



II. B.

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Architectural Review Board Staff Report

Project Type: Amended Architectural Elevations

Meeting Date: March 17, 2011

From: Mara Perry, AICP
Senior Planner

Location: Baxter Road south of its intersection with Wild Horse Creek Road

Applicant: Pulte Group

Description: **The Reserve at Chesterfield Village (Phase Two):** Amended Architectural Elevations and an Architect's Statement of Design for a 17.65 acre lot of land zoned "R5" and "FPR5" Residence District with a "PEU" Planned Environment Unit located at Baxter Road south of the intersection with Wild Horse Creek Road.

PROPOSAL SUMMARY

The Pulte Group has submitted a request for Amended Architectural Elevations for Phase Two of the Reserve at Chesterfield Village. The request is for approval of single story, single-family detached homes as an option within the development.

HISTORY OF SUBJECT SITE

Prior to the incorporation of the City of Chesterfield, this property was zoned "R5" and "FPR5" Residence District with a "PEU" Planned Environment Unit by St. Louis County via Ordinance 6816. The Ordinance was amended by St. Louis County three (3) times after that with Ordinances 10,240; 12,717; and 12,755. In 1996, the City of Chesterfield approved Ordinance 2021 which incorporated a series of amendments to the original ordinance into one (1) new ordinance.

In July of 2006, two (2) Site Development Section Plans were approved by the Planning Commission for Phase One and Phase Two of the Reserve at Chesterfield Village. The project was required to be done in phases due to a limit on the acreage per section plan in the ordinance. The request was for thirty (30) single-family detached homes, sixty-four (64) single-family attached homes and ninety-six (96) garden homes in five (5) two-story structures.

A record plat for Phase One of the development was approved by the City Council in October of 2007. In November of 2009, an Amended Site Development Section Plan was approved along with Amended Architectural Elevations for Phase One of the development. This amendment

allowed for twenty-six (26) of the previously approved attached single-family homes to be built as detached single-family homes.

Construction has not yet begun on the area known as Phase Two of the development. Pulte Homes is in the process of requesting approval of a 2nd Amended Site Development Section Plan for Phase One and an Amended Site Development Section Plan for Phase Two. They propose to remove the ninety-six (96) garden homes from the development plans along with changing the attached single-family homes in Phase Two to detached single-family homes.



STAFF ANALYSIS

General Requirements for Site Design:

A. Site Relationships

Addressed As Written Addressed with Modification Not Applicable

The infrastructure for the subject site is primarily built out and the overall relationship of the project to the site and surrounding areas has been addressed through previously approved plans.

B. Circulation System and Access

Addressed As Written Addressed with Modification Not Applicable

The circulation and access to the site has already been approved and the changes to the internal roadways will be reviewed and approved with the Amended Site Development Section Plan. Staff is reviewing additional pedestrian circulation issues with the Site Development Plan.

C. Topography

Addressed As Written *Addressed with Modification* *Not Applicable*

The subject site has already been graded and the improvement plans will be approved with the Amended Site Development Section Plan.

D. Retaining Walls

Addressed As Written *Addressed with Modification* *Not Applicable*

No new retaining walls are being proposed for the overall development.

General Requirements for Building Design:

A. Scale

Addressed As Written *Addressed with Modification* *Not Applicable*

The overall scale of the existing homes and homes under construction is between twenty-eight (28) and thirty (30) feet in height. These consist of two (2) story and one and a half (1-1/2) story homes. The proposed single story homes would be approximately twenty-four (24) feet in height. Similar details in the massing of the roofline and the entryways are being proposed for all elevations in the development.

B. Design

Addressed As Written *Addressed with Modification* *Not Applicable*

The proposed elevations include recessed entries, a covered porch area, and varied roof massing. Optional dormer windows can be added to the upper roofline.

C. Materials and Color

Addressed As Written *Addressed with Modification* *Not Applicable*

The proposed elevations throughout the development include a mixture of materials and colors on the front elevations. All elevations are proposed to use masonry materials on a portion of the front elevation. Siding is proposed on the side and rear elevations which match the overall color palettes proposed.

D. Landscape Design and Screening

Addressed As Written *Addressed with Modification* *Not Applicable*

Landscape for the development will be approved with the Amended Site Development Section Plan.

E. Signage

Addressed As Written *Addressed with Modification* *Not Applicable*

Signage for the development has been approved.

F. Lighting

Addressed As Written *Addressed with Modification* *Not Applicable*

Street Lighting will be approved with the Amended Site Development Section Plan.

Use Type: Residential Architecture

Access: addressed above in the Requirements for Site Design.

Exterior Elements: a landscape buffer is being proposed along Baxter which buffers the rear facades from the external street. This is in keeping with the already approved and constructed homes in Phase One.

Landscaping and Screening: addressed above in the Requirements for Site Design.

Scale: due to the site topography, many of the locations do have an option for a walk out basement. The overall pattern of the homes being built provides a variety that could include single story options.

Site Design: has already been addressed in the Site Development Plan approval.

DEPARTMENTAL INPUT

Staff has reviewed the Amended Architectural Elevations and has found the application to be in conformance with City of Chesterfield Ordinance 2021, and all other applicable Zoning Ordinance requirements. Staff requests action on the Amended Architectural Elevations for The Reserve at Chesterfield Village, Phase Two. See the attached Exhibit A for the previously approved elevations for both Phase One and Two for the single family attached and detached units.

MOTION

The following options are provided to the Architectural Review Board for consideration relative to this application:

- 1) "I move to forward the Amended Architectural Elevations for The Reserve at Chesterfield Village, Phase Two, as presented, with a recommendation for approval (or denial) to the Planning and Development Services Director."
- 2) "I move to forward the Amended Architectural Elevations for The Reserve at Chesterfield Village, Phase Two, to the Planning and Development Services Director with the following recommendations..."

Attachments

1. Architectural Review Packet Submittal

Elevations approved by the Planning Commission in 2006 for Phases One and Two

Chesterfield Architectural Review Board Submittal—The Reserve at Chesterfield Village

Single-Family Homes—Front and Rear Elevations



Chesterfield Architectural Review Board Submittal—The Reserve at Chesterfield Village

Single-Family Homes—Side Elevations



Single Family Detached

Chesterfield Architectural Review Board Submittal—The Reserve at Chesterfield Village

Villa Homes—Front Elevation



Chesterfield Architectural Review Board Submittal—The Reserve at Chesterfield Village

Villa Homes—Rear Elevation



Single Family Attached

Elevations approved by the Planning Commission for lots in Phase One that had been attached unit locations and became detached lots in 2009





ARCHITECTURAL REVIEW BOARD
Project Statistics and Checklist

Date of First Comment Letter Received from the City of Chesterfield _____

Project Title: Reserve @ Chesterfield Village Location: N/E quad. Baxter Rd.; Pine Copse Path

Developer: Pulte Homes St. Louis Architect: _____ Engineer: Stedk Assoc.

PROJECT STATISTICS:

Size of site (in acres): 17 Total Square Footage: _____ Building Height: 2 story, max.

Proposed Usage: Detached single family residences

Exterior Building Materials: Brick, stone, vinyl siding, glass

Roof Material & Design: Asphalt shingles

Screening Material & Design: NA

Description of art or architecturally significant features (if any): _____

ADDITIONAL PROJECT INFORMATION:

Checklist: Items to be provided in an 11" x 17" format

- Color Site Plan with contours, site location map, and identification of adjacent uses.
- Color elevations for all building faces.
- Color rendering or model reflecting proposed topography.
- Photos reflecting all views of adjacent uses and sites.
- Details of screening, retaining walls, etc.
- Section plans highlighting any building off-sets, etc. (as applicable)
- Architect's Statement of Design which clearly identifies how each section in the Standards has been addressed and the intent of the project.
- Landscape Plan.
- Lighting cut sheets for any proposed building lighting fixtures. (as applicable)
- Large exterior material samples. (to be brought to the ARB meeting)
- Any other exhibits which would aid understanding of the design proposal. (as applicable)
- Pdf files of each document required.

Reserve at Chesterfield Village Architectural Statement

Presently the site has been rough graded. Further grading will be performed to provide for lots to accommodate detached single family residences. Residential units will be located along a loop street and a cul-de-sac street with the scale of buildings consistent with the existing detached residences south across Pine Copse Path. The loop street will form a natural continuation of the existing street pattern to the south. Internal sidewalks will be provided to afford pedestrian access throughout the community as well as connect to the system which exists to the south and along Baxter Road.

As proposed by the original builder, home designs will include a mix of ranch, one and a half story and two story designs. All homes will have a three car garage. A variety of elevations are proposed utilizing building materials of brick, stone, siding and shingle roofs which will be compatible with materials of existing residential development in the area.

Landscaping and lighting of the streetscape will be in accordance with the provisions of the Subdivision Ordinance of the city of Chesterfield. Areas of vegetation planted along the north and west perimeters in conjunction with tree mitigation will be retained. Additional plantings will be provided in keeping with the tree mitigation plan previously approved by the city. The existing landscaped monument at Baxter Road will be retained. Site utilities will be underground and drainage will be in accord with applicable requirements. No new retaining walls are planned at this time.

February 14, 2011

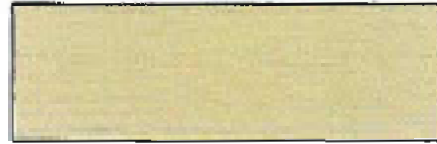
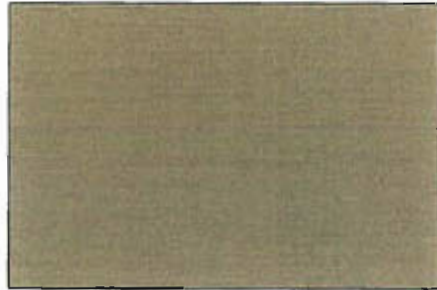
Scheme# 128

3-Tab Shingle
(per community)



Dimensional Shingle
(per community)

Horizontal
Siding

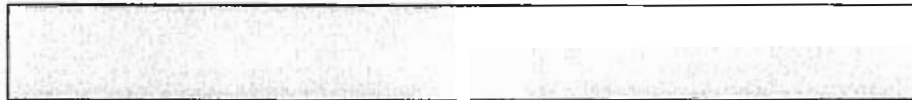


Shake
Siding



Board & Batten
Siding

Trim*



Vinyl Shutters



Entry Door

Brick



Stone

February 14, 2011

Scheme# 134

3-Tab Shingle
(per community)



Dimensional Shingle
(per community)

Horizontal
Siding



Shake
Siding



Board & Batten
Siding

Trim*

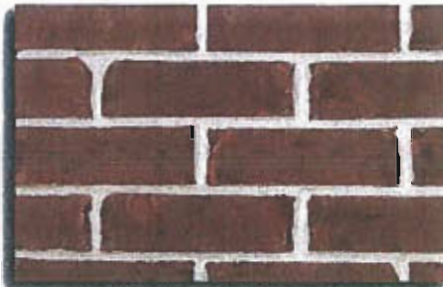


Vinyl Shutters



Entry Door

Brick



Stone

February 14, 2011

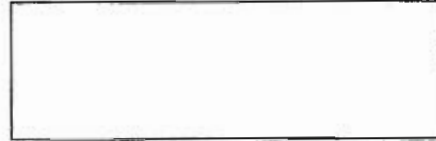
Scheme# 130

3-Tab Shingle
(per community)



Dimensional Shingle
(per community)

Horizontal
Siding



Shake
Siding



Board & Batten
Siding

Trim*



Vinyl Shutters



Entry Door

Brick



Stone

February 14, 2011

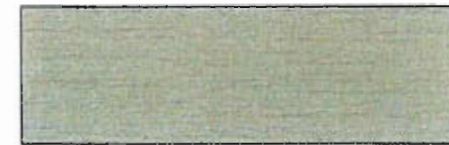
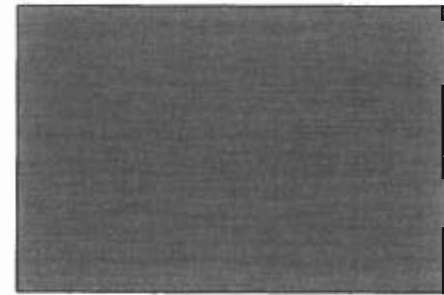
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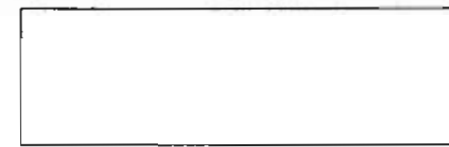


Dimensional Shingle
(per community)

Horizontal
Siding

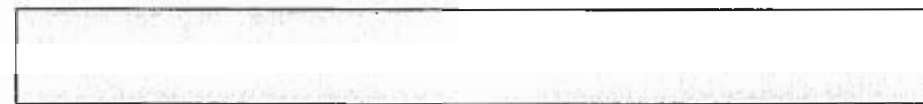


Shake
Siding



Board & Batten
Siding

Trim*



Vinyl Shutters



Entry Door

Brick



Stone

February 14, 2011

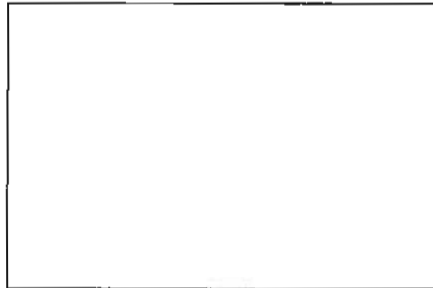
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Dimensional Shingle
(per community)

