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Architectural Review Board Staff Report

Project Type: 2nd Amended Site Development Section Plan

Meeting Date: April 09, 2015

From: Jessica Henry
Project Planner

Cc: Aimee Nassif, Planning & Development Services Director

Location: 17369 Chesterfield Airport Road

Applicant: LJA, on behalf of Chesterfield Plaza, LLC and InterJewel Realty, LLC

Description: **Chesterfield Commons Six, Lot 7B (Courtyard by Marriott):** An Amended Site Development Section Plan, Amended Landscape Plan, Amended Lighting Plan, Amended Architectural Elevations and an Architect's Statement of Design for a 2.807 acre lot of land zoned "C-8" Planned Commercial District located south of Interstate 40 and west of the intersection of Boone's Crossing and Chesterfield Airport Road.

PROPOSAL SUMMARY

The request is for a four story, 112 room hotel located within the Chesterfield Commons Six development. The proposed hotel is 61,668 square feet in size and will be located on Parcel 7B, which is 2.8 acres in size. The Chesterfield Commons Six development is zoned "C-8" Planned Commercial District and is governed under the terms and conditions of City of Chesterfield Ordinance 2096. The exterior building materials will be comprised of EIFS, stone veneer, brick, and some sheet metal accent roofing sections. The main roof of the structure will be a flat roof with a parapet wall to screen roof-mounted utility units.

HISTORY OF SUBJECT SITE

The subject site was zoned "C-8" Planned Commercial by St. Louis County Ordinance Number 13,933 in 1988. In 2004, City of Chesterfield Ordinance Number 2096 repealed St. Louis County Ordinance Number 13,933 and was amended to permit Drive-Through restaurants and increase the height of the light standards. In November of 2004, the Resubdivision of Lot 7 was approved dividing the lot into two lots, 7A and 7B. Subsequently, a Site Development Section Plan for Lot 7A was approved to construct the 10,000 square foot retail building known as

Treasure Rooms. In September of 2005, the Site Development Section Plan for lot 7B was approved to construct a Holiday Inn Hotel and associated parking. The project was never constructed and in March of 2009, a Site Development Section Plan for a Hyatt Place Hotel was approved by the Planning Commission. Again, this project was never constructed.



STAFF ANALYSIS

General Requirements for Site Design:

A. Site Relationships

The subject site is located within the Chesterfield Commons Six development which contains nine separate lots and seven buildings to date, as shown in yellow above. There are currently two vacant lots within the development, Lot 7B—the subject site, and Lot 5A, to the west of the HH Gregg building.

The proposed Courtyard by Marriott hotel is situated behind the fast food restaurants located on the outparcels along Chesterfield Airport Road. At four stories and just over 50 feet in height, this will be the tallest building within the development. The front façade of the hotel will face inward towards the other buildings within the development, and the north side façade will face Highway 64/40. The rear façade of the building will face the adjacent McBride and Son Center development.

There is an existing MSD pump station at the northeastern corner of the site. MSD will retain access to this station through an easement, and the applicant is proposing to screen the pump station with landscaping.

B. Circulation System and Access

The Chesterfield Commons Six development has one full shared access on Chesterfield Airport Road. That access leads to Butler Drive, a private cross access drive that serves all nine lots within the development and continues westward across the River Crossings development and the Chesterfield Commons Seven Development, terminating until future development occurs on the adjacent vacant parcels.

In addition to this large, multi-development private drive, there is cross-access provided along the northern and southern parking lot perimeters of the three buildings that house HH Gregg, Amini's, and Treasure Rooms. This would extend into the proposed parking area of the Courtyard by Marriott hotel on Lot 7B.

In addition to the sidewalk along Chesterfield Airport Road, internal sidewalks allow for pedestrian circulation to each of the lots within the Chesterfield Commons Six development. This internal sidewalk along the private Butler Drive will extend across the southern perimeter of the Courtyard by Marriott site. Sidewalks are also proposed along the parking spaces located parallel to the northern and western elevations. The overall pedestrian circulation within the site remains under review by Staff.

C. Topography

The existing grade of the property is nearly flat. Minimal changes to the existing topography are planned.

D. Retaining Walls

One retaining wall is proposed in conjunction with the bio-retention basin located at the northeast corner of the building. The proposed wall will be twelve feet in length with a maximum height of two feet and will be constructed of Versa lock blocks that match the color of the split face block base of the development.

General Requirements for Building Design:

A. Scale

The applicant is proposing a four story building of just over fifty feet in height and 61,668 square feet in size. Although the building is taller than the surrounding buildings in Chesterfield Commons Six, it is positioned towards the rear of the lot away from the other buildings to give a visual perspective that diminishes the apparent height difference.

The west building elevation, which is the front façade of the hotel and faces inward to the other buildings within the development, has a drive under port that is designed to the human scale. The east elevation, or rear façade of the building, has a second canopy that leads out to a spacious courtyard.

B. Design

The proposed Courtyard by Marriott hotel utilizes lines that curve, inset, and protrude to mitigate the repetitive window pattern required for hotel buildings. This articulation breaks up the elevations and reduces a box-like appearance and large, flat expanses of EIFS.

There are roof parapets included in the design that will fully screen the rooftop equipment that is proposed. The dumpster enclosure is located at the southeastern corner of the site and is to be constructed of split face brick veneer to match the building with a prefinished metal wall cap and metal enclosure gates, which is consistent with the Architectural Review Standards for the Chesterfield Valley.

The courtyard area that is proposed at the rear of the building will be enclosed by a six foot tall screen wall constructed of split face brick veneer to match the building and topped by a two foot tall aluminum ornamental grille. The interior of the courtyard will have a circular fire pit constructed to have a stacked stone appearance and topped with a stone cap. The courtyard will be furnished with tables and chairs.

C. Materials and Color

The building will be primarily comprised of EIFS, brick, split face concrete block, pre-cast concrete accent band, and sheet metal roofing. Three different colors of EIFS are proposed—white, neutral beige and deep green that corresponds to the metal roofs proposed on the rear elevation. The brick and split face concrete block base were selected to match several of the buildings within the development, including Amini's and Treasure Rooms. The design also includes typical hotel room windows on all elevations and these tinted windows will have white frames as shown in the Architectural Elevations. Each of the proposed materials is used on all four sides of the building; again, this is consistent with the Architectural Review Standards for the Chesterfield Valley. Overall, the proposed materials and color palette were chosen to complement and match the existing buildings within the Chesterfield Commons Six development.

D. Landscape Design and Screening

The request includes landscaping required by the City of Chesterfield Tree Preservation and Landscape Requirements. Accordingly, trees will be planted throughout the site. Landscape beds containing shrubs will surround the building and parking island areas. Landscape beds containing annual seasonal plantings are proposed in the front entrance area.

Three bio-retention areas are proposed on the site; these rain gardens will be planted with native plantings. These rain gardens will be designed to MSD standards and will help capture storm water runoff from the site.

A full landscape buffer is proposed along the northern perimeter of the site, which will screen the parking areas from the view of Highway 64/40. The Architectural Review Standards include the following specific requirement that is relevant to this site: *"Locate parking primarily to the side or rear of any building façade facing I-64/40 or along North Outer 40."*

Although the site design under review proposes a significant parking area between the north building façade and I-64/40, the dense landscaping will provide screening of this parking area.

Both the MSD pump station and trash enclosure are proposed to be screened by trees and/or shrubs.

E. Signage

Signage is not part of the proposal before Architectural Review Board and will be reviewed by Staff.

