



VII. B.

690 Chesterfield Pkwy W • Chesterfield MO 63017-0760
Phone: 636-537-4000 • Fax 636-537-4798 • www.chesterfield.mo.us

Planning Commission Staff Report

Project Type: Site Development Section Plan

Meeting Date: March 26, 2012

From: Mara Perry, AICP
Senior Planner

Location: Chesterfield Commons Seven, Lot 2

Applicant: TR,i and Wolverton & Associates

Description: **Chesterfield Commons Seven, Lot 2 (Valvoline)**: A Site Development Section Plan, Landscape Plan, Lighting Plan, Architectural Elevations, and Architect's Statement of Design for a 0.977 acre tract of land zoned "PC" Planned Commercial District located on the north side of Chesterfield Airport Road, one-half mile west of the corner of Chesterfield Airport Road and Boone's Crossing.

PROPOSAL SUMMARY

TR,i and Wolverton & Associates, on behalf of THF Chesterfield Seven Development LLC., have submitted a Site Development Section Plan, Landscape Plan, Lighting Plan, Architectural Elevations, and Architect's Statement of Design for Planning Commission review. The request is for a 2,477 square foot retail building located on Lot 2 of the Chesterfield Commons Seven subdivision. The subject site is zoned "PC" Planned Commercial District and is governed under the terms and conditions of City of Chesterfield Ordinance Number 2501. The exterior building materials will be comprised of brick, Arriscraft stone, EIFS and glass. The roof is proposed to be a sloped roof membrane system to the rear of the building with parapet walls.

LAND USE AND ZONING HISTORY OF SUBJECT SITE

The site was zoned "NU" Non-Urban District by St. Louis County prior to the incorporation of the City of Chesterfield. The zoning was changed from "NU" Non-Urban District to "PC" Planned Commercial District by City of Chesterfield Ordinance 2501 on November 17, 2008.

On June 28, 2010, the Planning Commission approved a one-year time extension for the submittal of the Site Development Concept Plan as required by the site specific ordinance. A Site Development Concept Plan for the three proposed lots was approved by the Planning Commission in December of 2010.

Land Use and Zoning of Surrounding Properties:

Direction	Land Use	Zoning
North	Interstate 64/ Highway 40-61	Interstate 64/ Highway 40-61
South	Commercial/Retail	“PI” Planned Industrial
East	Commercial/Retail	“PC” Planned Commercial
West	Equipment Sales/Vacant	“NU” Non-Urban District



STAFF ANALYSIS

Zoning

The subject site is zoned “PC” Planned Commercial District. The submittal was reviewed against the requirements of City of Chesterfield Ordinance 2501, and all applicable Zoning Ordinance requirements. The submittal as presented adheres to Ordinance 2501 and all applicable Zoning Ordinance requirements.

Traffic/Access and Circulation

The circulation system into the site has been addressed through the approval of the Site Development Concept Plan. The primary roadway into the development is being constructed to align with the adjacent development to the east. An entrance off the internal street is being provided and no vehicular connection is allowed from Chesterfield Airport Road. Cross access to the adjacent lot to the east, that is yet to be developed, is being provided for ease of circulation within the development.

Pedestrian connections are being made to the adjacent development and within the site. A connection will be provided through the parking lot to connect to the sidewalk along Chesterfield Airport Road.

Parking

Parking for the site is provided to the east of the building and on the south side of the lot. The number of parking spaces provided meets the requirements of the Off-Street Parking, Stacking, and Loading Regulations section of the City of Chesterfield Zoning Ordinance.

Landscaping

A Landscape Plan was submitted showing new trees and shrubs to be installed throughout the site. Water quality features are being provided per the requirements of the Metropolitan Sewer District and the proposed plantings were reviewed to ensure no sight distance issues existed.

The Landscape Plan meets all requirements of the City of Chesterfield Tree Preservation and Landscape Requirements. The City Arborist has reviewed the Landscape Plan and had no additional comments.

Lighting

A Lighting Plan has been submitted with pole mounted parking lot fixtures in the parking lot. The fixture design adheres to the City of Chesterfield Lighting Ordinance however the proposed mounting height of the parking lot fixtures is thirty-three (33) feet. The Lighting Ordinance states that the height of all light standards shall be reviewed by the Planning Commission. The applicant has submitted a request to allow a mounting height of thirty-three (33) feet in order to be consistent with the height of the parking lot light standards found on the Chesterfield Commons Six site.

Architectural Elevations

The project was reviewed by the Architectural Review Board on March 8, 2012. A motion was passed by a vote of 5-0 to forward the project to Planning Commission for approval as presented.

Signage

Signage is approved under a separate process and will be reviewed against the approved Sign Package for the development.

DEPARTMENTAL INPUT

Staff has reviewed the Site Development Section Plan, Landscape Plan, Lighting Plan, Architectural Elevations, and Architect's Statement of Design and has found the application to be in conformance with City of Chesterfield Ordinance 2501, and all other applicable Zoning Ordinance requirements. Staff recommends approval of the Site Development Section Plan, Landscape Plan, Architectural Elevations, and Architect's Statement of Design for Chesterfield Commons Seven, Lot 2 (Valvoline).

MOTION

The following options are provided to the Planning Commission for consideration relative to this application:

- 1) "I move to approve (or deny) the Site Development Section Plan, Landscape Plan, Lighting Plan, Architectural Elevations, and Architect's Statement of Design for Chesterfield Commons Seven, Lot 2 (Valvoline)."
- 2) "I move to approve the Site Development Section Plan, Landscape Plan, Lighting Plan, Architectural Elevations, and Architect's Statement of Design for Chesterfield Commons Seven, Lot 2 (Valvoline) with the following conditions..." (Conditions may be added, eliminated, altered or modified)

Cc: City Administrator
City Attorney
Department of Planning, Public Works, and Parks

Attachments: Site Development Section Plan
Landscape Plan
Lighting Plan
Architectural Elevations
Architectural Renderings
Architect's Statement of Design

"By order of VALVOLINE INSTANT OIL CHANGE", we have prepared a Site Development Section Plan, the results of which are currently represented on this drawing, which is a site Concept Plan - not for construction - and was prepared for the sole limited purpose of providing a concept for the proposed development of the tract, and is intended only for the preliminary use of governmental reviewing authorities for the purpose of obtaining approval of a concept, and is subject to such conditions, recommendations, or revisions as may be deemed necessary or appropriate in furtherance of such purposes. We certify that this plan is a correct representation of oil existing and proposed land divisions.

WOLVERTON AND ASSOCIATES, INC.
David Mark Woolridge, L.L.C.
Missouri Registration No. PE-2003021199

GEOTECHNICAL ENGINEER'S STATEMENT
Giles Engineering Associates, Inc. at the request of Valvoline Instant Oil Change, has provided geotechnical services for the project proposed hereon. A geotechnical exploration was conducted for this project, the findings of which indicated that the earth-related aspects are suitable for the development proposed hereon pursuant to the geotechnical recommendations set forth in our December 16, 2011 Report Title "Geotechnical Exploration & Analysis - Giles Project No. 10-1111008 - Valvoline Instant Oil Change - 17457 Chesterfield Airport Road, Chesterfield, Missouri".



ATTENTION SEWER CONTRACTOR
For Sewer Pipe (storm, sanitary and combined) with a design grade less than one percent (1%) verification of the pipe grade will be required for each installed reach of sewer, prior to any surface restoration or installation of any surface improvements. The Contractor's final as-builts will be required to provide daily documentation verifying that the as-built pipe grade meets the design grade through the submitted signed out sheets to the MSD Inspector upon request.

MSD also reserves the right to require the Contractor to remove and replace any sewer (at any time prior to construction approval) for which the as-built grade does not comply with the grade tolerance stated in the above paragraph.
The Sewer Contractor shall be responsible for any costs associated with the field verification of the sewer grade, or removal and replacement of the sewer pipe or associated appurtenances.
Maintenance of the sewers designated as "public" shall be the responsibility of the Metropolitan St. Louis Sewer District upon dedication of the sewers to the district.

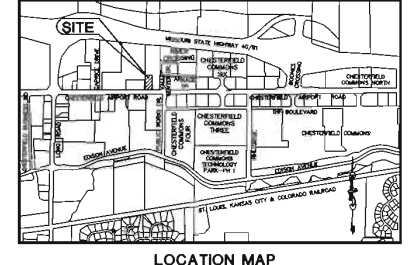
NOTE
A GRADING PERMIT IS REQUIRED PRIOR TO ANY GRADING OF THE SITE. NO CHANGE IN WATERWAYS SHALL BE PERMITTED.
INTERIOR STORMWATER DRAINAGE CONTROL IN THE FORM OF SILTATION CONTROL MEASURES ARE REQUIRED.
THE PETITIONER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE DEPARTMENT OF NATURAL RESOURCES CLEAN WATER COMMISSION AS THEY RELATE TO THE DEVELOPMENT OF THIS TRACT AS DIRECTED BY THE CITY OF CHESTERFIELD.
SUBMIT TO THE CITY OF CHESTERFIELD AN ENGINEERING PLAN APPROVED BY THE ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC AND A.S.D. SHOWING THAT ADEQUATE HANDLING OF THE STORMWATER DRAINAGE OF THE SITE IS PROVIDED.
A. THE DEVELOPER IS REQUIRED TO PROVIDE ADEQUATE STORMWATER SYSTEMS IN ACCORDANCE WITH ST. LOUIS COUNTY AND M.S.D. STANDARDS AND IN ACCORDANCE WITH THE MASTER PLAN FOR MANAGEMENT OF STORMWATER WITHIN THE CHESTERFIELD VALLEY AREA.
B. ALL STORMWATER SHALL BE DISCHARGED AT AN ADEQUATE NATURAL DISCHARGE POINT BY MEANS OF BLEEDER DITCHES AND/OR CONSTRUCTION OF PORTIONS OF THE MAIN CHANNEL AS OUTLINED IN THE CHESTERFIELD VALLEY MASTER DRAINAGE PLAN OR BY OTHER MEANS THAT MAY BE APPROVED BY THE ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC AND THE CITY OF CHESTERFIELD. THIS MAY REQUIRE EXTENSIVE OFF-SITE STORM SEWER DITCH WORK AND APPROPRIATE EASEMENTS.
C. ALL DRAINAGE DETENTION STORAGE FACILITIES SHALL BE PLACED OUTSIDE OF THE STANDARD GOVERNMENTAL AGENCY PLANNING AND ZONING SETBACKS, OR 15 FEET FROM THE NEW OR EXISTING RIGHT-OF-WAY, WHICHEVER IS GREATER.
PRIOR TO ISSUANCE OF FOUNDATION OR BUILDING PERMITS, ALL APPROVALS FROM THE ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC AND THE METROPOLITAN ST. LOUIS SEWER DISTRICT MUST BE ON FILE.
ROAD IMPROVEMENTS AND ROADWAY EASEMENT DEDICATION SHALL BE COMPLETED PRIOR TO ISSUANCE OF AN OCCUPANCY PERMIT. THE DELAYS DUE TO UTILITY RELOCATION AND ADJUSTMENTS WILL NOT CONSTITUTE A CAUSE TO ALLOW OCCUPANCY PRIOR TO COMPLETION OF ROAD IMPROVEMENTS.
PROVIDE ADEQUATE TEMPORARY OFF-STREET PARKING FOR CONSTRUCTION EMPLOYEES. PARKING ON NON-SURFACED AREAS SHALL BE PROHIBITED IN ORDER TO MAINTAIN THE CONDITION WHEREBY AID FROM CONSTRUCTION AND EMPLOYEE VEHICLES IS TRACKED ON THE PAVEMENT CAUSING HAZARDOUS ROADWAY AND DRIVING CONDITIONS.
PRIOR TO SPECIAL USE PERMIT ISSUANCE BY ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC, A SPECIAL CASH ESCROW OR A SPECIAL ESCROW SUPPORTED BY AN IRREVOCABLE LETTER OF CREDIT MUST BE ESTABLISHED WITH THIS DEPARTMENT TO GUARANTEE COMPLETION OF THE REQUIRED ROADWAY IMPROVEMENTS.