Horizontal
Siding

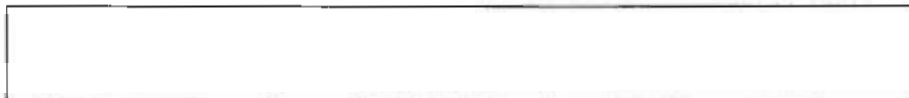


Shake
Siding



Board & Batten
Siding

Trim*



Vinyl Shutters



Entry Door

Brick



Stone







038







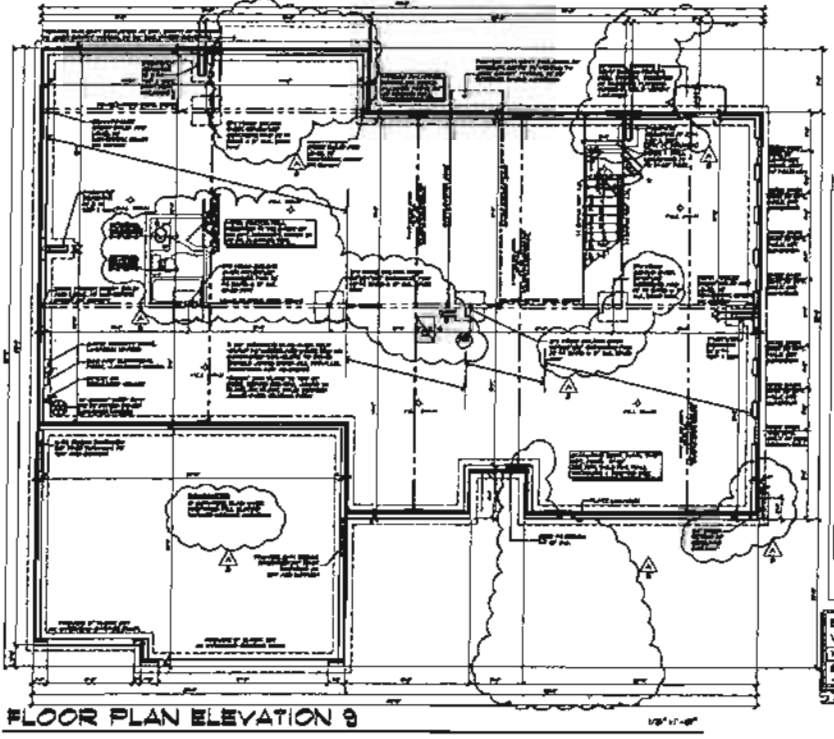
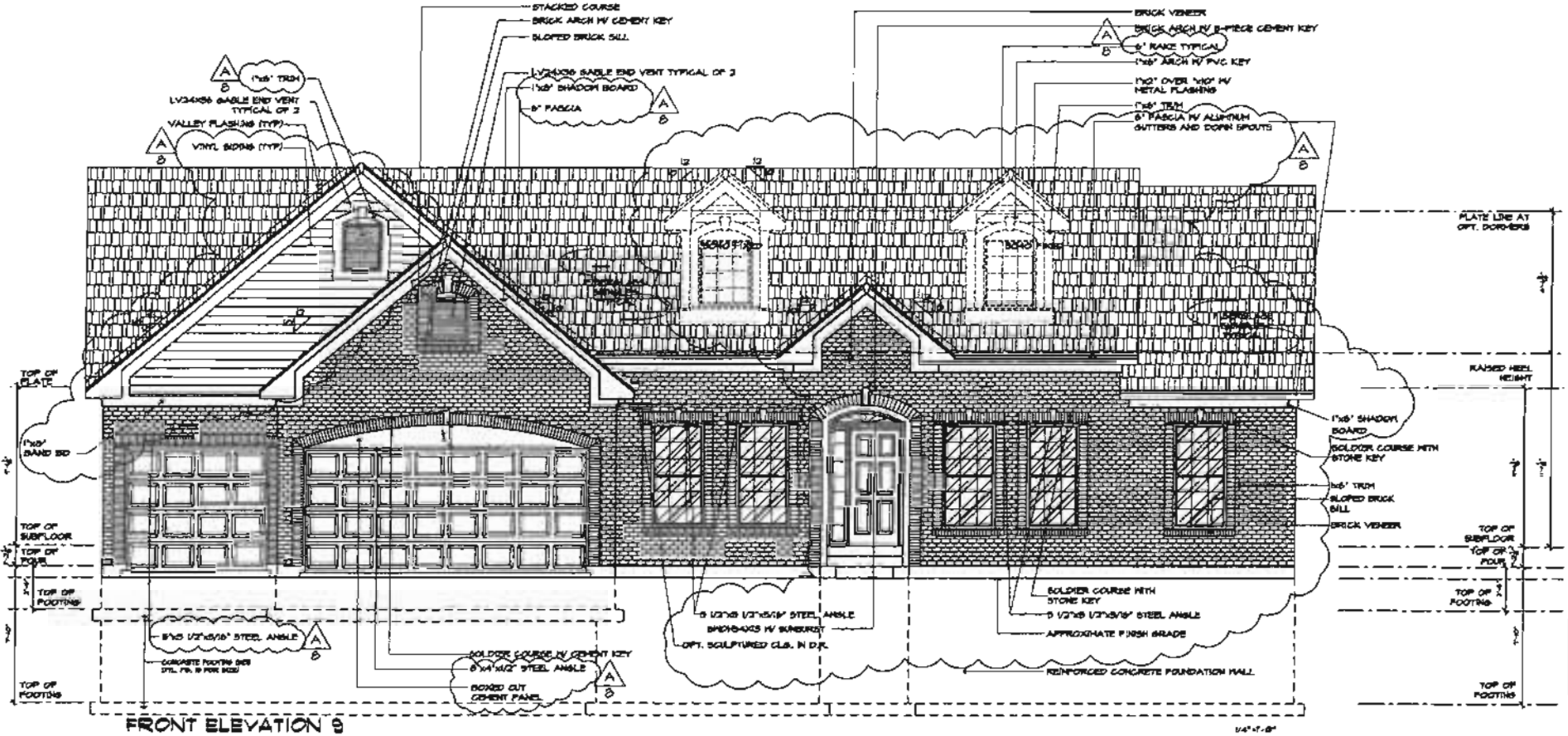
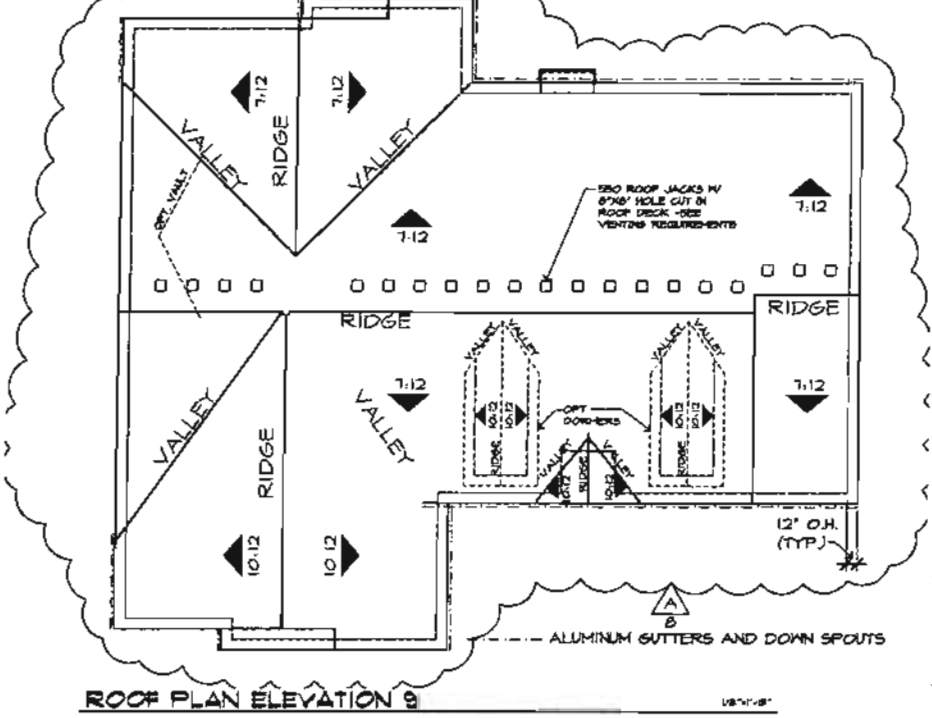
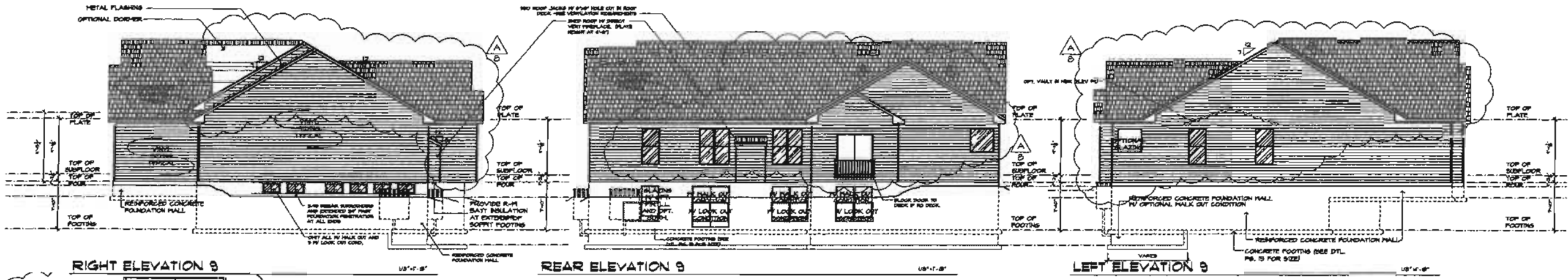












Ventilation Requirements 5/29/2009
Augusta Standard Plan (Elevation "3")
Helmek Series

Airic Area	3411
1/300 th of area	11.37
Adjusted Value	1637.28

High Venting Requirements based on 1/300th of applicabl

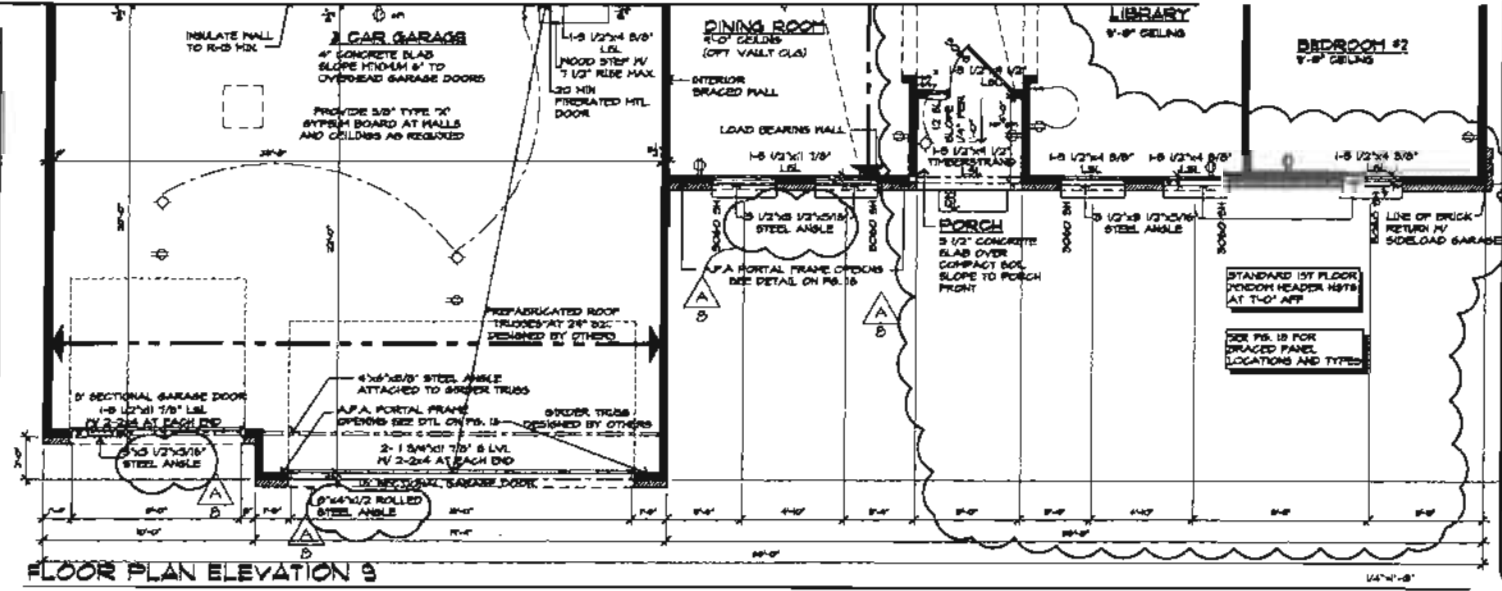
Required Venting	818.64	Net	
Venting Method	50	17	650
550 Roof Jacks w/ 6" hole cut in roof deck	0	0	0
Total Provided Ventilation: 650			
Meets High Ventilation Requirements: Yes			

Low Venting Requirements

Required Venting	818.64	All Elevations	
Venting Method	28	50	840
4" x 16" wall vents at 6" o.c.	0	0	0
Total Provided Ventilation: 840			
Meets Low Ventilation Requirements: Yes			

BASEMENT NATURAL VENT REQUIREMENT

Net Area	11.37
1/300 th of area	11.37
Adjusted Value	11.37



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The general contractor is to be selected by the owner. The professional engineer shall verify the structural requirements of the building. The contractor shall be responsible for obtaining all necessary permits and for the safety of the construction. The contractor shall be responsible for the completion of the project.

THE JONES COMPANY
Residential Division
1001 S. Main Street
Augusta, GA 30602
Phone: 706.733.1111
Fax: 706.733.1112

Augusta
MYNACREST
MYNACREST
Master plan prepared for The Jones Company

GLANTZ & ASSOCIATES ARCHITECTS
501 NORTH LINDBERGH BLVD.
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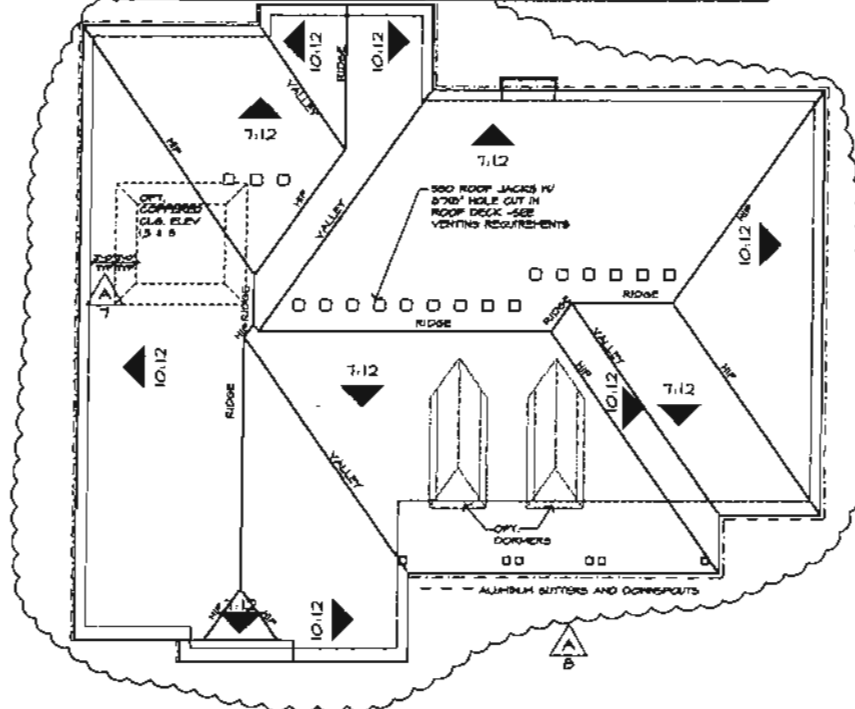
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BLANTZ JOB NUMBER:
DATE: July 2, 2007
SHEET REV. 4A OF 18



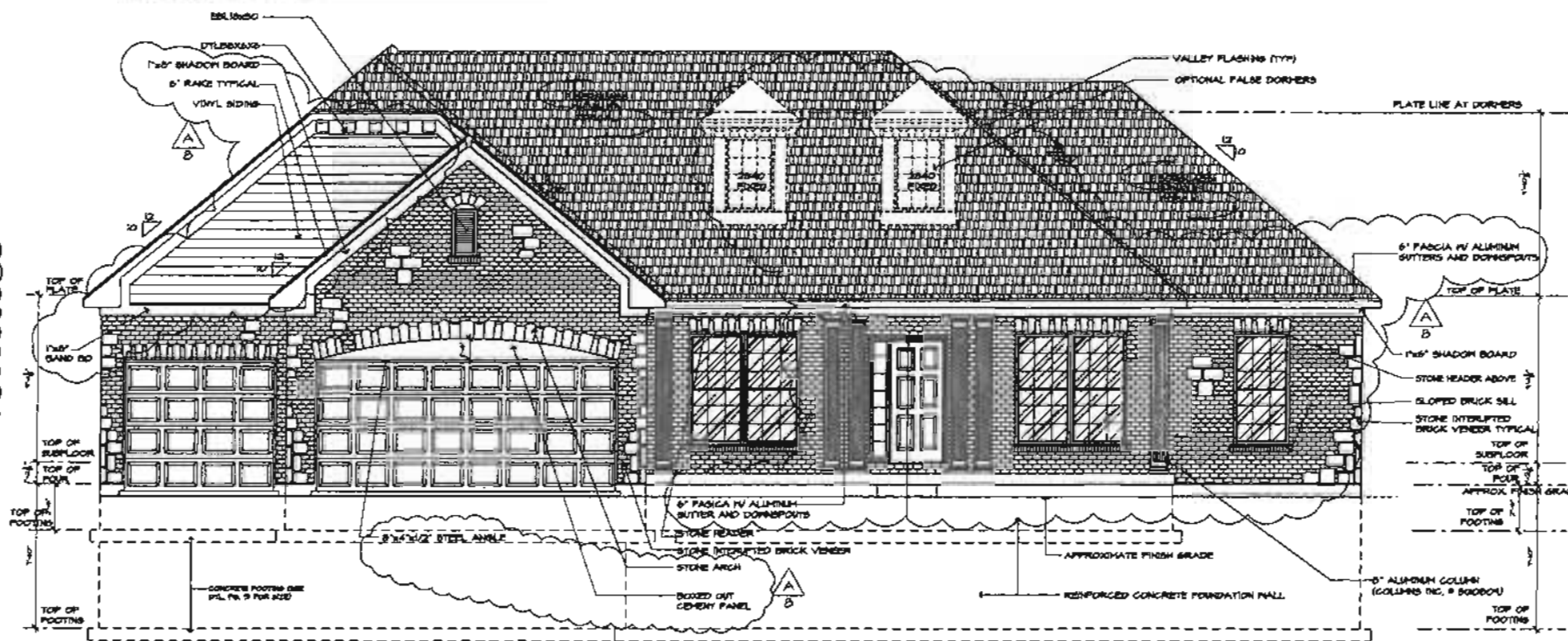
RIGHT ELEVATION 10

REAR ELEVATION 10

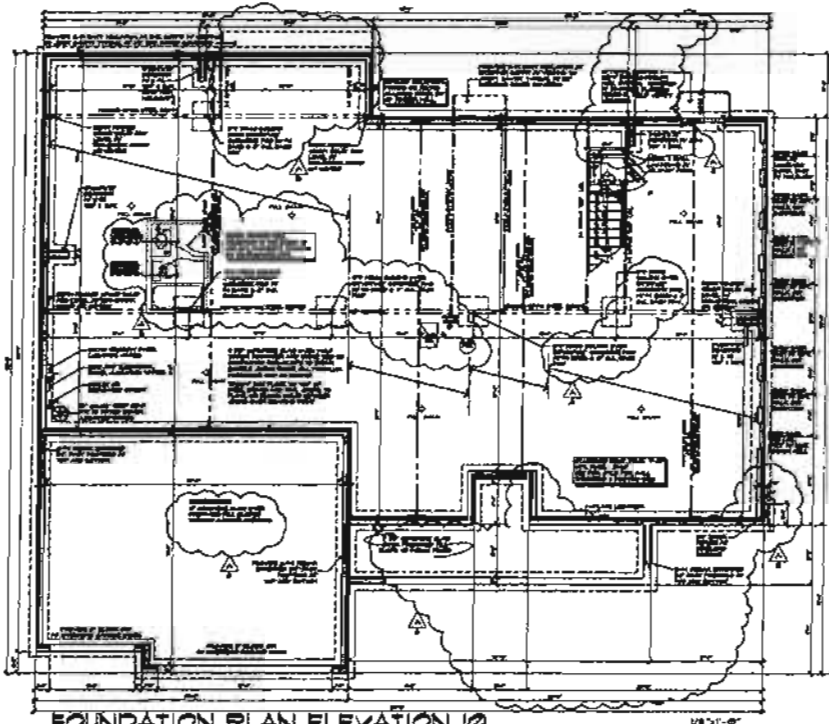
LEFT ELEVATION 10



ROOF PLAN | ELEVATION 10



FRONT ELEVATION 10



FOUNDATION PLAN ELEVATION 10

Augusta Standard Plan (Elevation "1")
Hallmark Series

Attic Area	3580
1/300 th of area	11.93
Adjusted Value	1718.4

High Venting Requirements based on 1/300th of applicable
Required Venting 859.2

Venting Method	Net Free Area	No.	Total
550 Roof Jacks w/ 1/2" hole cut in roof deck	50	18	900
	0	0	0
Total Provided Ventilation			900