F. Lighting

The lighting plan proposes pole mounted parking lot light fixtures, utilitarian building entry wall mounted light fixtures, canopy light fixtures, and bollard light fixtures in the courtyard area. The bollard light fixtures are decorative in nature and will be fully screened by the wall surrounding the courtyard area. The other light fixtures are utilitarian in nature and the applicant has confirmed that the options selected for this site all have fully shielded, full cut-off optics. The cut-sheets for all the proposed fixtures are included in the ARB submittal.

DEPARTMENTAL INPUT

Staff is requesting recommendations from the ARB on the Amended Site Development Section Plan, Amended Landscape Plan, Amended Lighting Plan, Amended Architectural Elevations and Architect's Statement of Design. Be advised, this project is still going through development review by City Staff and will not proceed to the Planning Commission until all outstanding items have been addressed. All recommendations made by the ARB will be included in Staff's report to the Planning Commission.

MOTION

The following options are provided to the Architectural Review Board for consideration relative to this application:

- 1) "I move to forward the Amended Site Development Section Plan, Amended Landscape Plan, Amended Lighting Plan, Amended Architectural Elevations and Architect's Statement of Design for Chesterfield Commons Six, Lot 7B (Courtyard by Marriott), as presented, with a recommendation for approval (or denial) to the Planning Commission."
- 2) "I move to forward the Amended Site Development Section Plan, Amended Landscape Plan, Amended Lighting Plan, Amended Architectural Elevations and Architect's Statement of Design for Chesterfield Commons Six, Lot 7B (Courtyard by Marriott), to the Planning Commission with the following recommendations..."

Attachments

1. Architectural Review Packet Submittal



ARCHITECTURAL REVIEW BOARD
Project Statistics and Checklist

Date of First Comment Letter Received from the City of Chesterfield Nov. 18, 2014

Project Title: Courtyard by Marriott Location: 17369 Chesterfield Airport Road

Developer: Jay Koshiy Architect: LJA/ Steve Goldade Engineer: Volz Inc.

PROJECT STATISTICS:

Size of site (in acres): 2.8 Total Square Footage: 61,668 Building Height: 50'-2"

Proposed Usage: Hotel

Exterior Building Materials: Dryvit, Brick, Spllit-Face Block

Roof Material & Design: Insulated EPDM, Flat roof

Screening Material & Design: Back courtyard privacy wall, split-face block

Description of art or architecturally significant features (if any): NA

ADDITIONAL PROJECT INFORMATION:

NA

Checklist: Items to be provided in an 11" x 17" format

- Color Site Plan with contours, site location map, and identification of adjacent uses.
- Color elevations for all building faces.
- Color rendering or model reflecting proposed topography.
- Photos reflecting all views of adjacent uses and sites.
- Details of screening, retaining walls, etc.
- Section plans highlighting any building off-sets, etc. (as applicable)
- Architect's Statement of Design which clearly identifies how each section in the Standards has been addressed and the intent of the project.
- Landscape Plan.
- Lighting cut sheets for any proposed building lighting fixtures. (as applicable)
- Large exterior material samples. (to be brought to the ARB meeting)
- Any other exhibits which would aid understanding of the design proposal. (as applicable)
- Pdf files of each document required.

March 30, 2015

City of Chesterfield
Architectural Review Board
690 Chesterfield Pkwy W.
Chesterfield, MO 63017



RE: Proposal - Courtyard by Marriott
Chesterfield, MO
LJA Project No. 14178

City of Chesterfield,

LJA's design team is pleased to propose a new hotel, Courtyard by Marriott, to your City. This hotel has 112 rooms with four floors and is located at 17369 Chesterfield Airport Road. This will be a new build on a vacant lot. Businesses, Treasure Room, Amini's, and Chick-Fil-A will share a common drive with this hotel. Site design was done by a local civil engineering firm, Volz Incorporated. LJA will serve as the building designer. This hotel is designed to fill a need within the City of Chesterfield by supplying additional rooms for business and leisure travelers who frequent the shops and businesses nearby. This hotel is designed for the business traveler providing 67% of the room mix as Single King rooms. The remaining 33% of rooms are Double Queen rooms. Amenities include: lounge, business center, coffee bar, limited food service, meeting room, pool and spa, exercise room, guest laundry, and market for quick grab and go products. It also includes a signature "Courtyard" out back for a calm and relaxing retreat. The courtyard features a gas fire pit with soft seating as well as other outdoor seating. Marriott's design of this hotel is considered a 'step up' in the amenities which also includes innovative interior design.

The hotel is approximately 244'0" in length and 95'0" in depth. The building footprint is 16,638 square feet while the overall building, including all floors, is 61,668 square feet. The building has a flat roof with parapets. The overall height of the building varies from 45'-3" to 50'-2". The hotel sits on 2.8 acres including 122 parking spaces.

Below are the numbered items referenced in the Architectural Review Board project statistics and checklist for items to be addressed.

10. a. & b. The Courtyard hotel is located on Lot 7b which is a 2.8 ac. site in Chesterfield Commons Six and sidewalks are provided to connect the neighboring sites. The hotel is centered and has parking around on all sides which is similar to the Hampton Inn next door. This allows access to all sides for easy access to rooms. The Hotel will also have a courtyard area

for the use of the guest. There are nearby restaurants and shops that are within walking distance of the hotel.

c. This site is located in Chesterfield Valley and so the general topography is flat. There will be little to no slope change across site with minimal grading.

d. There will be one retaining wall that is required due to the storm water requirements from MSD. The wall will be 12' long, 2' at highest point, tapering down to 0' on both sides allowing for water quality retention in the bio-retention basin. The Wall will be a Versa lock system wall matching the color of the split face block of the development.

11. a. This proposed hotel is designed with 4 stories, while the immediate surrounding businesses are 1 story. There is a 3 story Hampton Inn nearby. The hotel is positioned toward the back of the development so not to block these businesses. Because the hotel is set back from the lower buildings the visual perspective will decrease the apparent height difference.

b-1. The façade of the building has incorporated the same color, types, and material as the development. We used the exact same brick and block that is used and approved in the development including the adjacent Amini's and Treasure Room. Which is a split face block, color white, manufactured by Rockface and brick, medium iron spot #46 manufactured by Edicott. The color pallet is a neutral color with one element that stands out for a dramatic focal point.

2. The building has its own unique lines that curve, inset and protrude to mitigate the repetitive window pattern required by this type of building.

3. The only advertising on this building would be signage identifying it as a Courtyard by Marriott. This replicates the signage of the other businesses in the area. At this meeting we are not asking for signage placement.

4. The front of the building is a drive under port to invite patrons toward the entrance while giving visual architectural detail at street level.

5. While no mural or artisan details are located in or around the building the hotel façade has numerous planes to give it an architecturally pleasing appearance.

6. The building is designed for low-e glass, high efficiency mechanical units, 2x6 exterior walls with insulation and flat insulated roof system.

7. We use environmentally conscious building techniques and materials whenever possible.

8. The entrance has a canopy for drive under protection and access to the building for guest services.

the façade to avoid a straight lengthy wall. The site has a trash enclosure that incorporates the same building finishes on all sides. There are no other storage buildings on this site. All utilities are underground. The parking is designed to allow access from front, sides, and back of building. No loading areas are present in this design that would require extra screening.

The following pages will include site plan, site map location with surrounding uses, color elevations, site photos, floor plan and elevations, details of courtyard area, screening and out buildings, landscape plan, and site lighting specifications.