STORM WATER AND ROADWAY IMPROVEMENT CONTRIBUTIONS SHALL BE PAID PRIOR TO THE ISSUANCE OF ANY SPECIAL USE PERMIT (SUP) BY ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC AND A.S.D. SHOWING THAT ADEQUATE HANDLING OF THE STORMWATER DRAINAGE OF THE SITE IS PROVIDED.
A SEPARATE SPECIAL USE PERMIT WILL BE REQUIRED FOR ANY UTILITY RELATED WORK WITHIN THE CHESTERFIELD AIRPORT ROAD RIGHT-OF-WAY. PLEASE CONTACT JAMES HAYES AT 314-613-8913.

ST. LOUIS COUNTY HIGHWAYS & TRAFFIC NOTES
1. ROADWAY IMPROVEMENT CONTRIBUTIONS SHALL BE PAID PRIOR TO THE ISSUANCE OF ANY SPECIAL USE PERMIT (SUP) BY ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC AND A.S.D. SHOWING THAT ADEQUATE HANDLING OF THE STORMWATER DRAINAGE OF THE SITE IS PROVIDED.
2. A SEPARATE SPECIAL USE PERMIT WILL BE REQUIRED FOR ANY UTILITY RELATED WORK WITHIN THE CHESTERFIELD AIRPORT ROAD RIGHT-OF-WAY. PLEASE CONTACT JAMES HAYES AT 314-613-8913.

City of Chesterfield
DEPARTMENT OF PLANNING & PUBLIC WORKS
SCRIPT FOR A SITE DEVELOPMENT SECTION PLAN

TO: THE CITY OF CHESTERFIELD
FROM: THE CHESTERFIELD SEVEN DEVELOPMENT, L.L.C.
Name of Owner
In connection with a change of zoning for the following described property from _____ to "PC" PLANNED COMMERCIAL DISTRICT



A TRACT OF LAND BEING OUTPARCEL 2 OF "CHESTERFIELD COMMONS SEVEN", A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 359 PAGE 156 OF THE ST. LOUIS COUNTY RECORDS IN U.S. SURVEY 125, TOWNSHIP 45 NORTH - RANGE 4 EAST, CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT FOUND COTTON PICKER SPINDLE AT THE SOUTHWEST CORNER OF SAID OUTPARCEL 2, SAID POINT BEING ON THE NORTH LINE OF CHESTERFIELD AIRPORT ROAD, 100 FEET MORE, THENCE NORTHWEST 1/4 ALONG THE WEST LINE OF SAID OUTPARCEL 2, NORTH 00 DEGREES 34 MINUTES 14 SECONDS EAST 200.00 FEET TO A POINT, A FOUND IRON PIPE BEING 0.05 FEET NORTH AND 0.21 FEET WEST OF SAID POINT, THENCE NORTH 89 DEGREES 35 MINUTES 06 SECONDS EAST 10.00 FEET TO A FOUND IRON PIPE, THENCE NORTH 00 DEGREES 34 MINUTES 14 SECONDS EAST 83.96 FEET TO A FOUND BRASS MONUMENT, BEING ON THE SOUTH LINE OF OUTPARCEL 2 OF SAID "CHESTERFIELD COMMONS SEVEN", THENCE EASTWARD ALONG SAID SOUTH LINE, NORTH 89 DEGREES 35 MINUTES 06 SECONDS EAST 140.37 FEET TO THE WEST LINE OF OUTPARCEL 1 OF SAID "CHESTERFIELD COMMONS SEVEN", THENCE SOUTHWARD ALONG SAID WEST LINE, SOUTH 89 DEGREES 35 MINUTES 06 SECONDS EAST 283.92 FEET TO A FOUND IRON PIPE ON THE NORTH LINE OF CHESTERFIELD AIRPORT ROAD, THENCE WESTWARD ALONG SAID NORTH LINE, SOUTH 89 DEGREES 35 MINUTES 06 SECONDS WEST 125.28 FEET TO THE POINT OF BEGINNING, AND CONTAINING 0.977 ACRES ACCORDING TO A SURVEY BY VOLZ, INC. DURING JANUARY, 2012.

LOCATION MAP
NOT TO SCALE
SITE PLAN NOTES

- 1. ALL WORK AND MATERIALS SHALL COMPLY WITH CITY OF CHESTERFIELD REGULATIONS AND CODES AND O.S.A. STANDARDS.
- 2. ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A GRASS/GRASS STAND IS ESTABLISHED.
- 3. ALL COMMONS AND FLAG ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- 4. SITE BOUNDARY TAKEN FROM A PLAT PREPARED BY VOLZ INCORPORATED, DATED APRIL 14, 2005.
- 5. VOLZ INCORPORATED 10849 INDIAN HILL BLVD. ST. LOUIS, MISSOURI 63132 PHONE: 314-428-4280 FAX: 314-729-4100
- 6. SITE TOPOGRAPHY TAKEN FROM A PLAT PREPARED BY ETK. MOON, L.L.C., DATED MAY, 2005.
- 7. EXISTING CONDITIONS REPRESENTED HEREIN REPRESENT PLANNED INFRASTRUCTURE WORK BY THE CHESTERFIELD SEVEN DEVELOPMENT, L.L.C.
- 8. PROJECT BENCHMARK: ST. LOUIS COUNTY BENCHMARK 12-171 - ELEVATION = 460.06 STANDARD ALUMINUM CORNER STAMPED SE-38, 1980, IS AT THE NORTHWEST CORNER OF CHESTERFIELD AIRPORT ROAD AND CARROLL DRIVE.
- 9. SITE BENCHMARK NO. 1 - ELEV. 459.82 - COTTON PICKER SPINDLE SET IN ASPHALT AT SOUTHWEST CORNER OF OUTPARCEL 2.
- 10. SITE BENCHMARK NO. 2 - ELEV. 461.21 - CROSS CUT IN PAVEMENT AT THE CORNER OF CHESTERFIELD AIRPORT ROAD AND ARNAGE BLVD.
- 11. THE UTILITIES SHOWN HEREIN WERE PLOTTED FROM THE LOCATIONS OF ABOVE INFRASTRUCTURE WORK BY THE CHESTERFIELD SEVEN DEVELOPMENT, L.L.C. THE METROPOLITAN ST. LOUIS SEWER DISTRICT, SOUTHWESTERN BELL TELEPHONE COMPANY, HIGH PRESSURE GAS AND LOWER GAS COMPANY AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NON-EXISTENCE, SIZE, TYPE, NUMBER OR LOCATION OF THESE OR OTHER UTILITIES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND UTILITIES. SIGNAGE AND SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION, OR CONSTRUCTION APPROVEMENTS.
- 12. NO EXISTING TREES ARE BEING DISTURBED ON THIS SITE.
- 13. THIS SITE IS IN ZONE X SHOWN, THE 100 YEAR FLOOD PLANE LIMITS SHOWN ON THE SITE PLAN WERE SCALED FROM ST. LOUIS COUNTY, MO AND INCORPORATED AREAS. FLOOD INSURANCE RATE MAP NUMBER 28199C0140 H, DATED AUGUST 1995 AND REVISED APRIL 17, 2010.
- 14. DIRECT ACCESS TO INTERSTATE HWY 64 OR CHESTERFIELD AIRPORT ROAD WILL NOT BE ALLOWED TO ANY OUTPARCELS. ALL OUTPARCELS ACCESS SHALL BE LIMITED TO THE EAST-WEST DISTRIBUTOR (BYPASS ROAD) OR FROM SECONDARY ACCESS TO ARNAGE BOULEVARD. TO BE LOCATED NO LESS THAN 50 FEET NORTH OF THE MAIN ACCESS, OR ALONG WITH THE NORTH SECTION OF THE EXISTING ARNAGE ROAD.
- 15. ALL FINISHED FLOOR ELEVATIONS (F.F.E.) TO BE A MIN. OF 1' ABOVE FLOOD ELEVATION. F.F.E. TO BE 457.0 MINIMUM.
- 16. ALL SIGNAGE NEEDS A SEPARATE APPROVAL AND THE SIGNS INDICATED ON THE PLANS ARE NOT APPROVED AS INDICATED, BUT ARE SUBJECT TO APPROVAL ON EACH INDIVIDUAL BASIS.
- 17. ALL LANDSCAPED ISLANDS SHALL BE PROVIDED WITH A MECHANICAL IN-BRAND LIGHTING SYSTEM.
- 18. LANDSCAPING IS TO BE PROVIDED AROUND THE ELECTRICAL TRANSFORMER BOX AS A SCREENING DEVICE.
- 19. REDRAW THE LANDSCAPE PLAN FOR THIS DEVELOPMENT PREPARED BY LANDSCAPE ARCHITECTS.
- 20. THE ZONING DISTRICT IS "PC" PLANNED COMMERCIAL DISTRICT.
- 21. TOTAL SITE AREA IS 0.977 ± ACRES.
- 22. THE USES OF FAST FOOD RESTAURANTS AND AUTOMOBILES VEHICLE REPAIR, SERVICE OR WASHING FACILITIES SHALL BE RESTRICTED TO THE PORTIONS SOUTH OF THE PARCEL ADJACENT TO HIGHWAY 64/40, REFER TO ORDINANCE FOR DETAILS.
- 23. ON-SITE STORM WATER DRAINAGE REQUIREMENTS SHALL BE IN ACCORDANCE WITH CHESTERFIELD VALLEY MASTER STORM WATER DRAINAGE PLAN.