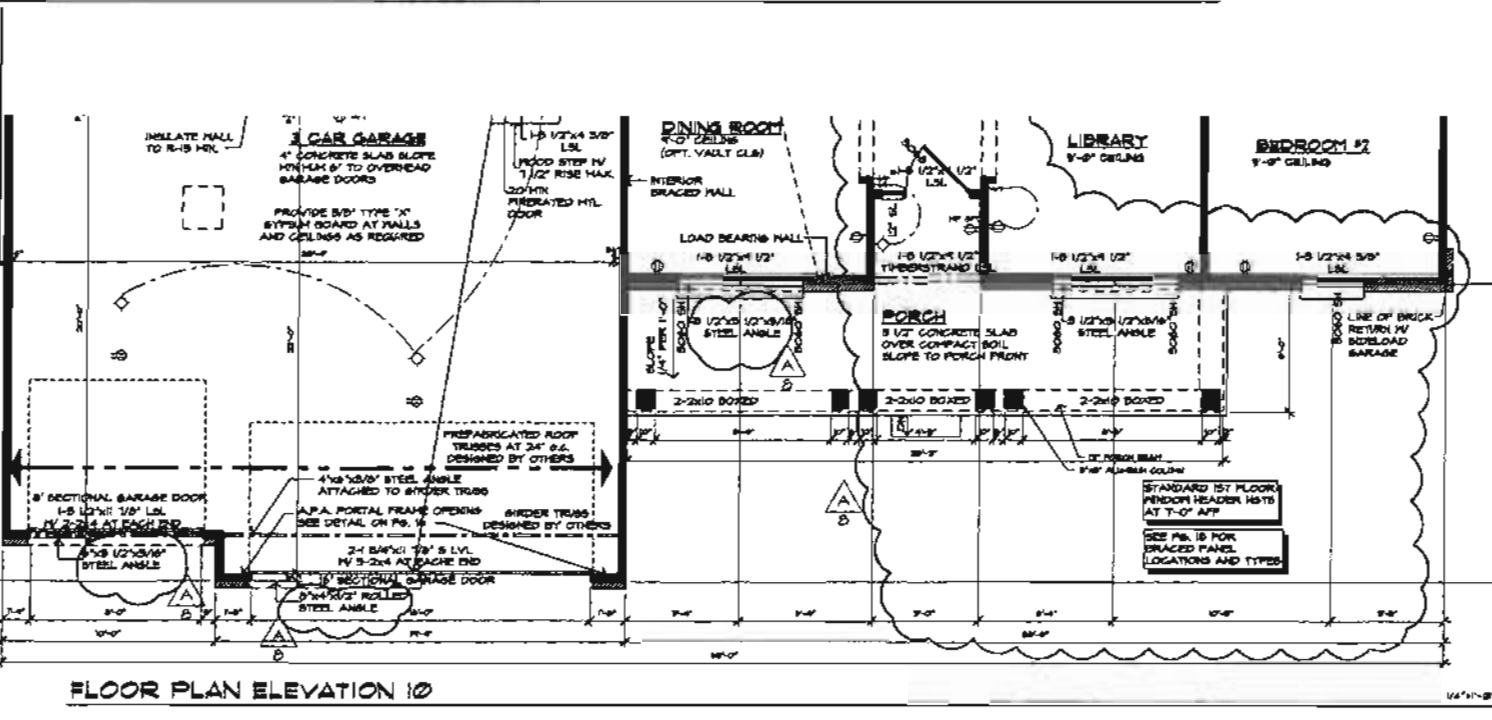
Meets High Ventilation Requirements Yes

Low Venting Requirements
Required Venting 859.2

Venting Method	Net Free Area	No.	Total
2" x 10" soffit vents at 8'-0" o.c.	28	31	868
	0	0	0
Total Provided Ventilation			868

Meets Low Ventilation Requirements Yes

BASEMENT NATURAL VENT REQUIREMENT	
Net Free Area	23.08
2" x 10" soffit vents, 1/2" hole cut in roof deck	28.14
STANDARD	



FLOOR PLAN ELEVATION 10

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Augusta
WYNNECREST
Master Plan Prepared for The Jones Company

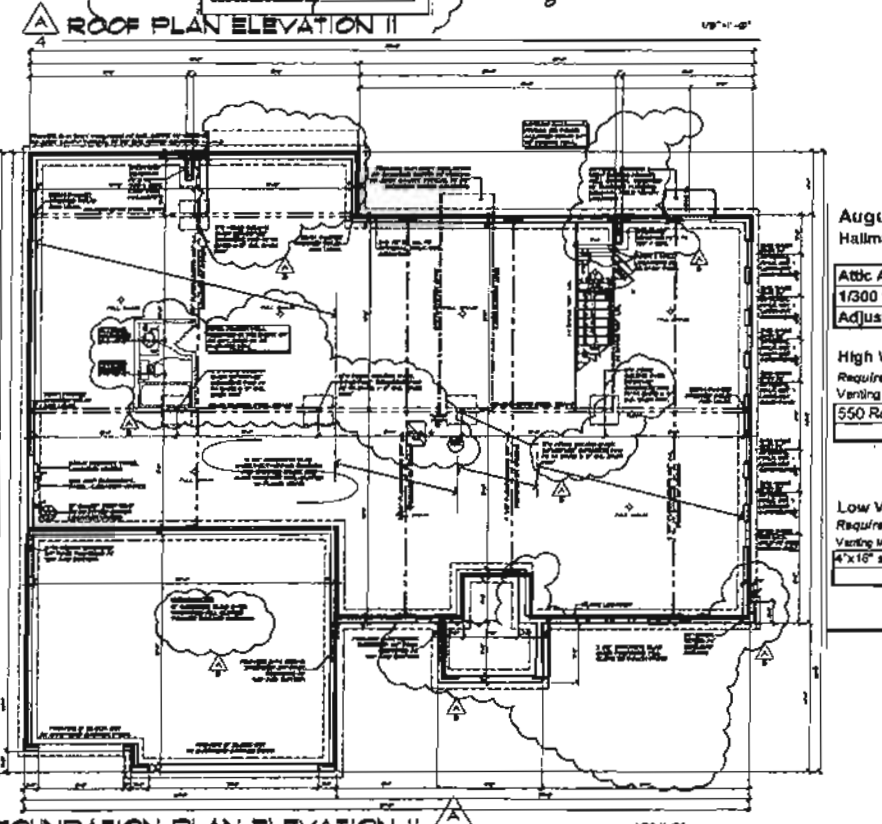
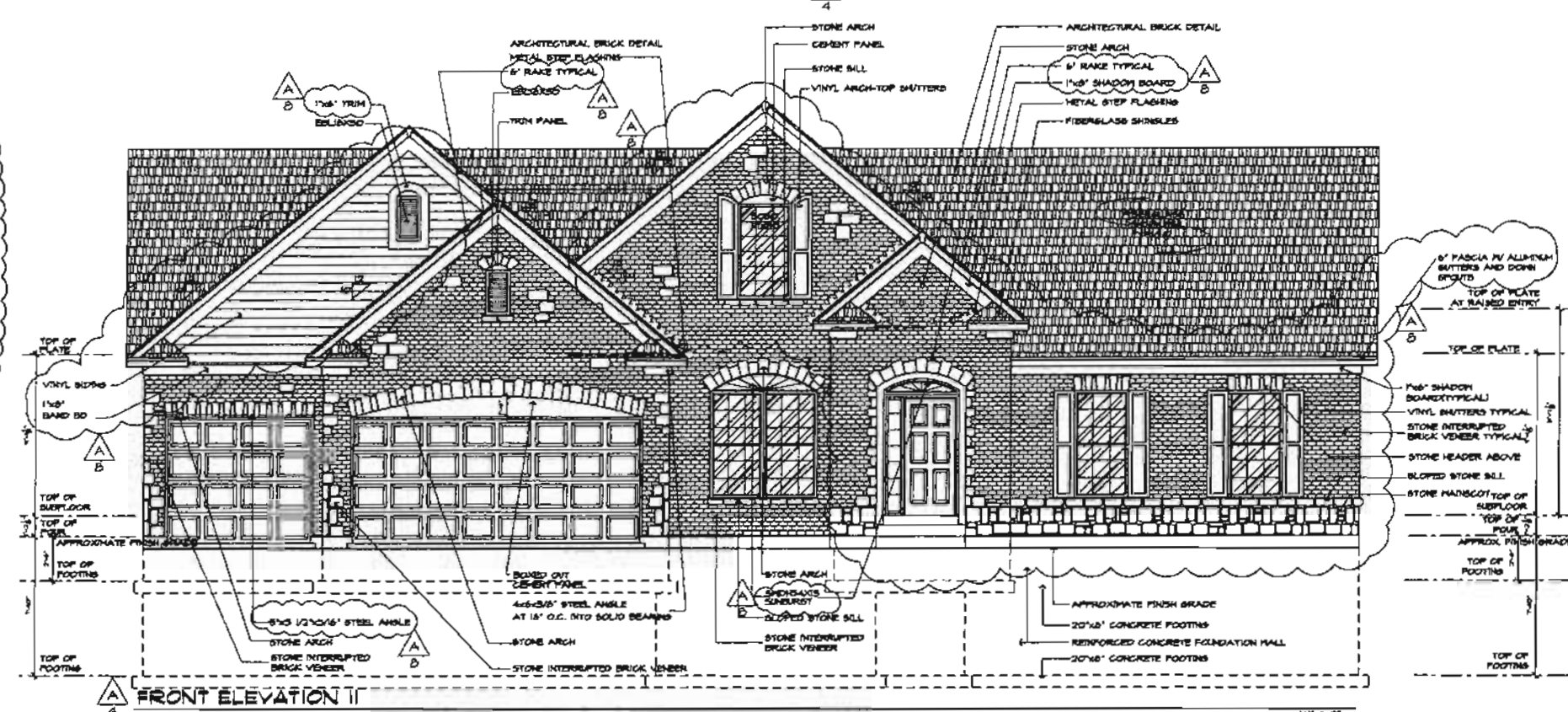
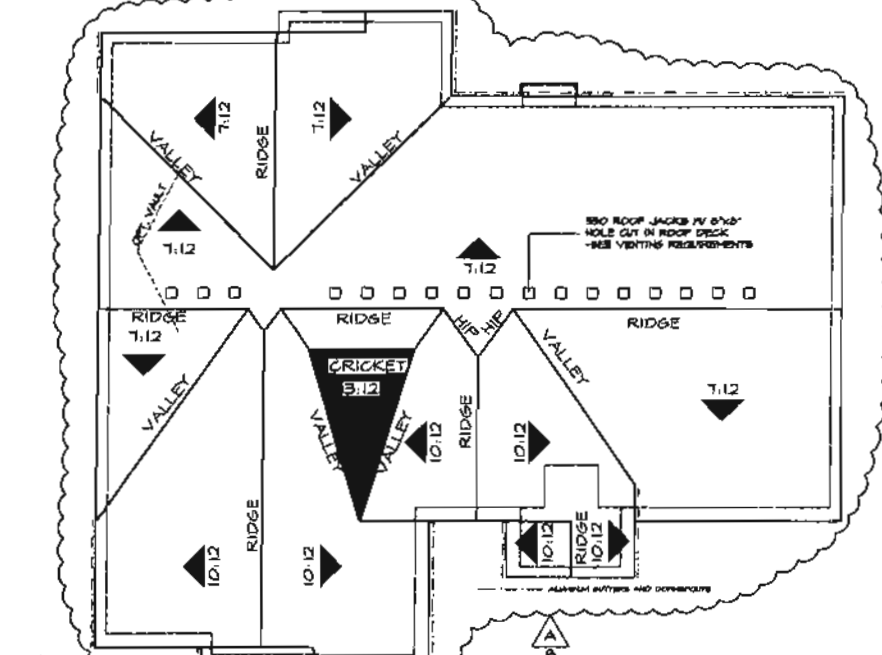
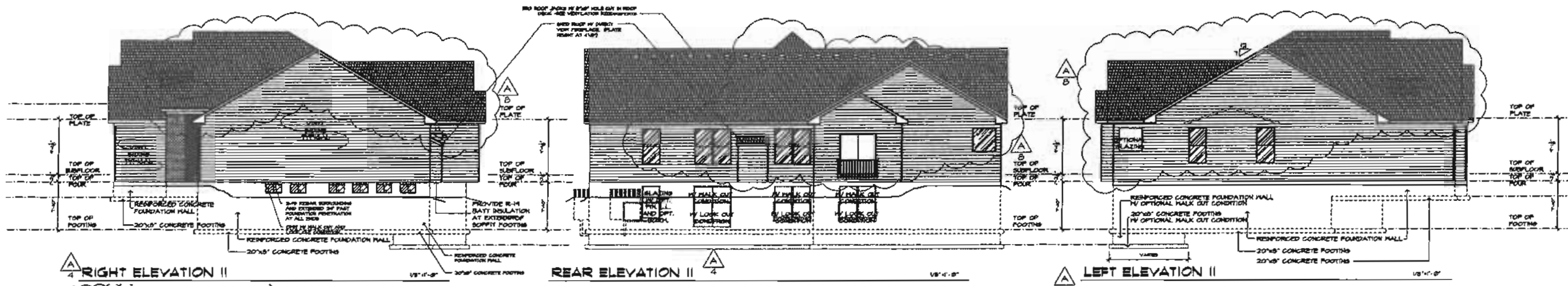
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COMPUTER JOB NUMBER
1004

GLANTZ JOB NUMBER

DATE
July 2, 2001

SHEET REV.
6A
OF
18



Augusta Standard Plan (Elevation "1")
Hallmark Series

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1/300 th of area	11.93
Adjusted Value	1718.4

High Venting Requirements based on 1/300th of applicability
Required Venting 859.2

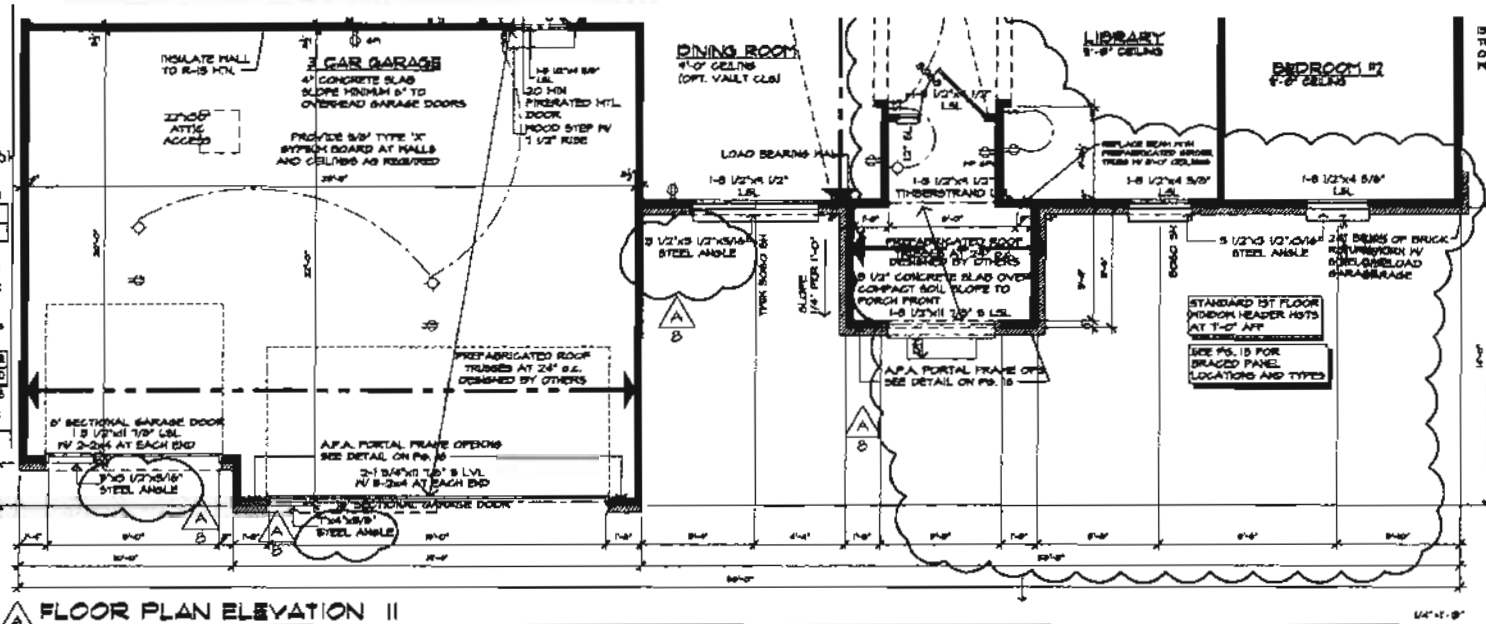
Venting Method	Net Free Area	No.	Total
550 Roof Jacks w/ 6\"/>			
	50	16	800
	0	0	0
Total Provided Ventilation	50	16	800