Submitted by,

LIGHTOWLER JOHNSON ASSOCIATES INC

Stacy Holmes

Project Manager Hospitality

Architectural Review Board
Courtyard Marriott
City of Chesterfield



ARCHITECTS | ENGINEERS | PLANNERS | SURVEYORS

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MISSOURI INTERSTATE HIGHWAY 64 (VARYING WIDTH)

S84°06'54"E 219.22'

"MCBRIDE & SON CENTER"
P.B. 347, PGS. 314 & 315
LOT 2

S00°21'46"W 506.56'

S89°35'06"W
53.98'

N59°51'26"W
51.99'

MSD
PUMP
STATION

17

11

10

6

8

10

12

12

LOT 7-B
2.80 AC
122,272 SQ. FT.
4 STORY
HOTEL
112 ROOM
81,488 SF
502' HEIGHT

17J610162
17389 CHESTERFIELD
AIRPORT RD
PROPERTY INT OF
THE CHESTERFIELD SIX
DEVELOPMENT L.L.C.
131071238

5' SIDEWALK

BUTLER DRIVE
(PRIVATE)

S89°35'06"W 151.14'

"THE CHESTERFIELD SIX
DEVELOPMENT & L.L.C.
17389 CHESTERFIELD
AIRPORT RD
171331184

"CHESTERFIELD COMMONS SIX"
P.B. 352, PGS. 210 & 211
LOT 4

N00°24'54"W 252.04'

N89°35'06"E
62.00'

"THE RESUBDIVISION OF LOT 7
OF CHESTERFIELD COMMONS SIX"
P.B. 352, PGS. 842 & 843
LOT 7-A

N00°24'54"W 245.79'