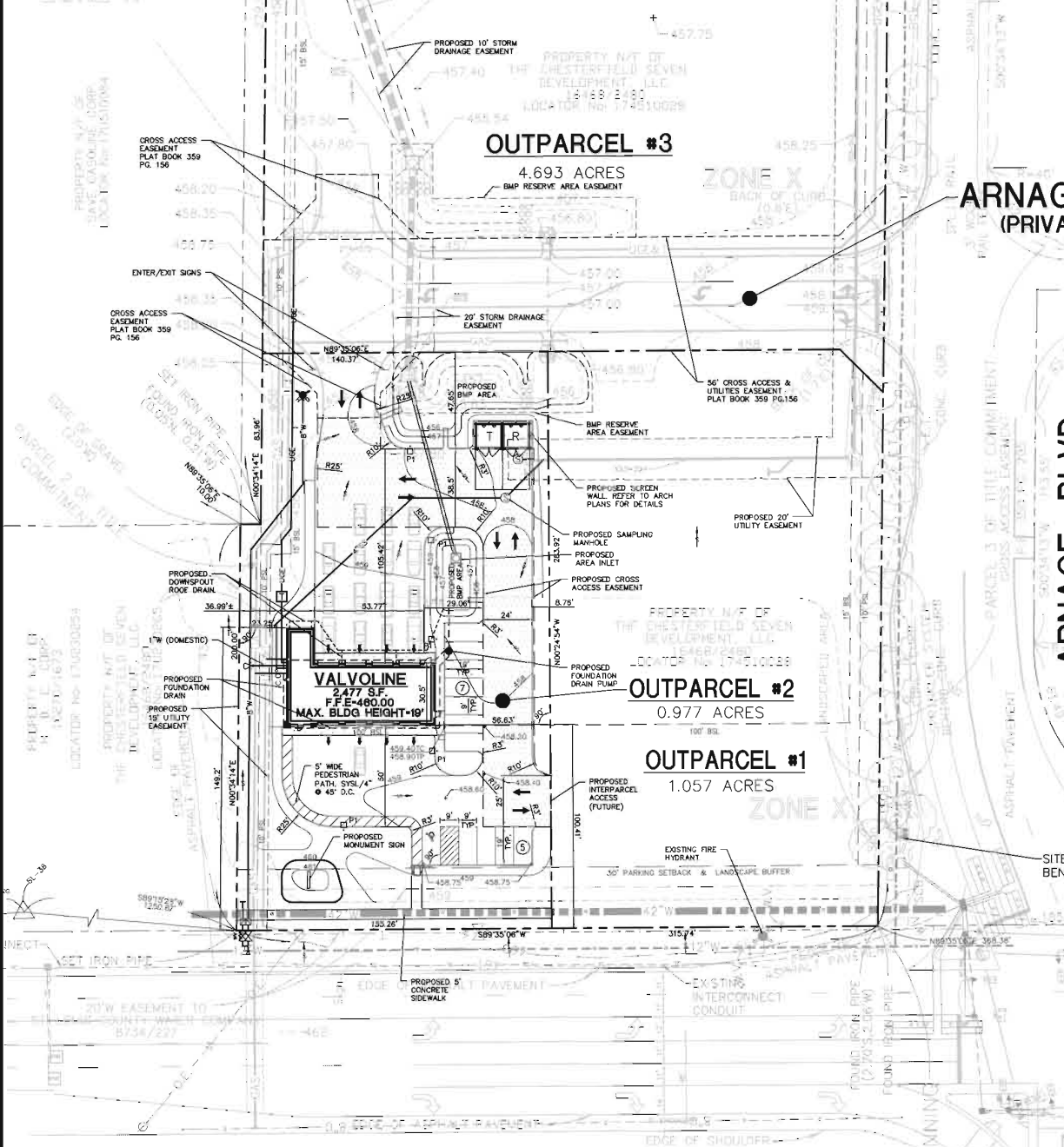
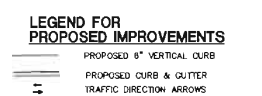
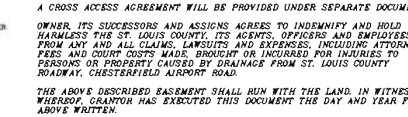
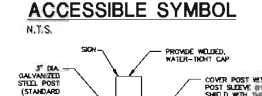
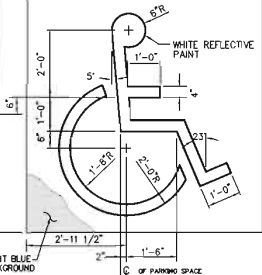
THE CHESTERFIELD SEVEN DEVELOPMENT, L.L.C., the owner(s) of the property shown on this plan for and in consideration of being granted a permit to develop property under the provisions of Chapter 1003, 180.780 RSMo, of the City of Chesterfield Ordinance #234, do hereby agree and declare that said property from the date of recording this plan shall be developed only as shown thereon, unless said plan is amended by the Planning Commission, or voided or vacated by order of ordinance of the City of Chesterfield Council.

State of MISSOURI, County of ST. LOUIS, on this 30 day of January, A.D. 2012, before me personally appeared MICHAEL H. STAENBERG, to me known, who, being by me sworn in, did say that he is the MANAGER of THE CHESTERFIELD SEVEN DEVELOPMENT, L.L.C., a corporation in the State of MISSOURI, and that the seal affixed to the foregoing instrument is the corporate seal of said corporation, and that said instrument was signed on behalf of said corporation by authority of its Board of Directors, and the said MICHAEL H. STAENBERG acknowledged said instrument to be the free act and deed of said corporation.

In Testimony Whereof, I have hereunto set my hand and affixed my Notarial Seal at my Office in St. Louis, MO, on the day and year last above written. My term expires _____ day of _____, 2012.
MICHAEL H. STAENBERG, Manager of THE CHESTERFIELD SEVEN DEVELOPMENT, L.L.C.
KELLY LILLE, Notary Public

This Site Development Section Plan was approved by the City of Chesterfield Planning Commission and duly verified on the _____ day of _____, 2012, by the Chairperson of said Commission, authorizing the recording of this Site Plan pursuant to Chesterfield Ordinance Number 200, as amended by the Planning and Development Services Director and the City Clerk.

Planning and Development Services Director
City Clerk



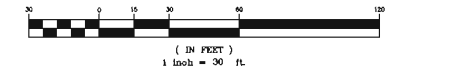
SITE ANALYSIS

VALVOLINE	2,477 ± SQ. FT.
PARKING PROPOSED	12 SPACES
PARKING REQUIRED	10 SPACES
ACCESSIBLE SPACES PROVIDED	= 1 SPACE
RATIO PROPOSED	4.84 SP/1,000 S.F.
RATIO REQUIRED	4.00 SP/1,000 S.F.
SITE AREA	0.977 ± ACRES
REQ'D OPEN SPACE	30%-0.29 ± ACRES
PROPOSED OPEN SPACE	45%-0.46 ± ACRES

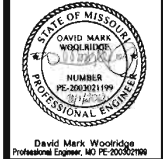
OWNER:
THE CHESTERFIELD SEVEN DEVELOPMENT, L.L.C.
2127 INNEBELT BUSINESS CENTER DRIVE
SUITE 200, ST. LOUIS, MISSOURI 63114
CONTACT: MR. DARREN RICHENHOUR
PHONE (314) 429-0900 / FAX (314) 429-0999

DEVELOPER:
VALVOLINE INSTANT OIL CHANGE
6940 BLAZER PARKWAY - 3RD FLOOR
LEXINGTON, KY 40509
CONTACT: MR. JOSEPH SCHINDLER
PHONE (859) 357-7509 / FAX (859) 357-5018

SITE DEVELOPMENT SECTION PLAN
FOR VALVOLINE INSTANT OIL CHANGE OUTPARCEL 2 WITHIN CHESTERFIELD COMMONS SEVEN GOVERNING ORDINANCE # 2501



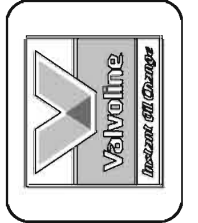
Wolverton & Associates
Consulting Engineers, L.L.C.
17457 Chesterfield Airport Road
Chesterfield, MO 63086
Phone: (314) 428-4280
Fax: (314) 729-4100
www.wolverton-asso.com



PROPOSED VALVOLINE INSTANT OIL CHANGE
CHESTERFIELD COMMONS SEVEN DEVELOPMENT
CHESTERFIELD, ST. LOUIS COUNTY, MO.
VALVOLINE INSTANT OIL CHANGE
LEXINGTON, KENTUCKY

REVISIONS	BY

DRAWN BY: GDL
CHECKED BY: KJW
DATE: 01/31/12
SCALE: 1"=30'
JOB No.: 12-104
SHEET NUMBER: SEC-1A
OF SHEETS



VALVOLINE INSTANT OIL CHANGE
 17457 CHESTERFIELD AIRPORT ROAD
 CHESTERFIELD, MO 63005

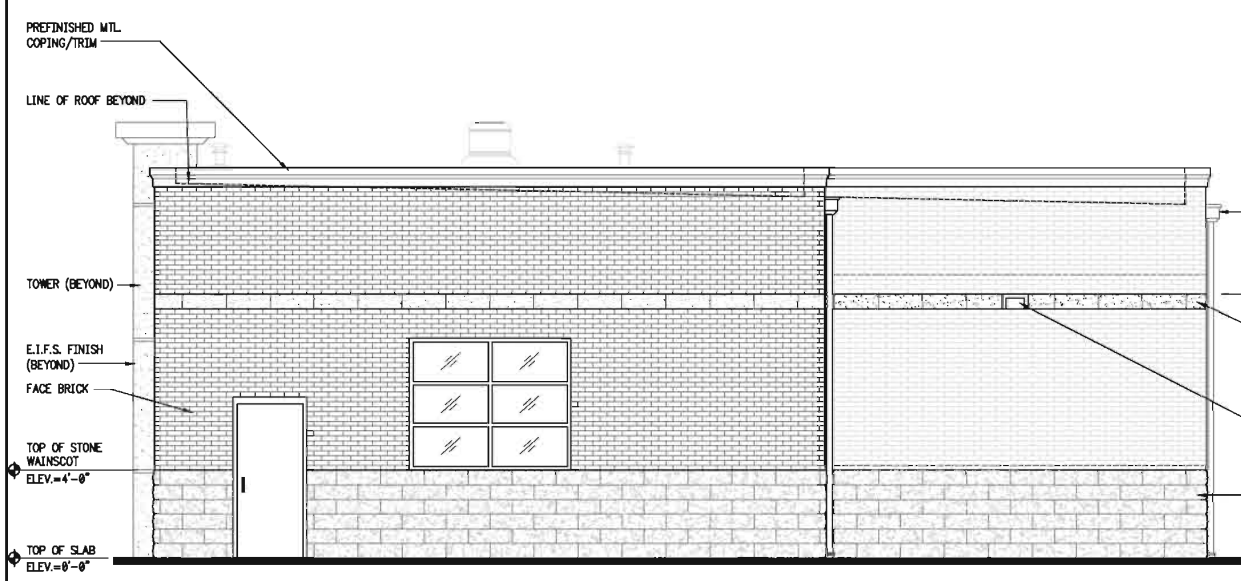


EXTERIOR ELEVATIONS
 The Roberts Group, P.C.
 Architects - Engineers - Landscape Architects
 289-C Southbay Drive - Leesport, Pa 19353
 610-278-1081 / 610-278-1081 Faxline

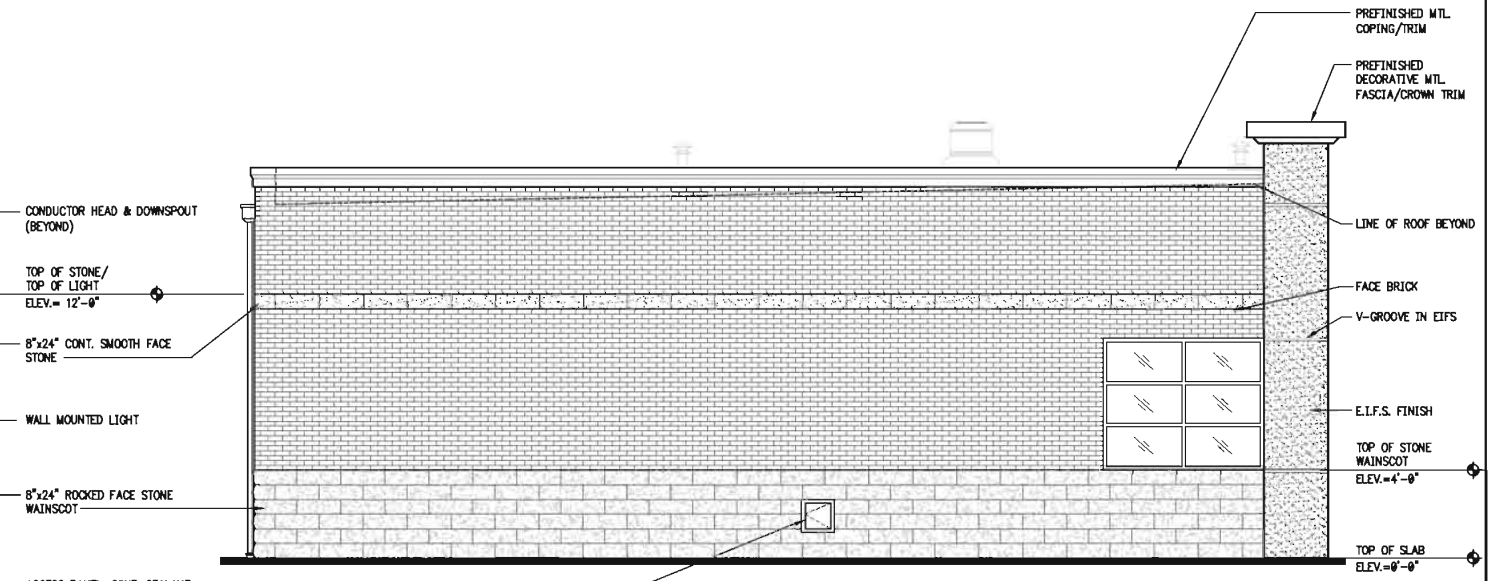
JOB NO.	0000
DATE	1-24-12
DRAWN	TRG
CHECKED	TRG