Meets High Ventilation Requirements Yes

Low Venting Requirements
Required Venting 859.2

Venting Method	Net Free Area	No.	Total
4\"/>			
	26	31	808
	0	0	0
Total Provided Ventilation	26	31	808

Meets Low Ventilation Requirements Yes



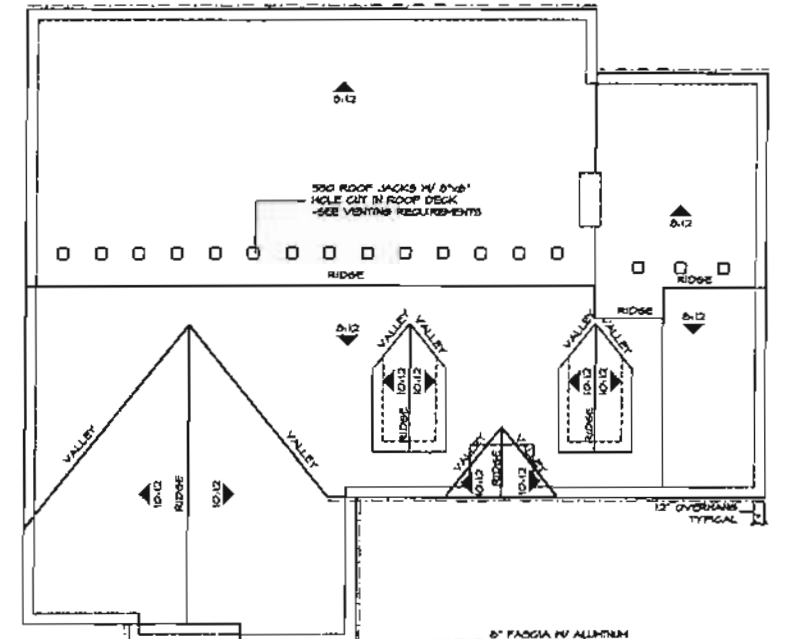
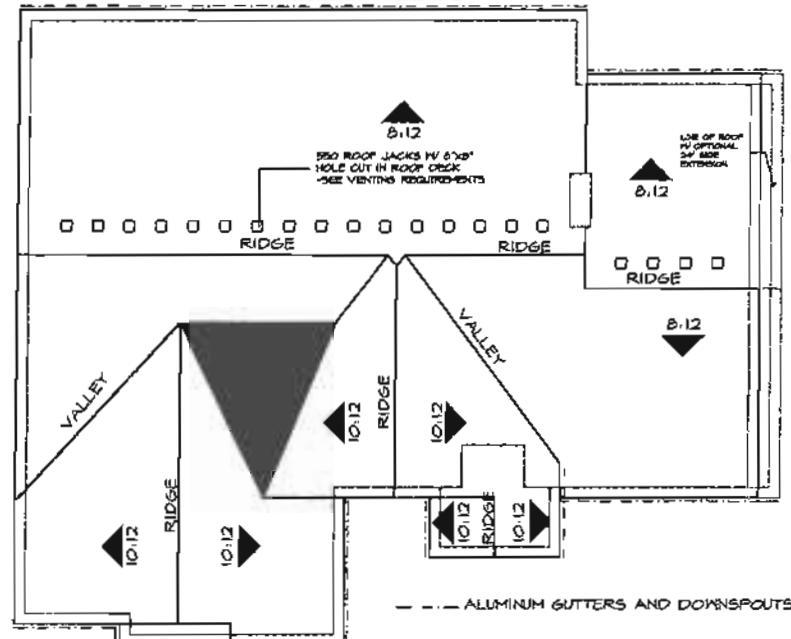
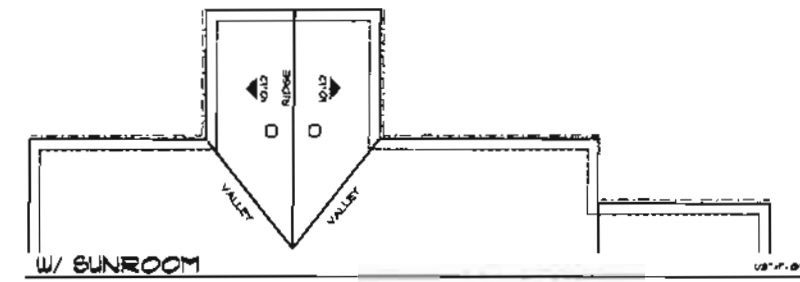
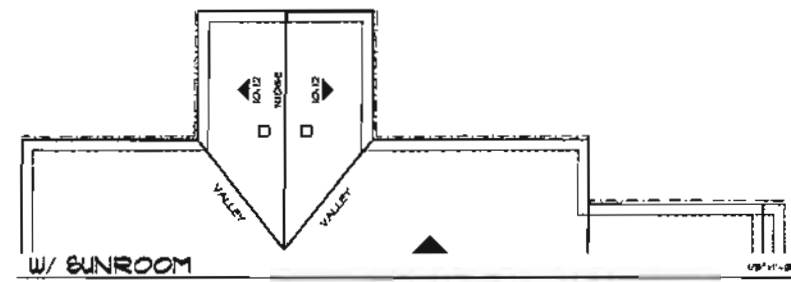
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COMPUTER JOB NUMBER: 49204
BLANKET JOB NUMBER:
DATE: July 2, 2007
SHEET REV. 7A OF 18



Ventilation Requirements 6/26/2008
 Augusta Standard Plan (Elevation "3")
 Hallmark Series

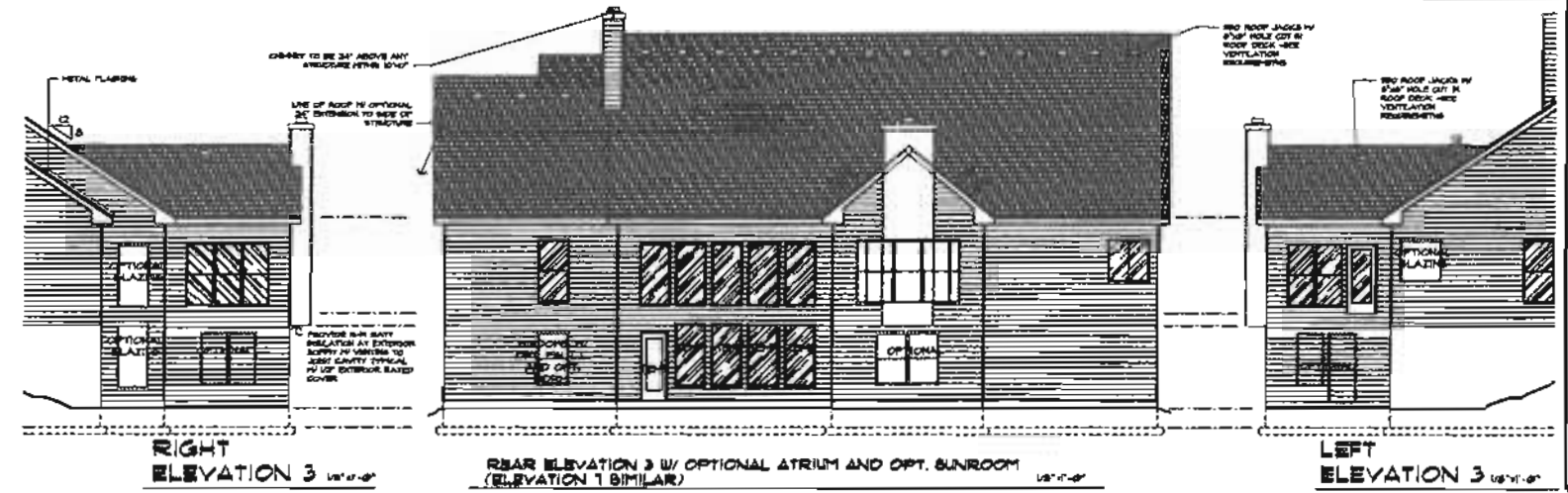
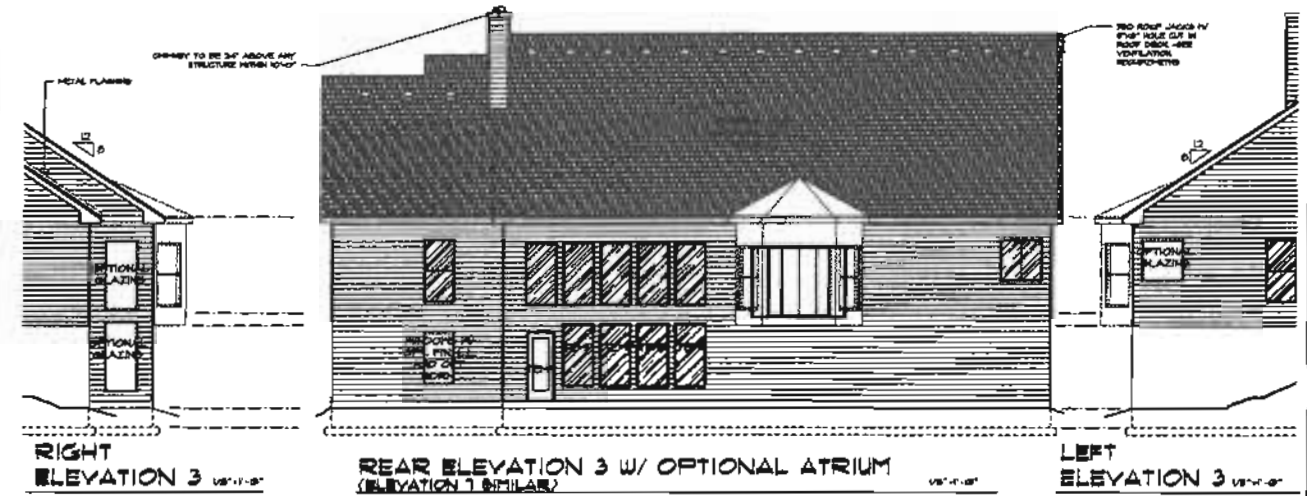
Attic Area	3411
1/300 th of area	11.37
Adjusted Value	1637.28

High Venting Requirements based on 1/300th of applicabl
 Required Venting 818.64

Venting Method	Free Area	No.	Total
550 Roof Jacks w/ 8" hole cut in roof deck	50	17	850
	0	0	0
Total Provided Ventilation		17	850
Meets High Ventilation Requirements Yes			

Low Venting Requirements
 Required Venting 818.64

Venting Method	net free area	No.	Total
4"x16" soffit vents at 8'-0" o.c.	28	30	840
	0	0	0
Total Provided Ventilation		30	840
Meets Low Ventilation Requirements Yes			



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Augusta
 Tyson's Corner
 Home after expanded for The Jones Company

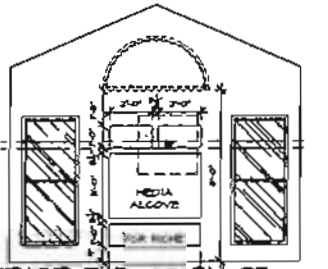
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COMPUTER JOB NUMBER	44204
GLANTZ JOB NUMBER	
DATE	December 29, 2006
SHEET REV.	12 OF 17

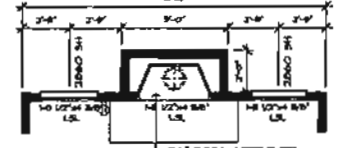
ELECTRICAL SYMBOLS AND DEFINITIONS	
⊕	120V DUPLEX CONVENIENCE RECEPTACLE 12" A.F.F. TYPICAL U.O.A.
⊕	120V RECEPTACLE IV 6" CAVITY IV WATER RESISTANT HOUSING
⊕	120V RECEPTACLE IV 6" CAVITY
⊕	6AS TAP
⊕	120V DUPLEX CONVENIENCE RECEPTACLE SWITCH CONTROLLED, 1/2 HOT
⊕	220V SINGLE CONVENIENCE RECEPTACLE HEIGHT NOTED AS PER PLAN
⊕	SERVICE BOX
⊕	THREE-POLE LIGHT SWITCH 6-4" A.F.F. 6" ABOVE COUNTER U.O.A.
⊕	THREE-POLE LIGHT SWITCH ILLUMINATED AT ALL STAGES
⊕	FOUR-POLE LIGHT SWITCH
⊕	PULL MOUNTED INDEPENDENT LIGHT FIXTURE
⊕	CELING MOUNTED RECESSED LIGHT FIXTURE
⊕	RECESSED EXHAUST FAN
⊕	UL APPROVED CEILING MOUNTED SMOKE DETECTOR, HARD-WIRED WITH BATTERY BACK UP INTERCONNECTED TO ALL OTHER SMOKE DETECTORS

GENERAL FLOOR PLAN NOTES

- Best option shows for all applicable systems.
- All headers to be 1-1/2" x 12" x 12" (minimum) post each and treat noted otherwise.
- All headers to have (2) 2x4" (minimum) post each and treat noted otherwise.
- Prevent note to be 2x4" (min.) x 8" (min.) U.O.A.
- Mechanical, Electrical, and Plumbing systems are shown for island only. These systems shall be engineered by others. The contractor shall be responsible for proper installation and placement. All heights shown are to centerline of fixture.
- Slope grade away from structure 1" per foot for a minimum of 6'-0".
- All floor openings are to be finished at bottom. Provide concrete splash blocks typical.
- Bottom of all footings to be 2'-4" (min.) below finish grade minimum.
- Provide metal flashing at all roof/mast connections.
- If ducts above do not meet at final inspection, assume door shall be secured from opening until such time as evidence of appropriate permit and acceptance by final inspection. Simply locking the door is unacceptable.
- All doors, windows, and roof openings are assumed to be centered UNLESS NOTED OTHERWISE.
- Dimensions shown are to face of stud, or face of stud with sheathing.
- Window numbers shown indicate Capital 3000 series vinyl windows.
- Construction shall conform to the following code:
 - MIN. SOGA
 - 2003 National Electrical Code, N.E.C.
 - 1995 International Mechanical Code, I.M.C.
 - 1997 Uniform Plumbing Code, U.P.C.
- A kitchen or one bedroom kitchen shall comply with Section 1004.0 BOCA 1997, for emergency escape and rescue.
- All bedroom egress shall be provided with arc flash protection.
- Minimum spacing of receptacles shall be in accordance with 2002 N.E.C.
- Minimum 1/2" type "Y" gypsum board on residence side of chimney to meet sheathing is required.
- Limited lumber shall provide design values equal to or exceeding the following:
 - 16. Laminated veneer lumber shall provide design values equal to or exceeding the following:
 - 16 - 2x8 @ 16" o.c. = 235 psi, E = 1,900,000 psi
 - 20. Laminated strand lumber shall provide design values equal to or exceeding the following:
 - 16 - 2x8 @ 16" o.c. = 400 psi, E = 1,900,000 psi



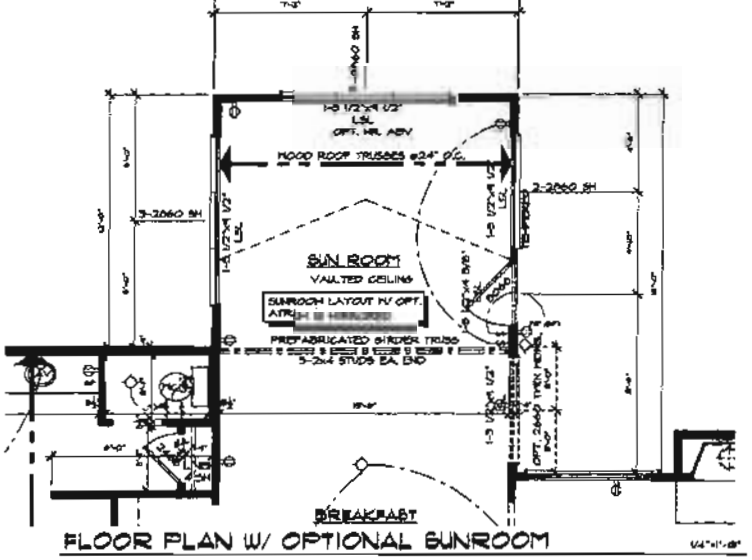
INTERIOR ELEVATION OF OPTIONAL SUNROOM W/ NICHE 1/4"=1'-0"



