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PLANNING COMMISSION VOTE REPORT

SUBJECT: Change in Zoning Vote Report
MEETING DATE: April 11, 2011
FROM: Justin Wyse, AICP
Project Planner
LOCATION: 17655 Wildhorse Creek Road
PETITION: P.Z. 12-2010 Chesterfield Senior Living (Plan Provisions, LLC.) – A request for a change in zoning from an “R-2” Residence District to a “PUD” Planned Unit Development District.

PROPOSAL SUMMARY

Civil Engineering Design Consultants (CEDC), on behalf of Plan Provisions, LLC, is requesting a change in zoning to change from an “R-2” Residence District to a Planned Unit Development (“PUD”) District. The proposed request seeks to permit a senior living facility that would include assisted and independent living facilities as well as ancillary uses.

PUBLIC HEARING AND ISSUES MEETING

A Public Hearing was held on this Petition on November 22, 2010. At that time, one speaker spoke in opposition to the Petition and one speaker spoke in favor of the Petition. The speaker in opposition to the Petition was representing the Wildhorse Creek Road Association and raised concerns about the “R-4” zoning designation, the accessory uses proposed for the site, and setting a precedent in the area. The speaker noted that she believed a senior living facility could be compatible with the adjacent uses, but not as currently proposed by the Petitioner. The speaker in favor of the Petition was a neighbor of the subject site. He noted that he believed an “R-4” zoning designation with the construction of a senior living facility on the subject site would be preferable to having “R-2” or “R-3” single family houses constructed on the site. There were no other speakers in support or opposition to the Petition.

An issues meeting was held on the request on March 28, 2011. No new issues were raised at that time; however, the issues of density and floor area ratio remained open issues. **No changes have been proposed by the Petitioner since the March 28, 2011 Planning Commission meeting.** Staff has prepared the following information as directed by the Planning Commission and to clarify discussion at the meeting.

Traffic Impact Analysis

The subject site currently allows for a 30,000 square foot neighborhood office development. During the review of the request for a neighborhood office development, a traffic study was submitted by the Petitioner. This study found the proposed development of 48,000 square feet (24,000 square feet of medical office and 24,000 square feet of general office) would add 1,135 daily trips to Wild Horse Creek Road. Based on an accepted methodology, this included 100 trips in the A.M. peak hour and 125 trips in the P.M. peak hour. The study stated that, "Conditions along Wildhorse Creek Road itself would be relatively unaffected by the additional traffic generated by the proposed office park."

Staff has prepared the following information to compare the traffic impact of a 120 unit development that includes independent, assisted, and skilled nursing on the site with the previously studied office development (please note that the previous study included a 48,000 square foot development while only 30,000 square feet was approved).

The following table is based on information provided in the previous traffic study for this site and information published in the Institute of Transportation Engineers' (ITE) report title *Trip Generation*. Based on this information, the proposed development of the nursing home would have a much smaller impact to the roadway network than the previously studied office development.

Use	Density	Total Trips	A.M. Trips	P.M. Trips
Office ¹	48,000	1,135	100	125
Office ²	30,000	850	75	140
Office ³	30,000	1,085	70	115
Office ⁴	30,000	525	70	45
Nursing Home	120 units	260	7	20

¹ Assuming 24,000 square feet of medical office and 24,000 square feet of general office.

² Assuming 15,000 square feet of medical office and 15,000 square feet of general office.

³ Assuming 30,000 square feet of general office.

⁴ Assuming 30,000 square feet of medical office.

It should also be noted that new data was published by ITE between the submittal of the traffic study for the 48,000 square foot office development and the current proposal. This new data, coupled with a slightly different methodology, accounts for the seemingly erroneous differences between some of the data.

Landscape Buffer

The PUD District regulations require a 30 foot perimeter buffer. The regulations state that the buffer, "shall be composed of a combination of existing trees (where applicable), trees selected from the approved tree list from the City of Chesterfield Tree Preservation and Landscape Requirements, and any combination of low lying shrubbery or other vegetation not including grass turf." As part of the proposed development of a senior living facility on the subject site, the Petitioner has included a buffer they believe exceeds the above requirement. This buffer would include 16 trees and 60 shrubs. The PUD Narrative states that the incorporation of Sea Green Junipers will help reduce the visual impact of the building in all seasons and the large nature (mature height of 6 feet and width of 8 feet) and quick growth of these shrubs will soften the impact of the development.

Parking

During the March 24, 2011 meeting, there was discussion regarding the amount of proposed parking. The concern with the parking stemmed from the goal of reducing large amounts of parking that would not be consistent with the character of the area. The recently approved parking regulations would require 62 parking spaces for the development as presented. The parking regulations would require 1 space for each independent living unit (1 space per unit x 33 units = 33 spaces). The ordinance also requires 1 space for every 3 beds in a nursing home ($1/3 \times 87 = 29$ spaces). The PUD Narrative states that 120 spaces are proposed. Parking requirements, both minimum and maximums, will be fully reviewed during the site plan review process.

Architectural

The proposed development of the subject site as a senior living facility, whether through the Planned Unit Development District procedure or through the Conditional Use Permit procedure, would be subject to architectural review. This condition would require the project to be held to the rigorous architectural review of Staff, the Architectural Review Board, and the Planning Commission prior to approval of any new structure on the building. Language is included that requires any new structures to be consistent with the residential character of the area and avoid non-residential architecture.

Comparison of Senior Living Facilities

During the March 28, 2011 Issues Meeting, Staff was asked to prepare a summary of the existing senior living facilities in the City of Chesterfield. This information is provided in the table on the next page.

Development	# of Units	Units per Acre	Zoning	Bldg Area	Site Area	FAR	Open Space	Comprehensive Plan Designation
Delmar Gardens	275	24.6	NU CUP	109,850	11.17	0.23	54.7%	Residential Multi Family
Friendship Village	424 *	12.9	NU CUP	n/a	34.57	n/a	60.1%	Residential Single Family
Willows at Brooking Park	198 **	13.8	R1 / R3	147,961	15.38	0.22	60.2%	Residential Single Family
Sunrise	76	23.7	R-6 CUP	55,985	3.21	0.40	--	Urban Core
St. Luke's Skilled Nursing	175	16.3	R-1A CUP	101,622	10.75	0.22	55.7%	Residential Single Family
Gardenview	180	17.9	R-3	98,902	10.06	0.23	63%	Residential Single Family
Westchester House	231	14.3	R-2 CUP	143,000	16.17	0.20		Residential Single Family
Chesterfield Senior Living	120	15	PUD	105,000	7.47	0.32	58%	Neighborhood Office
Average***	228	17.6	--	109,553	14.47	0.25	58.7%	--

* Development includes 22 villa, duplex, and triplex units (not included in F.A.R.)

** Development includes 14 villas (not included in F.A.R.)

*** Excludes proposed Chesterfield Senior Living

DEPARTMENT INPUT

The petitioner has submitted a Preliminary Plan and PUD Narrative in accordance with the regulations of Section 1003.187 of the City of Chesterfield Zoning Ordinance. Based on review of the Preliminary Pan, the PUD Narrative, and the project proposal presented to at the November 22, 2010 Public Hearing before the City of Chesterfield Planning Commission, **Staff recommends that approval for a senior living facility be considered through the Conditional Use Permit procedure.** This process, unlike the "PUD" process, does not require the intense efforts on the petitioner to demonstrate exceptional site design and features to justify the granting of the "PUD" District. The CUP procedure provides a review mechanism for the analysis and judgment of the consequences of each development.

Staff has prepared a Conditional Use Permit for your review to exemplify the conditions that that this project would be subject to. This permit includes standards for density,

permitted uses, roadway improvements, architectural requirements, stormwater requirements, and others. Additionally, a condition that the approval of the permit be based on approval of the change in zoning to a residential zoning designation would be necessary if action on the CUP was taken prior to second reading approval of a change in zoning in conjunction with P.Z. 11-2010.

It should be noted that the number of units authorized under the CUP included as an exhibit is 120. This would include a maximum of 33 independent living units and 87 assisted living units; identical to the proposed units being requested through the Petition for the "PUD" designation. The included density is permitted under the "E-1" One Acre District with respect to both independent and assisted living units. Staff has no concerns regarding the proposed density of 120 units if granted through a permit similar to that attached to this report.

REQUEST

Staff has reviewed the requested change in zoning by CEDC, on behalf of Plan Provisions, LLC, and the Attachment A as written adheres to all applicable requirements of the City of Chesterfield. Staff requests action on P.Z. 12-2010 Chesterfield Senior Living (Plan Provisions, LLC.).

The Attachment A includes the recommendations that Staff has identified in this report for the Planning Commission's review. As previously stated, Staff does not recommend approval of the "PUD" District. The Attachment A is included to support an affirmative recommendation on behalf of the Planning Commission if a determination is made that the proposed development meets the intent of the "PUD" District. If the "PUD" District is not approved, no Attachment A is necessary.