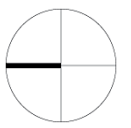
13

14

4

"THE CHESTERFIELD SIX
DEVELOPMENT & L.L.C.
17389 CHESTERFIELD
AIRPORT RD
131071238

"CHESTERFIELD COMMONS SIX"
P.B. 352, PGS. 210 & 211
LOT 3

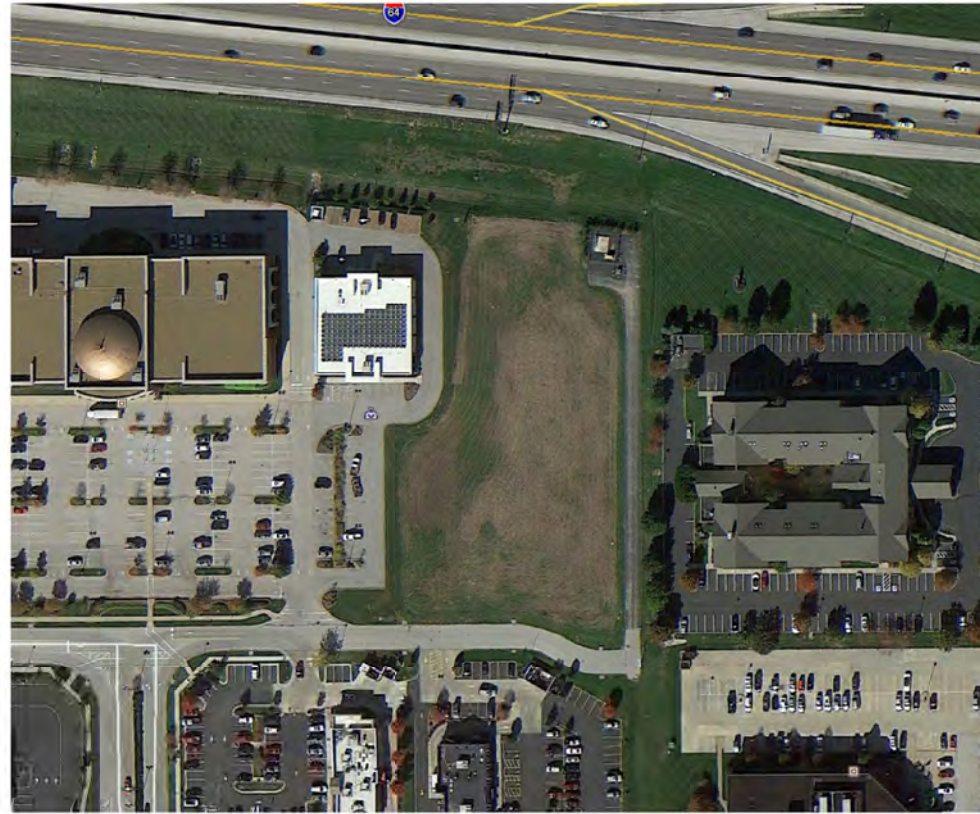


SITE PLAN

1 OF 14



GOOGLE EARTH



17369 CHESTERFIELD AIRPORT RD
CHESTERFIELD, MISSOURI.



17369 CHESTERFIELD AIRPORT RD
CHESTERFIELD, MISSOURI.



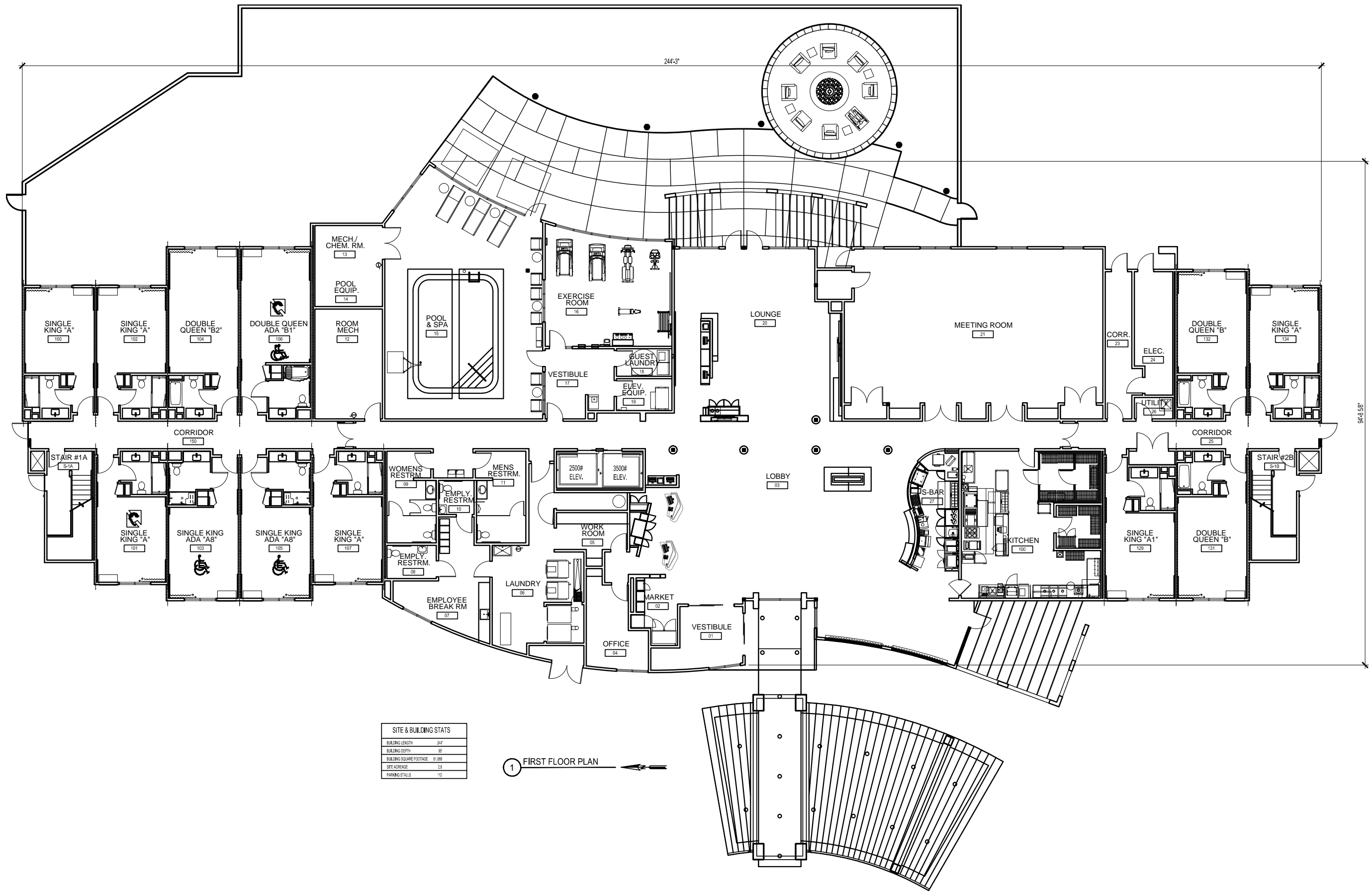


03/20/2015

HOTEL RENDERING

3 OF 14



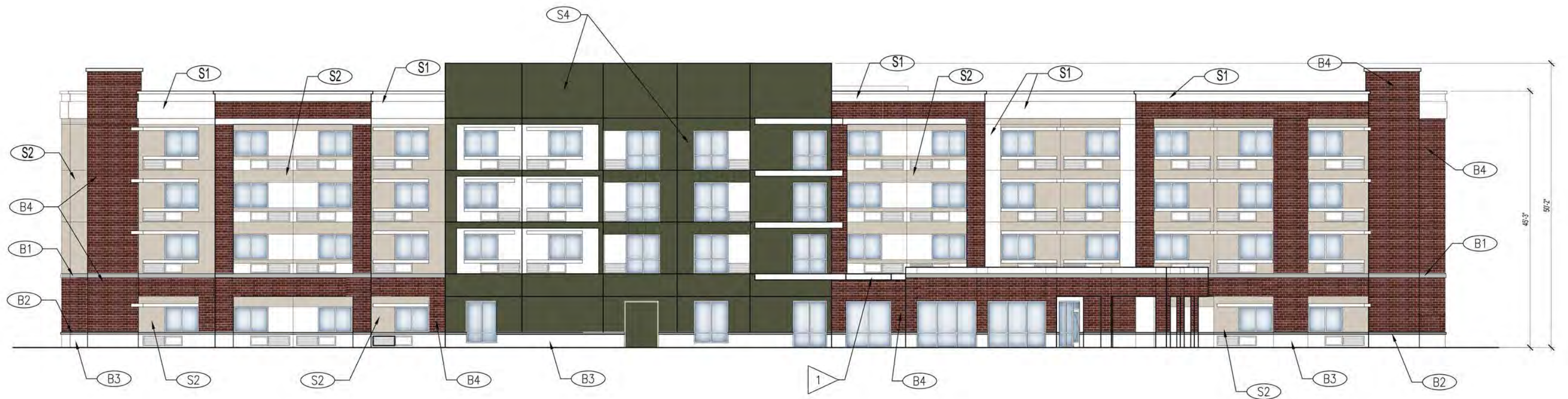


SITE & BUILDING STATS	
BUILDING LENGTH	244'
BUILDING DEPTH	97'
BUILDING SQUARE FOOTAGE	61,000
SITE ACRES	2.8
PARKING SPACES	112

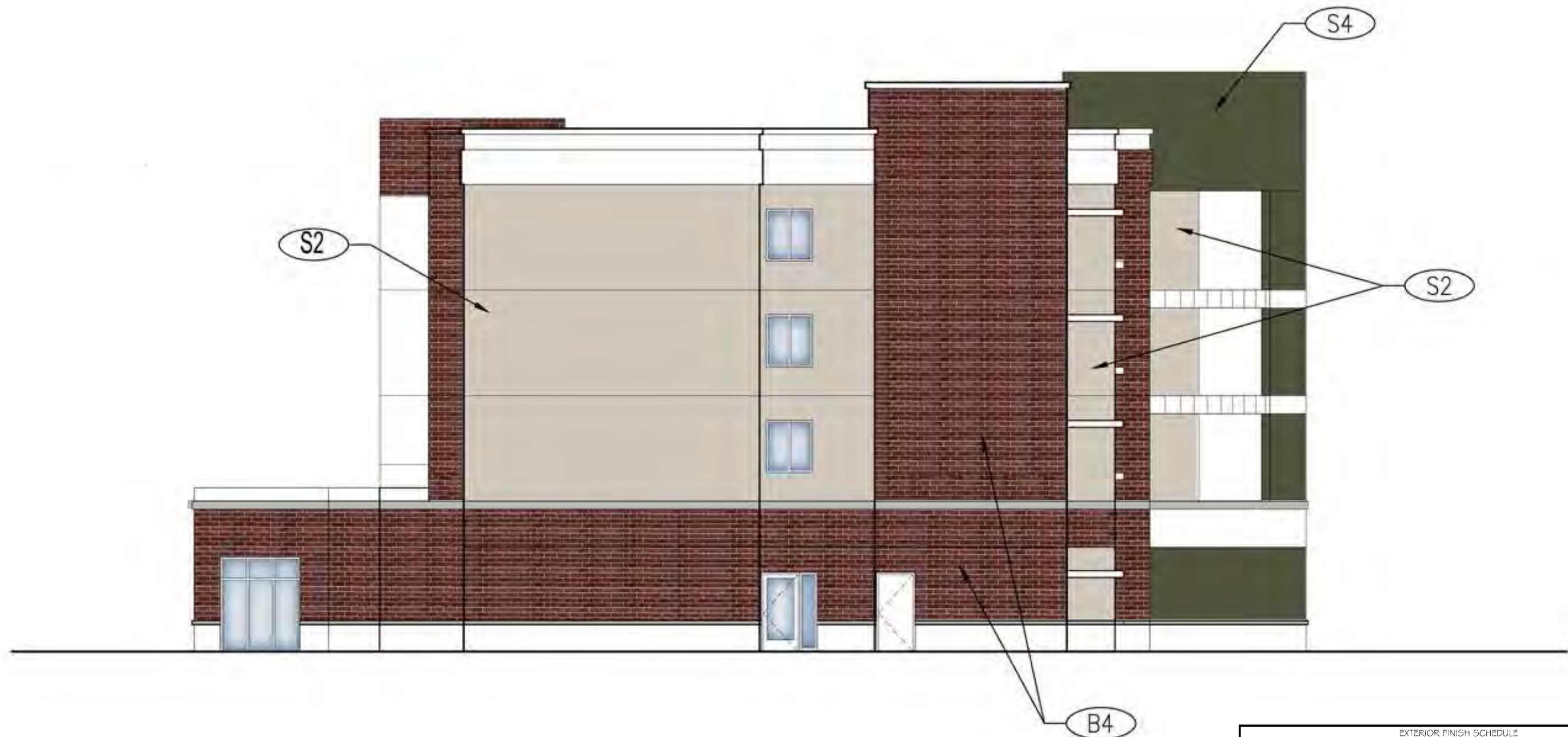
1 FIRST FLOOR PLAN

1st Floor Plan

5 of 14



EXTERIOR FINISH SCHEDULE			
FIN. #	MATERIAL	COLOR	MANUFACTURER
S1	E.I.F.S. (SANDEBBLE)	#104 BRIGHT WHITE	DRYWIT OR EQUAL
S2	E.I.F.S. (QUARTZPUTZ)	S15-5 STONE HEDGE GRIEGE	PITTSBURGH PAINTS
S4	E.I.F.S. (REFLECTIT OVER LYMSTONE)	ANTIQUE PATINA (ATAS)	DRYWIT OR EQUAL
MT1	SHEET METAL ROOFING	HEMLOCK GREEN	BERRIDGE OR EQUAL
B1	PRE-CAST CONCRETE DIAMOND PROFILE ACCENT BAND (8" HIGH)	NATURAL CONCRETE COLOR	
B2	PRE-CAST CONCRETE DIAMOND PROFILE ACCENT BAND (4" HIGH)	NATURAL CONCRETE COLOR	
B3	SPLIT-FACE CMU - CHISELED FACE THIN SET CMU	WHITE	ARRISCRAFT RENAISSANCE MASONRY UNIT - ROCKFACE
B4	MODULAR THIN BRICK 7-5/8" W X 2-1/4" H X 1" D SMOOTH FACE BRICK (ADHERED)	MEDIUM IRONSPOT #46	ENDICOTT CLAY PRODUCTS
NOTES: - ALL MORTAR JOINTS TO BE TUCK POINTED. - BRICK MORTAR TO BE SOLOMON GRIND, MORTAR COLOR 45A MAROON.			