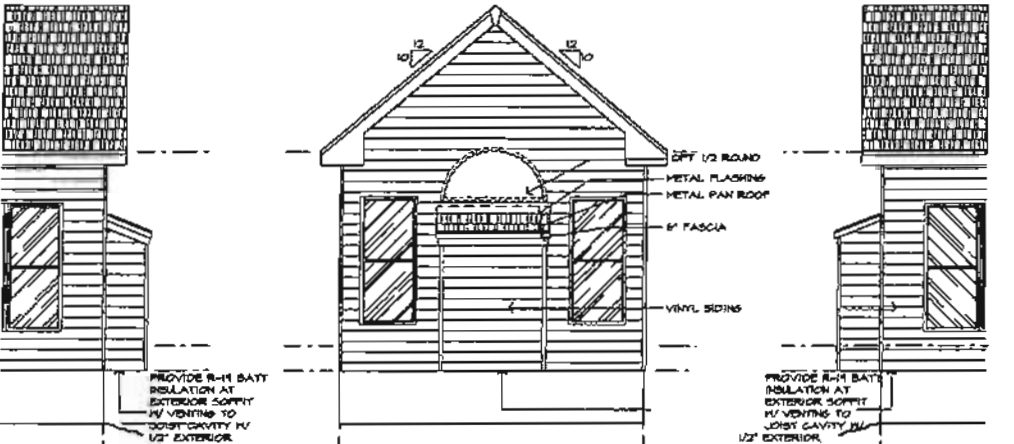
OPTIONAL FIREPLACE @ OPTIONAL SUN ROOM 1/4"=1'-0"



OPTIONAL ALCOVE @ OPTIONAL SUN ROOM 1/4"=1'-0"



FLOOR PLAN W/ OPTIONAL SUNROOM 1/4"=1'-0"



REAR ELEVATION OF OPTIONAL SUNROOM W/ NICHE 1/4"=1'-0"

LEFT ELEVATION OF OPTIONAL SUNROOM W/ NICHE 1/4"=1'-0"

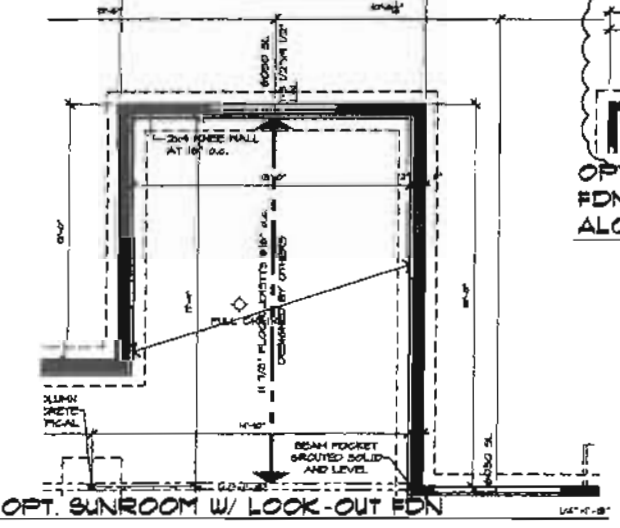
RIGHT ELEVATION OF OPTIONAL SUNROOM W/ NICHE 1/4"=1'-0"



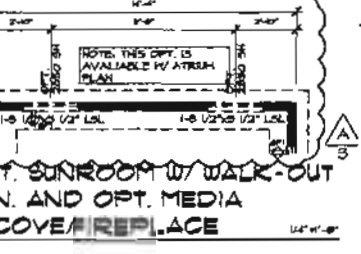
RIGHT ELEVATION OF OPT. SUNROOM 1/4"=1'-0"

REAR ELEVATION OF OPT. SUNROOM 1/4"=1'-0"

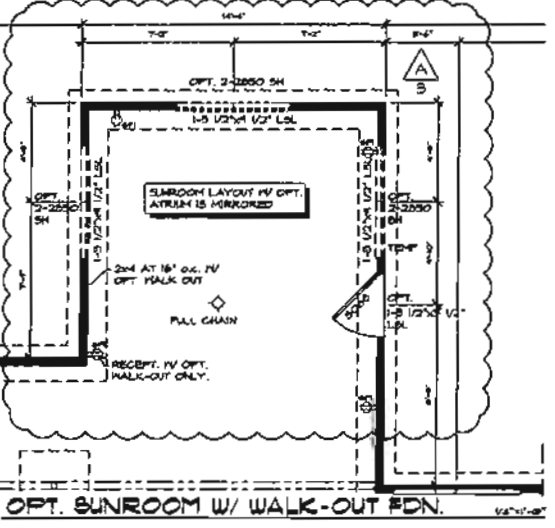
LEFT ELEV. OF OPT. SUNROOM 1/4"=1'-0"



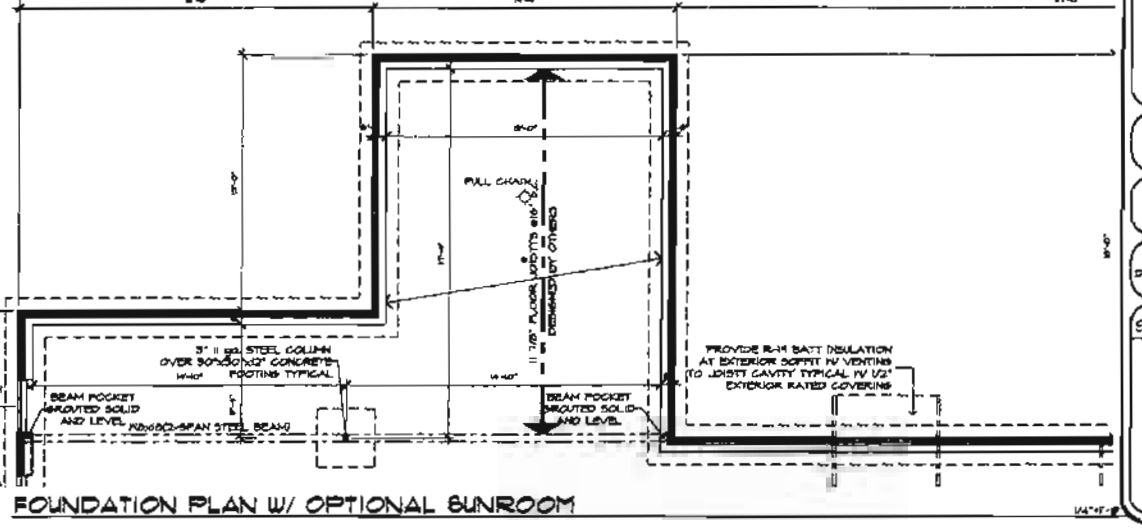
OPT. SUNROOM W/ LOOK-OUT FDN 1/4"=1'-0"



OPT. SUNROOM W/ WALK-OUT FDN. AND OPT. MEDIA ALCOVE/REPLACE 1/4"=1'-0"



OPT. SUNROOM W/ WALK-OUT FDN. 1/4"=1'-0"



FOUNDATION PLAN W/ OPTIONAL SUNROOM 1/4"=1'-0"

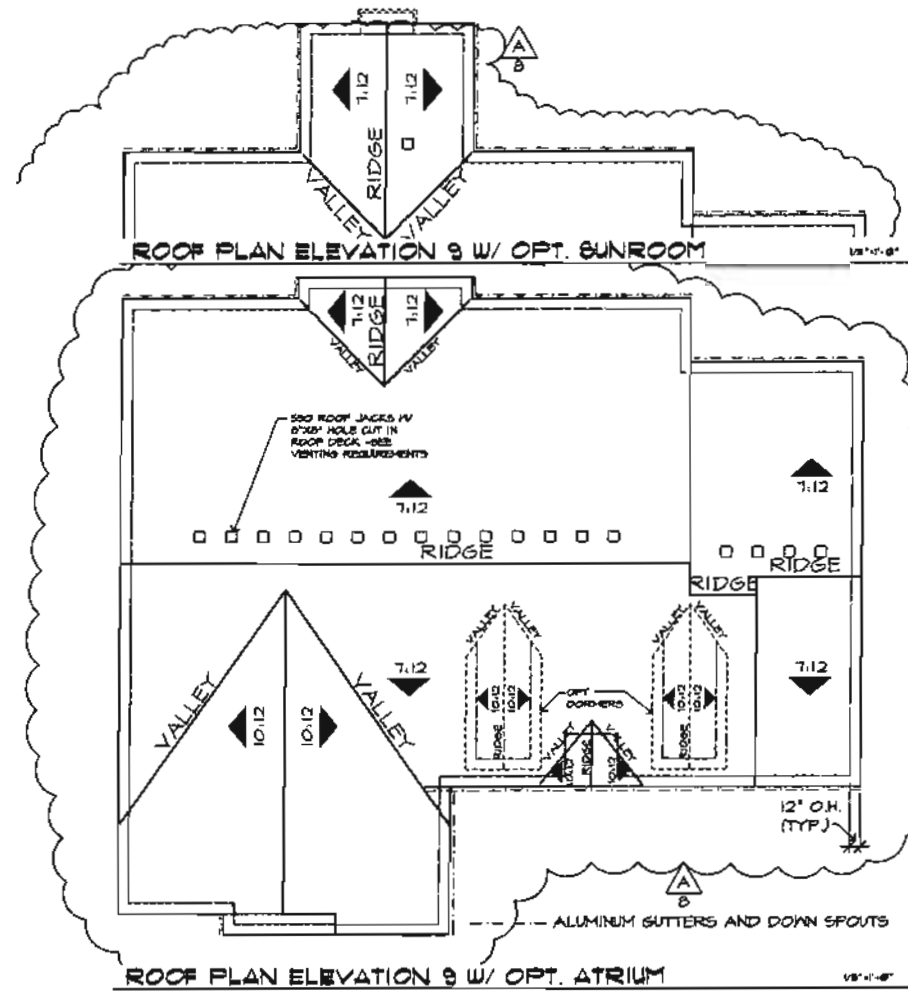
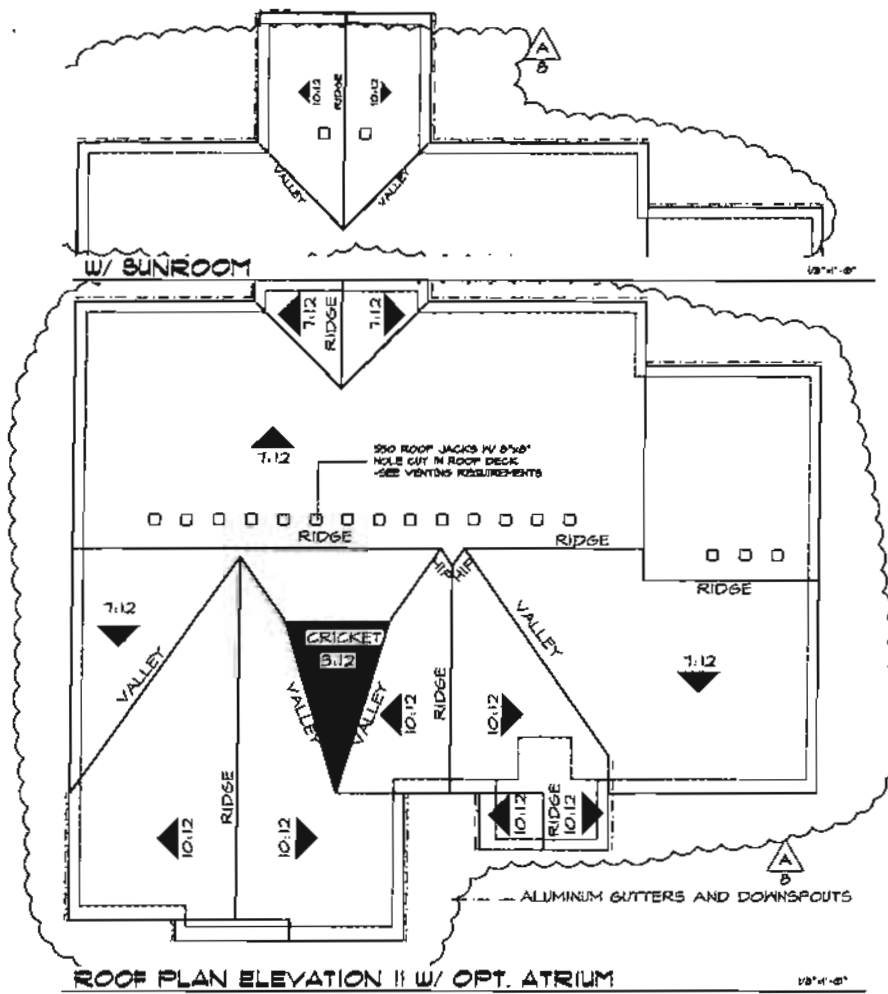
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THE JONES COMPANY
Building Homes Since 1977
A CENTEX COMPANY

Augusta
Tyson's Corner
Popular plan prepared for The Jones Company

GLANTZ & ASSOCIATES ARCHITECTS
501 NORTH LINDBERGH BLVD.
ST. LOUIS, MO 63141
(314) 993-2160 - PHONE
(314) 993-2510 - FAX

COMPUTER JOB NUMBER
19204
GLANTZ JOB NUMBER
DATE
December 24, 2006
SHEET REV.
13 OF 17



Ventilation Requirements 5/29/2009
Augusta Standard Plan (Elevation "3")
Hallmark Series

Attic Area	3411
1/300 th of area	11.37
Adjusted Value	1637.28

High Venting Requirements based on 1/300th of applicable
 Required Venting 818.64
 Venting Method
 550 Roof Jacks w/ 8" hole cut in roof deck

Net Free Area	No.	Total
50	17	850
0	0	0

Total Provided Ventilation 850
 Meets High Ventilation Requirements Yes

Low Venting Requirements
 Required Venting 818.64
 Venting Method
 4" x 16" soffit vents at 8" o.c.

Net Free Area	No.	Total
28	30	840
0	0	0

Total Provided Ventilation 840
 Meets Low Ventilation Requirements Yes

Ventilation Requirements 5/29/2009
Augusta Atrium
Hallmark Series

Attic Area	124	(Add/Reduce)
1/300 th of area	0.41	
Adjusted Value	33.52	

High Venting Requirements based on 1/300th of applicable
 Required Venting 33.78
 Venting Method
 550 Roof Jacks w/ 8" hole cut in roof deck

Net Free Area	No.	Total
30	1	30
0	0	0

Total Provided Ventilation 30
 Meets High Ventilation Requirements Yes

Low Venting Requirements
 Required Venting 33.78
 Venting Method
 4" x 16" soffit vents at 8" o.c.

Net Free Area	No.	Total
24	1	24
0	0	0

Total Provided Ventilation 24
 Meets Low Ventilation Requirements Yes

Ventilation Requirements 5/29/2009
Augusta Sunroom
Hallmark Series

Attic Area	172	(Add/Reduce)
1/300 th of area	0.57	
Adjusted Value	42.56	

High Venting Requirements based on 1/300th of applicable
 Required Venting 41.28
 Venting Method
 550 Roof Jacks w/ 8" hole cut in roof deck

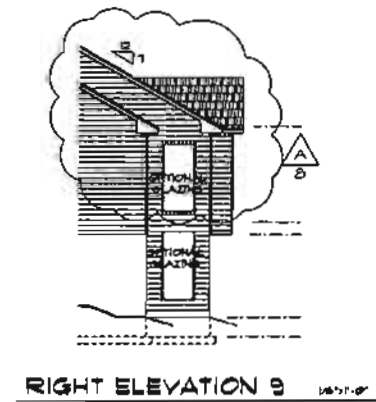
Net Free Area	No.	Total
36	1	36
0	0	0

Total Provided Ventilation 36
 Meets High Ventilation Requirements Yes

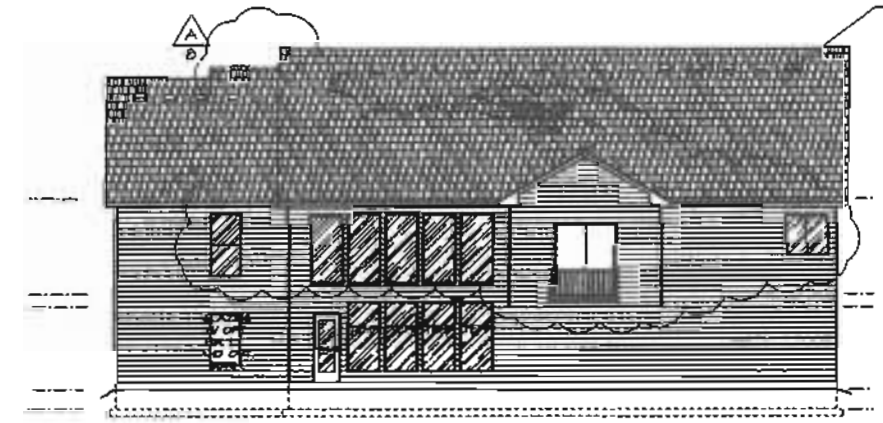
Low Venting Requirements
 Required Venting 41.28
 Venting Method
 4" x 16" soffit vents at 8" o.c.