REVISIONS
1/23/12 REMOVED SIGNAGE - P&Z

SHEET
A-3

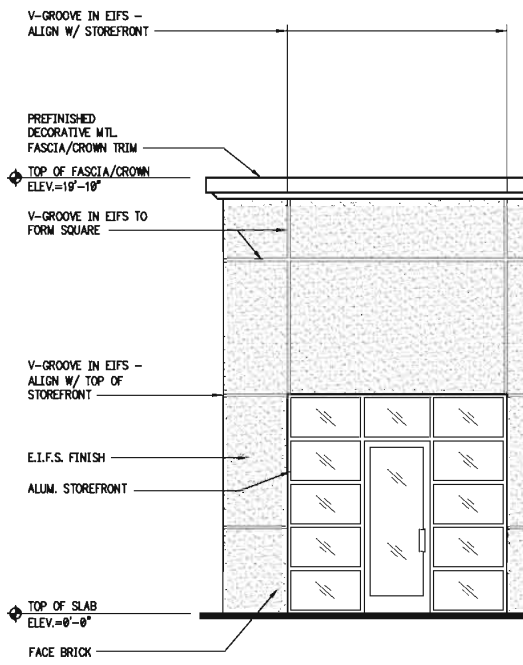


LEFT ELEVATION
 SCALE: 1/4" = 1'-0"

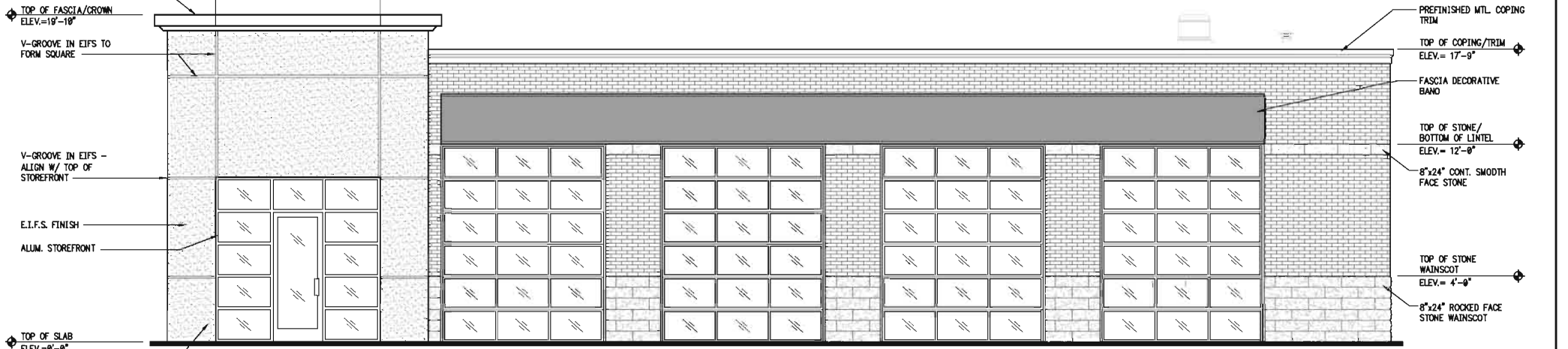


RIGHT ELEVATION
 SCALE: 1/4" = 1'-0"

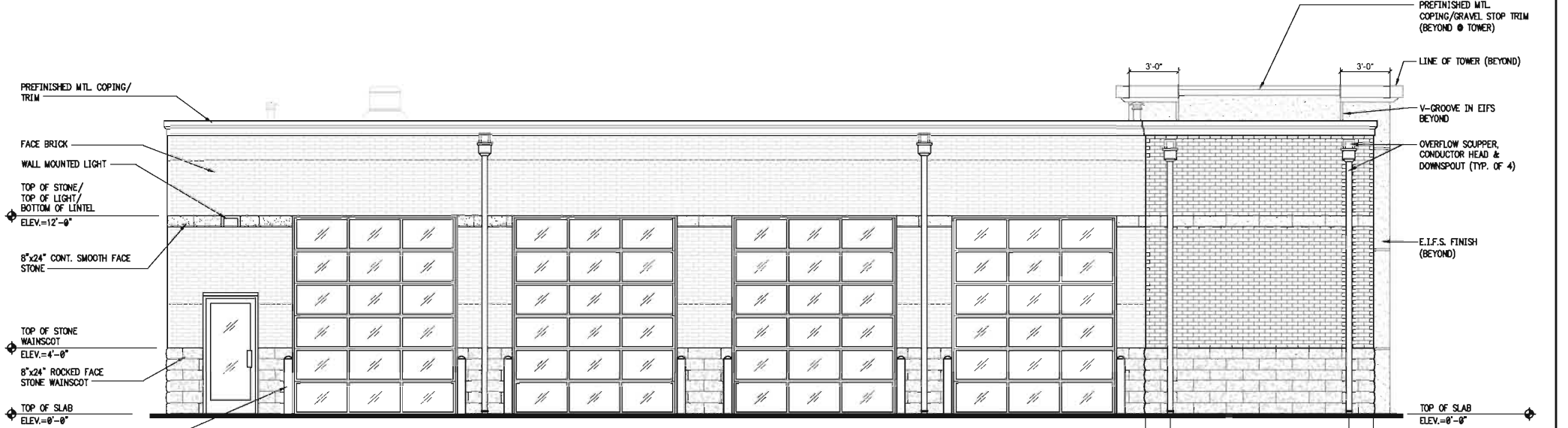
EXTERIOR FINISHES	
STONE WAINSCOT:	ARRISCRAFT - 8"x24" RENAISSANCE, ROCKED FACE - WHITE
STONE ACCENT COURSE:	ARRISCRAFT - 8"x24" RENAISSANCE, SMOOTH FACE - WHITE
STONE MORTAR:	NATURAL
BRICK:	ENDICOTT CLAY - MEDIUM IRONSPOT #46 (VELOUR MODULAR SIZE)
BRICK MORTAR:	SOLOMAN GRIND - #5A (TO MATCH ADJACENT CENTER)
MASONRY SEALER:	ALL BRICK/STONE SURFACES SHALL BE TREATED W/ SEALER. REFER TO SPECIFICATIONS.
E.I.F.S.:	DRYVIT - COLOR #454A STONE GRAY - SANDPEBBLE FINE FINISH
COPING & DECORATIVE TOWER FASCIA/CROWN:	FIRESTONE/UNI-CLAD 24 GAUGE PREFINISHED COIL STOCK "SILVER METALLIC"
CONDUCTOR HEAD & DOWNSPOUTS:	FIRESTONE/UNI-CLAD 24 GAUGE PREFINISHED COIL STOCK "SILVER METALLIC"
STOREFRONT SYSTEM:	2x4 1/2" KAWNEER TRIFAB VG 451T SERIES CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM W/ 1" INSULATED GLAZING.
DUMPSTER WALLS:	MATCH BUILDING
H.M. DOORS & FRAMES:	FIELD PAINT W/SHERWIN-WILLIAMS 866-310 PRO-CYRL PRIMER FOLLOWED BY (2) FINISH COATS OF B66-300 SHER-CYRL HPA. COLOR SHALL BE SHERWIN WILLIAMS - COMPUTER MATCH BRICK COLOR.
BOLLARDS/GUARD POSTS:	FIELD PAINT W/SHERWIN-WILLIAMS 866-310 PRO-CYRL PRIMER FOLLOWED BY (2) FINISH COATS OF B66-300 SHER-CYRL HPA. COLOR SHALL BE "VALVOLINE RED".
PARKING LOT STRIPING:	SHERWIN-WILLIAMS #TM226 SETFAST TM PAINT. COLOR SHALL BE "WHITE".
HANDICAP STALL STRIPING:	SHERWIN-WILLIAMS #TM2133 SETFAST TM PAINT. COLOR SHALL BE "ADA BLUE".



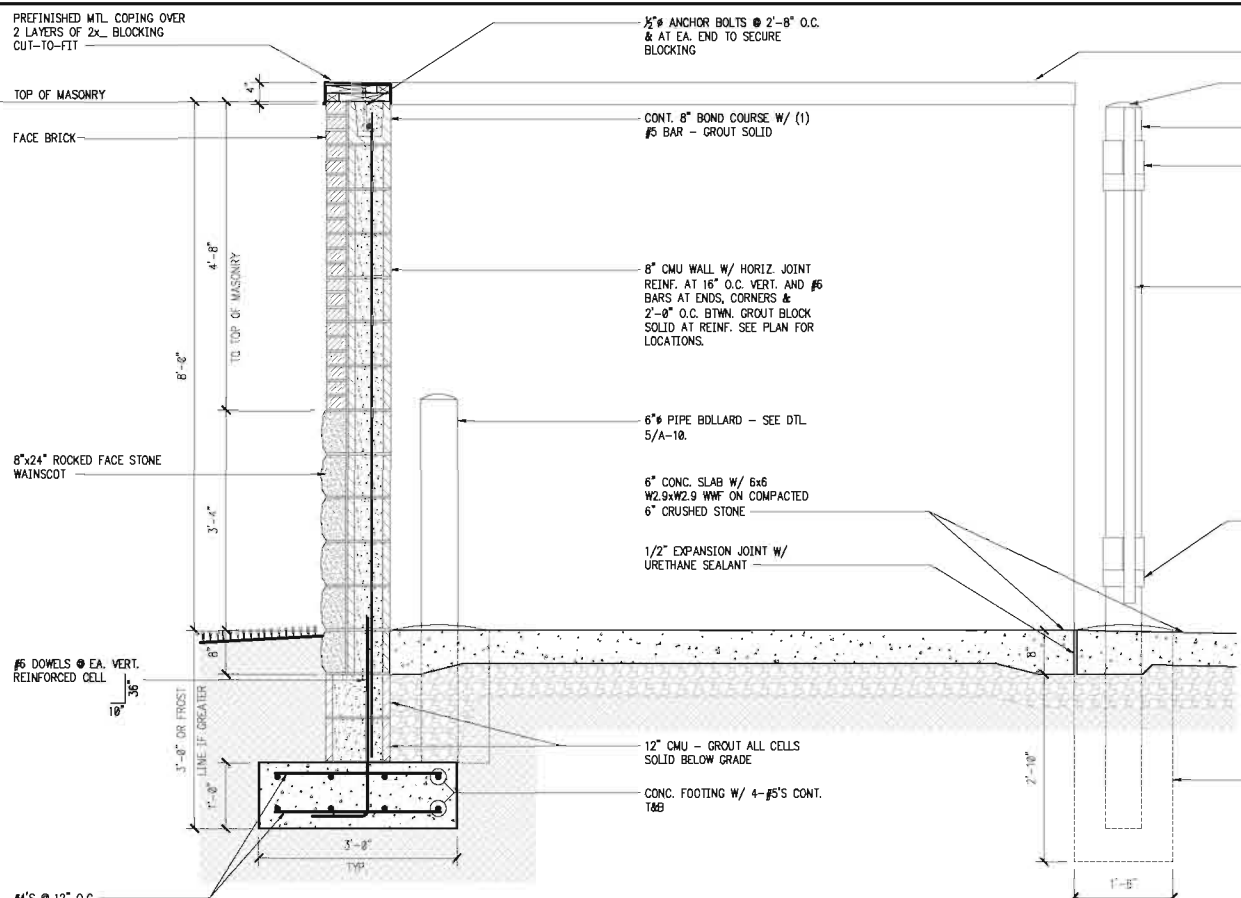
NOTE: ALL SIGNAGE SHALL BE APPLIED FOR & PERMITTED UNDER A SEPARATE SIGNAGE SUBMITTAL.
 G.C. SHALL PROVIDE BLOCKING IN STUD WALL BEHIND EACH SIGN AS REQUIRED BY SIGN VENDOR - FIELD VERIFY REQUIREMENTS W/ VENDOR & OWNER'S REPRESENTATIVE.