Attachments

1. Attachment A
2. Preliminary Plan
3. PUD Narrative
4. Exhibit 1: Conditional Use Permit

ATTACHMENT A

All provisions of the City of Chesterfield City Code shall apply to this development except as specifically modified herein.

I. SPECIFIC CRITERIA

A. PERMITTED USES

1. The uses allowed in this PUD District shall be:
 - a. Nursing homes and group homes for the elderly;
2. The above uses in the PUD District shall be restricted as follows:
 - a. A maximum of 120 units shall be permitted in this development.
 - i) There shall be no more than 33 units for independent senior living.
3. Ancillary uses for the above referenced permitted uses shall be as follows:
 - a. Barber or beauty shops;
 - b. Day care centers, child;
 - c. Drugs stores and pharmacy;
 - d. Grocery, neighborhood
 - e. Laundromat and dry cleaning establishment; and
 - f. Restaurants, sit down and / or outdoor customer area.

B. CONSISTENCY WITH PROPOSAL

1. All uses, activities, general development pattern, and improvements to the site shall be in conformance with the PUD Narrative, the project as presented and approved by the City of Chesterfield City Council, and the approved Preliminary Plan attached hereto.

C. FLOOR AREA, HEIGHT, BUILDING AND PARKING STRUCTURE REQUIREMENTS

1. Floor Area – Total building floor area shall not exceed 105,000 square feet.
2. Height –
 - a. The maximum height of the Building A, exclusive of roof screening, shall not exceed 45 feet or three stories, whichever is less.

- b. The maximum height of the Building B, exclusive of roof screening, shall not exceed 30 feet or two stories, whichever is less.

3. Building Requirements

- a. A minimum of 55% openspace is required for this development.
- b. This development shall have no more than two buildings as depicted on the Preliminary Plan attached hereto.

D. SETBACKS

1. Structure Setbacks

No building or structure, other than: a freestanding project identification sign, light standards, or flag poles will be located within the following setbacks:

- a. 30 feet from the right-of-way dedication on the southern boundary of the PUD District.
- b. 30 feet from the east and west boundary of the PUD District.
- c. 150 feet from the northern boundary of the PUD District.
- d. Retaining walls for the construction of the stormwater features depicted on the Preliminary Plan on the northwestern portion of the site shall be permitted to encroach into the structure setback.

2. Parking Setbacks

No parking stall, loading space, internal driveway, or roadway, except points of ingress or egress, will be located within the following setbacks:

- a. 30 feet from the right-of-way dedication on the southern boundary of the PUD District.
- b. 30 feet from the east and west boundary of the PUD District.
- c. 150 feet from the northern boundary of the PUD District.

E. PARKING AND LOADING REQUIREMENTS

- 1. Parking and loading spaces for this development will be as required in the City of Chesterfield Code.
- 2. Construction Parking
 - a. The streets surrounding this development and any street used for construction access thereto shall be cleaned throughout the day. The developer shall keep the road clear of mud and debris at all times.

- b. Provide adequate off-street stabilized parking area(s) for construction employees and a washdown station for construction vehicles entering and leaving the site in order to eliminate the condition whereby mud from construction and employee vehicles is tracked onto the pavement causing hazardous roadway and driving conditions.
3. Parking lots shall not be used as streets.
4. No parking shall be permitted along the future loop road and the developer shall post signs accordingly. The parking restriction and requirement for signage shall be indicated on the Site Development and Improvement Plan. Signage shall be posted within thirty (30) days of the placement of street pavement.

F. LANDSCAPE AND TREE REQUIREMENTS

1. The developer shall adhere to the Landscape and Tree Preservation Requirements of the City of Chesterfield Code.
2. A PUD perimeter buffer will be required at a minimum of 30 feet in width. The perimeter buffer shall be composed of a combination of existing trees (where applicable), trees selected from the approved tree list from the City of Chesterfield Tree Preservation and Landscape Requirements, and any combination of low lying shrubbery or other vegetation not including grassy turf.
3. A landscape buffer, substantially conforming to the buffer shown on the Preliminary Plan and discussed in the PUD Narrative shall be required along the southern frontage of the development.
4. Street streets, in accordance with the City of Chesterfield Tree Preservation and Landscape Requirements Ordinance, shall be installed along the east west loop street.
5. A reforestation plan for the bluffs, including the area previously disturbed, shall be submitted with the landscape plan for this development. Native tree species and understory should be utilized.
6. A Greenspace Preservation Area shall be established on the bluffs.

G. SIGN REQUIREMENTS

1. A Sign Package, in adherence with the City Code, will be required for this development. The Sign Package is to be reviewed and approved by the City of Chesterfield Planning Commission and shall reflect the residential character of the area.
2. Ornamental Entrance Monument construction, if proposed, shall be reviewed by the City of Chesterfield for sight distance considerations prior to installation or construction.

H. LIGHT REQUIREMENTS

1. Provide a lighting plan and cut sheet in accordance with the City of Chesterfield Code.

I. ARCHITECTURAL

1. The developer shall adhere to the Architectural Review Standards of the City of Chesterfield Code.
2. The standards by which this development shall be reviewed are the multiple family standards found in the City Code.
3. Trash enclosures: All exterior trash areas will be enclosed with a minimum six (6) foot high sight-proof enclosure complemented by adequate landscaping. The location, material, and elevation of any trash enclosures will be as approved by the City of Chesterfield on the Site Development Plan.
4. Mechanical equipment shall be adequately screened by roofing or other materials as approved by the Planning Commission.

J. ACCESS/ACCESS MANAGEMENT

1. Access to the site shall be limited to two (2) entrances on to the east-west loop road. The east entrance should align with the drive on the approved site development plan for the Wildhorse Child Care Center.

K. PUBLIC/PRIVATE ROAD IMPROVEMENTS, INCLUDING PEDESTRIAN CIRCULATION

1. Provide a minimum of a 40 foot right of way, with 10 foot minimum roadway improvement, maintenance, utility, drainage and sidewalk easement on the north side for the portion of the proposed east-west loop road. The right of way shall aligned with the dedicated right of way to the east and extend to the southern property line of the site to provide access to those properties in the future. Construct a 26 foot pavement with 7 foot shoulders on both sides with appurtenant storm drainage facilities and turn lanes as required by the Department of Planning and Public Works.
2. Cost of construction of the south half of the road and appurtenant storm drainage facilities west of the Wildhorse Child Care Center site shall be the responsibility of others. As directed by the City of Chesterfield, the developer shall either construct full-width improvements for a portion of the length of the east-west loop road which roughly equates to his cost of construction of one-half the entire length or construct the full-width improvements for the entire length and be reimbursed for costs in excess of his share.

3. All required roadway and related improvements shall be constructed or guaranteed in a manner acceptable to the City of Chesterfield prior to the:
 - a. Issuance of an occupancy permit for the 85th unit, or
 - b. Issuance of building permits for the 100th unit, or
 - c. Five years from the passage of this ordinance approving the PUD District, whichever is sooner.
4. Provide a 5 foot wide sidewalk, conforming to ADA standards, along the north side of the east-west loop road as directed by the City of Chesterfield.
5. Stub street signage, in conformance with the City Code, shall be posted within 30 days of the street pavement being placed.
6. Street lights shall be installed and maintained by the developer along the east-west loop road, as directed by the City of Chesterfield.
7. Be advised that the City of Chesterfield has adopted a City wide Bikeable Walkable Community Masterplan that was approved by City Council on 3/15/2010 by Resolution 302. Easements may be required at the time of development, as directed by the City of Chesterfield.
8. Improve the existing ADA facilities at the signal per MoDOT compliance.
9. Ingress and egress must conform to MoDOT's Access Management Guidelines and must be reviewed and approved by MoDOT. Any changes to the entrance geometrics and drainage design shall be in accordance with MoDOT standards and shall be reviewed and approved by MoDOT.
10. Any work within MoDOT's right-of-way will require a MoDOT permit.
11. The petitioner shall provide adequate detention and/or hydraulic calculations for review and approval of all storm water that will encroach on MoDOT right-of-way.

L. TRAFFIC STUDY

1. Provide a traffic study as directed by the City of Chesterfield and/or MoDOT. The scope of the study shall include internal and external circulation and may be limited to site specific impacts, such as the need for additional lanes, entrance configuration, geometrics, sight distance, traffic signal modifications or other improvements required, as long as the density of the proposed development falls within the parameters of the City's traffic model. Should the density be

other than the density assumed in the model, regional issues shall be addressed as directed by the City of Chesterfield.

2. Provide a sight distance evaluation report, as required by the City of Chesterfield. If adequate sight distance cannot be provided at the access location, acquisition of right of way, reconstruction of pavement, including correction to the vertical alignment, and/or other off-site improvements shall be required, as directed by the City of Chesterfield and/or the Missouri Department of Transportation.