Net Free Area	No.	Total
27	1	27
0	0	0

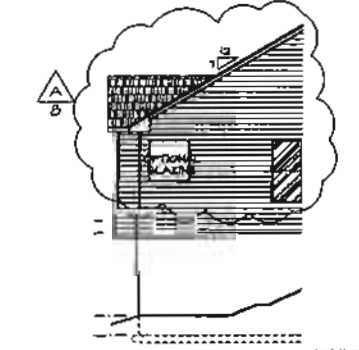
Total Provided Ventilation 27
 Meets Low Ventilation Requirements Yes



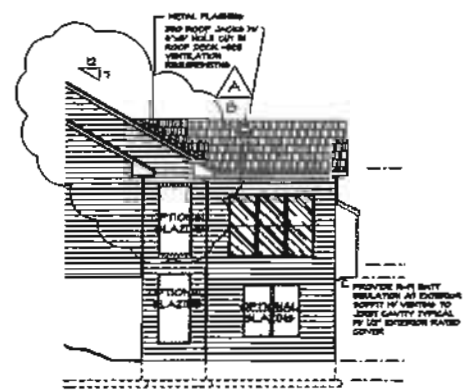
RIGHT ELEVATION 9



REAR ELEVATION 9 W/ OPT. ATRIUM
 (ELEVATION II SIMILAR)



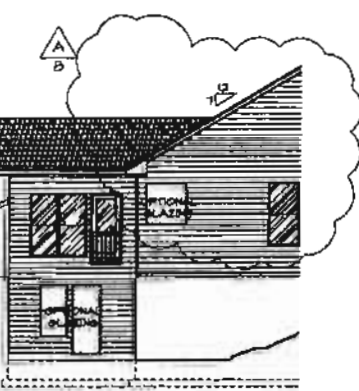
LEFT ELEVATION 9



RIGHT ELEVATION 9



REAR ELEVATION 9 W/ OPT. ATRIUM & SUNROOM
 (ELEVATION II SIMILAR)



LEFT ELEVATION 9

KLANTZ & ASSOCIATES ARCHITECTS
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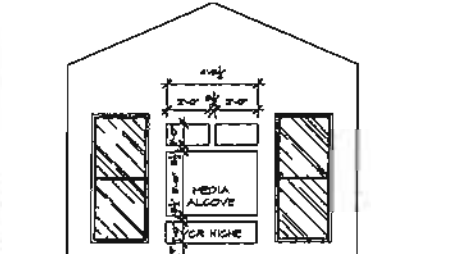
COMPUTER JOB NUMBER
 KLANTZ JOB NUMBER
 DATE
 July 2, 2001
 SHEET REV.
 11A
 OF
 13

ELECTRICAL SYMBOLS AND DEFINITIONS

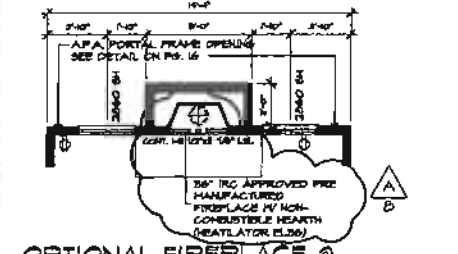
<ul style="list-style-type: none"> 100V DUPLEX CONVENIENCE RECEPTACLE UP A.P.P. TYPICAL U.S.A. 100V RECEPTACLE IN SPN CIRCUIT IN V. HAZARD RESISTANT HOUSING 100V RECEPTACLE IN SPN CIRCUIT 600V TAP 100V DUPLEX CONVENIENCE RECEPTACLE SWITCH CONTROLLED, V.S. NOT 100V SINGLE CONVENIENCE RECEPTACLE HEIGHT NOTED AS PER PLAN SERVICE BOX 	<ul style="list-style-type: none"> 3PO-POLE LIGHT SWITCH 60V A.P.P. 5' ABOVE COUNTER U.S.A. THREE-POLE LIGHT SWITCH -ILLUMINATED AT ALL STAIRS FOUR-POLE LIGHT SWITCH WALL MOUNTED INCANDESCENT LIGHT FIXTURE CEILING MOUNTED INCANDESCENT LIGHT FIXTURE RECESSED INSTANT FAN 500.50 GFCI VENT TO EXT. UL APPROVED CEILING MOUNTED SMOKE DETECTOR HARD-WIRED WITH BATTERY BACK UP INTERCONNECTED TO ALL OTHER SMOKE DETECTORS
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GENERAL FLOOR PLAN NOTES

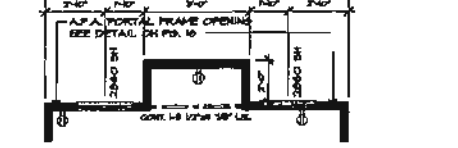
- See option sheets for all applicable options.
- All hatches to be 1/8" U.S. 1/2" International or U.S.A.
- All hatches to have (2) 2x4x12x12x12 post each end unless noted otherwise.
- Finished hole to be 2x4x8" x 2x8" x 10".
- Mechanical, Electrical, and Plumbing systems are shown for intent only. These systems shall be engineered by others. The contractor shall be responsible for proper installation and placement. All heights shown are to centerline of fixture.
- Slope grade away from structure 1/4" drop in 12" or to grade.
- All door swings are to be allowed at bottom. Provide concrete splash blocks typical.
- Bottom of all footings to be 2" below finished grade minimum.
- Provide metal flashing at all roof/wall connections.
- If steel studs are not used at their inspection, access door must be secured from opening until such time as evidence of applicable permit and acceptance by that inspection. Slings backing the door is unacceptable.
- All doors, windows, and wall openings are assumed to be contained U.S.A.
- Dimensions shown are to face of stud, or face sheathing.
- Window numbers shown indicate Capitol 3000 series vinyl windows.
- Construction shall conform to the following codes:
 - 2009 IRC Building Code
 - 2009 National Electrical Code, N.E.C.
 - 2009 International Mechanical Code, I.M.C.
 - 2009 Uniform Plumbing Code, U.P.C.
 - 2009 Energy Code
- Applicable Local, State, County and Federal Codes, Ordinances, Laws, Regulations and prohibitive Covenants governing the site of work.
- All bathroom drains shall comply with Section R301 of IRC 2009. For emergency escape and rescue.
- All bathroom drains shall be provided with one inch protection.
- Minimum spacing of receptacles shall be in accordance with 2009 N.E.C.
- Minimum 1/2" type "Y" gypsum board on residence side of chimney up to roof sheathing is required.
- Laminated veneer lumber shall provide design values equal to or exceeding the following: E = 2300 psi, F_v = 225 psi, E = 1,800,000 psi.
- Laminated veneer lumber shall provide design values equal to or exceeding the following: E = 2300 psi, F_v = 240 psi, E = 1,800,000 psi.
- Sheathing shall comply w/ St. Louis County Appendix A, Table 1.



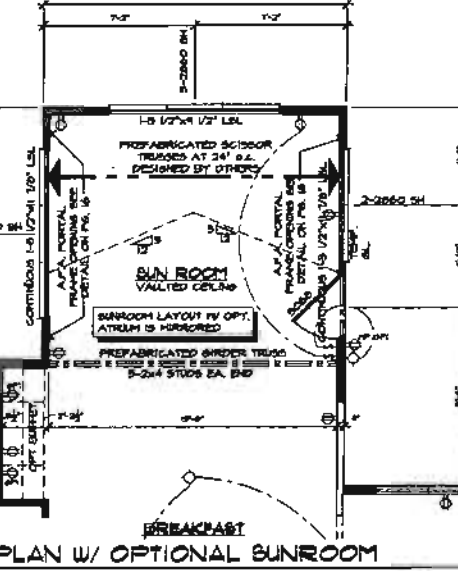
INTERIOR ELEVATION OF OPTIONAL SUNROOM W/ NICHE 1/4"=1'-0"



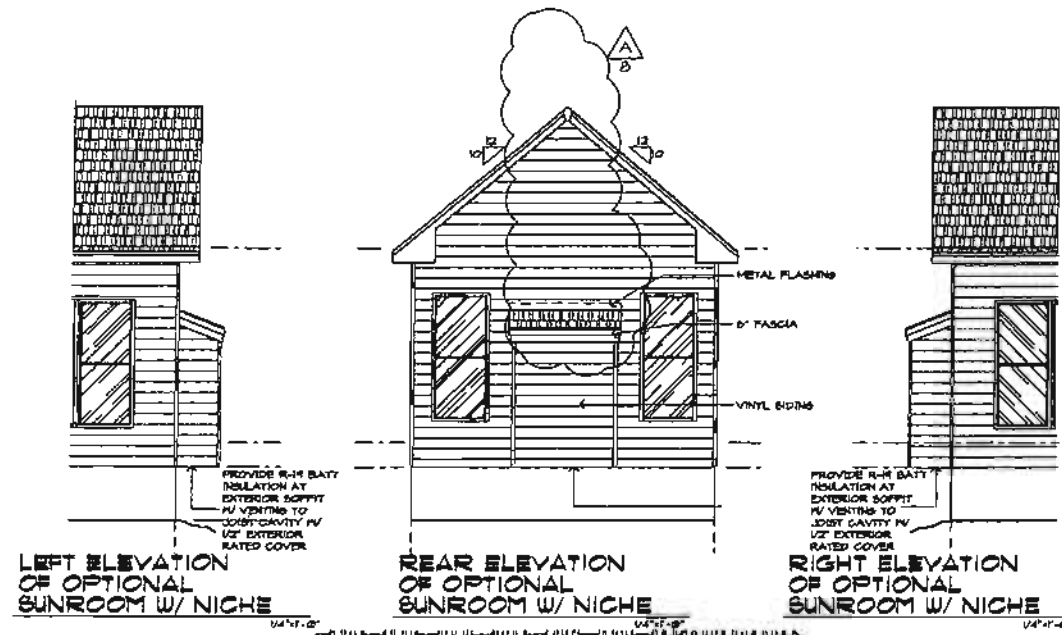
OPTIONAL FIREPLACE @ OPTIONAL SUN ROOM 1/4"=1'-0"



OPTIONAL ALCOVE @ OPTIONAL SUN ROOM 1/4"=1'-0"



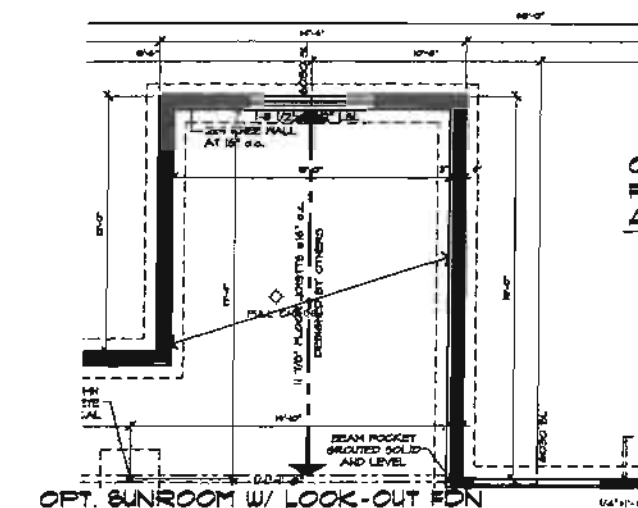
FLOOR PLAN W/ OPTIONAL SUNROOM 1/4"=1'-0"



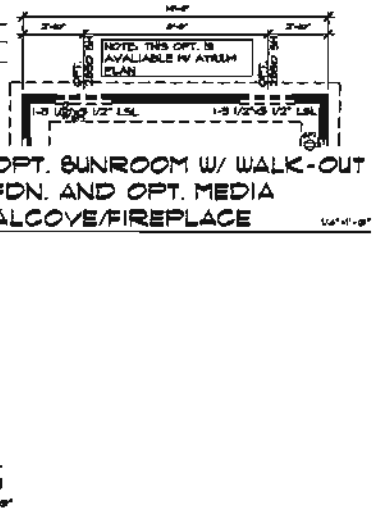
LEFT ELEVATION OF OPTIONAL SUNROOM W/ NICHE 1/4"=1'-0"
 REAR ELEVATION OF OPTIONAL SUNROOM W/ NICHE 1/4"=1'-0"
 RIGHT ELEVATION OF OPTIONAL SUNROOM W/ NICHE 1/4"=1'-0"



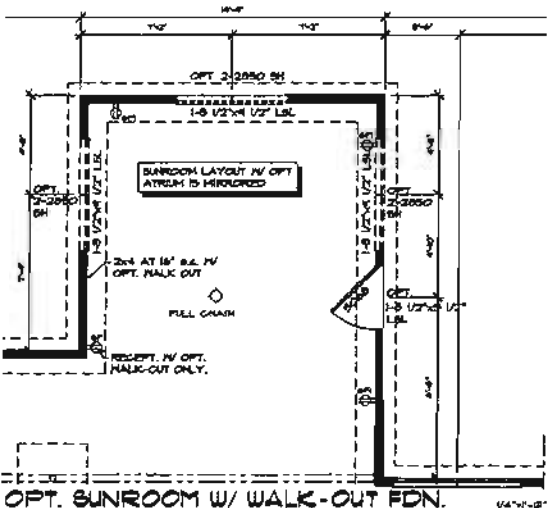
RIGHT ELEVATION OF OPT. SUNROOM 1/4"=1'-0"
 REAR ELEVATION OF OPT. SUNROOM 1/4"=1'-0"
 LEFT ELEV. OF OPT. SUNROOM 1/4"=1'-0"



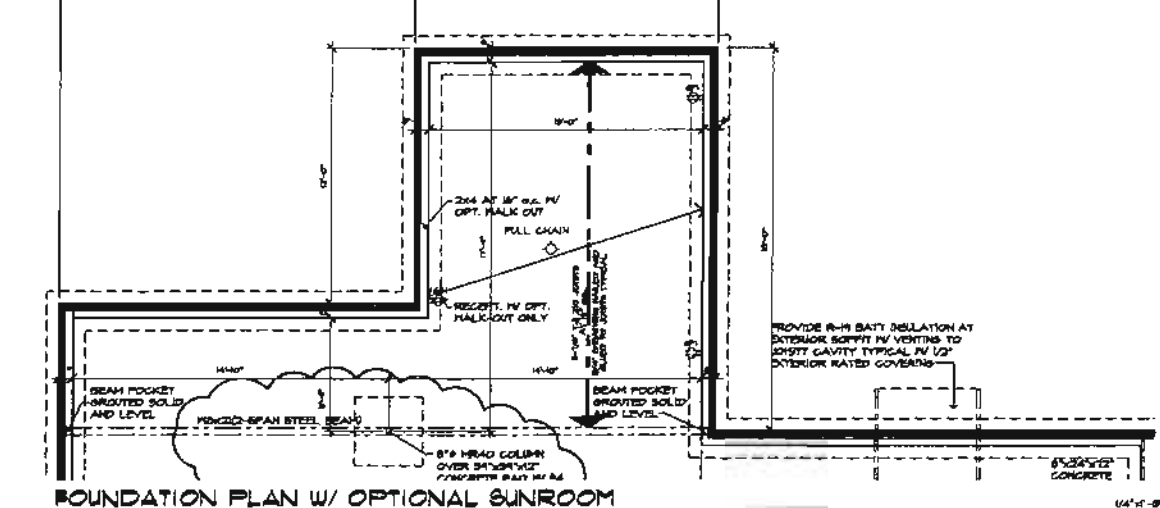
OPT. SUNROOM W/ LOOK-OUT FDN 1/4"=1'-0"



OPT. SUNROOM W/ WALK-OUT FDN. 1/4"=1'-0"



OPT. SUNROOM W/ WALK-OUT FDN. 1/4"=1'-0"



FOUNDATION PLAN W/ OPTIONAL SUNROOM 1/4"=1'-0"

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 Building Homes Since 1927
 ADVENTX COMPANY

Augusta
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 Interior plan prepared for The Jones Company

