian patterns are simple and direct. Vehicular access is provided via the interior development drive Arnage Road and cross access with Outlot 1 to the East. The building is centrally located in the parking lot and the parking field is kept as close as possible to the entry elements. This eliminates the need for pedestrians' path of travel to cross multiple vehicular drive aisles to access the building. Walkways are provided to separate pedestrians from vehicular movements whenever possible. The radii on the proposed pavement areas are such that emergency, delivery and waste hauling vehicles can easily access and circulate through the site. The development is not on the City Bikeway and we have not incorporated an internal bike circulation system. Bikes may be parked in non-handicap spaces at near the entrance to the building, which is highly visible.

### **C. Topography**

1. Due to the flatness of the development it is not possible to incorporate berms or other forms of topography to screen each portion of the development. All surrounding areas are commercial and of similar use.
2. Minimal changes will be made to the existing topography of the site.
3. All grade changes will be soft, smooth, and pleasing to the eye. There will not be any abrupt changes in grade.

### **D. Retaining walls**

1. There are not any retaining walls proposed for this project.

## **GENERAL REQUIREMENTS FOR BUILDING DESIGN**

### **A. Scale**

Building elements are highly compatible in scale and general color appearance with the neighboring buildings. The main objective is to create an attractive and clear expression of the building through the use of glass and canopy projections that will attract favorable attention to itself and the use of stone and brick to provide changes in wall texture and color in proportional amounts.

### **B. Design**

1. The building incorporates a combination of masonry, stone, EIFS, and glass materials to create variety in the design's composition, while maintaining a strong architectural rhythm horizontally and vertically across the building's elevations.
2. Landscaping will be used in the foreground to break up the building facade to avoid linear repetitiveness.
3. The building utilizes some of the corporate trade dress colors coupled with the traditional Chesterfield Commons materials to provide some identity but logos and other franchise designs have been avoided.
4. All building elevations will be architecturally enhanced to clearly define the architectural unity of the constituent building and so that each elevation is presentable to public view. Masonry wainscoting, horizontal banding and texture changes are utilized to articulate the facades particularly at street level.
5. There are not any sculptures or other art elements currently proposed.
6. This building is responsive to energy conservation by the use of well insulating materials throughout.
7. The use of concrete and masonry which are recyclable materials are used as environmentally conscious building techniques and materials.
8. Entry recesses and an EIFS entry tower are used to cover and articulate the building entry.
9. There are not any plans for temporary barrier walls.
10. The HVAC units will be located within the space with only exhaust vent stacks on the roof.

### **C. Materials and Colors**

The design, general scale, and orientation of the buildings are intended to reinforce and create a cohesive visual relationship between the neighboring Chesterfield Commons development and this proposed development. The building incorporates a combination of masonry, stone, and glass materials to create variety in the design's composition, while maintaining a strong architectural rhythm horizontally and vertically across the building's elevations.

### **D. Landscape Design and Screening**

The Landscape design has been prepared by Landscape Technologies to tie into the overall development landscaping. A mixture of deciduous and evergreen trees and shrubs has been used to provide color and interest all year round. All landscape beds are protected from motor vehicles by raised concrete curbs. Trash enclosures are screened by landscaping and is located at the least visible corner of the building.

### **E. Signage**

1. It is understood that signage will require a separate review. The building sign location has been integrated into the building design.

### **F. Lighting**

It is understood that the site lighting is not reviewed as part of the ARB process, however the lighting proposed complies with the City of Chesterfield requirements. There is minimal spill over onto adjacent right-of-ways and all exterior fixtures have fully cut-off lenses.

## **SPECIFIC REQUIREMENTS FOR THE CHESTERFIELD VALLEY**

The materials and architectural treatments are utilized on all sides of the building. The building faces away from Highway 40 and the main parking field is located on the south and east side of the building away from the Highway 40 Right-of-way with Outlot 3 being between this lot and Highway 40. Trash and storage will be in the rear of the building and will be screened with masonry screen walls to match the building. All new utilities will be installed underground.

## **CONCLUSION**

In conclusion, we feel that this site and building design results in a wonderful addition to the development of Chesterfield Valley and is an exciting addition to the commercial environment in the City of Chesterfield.

Respectfully Submitted by:  
TR,i Architects