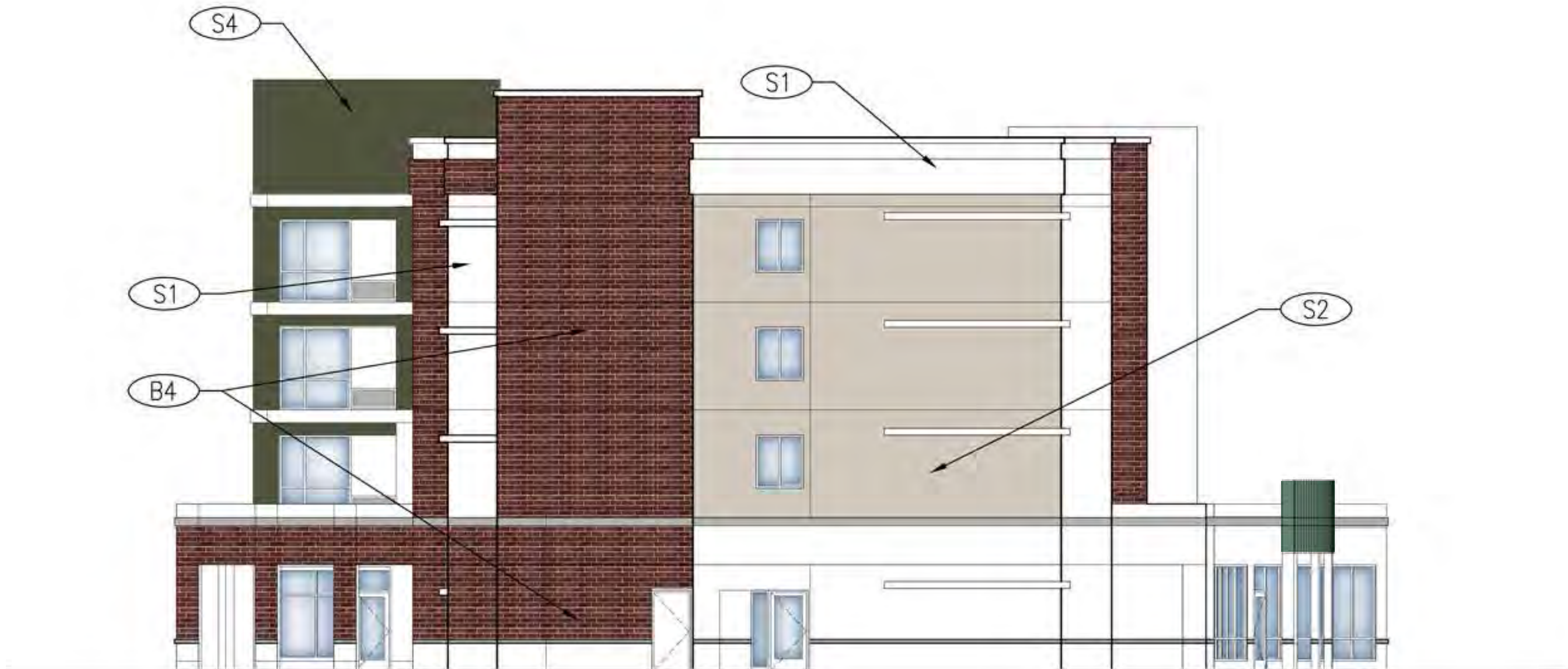


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FIN. #	MATERIAL	COLOR	MANUFACTURER
S1	E.I.F.S. (SANDFEBBLE)	#104 BRIGHT WHITE	DRYVIT OR EQUAL
S2	E.I.F.S. (QUARTZPUTZ)	515-5 STONE HENGE GRIEGE	PITTSBURGH PAINTS
S4	E.I.F.S. (REFLECTIT OVER LYMSTONE)	ANTIQUE PATINA (ATAS)	DRYVIT OR EQUAL
MT1	SHEET METAL ROOFING	HEMLOCK GREEN	BERRIDGE OR EQUAL