M. POWER OF REVIEW

1. The Mayor or a Councilmember of the Ward in which a development is proposed may request that the Site Development Plan be reviewed and approved by the entire City Council. This request must be made no later than 24 hours before posting the agenda for the next City Council meeting after Planning Commission review and approval of the Site Development Plan. The City Council will then take appropriate action relative to the proposal.

N. STORMWATER

1. The site shall provide for the positive drainage of storm water and it shall be discharged at an adequate natural discharge point or an adequate piped system.
2. Grading and stormwater systems shall be designed so as to collect surface water from the areas tributary to the bluffs and convey that surface water to an adequate discharge point where extraordinary measures will be employed to dissipate energy, attenuate flows, and protect the slopes from degradation. No stormwater from these areas shall be allowed to flow to the undisturbed or reconstructed slopes, as directed by the Department of Planning and Public Works.
3. The adequacy of the existing downstream conditions shall be verified and upgraded if necessary as directed by the City of Chesterfield, Department of Planning and Public Works. Be advised, for this specific development, the downstream channels and structures must be analyzed using the MSD standard design storm.
4. Detention/retention, channel protection, and water quality measures are to be provided as required by the City of Chesterfield. The storm water management facilities shall be operational prior to paving of any driveways or parking areas in non-residential developments or issuance of building permits exceeding sixty (60%) of the approved dwelling units in each plat, watershed or phase of residential developments. The location and types of storm water management facilities shall be identified on all Site Development Plans.
5. Stormwater shall be controlled as required by the Chesterfield Valley Master Facility Plan.

6. Treatment may be required at this site for water quality and channel protection per MSD February 2006 (Chapter 4) Guidelines.

O. SANITARY SEWER

1. This project is in the Caulks Creek Surcharge area and "Wildhorse Creek Recoupment" Area. All associated fees shall be paid prior to plan approval or issuance of permits.
2. Formal plan submittal and approval is required by the District prior to the issuance of permits.

P. GEOTECHNICAL REPORT

1. Prior to Site Development Plan approval, provide a geotechnical report, prepared by a registered professional engineer licensed to practice in the State of Missouri, as directed by the Department of Planning and Public Works. The report shall verify the suitability of proposed grading and proposed improvements with soil and geologic conditions and address the existence of any potential sinkhole, slope failures, ponds, dams, septic fields, etc., and recommendations for treatment. A statement of compliance, signed and sealed by the geotechnical engineer preparing the report, shall be included on all Site Development Plans and improvement plans.

Q. MISCELLANEOUS

1. All utilities will be installed underground.
2. An opportunity for recycling will be provided. All provisions of Chapter 25, Article VII, and Section 25-122 thru Section 25-126 of the City of Chesterfield, Missouri Code shall be required where applicable.

R. SPIRIT OF ST. LOUIS AIRPORT

1. Prior to the approval of any site development plan, the developer shall provided, at the direction of the Spirit of St. Louis Airport, an avigation easement or other appropriate legal instrument or agreements to fully remise and release any right or cause of action which they, their successors and assigns may now have or which they may have in the future against the St. Louis County, its assessors and assigns, due to such noise, vibrations, fumes, dust, fuel particles and all other effects that may have been caused by the operation of aircraft landing at or taking off from, or operating at or on Spirit of St. Louis Airport.
2. The developer shall provide the following notes on the Site Development Plan:

- a. The avigation easement will be recorded along with the Site Development Plan. In addition, the avigation easement will be referenced on any individual plot plans.
- b. The developer shall disclose to prospective residents that this site is in close proximity to the Spirit of St. Louis Airport and is subject to occasional over flights. This note is intended to be a noise disclosure statement to any prospective residents.

II. TIME PERIOD FOR SUBMITTAL OF SITE DEVELOPMENT CONCEPT PLANS AND SITE DEVELOPMENT PLANS

- A. The developer shall submit a concept plan within eighteen (18) months of City Council approval of the change of zoning.
- B. In lieu of submitting a Site Development Concept Plan and Site Development Section Plans, the petitioner may submit a Site Development Plan for the entire development within eighteen (18) months of the date of approval of the change of zoning by the City.
- C. Failure to comply with these submittal requirements will result in the expiration of the change of zoning and will require a new public hearing.
- D. Said Plan shall be submitted in accordance with the combined requirements for Site Development Section and Concept Plans. The submission of Amended Site Development Plans by sections of this project to the Planning Commission shall be permitted if this option is utilized.
- E. Where due cause is shown by the developer, this time interval for plan submittal may be extended through appeal to and approval by the Planning Commission.

III. COMMENCEMENT OF CONSTRUCTION

- A. Substantial construction shall commence within two (2) years of approval of the Site Development Concept Plan or Site Development Plan, unless otherwise authorized by ordinance.
- B. Where due cause is shown by the developer, the Commission may extend the period to commence construction for not more than one additional year.

IV. GENERAL CRITERIA

A. SITE DEVELOPMENT CONCEPT PLAN

- 1. Any Site Development Concept Plan shall show all information required on a preliminary plat as required in the City of Chesterfield Code.

2. Include a Conceptual Landscape Plan in accordance with the City of Chesterfield Code to indicate proposed landscaping along arterial and collector roadways.
3. Include a Lighting Plan in accordance with the City of Chesterfield Code to indicate proposed lighting along arterial collector roadways.
4. Provide comments/approvals from the appropriate Fire District, the St. Louis County Department of Highways and Traffic, Monarch Chesterfield Levee District, Spirit of St. Louis Airport and the Missouri Department of Transportation.
5. Compliance with the current Metropolitan Sewer District Site Guidance as adopted by the City of Chesterfield.

B. SITE DEVELOPMENT PLAN SUBMITTAL REQUIREMENTS

The Site Development Plan shall include, but not be limited to, the following:

1. Location map, north arrow, and plan scale. The scale shall be no greater than one (1) inch equals one hundred (100) feet.
2. Outboundary plat and legal description of property.
3. Density calculations.
4. Parking calculations. Including calculation for all off street parking spaces, required and proposed, and the number, size and location for handicap designed.
5. Provide openspace percentage for overall development including separate percentage for each lot on the plan.
6. Provide Floor Area Ratio (F.A.R.).
7. A note indicating all utilities will be installed underground.
8. A note indicating signage approval is separate process.
9. Depict the location of all buildings, size, including height and distance from adjacent property lines, and proposed use.
10. Specific structure and parking setbacks along all roadways and property lines.
11. Indicate location of all existing and proposed freestanding monument signs.
12. Zoning district lines, subdivision name, lot number, dimensions, and area, and zoning of adjacent parcels where different than site.
13. Floodplain boundaries.

14. Depict existing and proposed improvements within 150 feet of the site as directed. Improvements include, but are not limited to, roadways, driveways and walkways adjacent to and across the street from the site, significant natural features, such as wooded areas and rock formations, and other karst features that are to remain or be removed.
15. Depict all existing and proposed easements and rights-of-way within 150 feet of the site and all existing or proposed off-site easements and rights-of-way required for proposed improvements.
16. Indicate the location of the proposed storm sewers, detention basins, sanitary sewers and connection(s) to the existing systems.
17. Depict existing and proposed contours at intervals of not more than one (1) foot, and extending 150 feet beyond the limits of the site as directed.
18. Address trees and landscaping in accordance with the City of Chesterfield Code.
19. Comply with all preliminary plat requirements of the City of Chesterfield Subdivision Regulations per the City of Chesterfield Code.
20. Signed and sealed in conformance with the State of Missouri Department of Economic Development, Division of Professional Registration, Missouri Board for Architects, Professional Engineers and Land Surveyors requirements.
21. Provide comments/approvals from the appropriate Fire District, Monarch Levee District, Spirit of St. Louis Airport and the Missouri Department of Transportation.
22. Compliance with Sky Exposure Plane.
23. Compliance with the current Metropolitan Sewer District Site Guidance as adopted by the City of Chesterfield.

C. SITE DEVELOPMENT SECTION PLAN SUBMITTAL REQUIREMENTS

The Site Development Section Plan shall adhere to the above criteria and to the following:

1. Location map, north arrow, and plan scale. The scale shall be no greater than one (1) inch equals one hundred (100) feet.
2. Parking calculations. Including calculation for all off street parking spaces, required and proposed, and the number, size and location for handicap designed.

3. Provide open space percentage for overall development including separate percentage for each lot on the plan.
4. Provide Floor Area Ratio (F.A.R.).
5. A note indicating all utilities will be installed underground.
6. A note indicating signage approval is separate process.
7. Depict the location of all buildings, size, including height and distance from adjacent property lines and proposed use.
8. Specific structure and parking setbacks along all roadways and property lines.
9. Indicate location of all existing and proposed freestanding monument signs.
10. Zoning district lines, subdivision name, lot number, lot dimensions, lot area, and zoning of adjacent parcels where different than site.
11. Floodplain boundaries.
12. Depict existing and proposed improvements within 150 feet of the site as directed. Improvements include, but are not limited to, roadways, driveways and walkways adjacent to and across the street from the site, significant natural features, such as wooded areas and rock formations, and other karst features that are to remain or be removed.
13. Depict all existing and proposed easements and rights-of-way within 150 feet of the site and all existing or proposed off-site easements and rights-of-way required for proposed improvements.
14. Indicate the location of the proposed storm sewers, detention basins, sanitary sewers and connection(s) to the existing systems.
15. Depict existing and proposed contours at intervals of not more than one (1) foot, and extending 150 feet beyond the limits of the site as directed.
16. Address trees and landscaping in accordance with the City of Chesterfield Code.
17. Comply with all preliminary plat requirements of the City of Chesterfield Subdivision Regulations per the City of Chesterfield Code.
18. Signed and sealed in conformance with the State of Missouri Department of Economic Development, Division of Professional Registration, Missouri Board for Architects, Professional Engineers and Land Surveyors requirements.