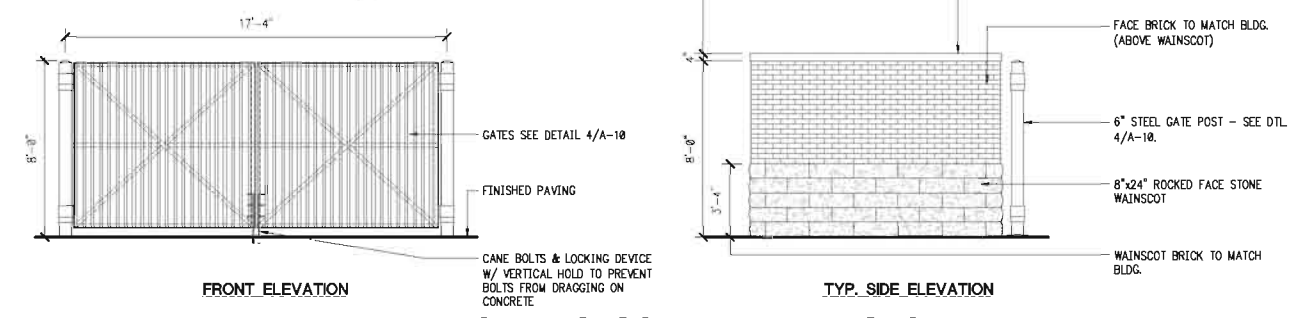
FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



REAR ELEVATION
 SCALE: 1/4" = 1'-0"

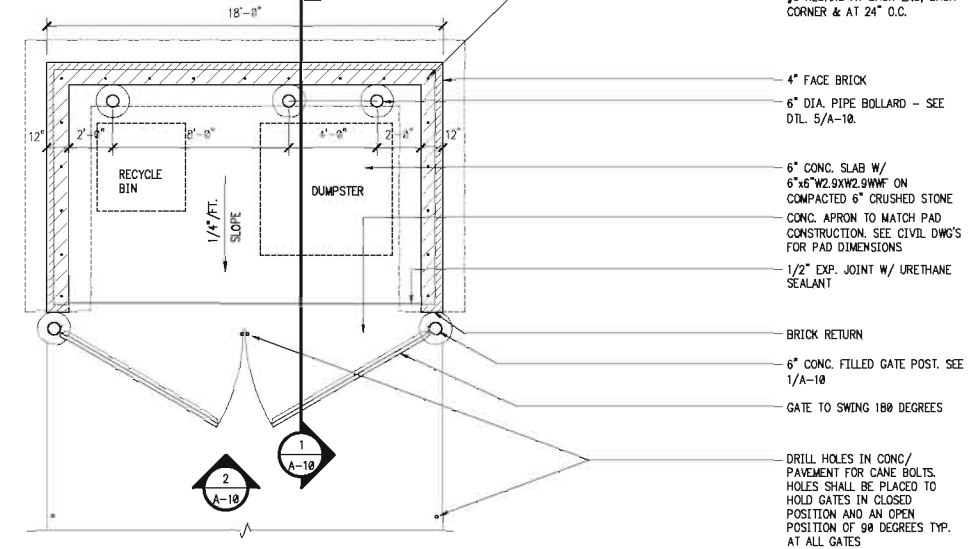


1 SECTION @ TRASH ENCLOSURE
SCALE: 3/4" = 1'-0"

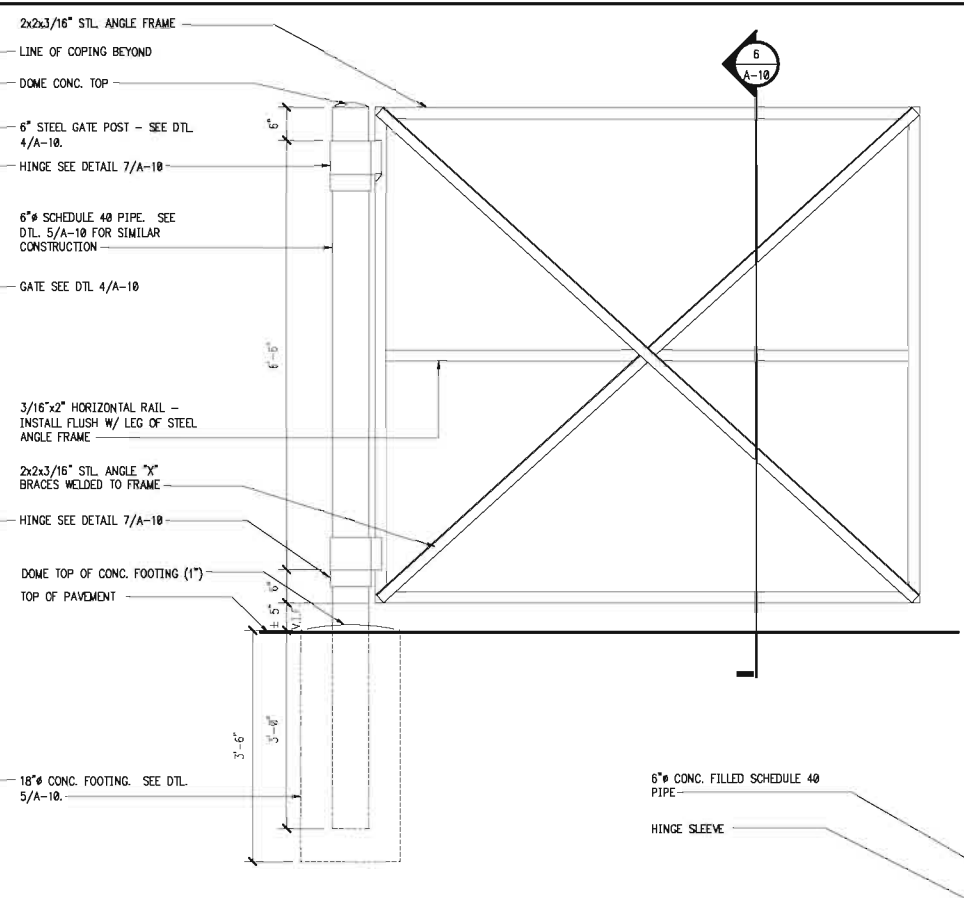


2 TRASH ENCLOSURE ELEVATIONS
SCALE: 1/4" = 1'-0"

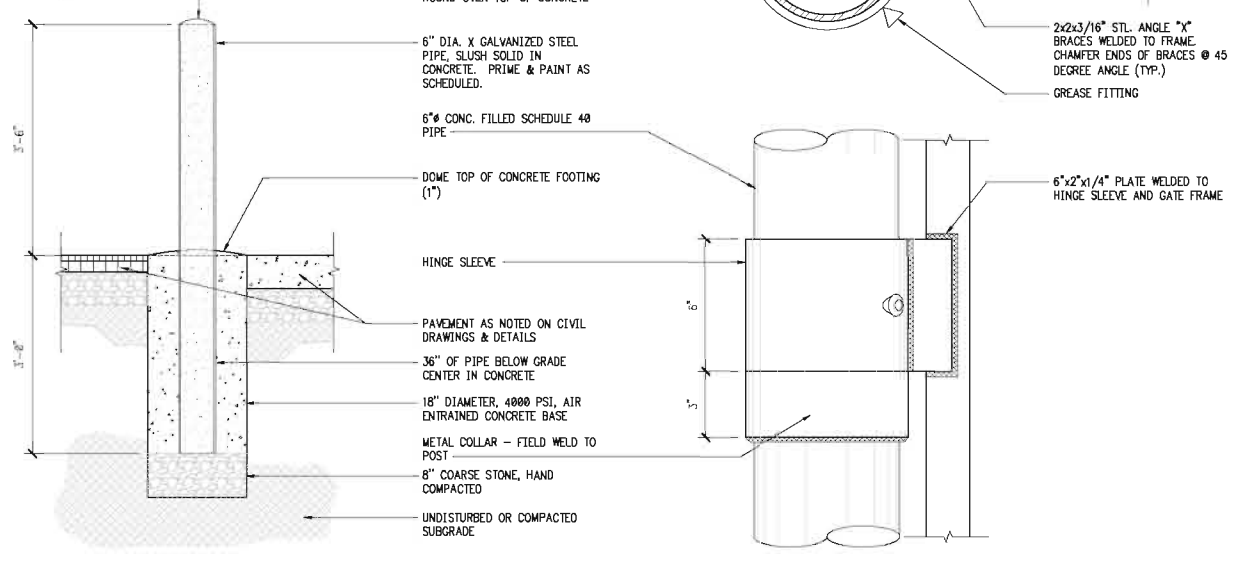
NOTE:
GATES SHALL BE EQUIPPED WITH DROP (CANE) BOLTS, HEAVY DUTY HINGES AND LATCHES (WITH PADLOCK) DRILL HOLES 2" DEEP IN CONC. / PAVING TO ALLOW DROP BOLTS TO HOLD GATES IN CLOSED POSITION AND AT AN OPEN POSITION OF 90°. POSITION VERTICAL HOLD TO KEEP CANE BOLTS FROM DRAGGING CONC.