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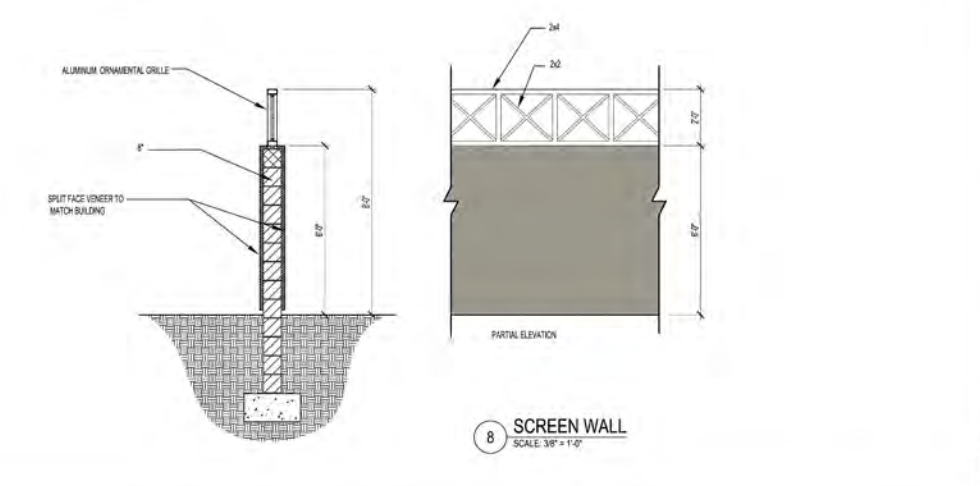
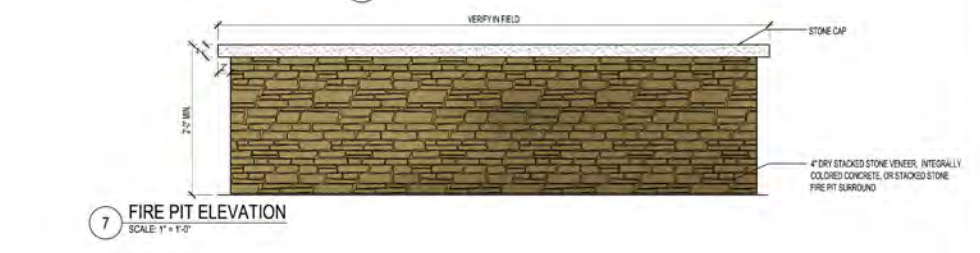
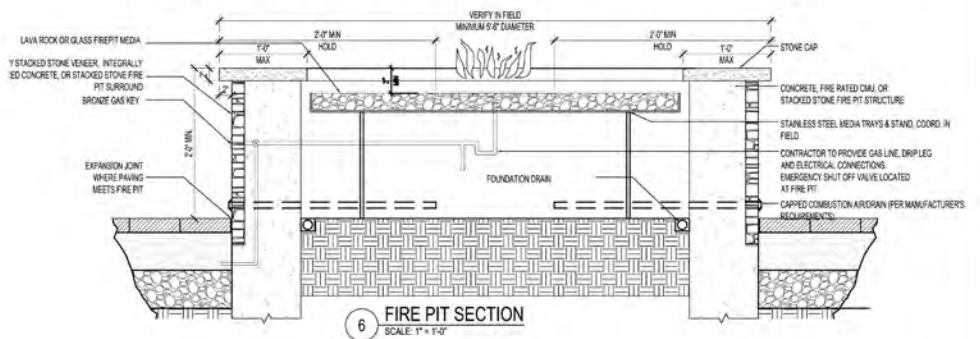
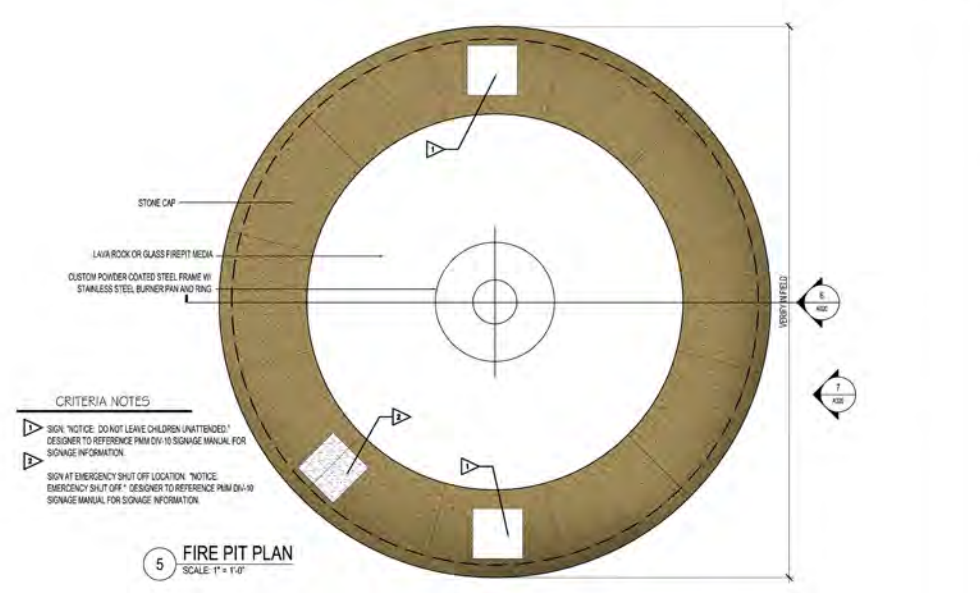
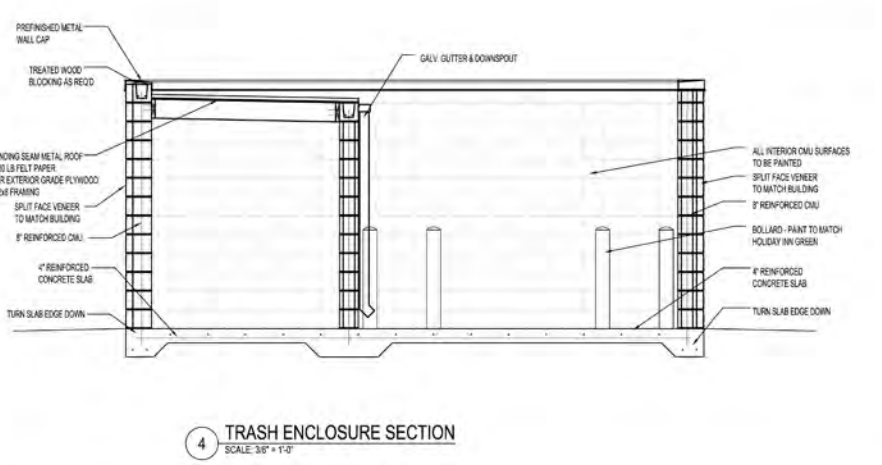
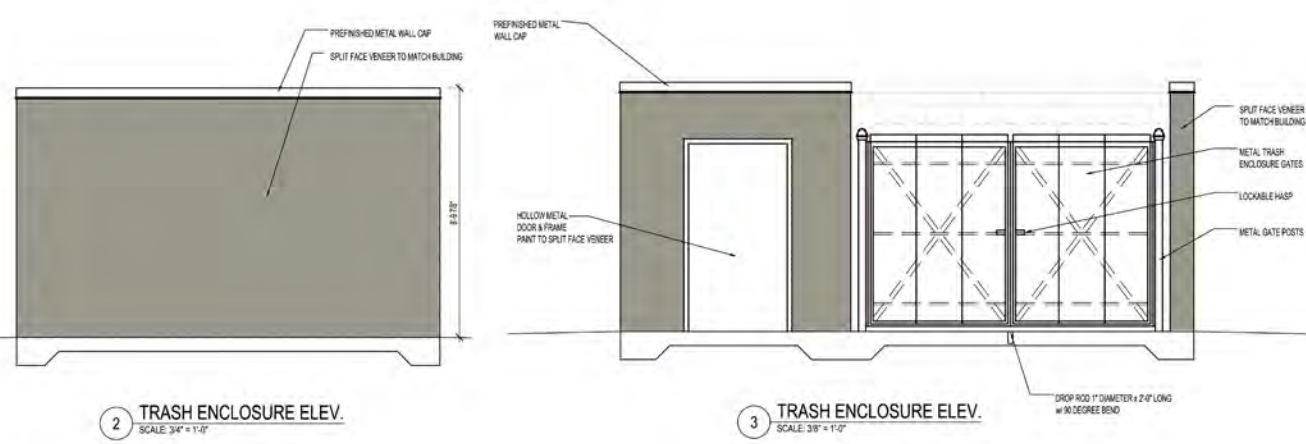
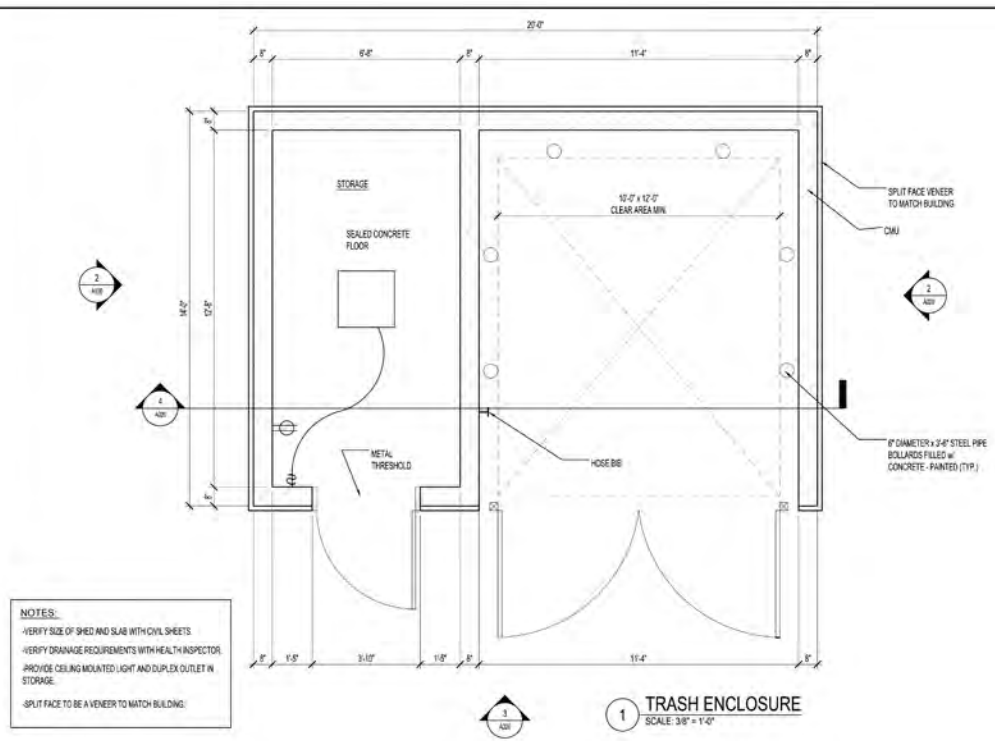