19. Provide comments/approvals from the appropriate Fire District, Monarch Levee District, Spirit of St. Louis Airport, St. Louis Department of Highways and Traffic, and the Missouri Department of Transportation.
20. Compliance with Sky Exposure Plane.
21. Compliance with the current Metropolitan Sewer District Site Guidance as adopted by the City of Chesterfield.

V. TRUST FUND CONTRIBUTION

Relative to this rezoning, we request that the following special conditions be met:

- A. The developer shall contribute a Traffic Generation Assessment (TGA) to the Eatherton-Kehrs Mill Rd Trust Fund established by ordinance Number 13,173. This contribution shall not exceed an amount established by multiplying the ordinance-required parking space by the following rate schedule:

<u>Type of Development</u>	<u>Required Contribution</u>
Retirement Community	\$ 382.06 / Parking Space

(Parking Space as required by the site-specific ordinance or by section 1003.165 of the Saint Louis County Zoning Ordinance.)

If types of development\proposed differ from those listed, rates shall be provided by the Saint Louis County Department of Highways and Traffic.

As a portion of the improvements required herein are needed to provide for the safety of the traveling public, their completion as a part of this development is mandatory.

Allowable credits for required roadway improvements will be awarded as directed by the Saint Louis County Department of Highways and Traffic and the City of Chesterfield. Sidewalk construction and utility relocation, among other items, are not considered allowable credits.

- B. As this development is located within a trust fund area established by Saint Louis County any portion of the traffic generation assessment contribution, which remains, following completion of road improvements required by the development, should be retained in the appropriate trust fund.
- C. The amount of the required contribution, if not approved for construction by January 1, 2011, shall be adjusted on that date and on the first day of January in each succeeding year thereafter in accord with the construction cost index as determined by the Saint Louis County Department of Highways and Traffic.

VI. RECORDING

Within 60 days of approval of any development plan by the City of Chesterfield, the approved Plan will be recorded with the St. Louis County Recorder of Deeds. Failure to do so will result in the expiration of approval of said plan and require re-approval of a plan by the Planning Commission.

VII. ENFORCEMENT

- A. The City of Chesterfield, Missouri will enforce the conditions of this ordinance in accordance with the Plan approved by the City of Chesterfield and the terms of this Attachment A.
- B. Failure to comply with any or all the conditions of this ordinance will be adequate cause for revocation of approvals/permits by reviewing Departments and Commissions.
- C. Non-compliance with the specific requirements and conditions set forth in this Ordinance and its attached conditions or other Ordinances of the City of Chesterfield shall constitute an ordinance violation, subject, but not limited to, the penalty provisions as set forth in the City of Chesterfield Code.
- D. Waiver of Notice of Violation per the City of Chesterfield Code.
- E. This document shall be read as a whole and any inconsistency to be integrated to carry out the overall intent of this Attachment A.

CEDC

CIVIL ENGINEERING
DESIGN CONSULTANTS

April 6, 2011

Mr. Justin Wyse
City Planner
City of Chesterfield
690 Chesterfield Parkway West
Chesterfield, Missouri 63017-0760

Re: Chesterfield Senior Living
PZ 11-2010 & PZ 12-2010
17665 Wild Horse Creek Road
Chesterfield, Missouri 63005
(CEDC Project No. 1000)

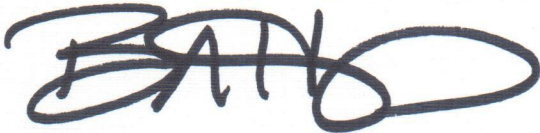
Dear Mr. Wyse:

On behalf of the Owner, we hereby amend the petitions as follows:

1. PZ 11-2010: Amend the requested zoning from "R-2" to "E-1" Estate One-Acre District
2. PZ 12-2010: Withdrawal the requested PUD

Please call should you have any questions or require additional information.

Sincerely,
Civil Engineering Design Consultants, Inc.



Brandon A. Harp, P.E.
Principal

CEDC
CIVIL ENGINEERING
DESIGN CONSULTANTS

RECEIVED
MAR 16 2011
DEPT. OF PLANNING
& PUBLIC WORKS

March 16, 2011

Mr. Justin Wyse
City Planner
City of Chesterfield
690 Chesterfield Parkway West
Chesterfield, Missouri 63017-0760

Re: Chesterfield Senior Living ~ PUD Narrative
17665 Wild Horse Creek Road
Chesterfield, Missouri 63005
(CEDC Project No. 1000)

Dear Mr. Wyse:

In July 2007, the subject property was rezoned from Non-Urban to Planned Commercial by Ordinance No. 2378. The permitted uses granted by Ordinance No. 2378 are office and medical office.

Pursuant to the rezoning and due to the economic environment, the interest in the subject property has changed from office/medical office to independent senior living, group homes for the elderly, memory care and related uses. Since the current zoning does not allow for such uses, a change in zoning application is hereby submitted to the City.

The petition is to rezone the property from Planned Commercial to R-2 Residential under the provisions of a Planned Unit Development, P.U.D. to allow for the uses as requested in this letter.

The following is the permitted land use that we are requesting to be established in the conditions of the ordinance governing this particular Planned Unit Development as allowed by a conditional use in the R-2 zoning district 1003.113 "R-2 Residence District Regulations:

(2)(i) Nursing Homes and Group Homes for the Elderly

In addition and as outlined in Section 1003.187 Planned Unit Development containing forty (40) of more residential units, the following uses are also requested:

- 6.A.(1.) Barber or Beauty shops
- 6.A.(2.) Day care centers, child
- 6.A.(3.) Drug stores and pharmacy
- 6.A.(4.) Grocery Neighborhood
- 6.A.(5.) Laundromat and dry cleaning establishment
- 6.A.(6.) Newspaper stands
- 6.A.(7.) Restaurants, sit down and/or outdoor customer area

As outlined above, the proposed development will incorporate a mixed use of independent senior living, assisted care, skilled nursing care and memory care. A Certificate of Need (CON) from the State of Missouri was granted in July 2010 for the subject property, which incorporated a detailed market study as well as other pertinent information to justify the need.

As a requirement of the PUD application to encourage flexibility to the density requirements and zoning consideration, special design features and attributes of the development are required. Attached to this application, is a site plan which shows the general layout of the proposed development and includes the following:

- A. The site is within the Wild Horse Creek Road sub area as designated in the City's comprehensive plan and it is within the 1,920 foot setback from the southern airport runway, therefore it is designated as Neighborhood Office. The available uses for consideration in this district are not only "*office and medical and dental offices, excluding surgical centers*", but also include institutional uses such as churches; kindergarten, elementary, secondary schools and colleges; police and fire stations; mortuaries, and mausoleums; child care centers, child nursery schools, child day nurseries, and child or adult day care homes; community centers; libraries, and others. The requested uses of "Nursing Homes" and "Independent Senior Living" are not available uses for the subject property. However, "Nursing Homes" is allowed by a CUP just south of this property, whereas, the properties south of this parcel and north of Wild Horse Creek Road are also within the Wild Horse Creek Road sub area as designated in the City's comprehensive plan. In keeping with the spirit of this classification, it seems reasonable that a nursing home meets this type and scale of institutional uses as adopted by the City in the creation of the Wild Horse Creek Road sub area district.
- B. The development incorporates mixed uses. The two story facility will include Senior Assisted Living, Senior Memory Care and Senior Skilled Nursing operations and will provide safe secure living space with building life safety support and security, outdoor light exposure for all rooms, integrated calm walking patterns, activity center, family oasis, full kitchen area to support family style dining and supporting mechanical space. Building amenities include a Chapel, Beauty Parlor, Barber shop, Daily Linens & Personal Laundry Service Area, Family Movie Theater, Library, Spa, Sunroom, Crafting Center, Computer Lab, Outdoor Patio, Internal and External walking trails. The facility will be located adjacent to Chesterfield Academy Early Childhood Educational Facility

currently operating providing an intergenerational element. The combination of the two facilities offers residents and families a wonderful opportunity to grow by nurturing the mind, body and spirit at all levels.