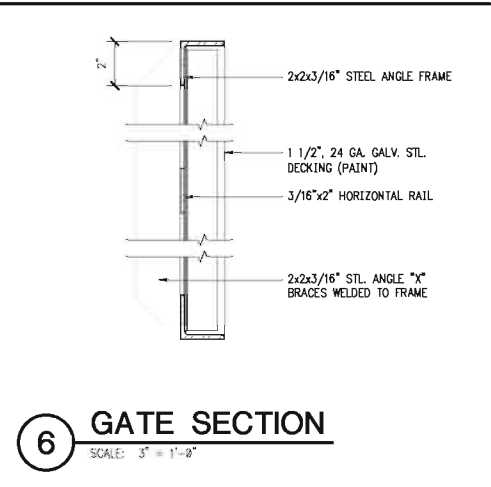
3 TRASH ENCLOSURE PLAN
SCALE: 1/4" = 1'-0"



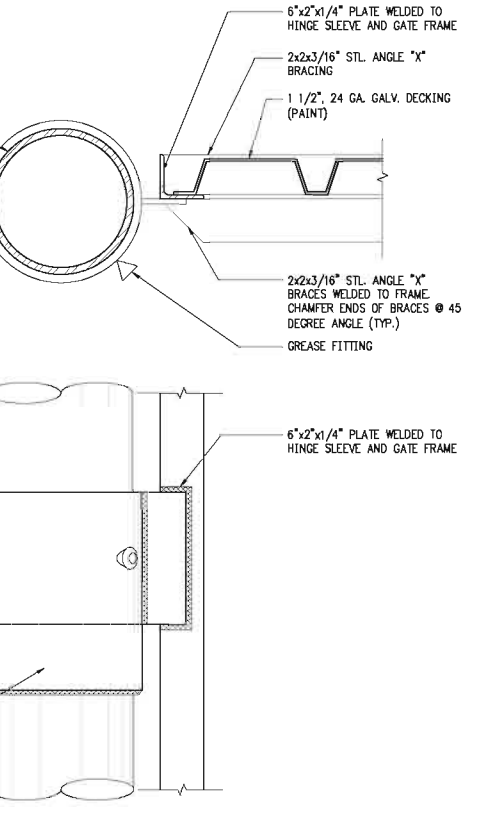
4 TRASH ENCLOSURE GATE DETAIL
SCALE: 3/4" = 1'-0"



5 BOLLARD DETAIL
SCALE: 3/4" = 1'-0"



6 GATE SECTION
SCALE: 3" = 1'-0"



7 HINGE DETAIL
SCALE: 3" = 1'-0"

DUMPSTER BRICK & EXTERIOR FINISH NOTES		REFER ALSO TO "EXTERIOR FINISHES", SHEET A-3.
STONE:	MATCH BUILDING STONE (WAINSCOT)	BOLLARDS / GUARD POSTS:
BRICK:	MATCH BUILDING BRICK	FIELD PAINT w/SHERWIN-WILLIAMS B66-310 PRO-CYRL PRIMER FOLLOWED BY (2) FINISH COATS OF B66-300 SHER-CYRL HPA. COLOR SHALL BE "VALVOLINE RED".
MORTAR:	MATCH BUILDING BRICK	GATES & GATE POSTS:
COPING:	MATCH BUILDING COPING/TRIM.	FIELD PAINT w/SHERWIN-WILLIAMS B66-310 PRO-CYRL PRIMER FOLLOWED BY (2) FINISH COATS OF B66-300 SHER-CYRL HPA. COLOR SHALL MATCH EXTERIOR HOLLOW METAL DOOR & FRAME COLOR.
SEALER:	ALL BRICK SURFACES SHALL BE TREATED w/ SEALER. REFER TO SPECIFICATIONS.	



VALVOLINE INSTANT OIL CHANGE
17457 CHESTERFIELD AIRPORT ROAD
CHESTERFIELD, MO 63005

DUMPSTER ENCLOSURE
The Roberts Group P.C.
Architects - Engineers - Landscape Architects
239-C Southland Drive - Lexington, KY 40503
609-276-2006 / 609-276-2011 Faxline

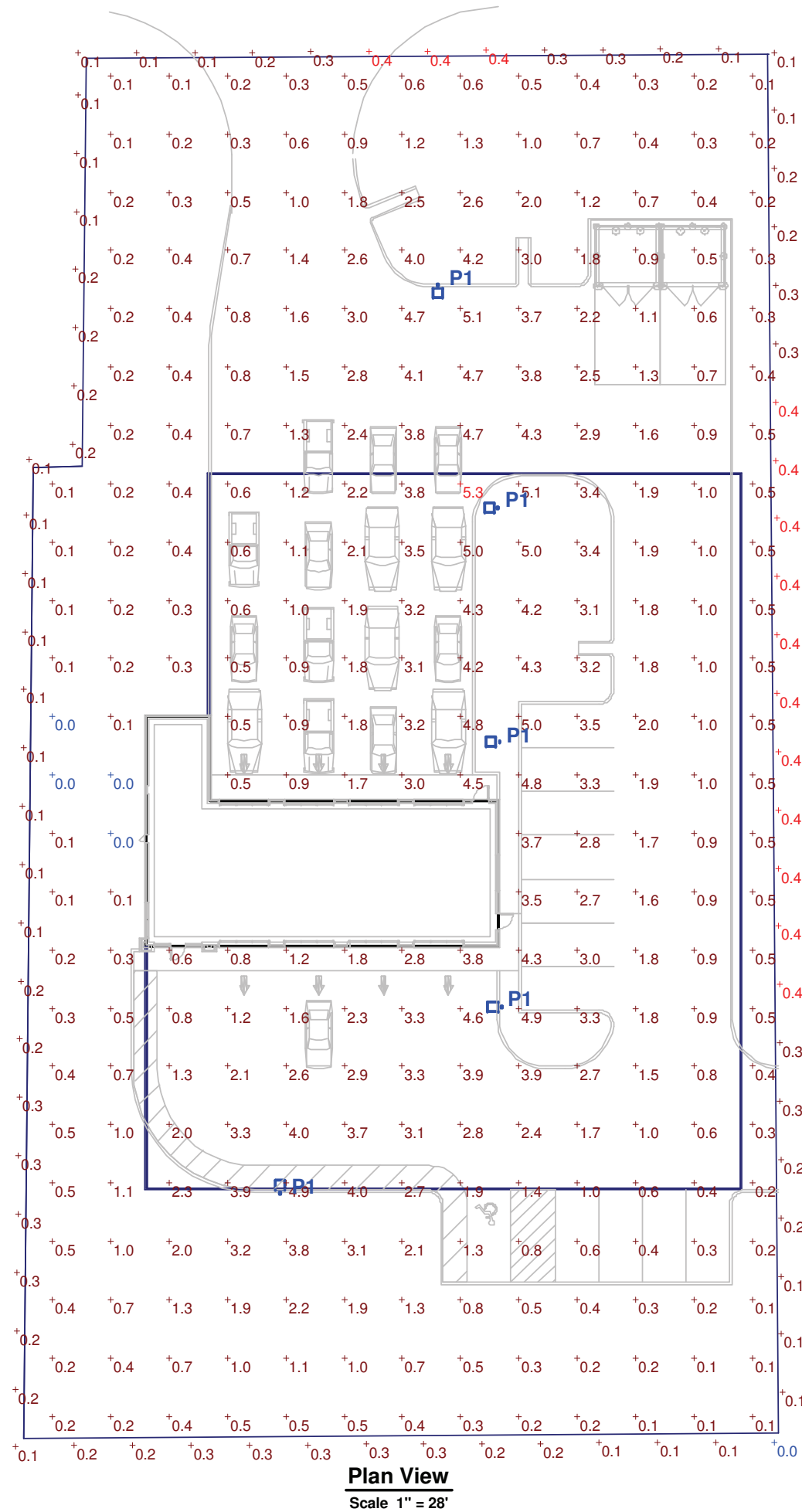
JOB NO.	02000
DATE	1-24-12
DRAWN	TRG
CHECKED	TRG

REVISIONS

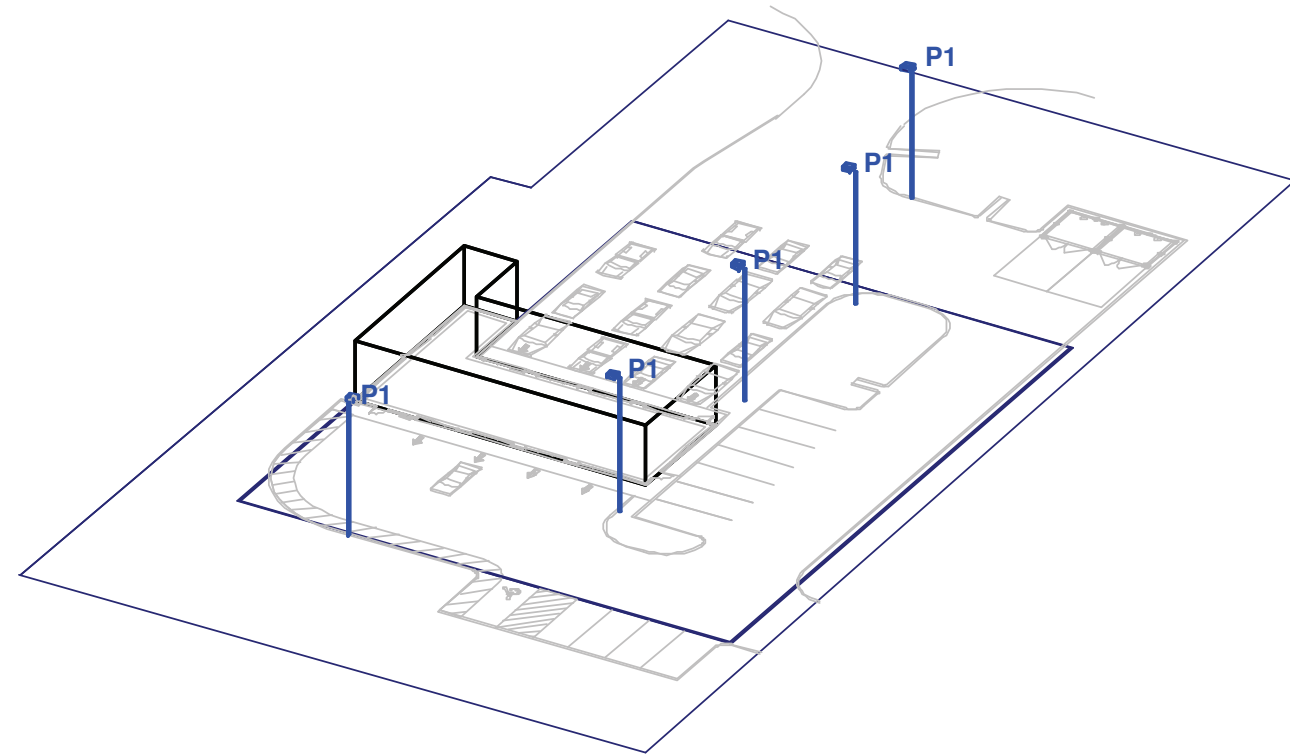
SHEET
A-10



Chesterfield, MO Valveine Lighting Layout



Plan View
Scale 1" = 28'



Southeast View
Not to Scale

30ft. Pole Height w/3ft. Pole Base
50ft. Building Perimeter

These calculations are for estimation or informational purposes only. Actual light levels may vary due to reflectance, temperature, obstructions and other factors. SSL Lighting will not be held responsible for light levels that differ from what is shown on this or any layout provided. Consult with a professional engineer if a more detailed study is needed.

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Perimeter Light Levels	+	0.2 fc	0.4 fc	0.0 fc	N / A	N / A
Facility Lot Light Levels	+	1.5 fc	5.3 fc	0.0 fc	N / A	N / A

LUMINAIRE SCHEDULE								
Symbol	Label	Qty	Catalog Number	Description	Lamp	Lumens	LLF	Watts
	P1	5	37250-UNV-SA6	250w Neptun Induction Area Unit	(1) - 250w IND Lamps	19152	0.92	256

Calculated values include direct and interreflected components.