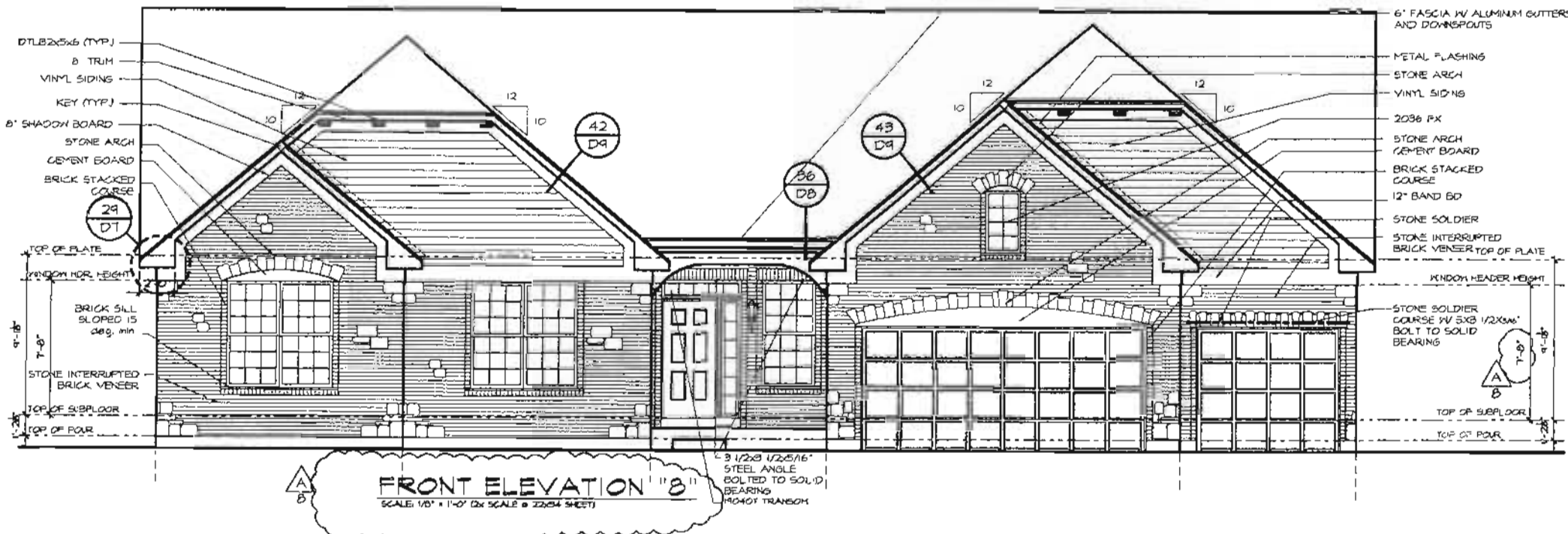
GLANTZ & ASSOCIATES ARCHITECTS
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 (314) 993-2160 - PHONE
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COPY/ITER JOB NUMBER 40204
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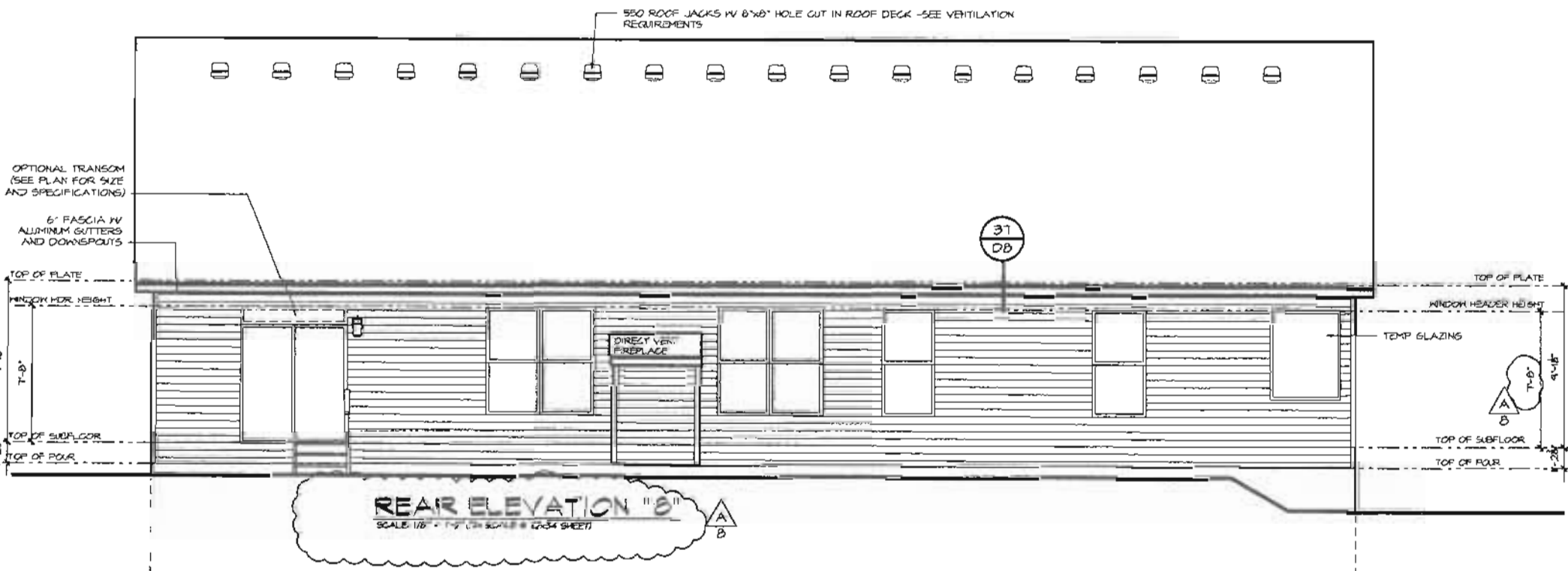






FRONT ELEVATION "B"
 SCALE 1/8" = 1'-0" (2x SCALE @ 22x34 SHEET)
 3 1/2x3 1/2x5/16" STEEL ANGLE BOLTED TO SOLID BEARING (NO NOT TRANSOM)

- ELEVATION NOTES**
1. SEE GENERAL NOTE SHEETS FOR SUPPLEMENTAL INFORMATION
 2. PROVIDE DRIP CAPS OR FLASHING AT ALL WINDOWS AND DOORS. SEE DETAIL PAGES FOR ADDITIONAL INFORMATION
 3. ALL ROOF SADDLES TO BE OSB SHEATHED W/ BUILDING PAPER AND SHINGLES
 4. STANDARD SIDING TO BE HORIZONTAL DUTCH-LAP VINYL UNLESS NOTED OTHERWISE
 5. STANDARD CORNER POSTS TO BE 3 1/2" SMOOTH CORNERPOST
 6. TYPICAL WINDOW SHUTTER TO BE 14 VINYL PANEL (NLD)
 7. FOR ADDITIONAL INFO SEE DETAILS



REAR ELEVATION "B"
 SCALE 1/8" = 1'-0" (2x SCALE @ 22x34 SHEET)

CENTEX HOMES
 The Jones Co. subsidiary
 18840 C. Woodfield Grove | 1st Fl. | Suite 200
 Phone: 686.537.7100 | Fax: 686.537.9543
 501 N. Lindbergh
 SL Lewis, Mo. 65114
 314-869-2160
 Fax: 314-869-5370

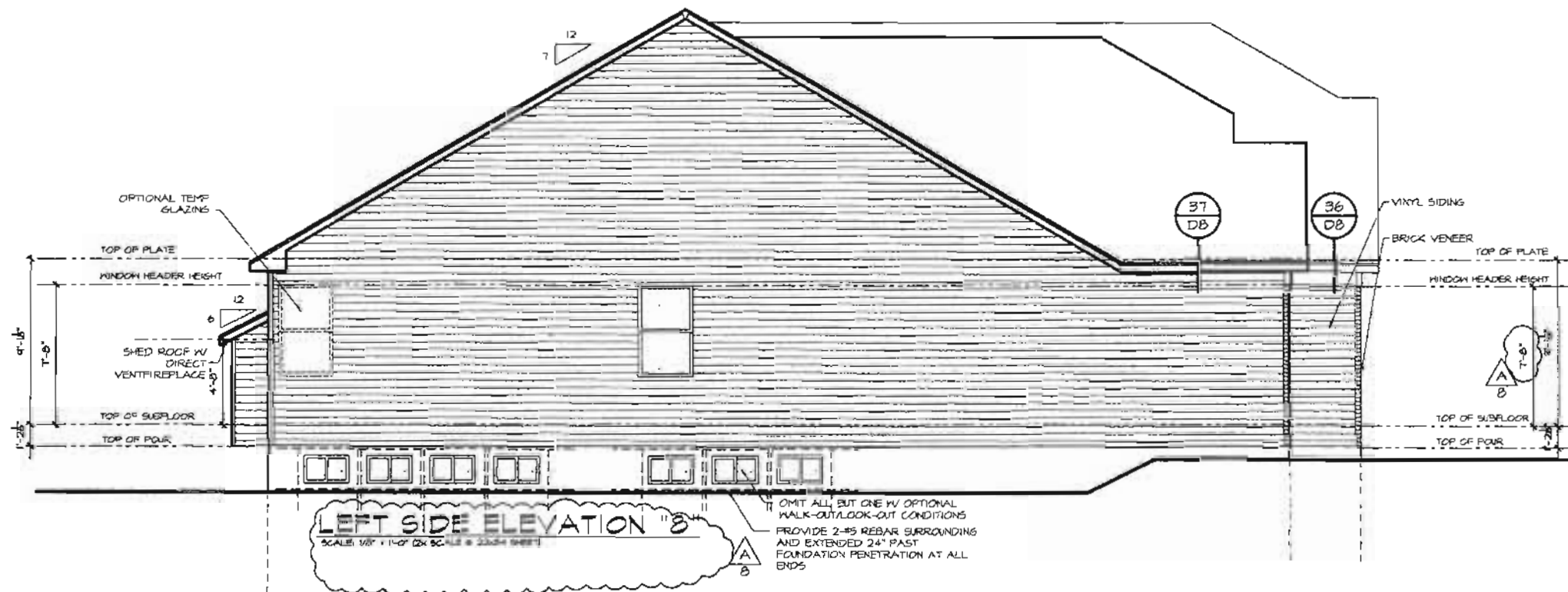
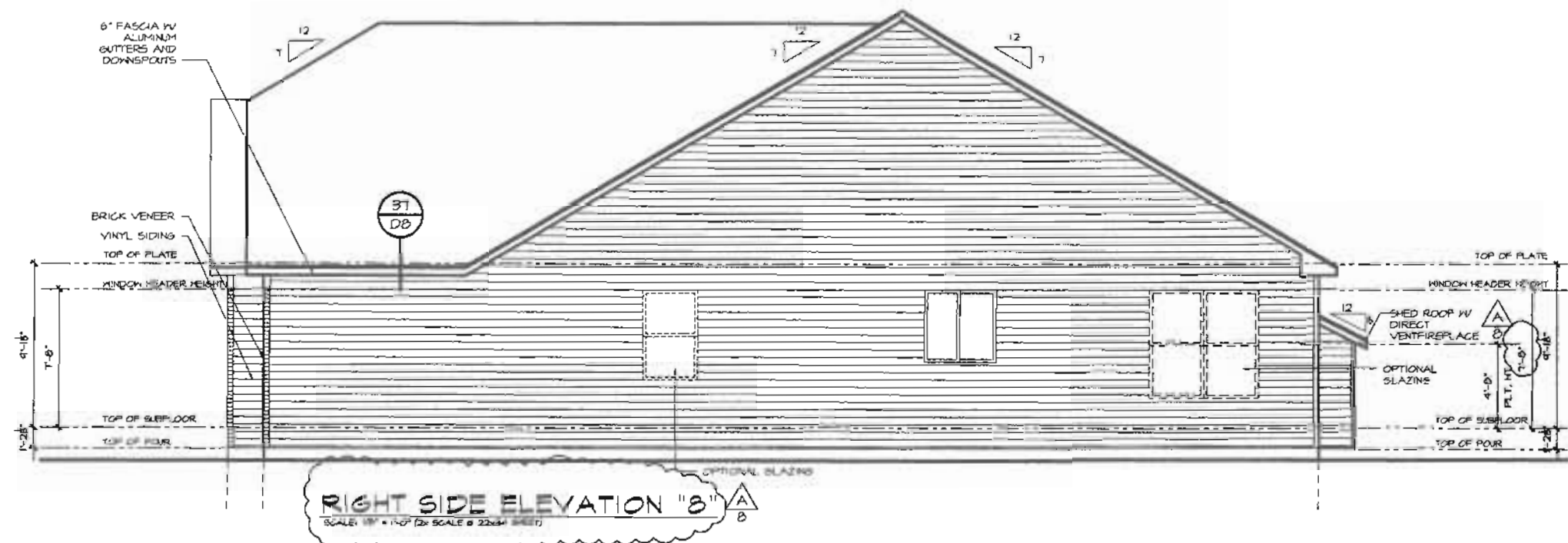
PARKDALE WYNNCREST
 RANCH 3 BR - 2 BA
 Project: STL03C

EXTERIOR ELEVATIONS "B" - FRONT & REAR

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designed by: PK
 drawn by: AS, DS, RV
 checked by: TP
 date: January 15, 2004

sheet:
6.2.1A



- ELEVATION NOTES**
1. SEE GENERAL NOTE SHEETS FOR SUPPLEMENTAL INFORMATION
 2. PROVIDE DRIP CAPS OR FLASHING AT ALL WINDOWS AND DOORS. SEE DETAIL PAGES FOR ADDITIONAL INFORMATION
 3. ALL ROOF SADDLES TO BE OSB SHEATHED W/ BUILDING PAPER AND SHINGLES.
 4. STANDARD SIDING TO BE HORIZONTAL DUTCH-LAP VINYL (EAVESS NOTED OTHERWISE)
 5. STANDARD CORNER POSTS TO BE 3 1/2" SMOOTH CORNERPOST.
 6. TYPICAL WINDOW SHUTTER TO BE 14" VINYL PANEL (RINO)
 7. FOR ADDITIONAL INFO SEE DETAILS

CENTEX HOMES
 The Jones Company
 1880 Chestnut Hill Grove Rd.
 Suite 200
 Chestertown, MD 20616
 Phone: 410.327.7000
 Fax: 410.327.9643

GLANTZ & ASSOCIATES
 ARCHITECTS
 501 N. Lindbergh
 St. Louis, Mo. 63141
 314.993.2160
 Fax: 314.993.2370