- C. The site is situated over 500 feet north of Wild Horse Creek Road and is accessible via an access easement through the Chesterfield Academy – Early Childhood Education Center at a signalize intersection. As part of the development, right of way for a new city roadway along the property frontage will be dedicated. Whereas, the roadway will eventually connect to Wild Horse Creek Road at Greystone Manor to the west and Wild Horse Parkway to the east.
- D. The placement of the buildings is designed in manner to minimize the impact to the natural site topography, while maintaining the woodlands on the north portion of the site. The location of the buildings balances the preservation of the woodlands to the north and the required road right of way dedication to the south. Generally, the building pad for the buildings will sit approximately ten feet lower than the elevation of Wild Horse Creek Road and the building will be constructed of high quality materials with a review by the Architectural Review Board. The building elevation will be consistent and integral with the surrounding area.

In addition, to further reduce the impact of the buildings, a conceptual front yard landscape buffer is shown on the Preliminary Development Plan. It consists of more trees than necessary and all (60) sixty Sea Green Juniper are in addition to what is required by the Tree Manual. The Sea Green Juniper is a plant that has a compact, spreading growth habit. Its foliage is dark mint green (darkens in winter) with fountain-like arching branches. It is ideal for an evergreen screen / hedge, or also works very well as a foreground planting for landscape beds in front of, and around buildings. It holds a good green color even through winter with little to no bronzing at all and is very attractive plant as it matures. It has a mature height of 6 feet and a width of 8 feet with an average growth rate of up to 8” per year.

- E. The preservation of the bluff area to the north is part of the integrated site plan and will allow the senior residents to avail themselves to walking and exercising on a planned mulched trail system including: bird watching, art work and enjoying the outdoors in a natural environment. A series of park benches, wood steps and nature viewing areas will be created along the path. The walking trail is located entirely on the subject property.
- F. In addition to preserving the northern woodland bluff area. A reforestation plan of the bluff will be implemented and submitted as part of the landscape plan during site plan review. The reforestation will restock and add to the existing woodlands which have been depleted due to aging and natural causes. The reforestation will be used to improve the quality of human life by soaking up pollution and dust from the air and assist in strengthening the natural habitats and ecosystems in the area.

- G. A provision for common space is provided in this PUD petition in excess of the minimum 30 percent required. The total site area open space (after the dedication of the right of way to the City) is 58.2 percent. If the 1.95 acres of the bluff area is excluded from the calculation, the remaining open space is 44.8 percent. The open space is displaced throughout the development and not concentrated in a single area. The building footprints are positioned to create outdoor enclosed and semi enclosed courtyard spaces and gentle walking paths throughout. The open space shall be preserved for outdoor patios, senior recreation, meandering walking trails, mulched hiking/walking trails, gardens, outdoor activities, bird watching, sitting and conversation areas, etc.
- H. A PUD provision for a 30 foot perimeter buffer area is exceeded in this petition at the north property line. This buffer yard to the north is 180 feet and area will consist of non-paved natural/walking trails, storm water management facilities and the preservation of the wood lands with amenities as described in detail in the proceeding paragraphs.
- I. The project is intended to be built in phases.

Phase 1, 51 Units for Assisted Living approved by the Missouri Department of Health and Senior Services - CON Committee and 33 Independent Living facilities with supporting infrastructure.

Phase 2, includes 36 Units for Skilled nursing as stated in the correspondence with the Missouri Department of Health and Senior Services and is an approved option once the CON has been received from the State of Missouri.

The two story facility will include Senior Assisted Living, Senior Memory Care and Senior Skilled Nursing operations and will provide safe secure living space with building life safety support and security, outdoor light exposure for all rooms, integrated calm walking patterns, activity center, family oasis, full kitchen area to support family style dining and supporting mechanical space.

Building amenities include a Chapel, Beauty Parlor, Barber shop, Daily Linens & Personal Laundry Service Area, Family Movie Theater, Library, Spa, Sunroom, Crafting Center, Computer Lab, Outdoor Patio, Internal and External walking trails. The facility will be located adjacent to Chesterfield Academy Early Childhood Educational Facility currently operating providing an intergenerational element. The combination of the two facilities offers residents and families a wonderful opportunity to grow by nurturing the mind, body and spirit at all levels.

Summary:	Units
	51 – Assisted Living
	33 – Independent Living
	<u>36- Skilled Living</u>
Total	120 – Units

Assisted and Skilled Facility – Two Story Facility

Independent Living Facility – Three Story Facility

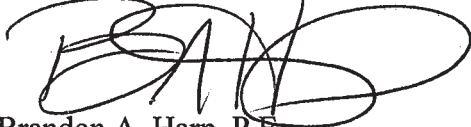
Both Facilities are in compliance with the Height limitation of 45 feet.

All infrastructure improvements are in compliance with Agency requirements.

We respectfully request your review of the application and your support for the rezoning.

Please call should you have any questions or require additional information.

Sincerely,
Civil Engineering Design Consultants, Inc.



Brandon A. Harp, P.E.
Principal

CONDITIONAL USE PERMIT #_____

Petition: P.Z. 12-2010 Chesterfield Senior Living (Plan Provisions, LLC)

Public Hearing Date: November 22, 2010

Site Location: 17655 Wildhorse Creek Road

Acreage for CUP: 8.04 acres

Underlying Zoning District: "E-1" Estate One Acre District

All provisions of the City of Chesterfield City Code shall apply to this development except as specifically modified below:

1. The following Conditional Uses shall be allowed in this development:
 - a. Nursing and group homes for the elderly.
2. A maximum of 120 units shall be permitted in this development.
 - a. There shall be no more than 33 units for independent senior living.
3. A minimum of 55% openspace is required for this development.
4. No parking shall be permitted along the future loop road and the developer shall post signs accordingly. The parking restriction and requirement for signage shall be indicated on the Site Development and Improvement Plan. Signage shall be posted within thirty (30) days of the placement of street pavement.
5. A Sign Package, in adherence with the City Code, will be required for this development. The Sign Package is to be reviewed and approved by the City of Chesterfield Planning Commission and shall reflect the residential character of the area.
6. The developer shall adhere to the Architectural Review Standards of the City of Chesterfield Code.
7. The standards by which this development shall be reviewed are the multiple family standards found in the City Code.

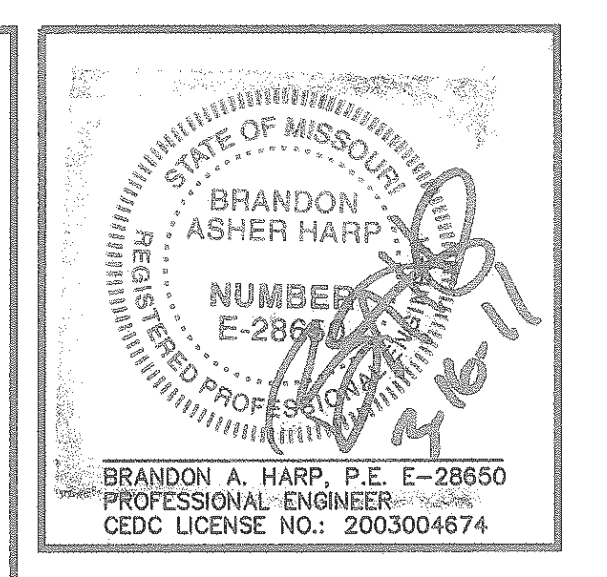
8. Mechanical equipment shall be adequately screened by roofing or other materials as approved by the Planning Commission.
9. Access to the site shall be limited to two (2) entrances on to the east-west loop road. The east entrance should align with the drive on the approved site development plan for the Wildhorse Child Care Center.
10. Provide a minimum of a 40 foot right of way, with 10 foot minimum roadway improvement, maintenance, utility, drainage and sidewalk easement on the north side for the portion of the proposed east-west loop road. The right of way shall aligned with the dedicated right of way to the east and extend to the southern property line of the site to provide access to those properties in the future. Construct a 26 foot pavement with 7 foot shoulders on both sides with appurtenant storm drainage facilities and turn lanes as required by the Department of Planning and Public Works.
11. Cost of construction of the south half of the road and appurtenant storm drainage facilities west of the Wildhorse Child Care Center site shall be the responsibility of others. As directed by the City of Chesterfield, the developer shall either construct full-width improvements for a portion of the length of the east-west loop road which roughly equates to his cost of construction of one-half the entire length or construct the full-width improvements for the entire length and be reimbursed for costs in excess of his share.
12. All required roadway and related improvements shall be constructed or guaranteed in a manner acceptable to the City of Chesterfield prior to the:
 - a. Issuance of an occupancy permit for the 84th unit, or
 - b. Five years from the passage of this ordinance approving the PUD District, whichever is sooner.
13. Provide a 5 foot wide sidewalk, conforming to ADA standards, along the north side of the east-west loop road as directed by the City of Chesterfield.
14. Stub street signage, in conformance with the City Code, shall be posted within 30 days of the street pavement being placed.
15. Street lights shall be installed and maintained by the developer along the east-west loop road, as directed by the City of Chesterfield.
16. The site shall provide for the positive drainage of storm water and it shall be discharged at an adequate natural discharge point or an adequate piped system.