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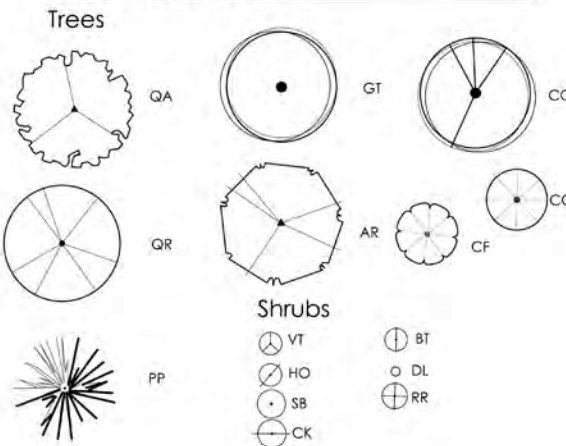




Planting List

Trees				
Symbol	Botanical Name	Common Name	Size	Qty
QA	Quercus acculissima	Sawtooth Oak	2 1/2" Cal.	7 13%
QR	Quercus rubra	Red Oak	2 1/2" Cal.	8 15%
CO	Celtis occidentalis	Hackberry	2 1/2" Cal.	5 11%
CC	Cercis canadensis	Redbud	1 1/2" CAL	5 11%
CF	Cornus florida	Dogwood	1 1/2" Cal.	6 11%
AR	Acer saccharum	Legacy Sugar Maple	2 1/2" Cal.	8 15%
GT	Gleditsia triaca, 'Shade Master'	Honey Locust	2 1/2" Cal.	8 15%
PP	Picea pungens	Colorado Blue Spruce	6' B&B MIN	7 13%
Shrubs				
Symbol	Botanical Name	Common Name	Size	Qty
VT	Viburnum trilobum 'Allredo'	Allegheny Vib. Am. Cran.	5 gal	17
RR	Rugosa Rose	F. J. Grootendorst	5 gal	24
HO	Ilex x meserveae	Blue Prince Holly	5 gal	46
SB	Juniperus squamata	Blue Star Juniper	5 gal	34
BT	Berberis thunbergii 'Rose Glow'	Rose Glow Barberry	5 gal	36
DL	Stella De Oro, Grape Magic, Little Wine Cup	Daylilies	1 gal	38
CK	syngia patula	Miss Kim Lilac	5 gal	24
Ground Cover				
Symbol	Botanical Name	Common Name	Qty	
FLRS	Annual Flowers	Seasonal	4" Pfs @ 12" oc	
LAWN	Lawn	SOD		

Planting Legend

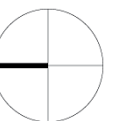


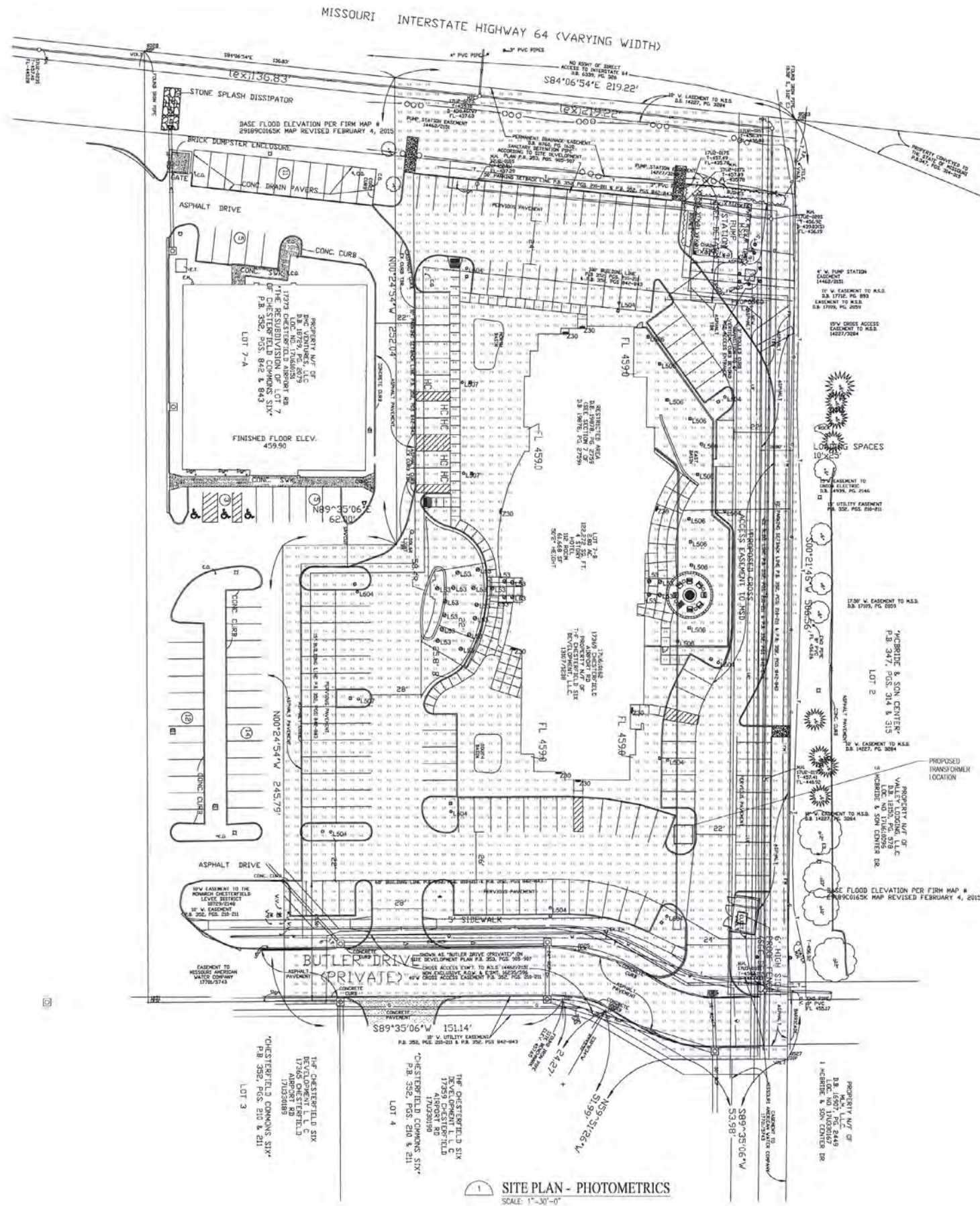
Planting Notes

- Plant locations are to be adjusted as necessary to screen utilities but not block windows or impede access.
- All ground cover areas shall be top-dressed with a 2" layer of bark mulch. All trees are to be staked per detail.
- All groundcover planting will be placed no farther than 6" from edge of pavement, edge of header or back of curb. Spacing shall ensure full coverage in one year.
- There shall be no storing of material or equipment, permitting of any burning or operating or parking of equipment under branches of any existing plants to remain. If existing plants to remain are damaged during construction, the plants shall be replaced with the same species on size as those damaged.
- All plant material shall be nursery grown stock and meet ANSI Z60.1 standards. All plant materials shall be tagged at the nursery at least 1 month prior to planting for the Landscape Architects review.
- Review layout of all landscape elements with the Landscape Architect prior to installation. Field modifications may be necessary. Final layout to be reviewed by the Landscape Architect. Any changes must be submitted to the city for review and approval.
- The quality of plant material shall follow the guidelines of the American Standard for Nursery Stock.
- Plantings shall be warranted (for replacement) for one year after final acceptance.
- All planting areas shall be automatically irrigated using state of the art system.
- See Civil Plans for bioretention seed mix.