Designer
AMC

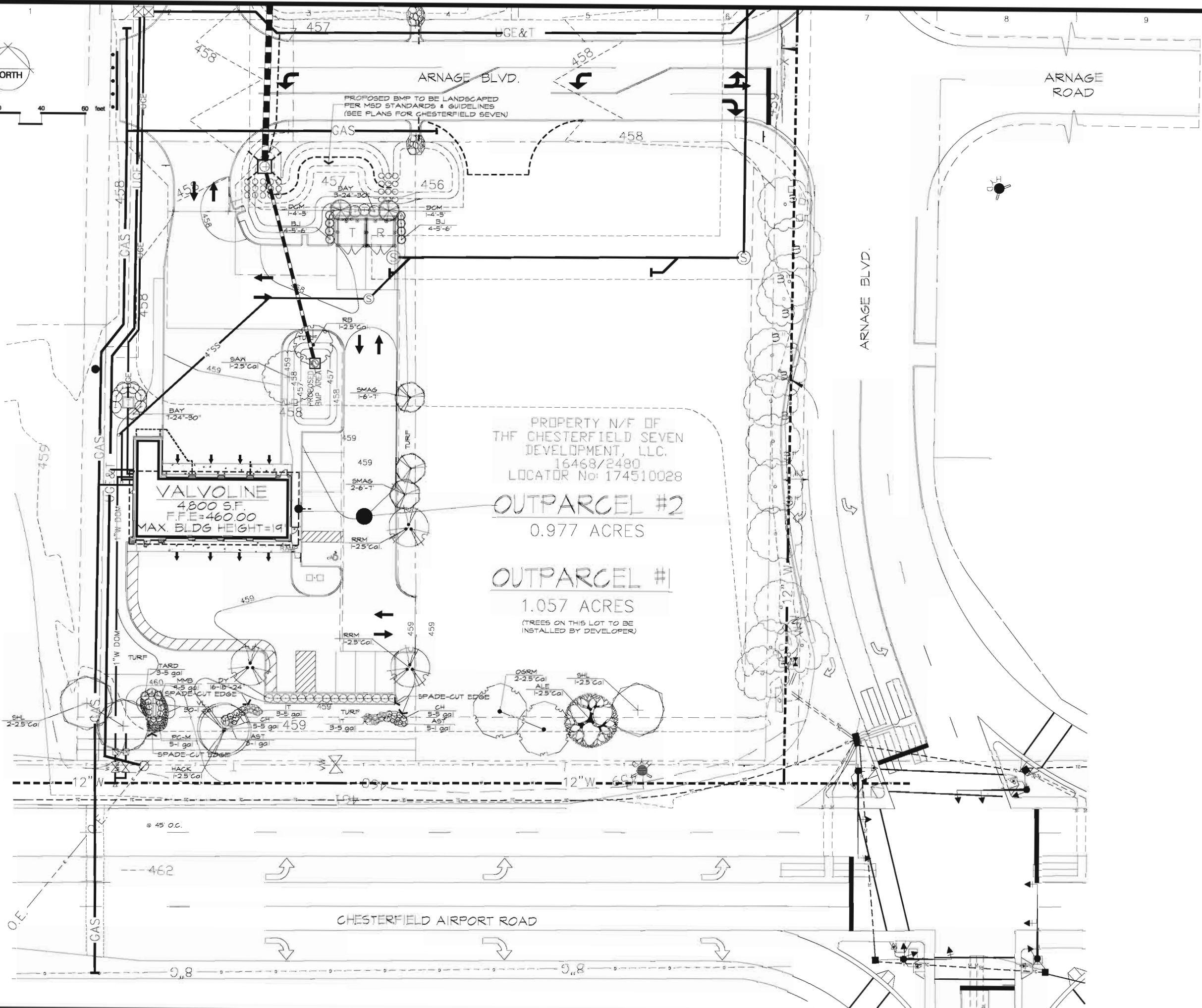
Date
Jan 24 2012

Scale

Drawing No.



0 20 40 60 feet
SCALE 1" = 20'



PROPERTY N/F OF
THE CHESTERFIELD SEVEN
DEVELOPMENT, LLC.
16468/2480
LOCATOR No: 174510028

OUTPARCEL #2
0.977 ACRES

OUTPARCEL #1
1.057 ACRES
(TREES ON THIS LOT TO BE
INSTALLED BY DEVELOPER)

VALVOLINE
4,800 S.F.
F.F.E.=460.00
MAX. BLDG HEIGHT=14

REVISIONS	BY
2/29/12	RWH

landscape TECHNOLOGIES
67 Jacobs Creek Drive
St. Charles, Missouri 63043
Tel: (636) 438-4565
Fax: (636) 438-4565
HQ Landscape Architecture Corporation #2008008702

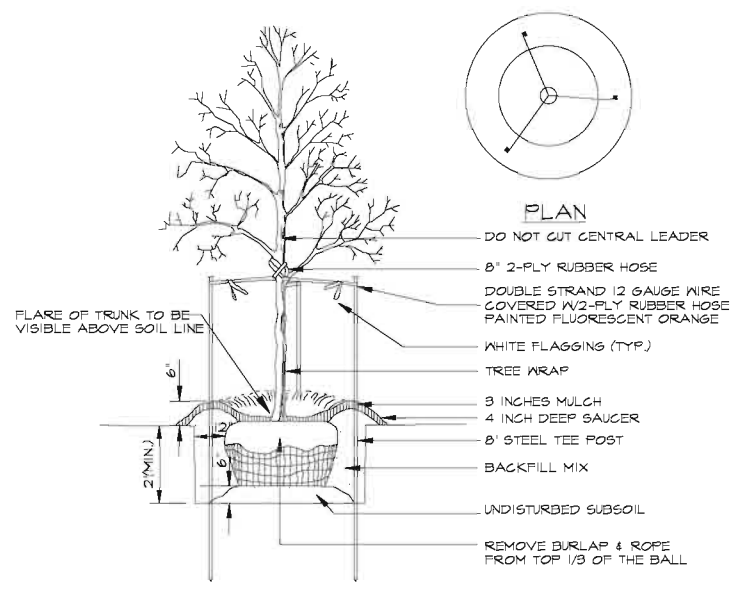
REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT #0000014
RANKALL A. MARDIS
MISSOURI LANDSCAPE ARCHITECT NUMBER 001
DATE: 01/12/12

PLANTING PLAN FOR THE PROPOSED
Valvoline
CHESTERFIELD, MISSOURI

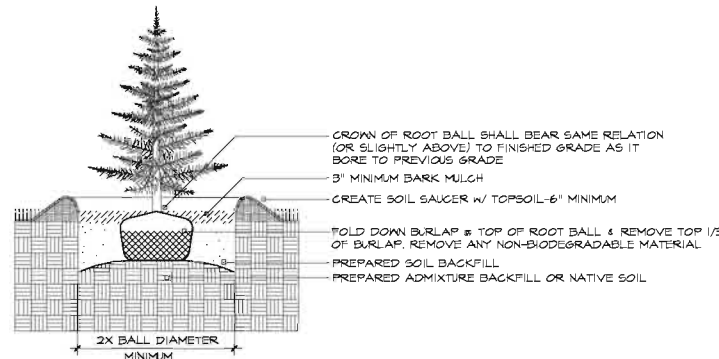
DRAWN
R. MARDIS
CHECKED
RWH
DATE
JANUARY 31, 2012
SCALE
1"=20'
JOB NO
2012-08
SHEET

NOTES:

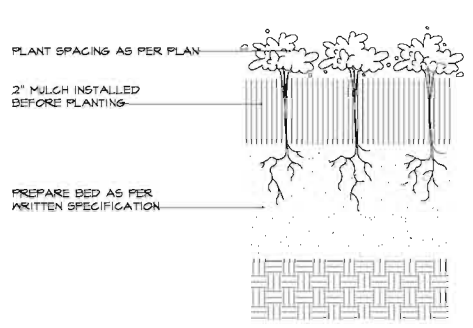
- 1.) All natural vegetation shall be maintained where it does not interfere with construction or the permanent plan of operation. Every effort possible shall be made to protect existing structures or vegetation from damage due to equipment usage. Contractor shall at all times protect all materials and work against injury to public.
- 2.) The landscape contractor shall be responsible for any coordination with other site related work being performed by other contractors. Refer to architectural drawings for further coordination of work to be done. Coordinate locations of trees with the location of proposed light standards, fire hydrants and utilities.
- 3.) Underground facilities, structures and utilities must be considered approximate only. There may be others not presently known or shown. It shall be the landscape contractor's responsibility to determine or verify the existence of and exact location of the above (Call 1-800-DIG-RITE).
- 4.) Plant material are to be planted in the same relationship to grade as was grown in nursery conditions.
- 5.) All mulch to be shredded oak bark mulch at 3" depth (after compaction) unless otherwise noted. Mulch shall be clean and free of all foreign materials. Edge all beds with spade-cut edge unless otherwise noted.
- 6.) It shall be the landscape contractor's responsibility to:
 - A.) Verify all existing and proposed features shown on the drawings prior to commencement of work.
 - B.) Report all discrepancies found with regard to existing conditions or proposed design to the landscape architect immediately for a decision.
 - C.) Stake the locations of all proposed plant material and obtain the approval of the owner's representative or landscape architect prior to installation.
- 7.) The landscape contractor is to receive the site graded to within 1/10 of a foot. Landscape contractor to obtain letter of grade certification from the general contractor prior commencement of work.
- 8.) All planting beds shall be cultivated to 6" depth minimum and graded smooth immediately before planting of plants. Plant groundcover to within 12" of trunk of trees or shrubs planted within the area.
- 9.) All plant material (excluding ground cover, perennials and annuals) are to be warranted for a period of 12 months after installation at 100% of the installed price.
- 10.) All disturbed lawn areas to be seeded with a mixture of Turf-Type fescue (300# per acre) and bluegrass (10# per acre). Landscape contractor shall offer an alternate price for sod in lieu of seed. Lawn areas shall be unconditionally warranted for a period of 90 days from date of final acceptance. Bare areas more than one square foot per any 50 square feet shall be replaced.
- 11.) Items shown on this drawing take precedence over the material list. It shall be the landscape contractor's responsibility to verify all quantities and conditions prior to implementation of this plan. No substitutions of types or size of plant materials will be accepted without written approval from landscape architect.
- 12.) Siltation controls may be required to prevent run-off. Straw bales placed end-to-end shall be used, anchored with no less than two 3/8" X 36" reinforcing rods. Bales shall remain until all graded areas are seeded or sodded.
- 13.) The minimum setback is 30'-0" from an existing or proposed right of way.
- 14.) One (1) tree is required for every fifty (50) lineal feet of street frontage.
- 15.) Landscape islands shall be placed at the ends of parking aisles as required by Ordinance #2512 of the City of Chesterfield Zoning Ordinance:
 - A.) There shall be a minimum landscape width of nine (9) feet and a minimum area of 100 square feet. Provide one (1) deciduous tree per island.
 - B.) At the end of double row parking, a minimum of 210 square feet shall be provided for with a minimum of two (2) deciduous trees per island.
 - C.) Islands shall have plantings consisting of groundcovers such as shrubs, ivy, flowers and grasses. Mulch or rock may be used instead of grass or in combination with grass.
- 16.) Consideration shall be given to the type of grass to be used due to need for drought tolerance in areas without inground irrigation systems. (Examples: Turf Type Tall Fescue blend less than five years old; and Crossfire, a semi-dwarf variety, blended with 5-10% bluegrass and referred to as a Transition mix).
- 17.) A minimum of sixty percent (60%) of the deciduous trees must be of a species which matures at +35', evenly dispersed throughout the project.
- 18.) If the estimated materials cost of new landscaping indicated on the Site Development Plan, as required by the Planning Commission, exceeds one thousand (1,000) dollars, as determined by a plant nursery, the petitioner shall furnish a two (2) year bond or escrow sufficient in amount to guarantee the installation of said landscaping.
- 19.) Upon release of the landscape installation bond, a two (2) year Landscape Maintenance Bond shall be required.