17. Grading and stormwater systems shall be designed so as to collect surface water from the areas tributary to the bluffs and convey that surface water to an adequate discharge point where extraordinary measures will be employed to dissipate energy, attenuate flows, and protect the slopes from degradation. No stormwater from these areas shall be allowed to flow to the undisturbed or reconstructed slopes, as directed by the Department of Planning and Public Works.
18. The adequacy of the existing downstream conditions shall be verified and upgraded if necessary as directed by the City of Chesterfield, Department of Planning and Public Works. Be advised, for this specific development, the downstream channels and structures must be analyzed using the MSD standard design storm.
19. Detention/retention, channel protection, and water quality measures are to be provided as required by the City of Chesterfield. The storm water management facilities shall be operational prior to paving of any driveways or parking areas in non-residential developments or issuance of building permits exceeding sixty (60%) of the approved dwelling units in each plat, watershed or phase of residential developments. The location and types of storm water management facilities shall be identified on all Site Development Plans.
20. Stormwater shall be controlled as required by the Chesterfield Valley Master Facility Plan.
21. Treatment may be required at this site for water quality and channel protection per MSD February 2006 (Chapter 4) Guidelines.
22. All utilities will be installed underground.
23. An opportunity for recycling will be provided. All provisions of Chapter 25, Article VII, and Section 25-122 thru Section 25-126 of the City of Chesterfield, Missouri Code shall be required where applicable.
24. Prior to the approval of any site development plan, the developer shall provided, at the direction of the Spirit of St. Louis Airport, an avigation easement or other appropriate legal instrument or agreements to fully remise and release any right or cause of action which they, their successors and assigns may now have or which they may have in the future against the St. Louis County, its assessors and assigns, due to such noise, vibrations, fumes, dust, fuel particles and all other effects that may have been caused by the operation of aircraft landing at or taking off from, or operating at or on Spirit of St. Louis Airport.

25. The developer shall provide the following notes on the Site Development Plan:
 - a. The avigation easement will be recorded along with the Site Development Plan. In addition, the avigation easement will be referenced on any individual plot plans.
 - b. The developer shall disclose to prospective residents that this site is in close proximity to the Spirit of St. Louis Airport and is subject to occasional over flights. This note is intended to be a noise disclosure statement to any prospective residents.

Legal Description

A tract of land being part of lots 2 & 3 of Mary Schaeffer Estate Subdivision, a subdivision recorded in plat book 17 page 4 of the St. Louis County Land Records Office in St. Louis County, Missouri.



BRANDON A. HARP, P.E. E-28666
 PROFESSIONAL ENGINEER
 MISSOURI
 LICENSE NO. E-28666
 11402 Gravois Road
 Suite 100
 St. Louis, Missouri 63126
 Phone: 314.729.1400
 Fax: 314.729.1404
 www.cedc.net

CEDC
CIVIL ENGINEERING
DESIGN CONSULTANTS

Preliminary Development Plan
Chesterfield Senior Living
17655 Wildhorse Creek Road
Chesterfield, Missouri 63005

Proj. #	1000
No. Description	Date
To City	03-16-11

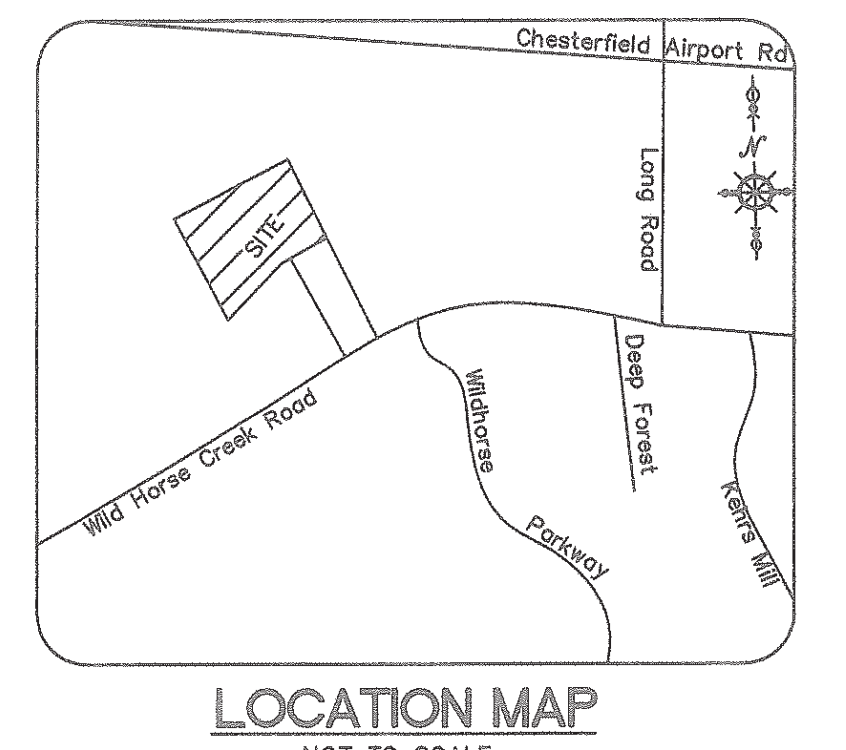
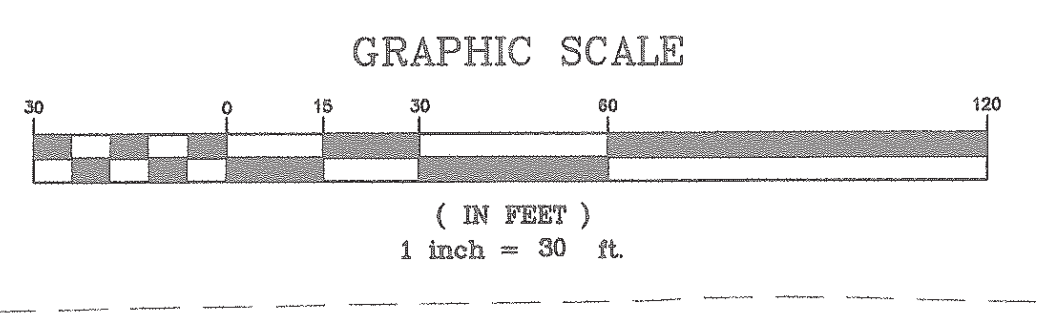
PRELIMINARY DEVELOPMENT PLAN

DRAWING NO.

C1

PRELIMINARY DEVELOPMENT PLAN

A TRACT OF LAND BEING PART OF LOTS 2 & 3 OF MARY SCHAEFFER ESTATE SUBDIVISION IN US SURVEY 122, TOWNSHIP 45 NORTH, RANGE 3 EAST, CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI



LEGEND

- EXISTING CONTOURS: 433
- PROPOSED CONTOURS: 433
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- RIGHT-OF-WAY
- EASEMENT
- CENTERLINE
- EXISTING TREE
- EXISTING SPOT ELEVATION
- SWALE/DRAINAGE PATH
- TO BE REMOVED
- TO BE REMOVED & RELOCATED
- TO BE USED IN PLACE
- TO BE ABANDONED
- BACK OF CURB
- FACE OF CURB
- WATER MAIN
- GAS MAIN
- UNDERGROUND TELEPHONE
- OVERHEAD WIRE
- UNDERGROUND ELECTRIC
- FIRE HYDRANT
- POWER POLE
- WATER VALVE

ABBREVIATIONS

- N NORTH
- S SOUTH
- E EAST
- W WEST
- C CONC. CONCRETE
- ASPH ASPHALT
- PB PLAT BOOK
- DB DEED BOOK
- PG PAGE
- SF SQUARE FEET
- AC ACRES
- ELEV ELEVATION
- FF FINISH FLOOR
- FL FLOWLINE
- PVC POLYVINYL CHLORIDE PIPE
- RCP REINFORCED CONCRETE PIPE
- STN STORM
- SAN SANITARY
- S(S) SAVE
- (R) REMOVE

SYMBOLS

- WV WATER VALVE
- WMH WATER MANHOLE
- TMH TELEPHONE MANHOLE
- BRUSH & SHRUB LINE
- TREE & SIZE
- BUSH & SIZE
- BOLLARD
- SIGN
- ELECTRIC YARD LIGHT
- BORING LOCATION
- MAIL BOX
- ELECTRIC BOX
- POWER POLE
- POWER POLE & GUY
- CLEAN OUT
- GAS VALVE
- GAS METER
- GAS DRIP

SECTION A-A
 (n.t.s.)

SURVEYOR'S CERTIFICATION

This is to certify that the Plot is a correct representation of all existing and proposed land divisions.

Marler Surveying Company
 By Marty L. Marler

Marty L. Marler, R.L.S.

PROJECT BENCHMARK

W.S.D. BENCHMARK 12-171 ELEV. 460.06 "STANDARD ALUMINUM DISK" STAMPED S-38, 1980. DISK IS SET AT THE NORTHWEST CORNER OF CHESTERFIELD AIRPORT ROAD AND CARPICE DRIVE.