Green Space Calculation
37,426/122,272 = 30%

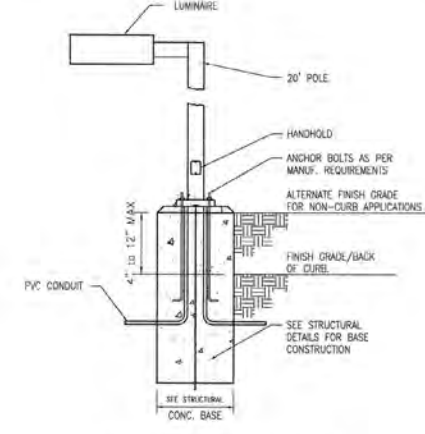
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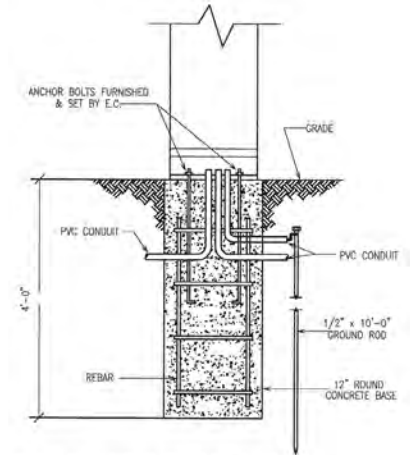


Luminaire Schedule

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number	Lumens Per Lamp	Light Loss Factor	Wattage
○	L504	11	PHILIPS GARDCO	ECF-4-215LA-841A-NW	ECOFORM	(1) LIGHT ARRAY OF 64 LEDs DRIVEN AT 1000mA	1	1991.37	1	210.2
□	L507	3	PHILIPS GARDCO	ECF-3-215LA-841A-NW	ECOFORM	(1) LIGHT ARRAY OF 64 LEDs DRIVEN AT 1000mA	1	2004.71	1	210
○	L53	22	LIGHTOLIER	CAL10CL30KCLW	LED 20' W DOWNLIGHT 4.5" ROUND 3000K CL FINISH	LED LUMEN RATING = 1034 LMS	1	1034	1	19.7
○	L508	11	PHILIPS GARDCO	RF6-40X10NA	RF6 WLED MODULE, 10 LED, PERL, CCT 4000K @ 700 MA	10 LED, CCT 4000K	1	602.824	1	26.1
○	Z30	6	Lithonia Lighting	AFN	DIE-CAST ARCHITECTURAL EMERGENCY LIGHT WITH CAST ALUMINUM HOUSING, TWO LAMPS, POLYCARBONATE PRISMATIC LENS AND STANDARD 180° THROW OPTICS	TWO 6-WATT FROSTED T3 18 W/000E BASE XENON	2	104	1	12



2 STANDARD PARKING LOT POLE WITH CONCRETE BASE
NO SCALE



3 BOLLARD DETAIL
NO SCALE

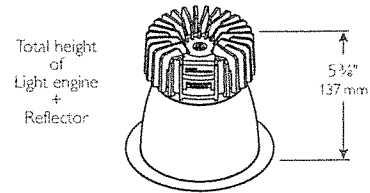
Statistics

Description	Symbol	Avg	Min	Max	Max/Min	Avg/Min	Avg/Max
Calc Zone #1	+	2.7 fc	0.0 fc	14.7 fc	N/A	N/A	0.2:1

GENERAL NOTES:
1. POLE LOCATIONS PRELIMINARY; NOT FOR CONSTRUCTION. COORDINATE WITH ALL EASEMENTS.

Make
the
switch
to LED.

C4L-DL-VB
CALCULITE
WHITE LED 4 1/2"
DOWNLIGHT



PHILIPS LIGHTOLIER, CALCULITE, PROFESSIONAL-GRADE
DOWNLIGHTING, WHITE LED 4 1/2" ROUND APERTURE
DOWNLIGHT, WIDE 500/1000/1500LM, C4L-DL-VB

Calculite LED 4 1/2" features an LED array of high brightness white light LEDs. The new LED boards in Calculite LED ensure a less than 2-step SDCM color variation between luminaires.

Project: Courtyard
Location: Chesterfield MO
Catalog No:
Fixture Type: LS3
Mfg: _____ Lamps: _____ Qty: _____
Notes:

Frame-in kit

Complete product = Frame-in kit + Trim kit

example: C4L05NUVBZ10V

Series	Lumens	Installation	Input voltage	Version	Dimming	Options ¹
<u>C4L</u>	<u>10</u>	<u>N</u>	<u>U</u>	<u>VB</u>	<u>0-10V</u>	<input type="checkbox"/>
C4L Calculite, 4 1/2" aperture, LED luminaire	05 500 lumen	N New construction	U Universal (120/277V)	VB Version B	Z10V 0-10V dimming LD Lutron driver	EM Emergency ³ LC Chicago Plenum
	10 1000 lumen	R Remodeler				
C4L Calculite, 4 1/2" aperture, LED luminaire	15 1500 lumen	N New construction	1 120V	VB Version B	Z10V 0-10V dimming LD Lutron driver	EM Emergency ³ LC Chicago Plenum
	10 1000 lumen	R Remodeler	2 277V			
CUL Calculite, Universal aperture, LED luminaire	05 500 lumen	J J-box mount retrofit	U Universal (120/277V)	VB Version B	Z10V 0-10V dimming LD Lutron driver	
	10 1000 lumen	S Screw-in base retrofit	1 120V	VB Version B	Z10V 0-10V dimming LD Lutron driver	

Trim kit

Includes light engine and reflector. Lumen package of the trim and the frame-in kit must match.

example: C4L10DL35KCCDPVB

Series	Lumens	Style	CCT	Reflector finish	Flange	Version	Options
<u>C4L</u>	<u>10</u>	<u>DL</u>	<u>30K</u>	<u>CCL</u>	<u>W</u>	<u>VB</u>	<input type="checkbox"/>
C4L Calculite, 4 1/2" aperture, LED luminaire	05 500 lumen	DL Downlight	27K 2700K	CL Clear	W Painted white	VB Version B	EM Integral emergency test switch ³
	10 1000-1500 lumen		30K 3000K	CCL Comfort clear	P Aperture-matching/polished		
			35K 3500K	CCD Comfort clear diffuse	FT Flush-mount/flangeless ^{1,2}		
			40K 4000K	CCZ Champagne bronze			
				WH Painted white			

1. Available for new construction (N) installation frame-in kits only.
2. Accessory CA4FMR required for gypsum applications (minimal 3/4" reflector flange).
3. See LED-EM for details and restrictions.



CA4FMR
Flangeless trim with plaster ring accessory.
(Recommended for gypsum installations)