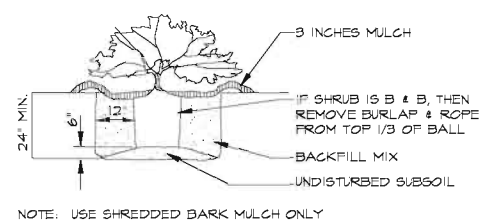
NOTE: USE SHREDDED BARK MULCH ONLY
DECIDUOUS TREE PLANTING
N.T.S.



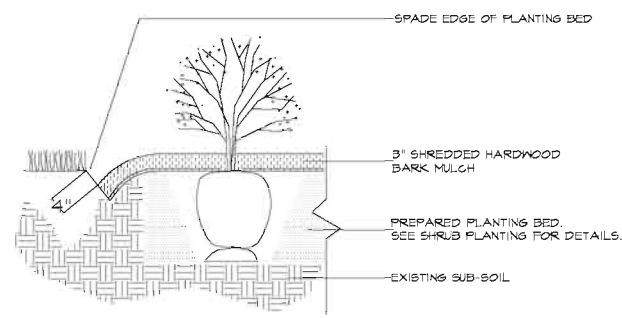
EVERGREEN TREE PLANTING
N.T.S.



PERENNIAL / ANNUAL PLANTING
N.T.S.



NOTE: USE SHREDDED BARK MULCH ONLY
SHRUB PLANTING
N.T.S.



SPADE-CUT EDGE DETAIL
N.T.S.

PLANT SCHEDULE					
TREES	QTY	COMMON NAME / BOTANICAL NAME	SIZE	EVERGREEN/DECIDUOUS	RATE OF GROWTH
ALE	1	Athena Lacebark Elm / <i>Ulmus parvifolia</i> 'Emer II'	2.5' Gal	DECIDUOUS	FAST
HACK	1	Common Hackberry / <i>Celtis occidentalis</i>	2.5' Gal	DECIDUOUS	FAST
RRM	3	Red Rocket Maple / <i>Acer rubrum</i> 'Red Rocket'	2.5' Gal	DECIDUOUS	FAST
SAW	1	Sawtooth Oak / <i>Quercus acutissima</i>	2.5' Gal	DECIDUOUS	MEDIUM
OGRM	2	'October Glory' Maple / <i>Acer rubrum</i> 'October Glory' Specimen only	2.5' Gal	DECIDUOUS	FAST
SHL	3	'Skyline' Locust / <i>Glialtsia triacanthos</i> 'Skyline'	2.5' Gal	DECIDUOUS	FAST
EVERGREEN TREES	QTY	COMMON NAME / BOTANICAL NAME	SIZE	EVERGREEN/DECIDUOUS	RATE OF GROWTH
BJ	3	Burkii Juniper / <i>Juniperus virginiana</i> 'Burkii'	5'-6'	EVERGREEN	MEDIUM
FLOWERING TREES	QTY	COMMON NAME / BOTANICAL NAME	SIZE	EVERGREEN/DECIDUOUS	RATE OF GROWTH
DCM	2	Dynamite Grape Myrtle / <i>Lagerstroemia indica</i> 'White II'	4'-5'	DECIDUOUS	MEDIUM
RB	1	Redbud / <i>Cercis canadensis</i>	2.5' Gal	DECIDUOUS	FAST
SMAG	3	Saucer Magnolia / <i>Magnolia X soulangiana</i>	6'-7'	DECIDUOUS	SLOW
SHRUBS	QTY	COMMON NAME / BOTANICAL NAME	SIZE	EVERGREEN/DECIDUOUS	RATE OF GROWTH
CH	0	China Boy/Girl Holly / <i>Ilex meservae</i> 'China Boy/Girl' TM	5 gal	EVERGREEN	
DY	16	Dense Yew / <i>Taxus media</i> 'Densiformis'	16"-24"	EVERGREEN	
IT	6	Little Henry Sweetspire / <i>Itea virginica</i> 'Little Henry'	5 gal	DECIDUOUS	
MMB	1	Morris Midget Boxwood / <i>Buxus microphylla japonica</i> 'Morris Midget'	5 gal	EVERGREEN	
BAY	7	Northern Bayberry / <i>Myrica pensylvanica</i>	24"-30"	EVERGREEN	
TARD	3	Tardivo Hydrangea / <i>Hydrangea paniculata</i> 'Tardivo'	5 gal	DECIDUOUS	
ANNUALS/PERENNIALS	QTY	COMMON NAME / BOTANICAL NAME	SIZE	EVERGREEN/DECIDUOUS	RATE OF GROWTH
PC-M	5	Purple Coneflower / <i>Echinacea purpurea</i> 'Magnus'	1 gal	DECIDUOUS	
AST	3	Purple Dome Aster / <i>Aster navae-angliae</i> 'Purple Dome'	1 gal	DECIDUOUS	
VL	30	Variegated Lily Turf / <i>Liriope muscari</i> 'Variegata'	1 gal	DECIDUOUS	

REVISIONS	BY
2/23/12	RYM

landscape TECHNOLOGIES

67 Jacobs Creek Dr. W
St. Charles, Missouri 63004
Tel: (636) 432-2669
Fax: (636) 432-2669
www.landscapearchitect.com
Landscape Architectural Corporation #200000012

REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT #000001

RACHAEL A. MARSH
MISSOURI LANDSCAPE ARCHITECT #000001
DATE: 2/23/12

PLANTING PLAN FOR THE PROPOSED

Valvoline

CHESTERFIELD, MISSOURI

DRAWN	R. MARSH
CHECKED	RYM
DATE	JANUARY 31, 2012
SCALE	N.A.
JOB No.	2012-108
SHEET	
L-2	
OF 1740 SHEETS	



17457 Chesterfield Airport Rd. Chesterfield, MO

2/22/12



17457 Chesterfield Airport Rd. Chesterfield, MO

2/22/12

February 21, 2012

**Re: Chesterfield Seven Development – Valvoline
Chesterfield, Missouri**

ARCHITECTS STATEMENT

The following items identify how the City of Chesterfield Architectural Review Board guidelines are being addressed for the above mentioned project:

INTRODUCTION

The Chesterfield Commons development has provided the City of Chesterfield with quality business and commercial development in the Chesterfield Valley. THF Realty and Valvoline Instant Oil Change brings you a new addition to the Chesterfield Commons development. Valvoline will be located on Lot 2 of Chesterfield Seven Development which is located at the Northwest corner of the intersection of Chesterfield Airport Road and Public Works Drive. The building will imitate the architectural style and scale of the surrounding Chesterfield Commons development.

The new Valvoline building will provide approximately 2,500 S.F. of new Service Retail space. Vehicular movement to and through the site to parking and building entries is convenient, expedited by the inner development drive, Arnage Road with cross access to Outlot 1.

GENERAL REQUIREMENTS FOR SITE DESIGN

A. Site Relationships

The site consists of 0.977 acres and is a flat parcel of land with multiple existing metal barn structures. The existing barn structures will be demolished and finish grading will be required to prepare the building pad, but there will not be a significant change in the pad elevation. No retaining walls will be required to tie grades to adjacent properties. The building's general orientation is intended to make its frontage and entries plainly visible to the surrounding access roadways while using landscaping to screen its trash enclosures from the neighboring roadways. Sidewalks are included to establish safe, recognizable and convenient pedestrian access to the building's entry doors.

B. Circulation System & Access

Vehicular and pedestrian patterns are simple and direct. Vehicular access is provided via the interior development drive Arnage Road and cross access with Outlot 1 to the East. The building is centrally located in the parking lot and the parking field is kept as close as possible to the entry elements. This eliminates the need for pedestrians' path of travel to cross multiple vehicular drive aisles to access the building. Walkways are provided to separate pedestrians from vehicular movements whenever possible. The radii on the proposed pavement areas are such that emergency, delivery and waste hauling vehicles can easily access and circulate through the site. The development is not on the City Bikeway and we have not incorporated an internal bike circulation system. Bikes may be parked in non-handicap spaces at near the entrance to the building, which is highly visible.

C. Topography

1. Due to the flatness of the development it is not possible to incorporate berms or other forms of topography to screen each portion of the development. All surrounding areas are commercial and of similar use.
2. Minimal changes will be made to the existing topography of the site.
3. All grade changes will be soft, smooth, and pleasing to the eye. There will not be any abrupt changes in grade.

D. Retaining walls

1. There are not any retaining walls proposed for this project.

GENERAL REQUIREMENTS FOR BUILDING DESIGN

A. Scale

Building elements are highly compatible in scale and general color appearance with the neighboring buildings. The main objective is to create an attractive and clear expression of the building through the use of glass and canopy projections that will attract favorable attention to itself and the use of stone and brick to provide changes in wall texture and color in proportional amounts.

B. Design

1. The building incorporates a combination of masonry, stone, EIFS, and glass materials to create variety in the design's composition, while maintaining a strong architectural rhythm horizontally and vertically across the building's elevations.
2. Landscaping will be used in the foreground to break up the building façade to avoid linear repetitiveness.
3. The building utilizes some of the corporate trade dress colors coupled with the traditional Chesterfield Commons materials to provide some identity but logos and other franchise designs have been avoided.
4. All building elevations will be architecturally enhanced to clearly define the architectural unity of the constituent building and so that each elevation is presentable to public view. Masonry wainscoting, horizontal banding and texture changes are utilized to articulate the facades particularly at street level.
5. There are not any sculptures or other art elements currently proposed.
6. This building is responsive to energy conservation by the use of well insulating materials throughout.
7. The use of concrete and masonry which are recyclable materials are used as environmentally conscious building techniques and materials.
8. Entry recesses and an EIFS entry tower are used to cover and articulate the building entry.
9. There are not any plans for temporary barrier walls.
10. The HVAC units will be located within the space with only exhaust vent stacks on the roof.

C. Materials and Colors

The design, general scale, and orientation of the buildings are intended to reinforce and create a cohesive visual relationship between the neighboring Chesterfield Commons development and this proposed development. The building incorporates a combination of masonry, stone, and glass materials to create variety in the design's composition, while maintaining a strong architectural rhythm horizontally and vertically across the building's elevations.

D. Landscape Design and Screening

The Landscape design has been prepared by Landscape Technologies to tie into the overall development landscaping. A mixture of deciduous and evergreen trees and shrubs has been used to provide color and interest all year round. All landscape beds are protected from motor vehicles by raised concrete curbs. Trash enclosures are screened by landscaping and is located at the least visible corner of the building.

E. Signage

1. It is understood that signage will require a separate review. The building sign location has been integrated into the building design.

F. Lighting

It is understood that the site lighting is not reviewed as part of the ARB process, however the lighting proposed complies with the City of Chesterfield requirements. There is minimal spill over onto adjacent right-of-ways and all exterior fixtures have fully cut-off lenses.

SPECIFIC REQUIREMENTS FOR THE CHESTERFIELD VALLEY

The materials and architectural treatments are utilized on all sides of the building. The building faces away from Highway 40 and the main parking field is located on the south and east side of the building away from the Highway 40 Right-of-way with Outlot 3 being between this lot and Highway 40. Trash and storage will be in the rear of the building and will be screened with masonry screen walls to match the building. All new utilities will be installed underground.

CONCLUSION

In conclusion, we feel that this site and building design results in a wonderful addition to the development of Chesterfield Valley and is an exciting addition to the commercial environment in the City of Chesterfield.

Respectfully Submitted by:
TR,i Architects