SITE BENCHMARK
 ELEV. 575.75' - TOP OF SPINDLE IN ASPHALT DRIVE NEAR THE SOUTHEAST CORNER OF THE SUBJECT PARCELS.

LEGAL DESCRIPTION

LOT B:
 A TRACT OF LAND BEING PART OF LOTS 2 & 3 OF MARY SCHAEFFER ESTATE SUBDIVISION, A SUBDIVISION RECORDED IN PLAT BOOK 17 PAGE 4 OF THE ST. LOUIS COUNTY LAND RECORDS OFFICE IN ST. LOUIS COUNTY, MISSOURI, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A FOUND 1/2" IRON PIPE BEING ON THE WESTERN LINE OF LOT 2 AT THE SOUTHERN RIGHT OF WAY LINE OF THE ROCK ISLAND RAILROAD (100' W); THENCE EASTWARDLY ALONG SAID RAILROAD RIGHT OF WAY, NORTH 74 DEGREES 45 MINUTES 00 SECONDS EAST A DISTANCE OF 404.43 FEET TO A SET 1/2" X 1/2" REBAR WITH CAP STAMPED "MARLER L.S. 347-D" (TYPICAL), THENCE CONTINUING ALONG SAID RAILROAD RIGHT OF WAY ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 10445.92 FEET, AND ARC LENGTH OF 180.85 FEET AND A DELTA OF 18 DEGREES 00 MINUTES 00 SECONDS TO A SET REBAR, SAID POINT BEING ON THE EASTERN LINE OF AFORESAID LOT 2; THENCE ALONG SAID EAST LINE OF LOT 2, SOUTH 12 DEGREES 36 MINUTES 00 SECONDS EAST A DISTANCE OF 482.69 FEET TO A SET REBAR, THENCE LEAVING SAID EAST LINE, SOUTH 77 DEGREES 24 MINUTES 00 SECONDS WEST A DISTANCE OF 60.00 FEET TO A SET REBAR; THENCE SOUTH 12 DEGREES 36 MINUTES 00 SECONDS EAST A DISTANCE OF 7.38 FEET TO A SET REBAR; THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 29.00 FEET, AN ARC LENGTH OF 35.51 FEET AND A DELTA OF 81 DEGREES 23 MINUTES 00 SECONDS TO A SET REBAR; THENCE SOUTH 60 DEGREES 47 MINUTES 00 SECONDS WEST A DISTANCE OF 40.49 FEET TO A SET REBAR; THENCE SOUTH 21 DEGREES 13 MINUTES 00 SECONDS EAST A DISTANCE OF 60.00 FEET TO A SET REBAR, SAID REBAR BEING ON THE SOUTHERN RIGHT OF WAY OF OLD WILD HORSE CREEK ROAD, AS VACATED BY COUNTY COUNCIL OF FEBRUARY 4, 1937, A CERTIFIED COPY OF WHICH IS RECORDED IN DEED BOOK 1415 PAGE 481; THENCE ALONG SAID FORMER SOUTHERN RIGHT OF WAY, THE FOLLOWING COURSES AND DISTANCES, SOUTH 69 DEGREES 47 MINUTES 00 SECONDS WEST A DISTANCE OF 106.80 FEET TO A SET REBAR; THENCE SOUTH 52 DEGREES 51 MINUTES 00 SECONDS WEST A DISTANCE OF 408.59 FEET TO A SET REBAR, SAID REBAR BEING ON THE WESTERN LINE OF AFORESAID LOT 2; THENCE ALONG SAID WESTERN LINE OF LOT 2, NORTH 12 DEGREES 36 MINUTES 00 SECONDS WEST A DISTANCE OF 719.49 FEET TO THE POINT OF BEGINNING, CONTAINING 350,470 SQUARE FEET OR 8.04 ACRES AS SURVEYED BY MARLER SURVEYING COMPANY INC. DURING THE MONTH OF AUGUST 2008.

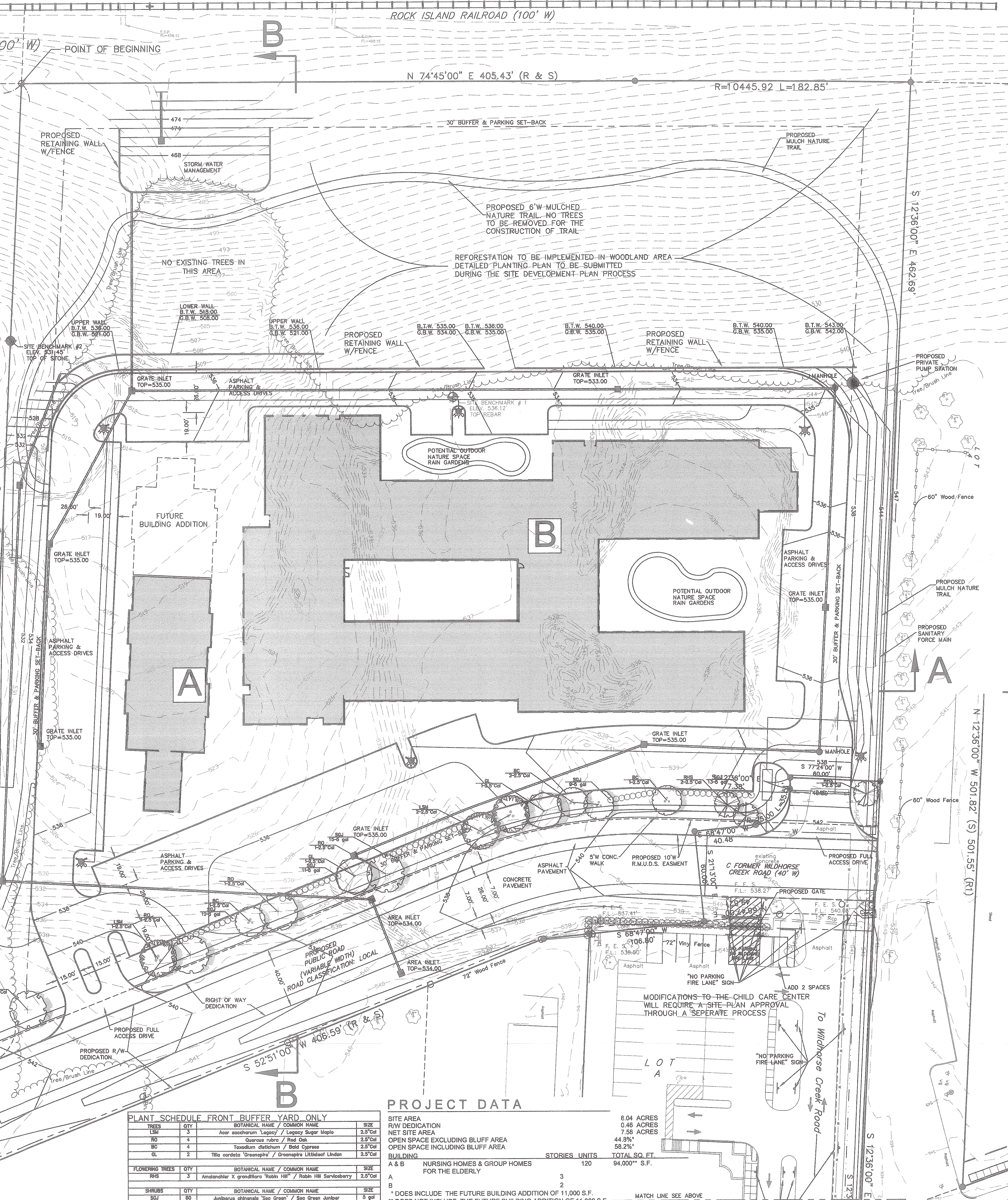
UTILITY NOTE:
 UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS, RECORDS AND INFORMATION, AND THEREFORE DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NON-EXISTENCE, SIZE, TYPE, NUMBER, OR LOCATION OF THESE FACILITIES, STRUCTURES AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS. THE UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319 RSMo.

NOTE TO CONTRACTOR:
 CONTRACTOR/SUBCONTRACTOR SHALL INVESTIGATE, ASCERTAIN AND CONFORM TO ANY AND ALL PERMIT REQUIREMENTS OF THE (ANY) VARIOUS AFFECTED UTILITY COMPANIES AND/OR REGULATORY AGENCIES WITH REGARD TO MAKING CONNECTIONS TO OR CROSSINGS OF THEIR FACILITIES, WORKING WITHIN THEIR RIGHT-OF-WAY OR EASEMENTS, INSPECTIONS AND ASSOCIATED MONETARY CHARGES, AND/OR SPECIAL SAFETY REQUIREMENTS. SUCH INVESTIGATION TO INCLUDE, BUT NOT LIMITED TO, THE MAKING OF NECESSARY APPLICATIONS AND PAYMENTS OF ALL REQUIRED FEES.

THE LOCATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS OR PROFILES ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR/SUBCONTRACTOR TO VERIFY THE FIELD LOCATIONS, ANTICIPATED CLEARANCES AND THE EXISTENCE OF ANY FACILITIES NOT SHOWN HEREON, AS PART OF THE INVESTIGATIONS IN THE PARAGRAPH ABOVE.

PREPARED FOR:
 VISION VENTURES, L.L.C.
 RODNEY HENRY
 1402 NORWOOD HILLS DRIVE
 O'FALLON, MISSOURI 63366
 PHONE: 636-299-8272

PREPARED BY:



LOCATION MAP
 NOT TO SCALE

PROPERTY DATA

OWNER = PLAN PROVISIONS, L.L.C., ETAL VISION VENTURES, LLC
 ADDRESS = 17655 WILD HORSE CREEK ROAD
 LOCATOR NO. = 120V10095
 ACREAGE = 8.04 ACRES
 EXISTING ZONING = PC
 PROPOSED ZONING = R-2, W/P.U.D.
 FIRE DISTRICT = MONARCH FIRE PROTECTION DISTRICT
 SCHOOL DISTRICT = ROCKWOOD
 SEWER DISTRICT = METRO. ST. LOUIS SEWER DISTRICT
 WATER SHED = MISSOURI RIVER
 FEMA MAP = 2018500120H
 ELECTRIC COMPANY = AMERENUE
 GAS COMPANY = LACLEDE GAS COMPANY
 PHONE COMPANY = SOUTHWESTERN BELL TELEPHONE
 WATER COMPANY = MISSOURI AMERICAN WATER COMPANY

GENERAL NOTES

- ALL UTILITIES SHOWN HAVE BEEN LOCATED BY THE ENGINEER FROM AVAILABLE RECORDS. THEIR LOCATION SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR HAS THE RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES, PRIOR TO CONSTRUCTION, TO HAVE EXISTING UTILITIES FIELD LOCATED. THE CONTRACTOR SHALL BE ON RECORD WITH THE MISSOURI ONE CALL SYSTEM.
- ALL ELEVATIONS ARE BASED ON M.S.D. BENCHMARK 12-171.
- BOUNDARY AND TOPOGRAPHIC SURVEY BY MARLER SURVEYING CO. THE CITY OF CHESTERFIELD.
- ALL MATERIALS AND METHODS OF CONSTRUCTION TO MEET THE CURRENT STANDARDS AND SPECIFICATIONS OF THE DIRECTOR OF PUBLIC WORKS FOR THE CITY OF CHESTERFIELD.
- ALL GRADED AREAS SHALL BE PROTECTED FROM EROSION BY EROSION CONTROL DEVICES AND/OR SEEDING AND MULCHING AS REQUIRED BY THE CITY OF CHESTERFIELD.
- PRIOR TO BEGINNING ANY WORK ON THE SITE, THE CONTRACTOR SHALL CONTACT THE ENGINEER FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING OF WORK.
- GRADING CONTRACTOR SHALL INSTALL SILTATION CONTROL PRIOR TO STARTING THE GRADING. ADDITIONAL SILTATION CONTROL DEVICES SHALL BE INSTALLED AS DIRECTED BY THE CITY OF CHESTERFIELD.
- ALL FILLS AND BACKFILLS SHALL BE MADE OF SELECTED EARTH MATERIALS, FREE FROM BROCKEN BONES, ROCK, FROZEN EARTH, RUBBISH, ORGANIC MATERIAL AND DEBRIS.
- GRADING CONTRACTOR SHALL KEEP EXISTING ROADWAYS CLEAN OF MUD AND DEBRIS AT ALL TIMES.
- PROPOSED CONTOURS SHOWN ARE FINISHED ELEVATIONS ON PAVED AREAS.
- GRADING & STORM WATER PER M.S.D. STANDARD SPECIFICATIONS AND THE CITY OF CHESTERFIELD STANDARDS.
- DRIVE ENTRANCES ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF CHESTERFIELD & ST. LOUIS COUNTY.
- SEEDING, SODDING, MULCHING AND PLANTINGS FOR ALL DISTURBED AREAS SHALL BE SPECIFIED ON THE LANDSCAPE PLAN.
- SIDEWALKS ALONG THE ACCESSIBLE ROUTE SHALL NOT HAVE A SLOPE EXCEEDING 1V:20H. SLOPES GREATER THAN 1V:20H MUST BE DESIGNED AS A RAMP.
- SIDEWALKS, CURB RAMPS, RAMPS AND ACCESSIBLE PARKING SPACES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT APPROVED "AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES" (ADAAG) ALONG WITH THE REQUIRED GRADES, CONSTRUCTION MATERIALS, SPECIFICATIONS AND SIGNAGE. IF ANY CONFLICT OCCURS BETWEEN THE ADAAG GUIDELINES AND THE INFORMATION ON THE PLANS, THE ADAAG GUIDELINES SHALL TAKE PRECEDENCE AND THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER PRIOR TO ANY CONSTRUCTION.
- BY GRAPHIC PLOTTING ONLY, THIS PROPERTY DOES NOT LIE WITHIN ANY SPECIAL FLOOD ZONE AREAS ACCORDING TO THE FLOOD INSURANCE RATE MAP PANEL NUMBER 29080200 H AND COMMUNITY NUMBER 290885 (CITY OF CHESTERFIELD) WHICH BEARS AN EFFECTIVE DATE OF AUGUST 2, 1995 (REVISED TO REFLECT LOMAR DATED APRIL 12, 2000). THE PROPERTY LIES WITHIN UNSHADOWED ZONE X (AREAS DETERMINED TO BE OUTSIDE 500 YEAR FLOOD PLAN).
- NO ON-SITE ILLUMINATION SOURCE SHALL BE SO SITUATED THAT LIGHT IS CAST DIRECTLY ON ADJOINING PROPERTIES OR PUBLIC ROADWAYS. ILLUMINATION LEVELS SHALL COMPLY WITH THE PROVISIONS OF SECTION 1005.330 STREET AND PARKING AREA LIGHTING OF THE CITY OF CHESTERFIELD SUBDIVISION ORDINANCE.
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE APPROVAL OF SIGNAGE. SIGN APPROVAL IS A SEPARATE PROCESS.
- ALL PROPOSED UTILITIES SHALL BE PLACED UNDERGROUND.
- ROOF TOP EQUIPMENT SHALL BE SCREENED.

PLANT SCHEDULE FRONT BUFFER YARD ONLY

TREES	QTY	BOTANICAL NAME / COMMON NAME	SIZE
RO	3	Azalea speciosa / Lady's Slipper	2.5" Cal
LB	4	Quercus rubra / Red Oak	2.5" Cal
BC	4	Taxodium distichum / Bald Cypress	2.5" Cal
GL	2	Viburnum acerifolium / Viburnum acerifolium	2.5" Cal

FLOORING TREES	QTY	BOTANICAL NAME / COMMON NAME	SIZE
RHS	3	Amelanchier X grandiflora 'Robin Hill' / Robin Hill Serviceberry	2.5" Cal

SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	SIZE
S2	60	Juniperus chinensis 'Sea Green' / Sea Green Juniper	5 gal

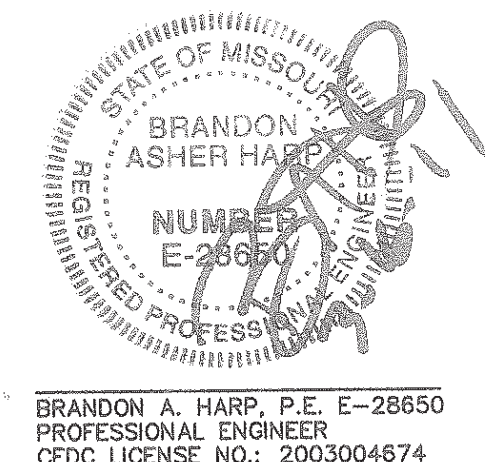
PROJECT DATA

SITE AREA	8.04 ACRES
R/W DEDICATION	0.48 ACRES
NET SITE AREA	7.56 ACRES
OPEN SPACE EXCLUDING BLUFF AREA	44.8%
OPEN SPACE INCLUDING BLUFF AREA	58.2%
BUILDING	STORIES UNITS
A & B	NURSING HOMES & GROUP HOMES FOR THE ELDERLY
	120
A & B	
	3

* DOES INCLUDE THE FUTURE BUILDING ADDITION OF 11,000 S.F.
 ** DOES NOT INCLUDE THE FUTURE BUILDING ADDITION OF 11,000 S.F.

CEDC
CIVIL ENGINEERING
DESIGN CONSULTANTS

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Preliminary Development Plan
 Chesterfield Senior Living
 17655 Widhorse Creek Road
 Chesterfield, Missouri 63005

Proj. #	1000
No. Description	Date
To City	03-16-11

SITE SECTIONS

DRAWING NO.
C2
 2