PARKDALE
WYNNCREST
 RANCH 3 BR - 2 BA

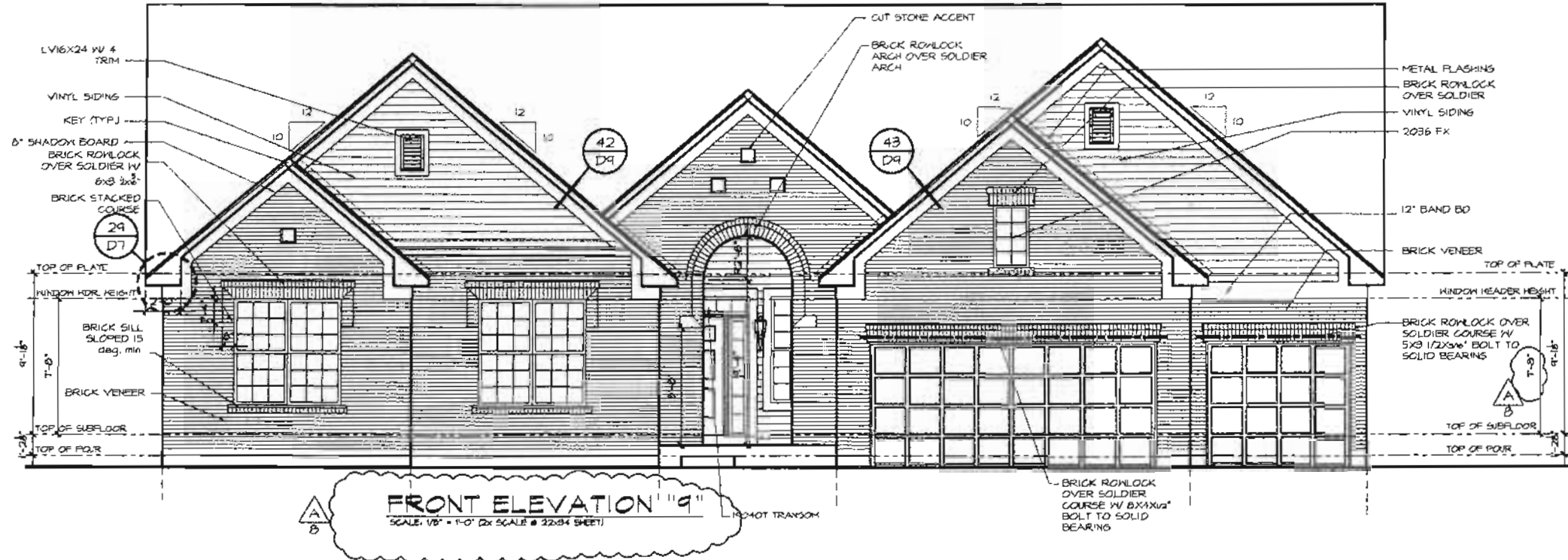
Project: 8712324

EXTERIOR ELEVATIONS
"8" - RIGHT & LEFT SIDE

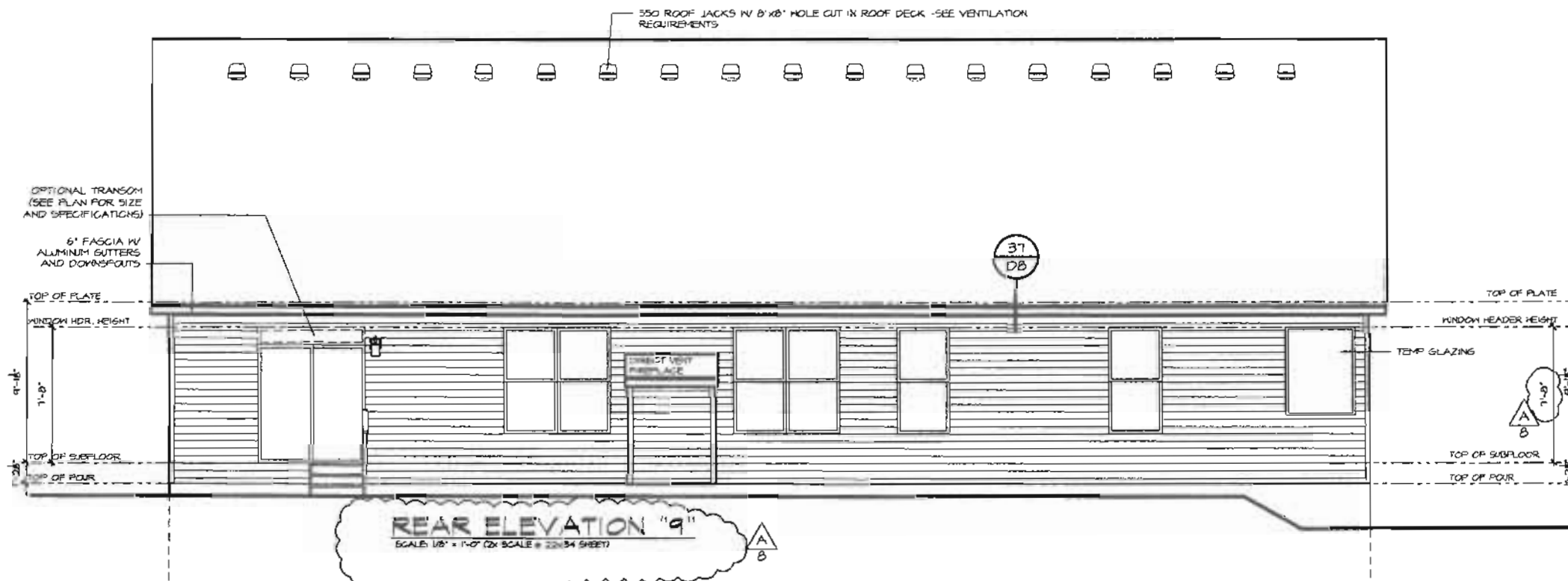
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designed by:	PL
drawn by:	AG, JH, RP
checked by:	YSP
date:	January 18, 2004

Sheet:
6.2.2A



FRONT ELEVATION "9"
SCALE: 1/8" = 1'-0" (2x SCALE @ 22x34 SHEET)



REAR ELEVATION "9"
SCALE: 1/8" = 1'-0" (2x SCALE @ 22x34 SHEET)

- ELEVATION NOTES**
1. SEE GENERAL NOTE SHEETS FOR SUPPLEMENTAL INFORMATION
 2. PROVIDE DRIP CAPS OR FLASHING AT ALL WINDOWS AND DOORS. SEE DETAIL PAGES FOR ADDITIONAL INFORMATION
 3. ALL ROOF SADDLES TO BE OSB SHEATHED w/ BUILDING PAPER AND SHINGLES
 4. STANDARD SIDING TO BE HORIZONTAL DUTCH LAP VINYL (UNLESS NOTED OTHERWISE)
 5. STANDARD CORNER POSTS TO BE 3 1/2\"/>

CENTEX HOMES
The Jones Company
16640 Chestfield Cir, Suite 200
Chesapeake, MD 20833
Phone: 410-537-7000
Fax: 410-537-9543

GLANTZ & ASSOCIATES ARCHITECTS
801 N. Lombard
St. Louis, Mo. 63141
314-863-2160
Fax: 314-863-2976

PARKDALE WYNNCREST
RANCH 3 BR - 2 BA

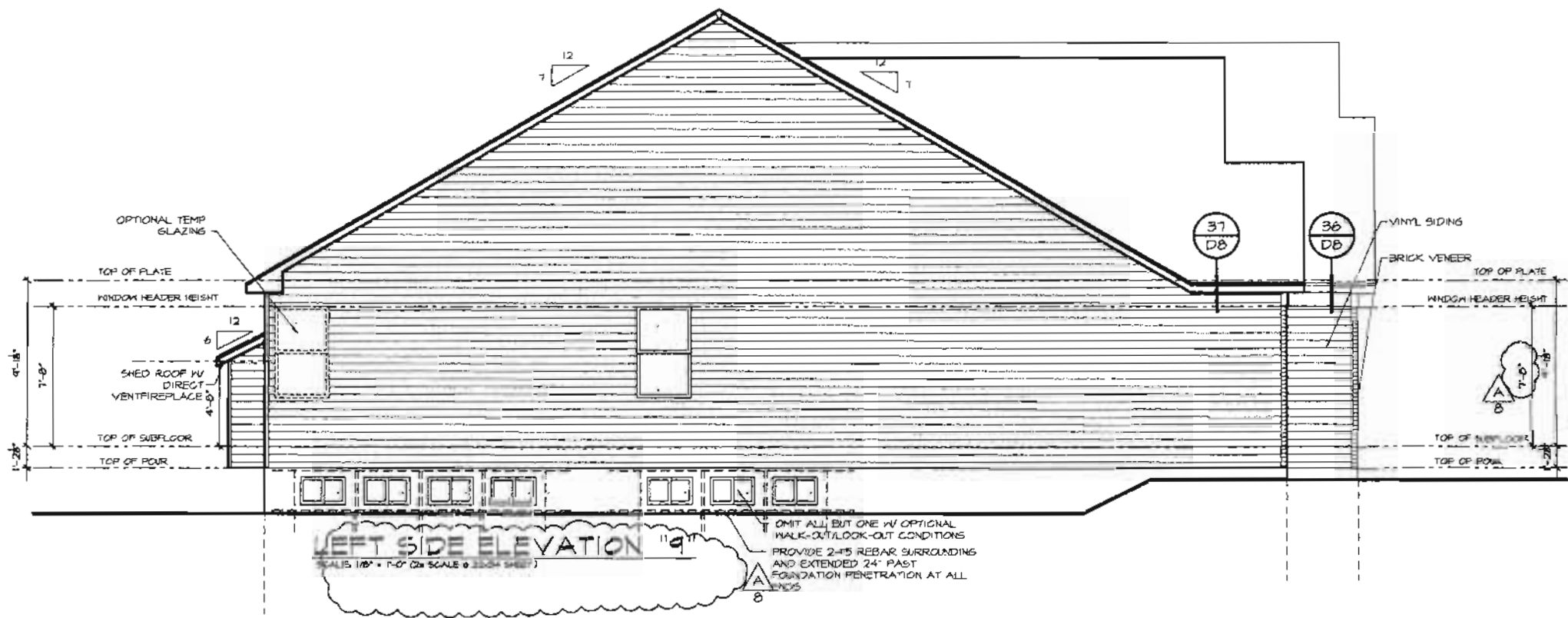
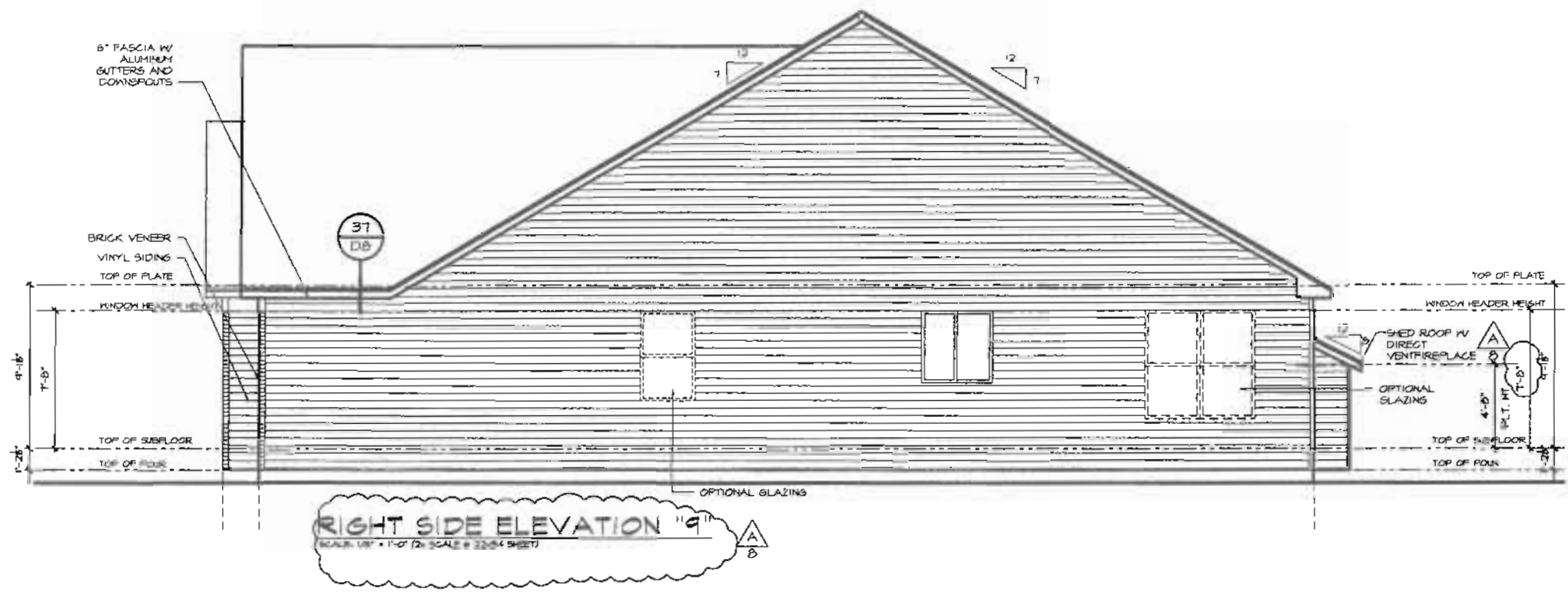
Project: 97L0304

EXTERIOR ELEVATIONS "9" - FRONT & REAR

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designed by:	PK
drawn by:	AS, PB, RH
checked by:	TEP
date:	January 19, 2004

sheet:
6.3.1A



- ELEVATION NOTES
1. SEE GENERAL NOTE SHEETS FOR SUPPLEMENTAL INFORMATION
 2. PROVIDE DRIP GAPS OR FLASHING AT ALL WINDOWS AND DOORS. SEE DETAIL PAGES FOR ADDITIONAL INFORMATION
 3. ALL ROOF SADDLES TO BE OSB SHEATHED W/ BUILDING PAPER AND SHINGLES
 4. STANDARD SIDING TO BE HORIZONTAL DUTCH-LAP VINYL (UNLESS NOTED OTHERWISE)
 5. STANDARD CORNER POSTS TO BE 3/2" SMOOTH CORNERPOST.
 6. TYPICAL WINDOW SHUTTER TO BE 1" VINYL PANEL (N.O.)
 7. FOR ADDITIONAL INFO SEE DETAILS

CENTEX HOMES
 The Jones Company
 Phone: 506.537.7000
 Fax: 506.537.8543

16640 Theodorakis Grove Rd.
 Suite 207
 Chesterfield, MO 63005

601 N. Lindbergh
 St. Louis, Mo. 63117
 314-866-2166
 Fax: 314-866-2370

GILANTZ & ASSOCIATES
 ARCHITECTS

PARKDALE
WYNNCREST
 RANCH 3 BR - 2 BA

Sheet: 6.3.2A

EXTERIOR ELEVATIONS
 "9" - RIGHT & LEFT SIDE

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Architect:	Centex Homes
Drawn by:	AS, RL, PL
Checked by:	YB
Date:	January 18, 2004

sheet:
6.3.2A

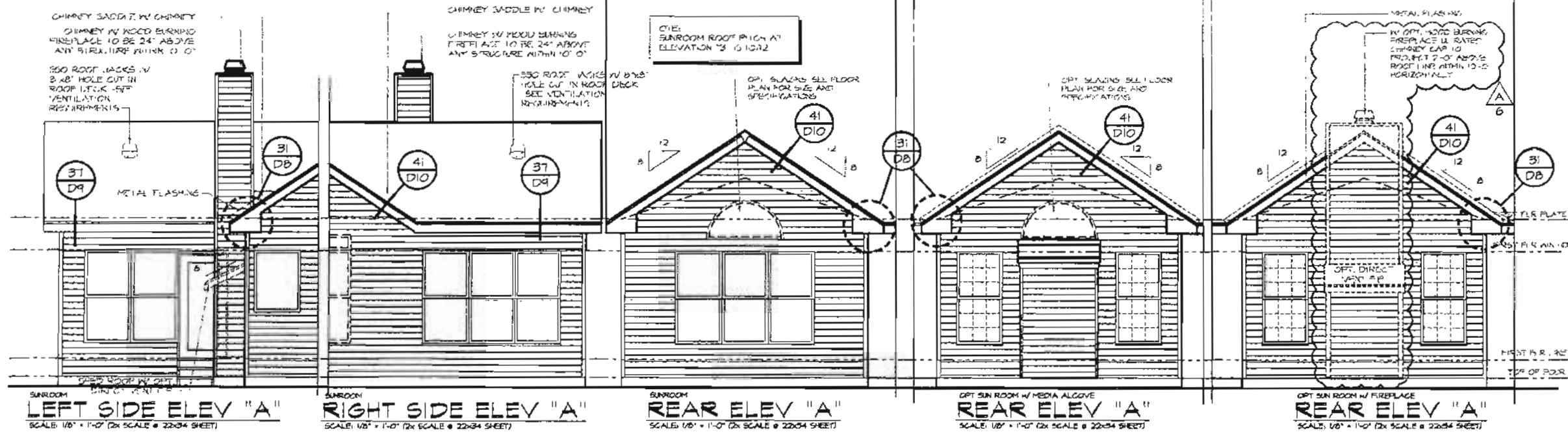
ELEVATION NOTES

- SEE GENERAL NOTE SHEETS FOR SUPPLEMENTAL INFORMATION
- SHROUD DRAIN CAPS OR FLASHING AT ALL WINDOWS AND DOORS. SEE DETAIL FOR ADDITIONAL INFORMATION
- ALL ROOF SADDLES TO BE USED SHALING IN BUILDING PAPER AND SHAKES
- STANDARD SIDING TO BE HORIZONTAL, DISTANCE FROM FINISH TO FINISH
- STANDARD CORNER TRIMS TO BE 3/4" X 1/2" X 1/2"
- TYPICAL WINDOW SIZES TO BE 4' X 6' PANEL 1/10"
- FOR APPROVAL AND SEE DETAIL



OPT BAY AT MASTER BEDROOM
REAR ELEV "A"
SCALE: 1/8" = 1'-0" (2X SCALE @ 22x34 SHEET)

OPT BAY AT BREAKFAST RM
REAR ELEV "A"
SCALE: 1/8" = 1'-0" (2X SCALE @ 22x34 SHEET)



SUNROOM
LEFT SIDE ELEV "A"
SCALE: 1/8" = 1'-0" (2X SCALE @ 22x34 SHEET)

SUNROOM
RIGHT SIDE ELEV "A"
SCALE: 1/8" = 1'-0" (2X SCALE @ 22x34 SHEET)

SUNROOM
REAR ELEV "A"
SCALE: 1/8" = 1'-0" (2X SCALE @ 22x34 SHEET)

OPT SUN ROOM W/ MEDIA ALCOVE
REAR ELEV "A"
SCALE: 1/8" = 1'-0" (2X SCALE @ 22x34 SHEET)

OPT SUN ROOM W/ FIREPLACE
REAR ELEV "A"
SCALE: 1/8" = 1'-0" (2X SCALE @ 22x34 SHEET)

CENTEX HOMES
The James Company
16840 Chestnut Grove Rd
Suite 200
Chesterfield, MO 63006
Phone: 636.537.7000
Fax: 636.537.9543

PARKDALE
Tyson's Corner
RANCH 3 BR - 2 BA

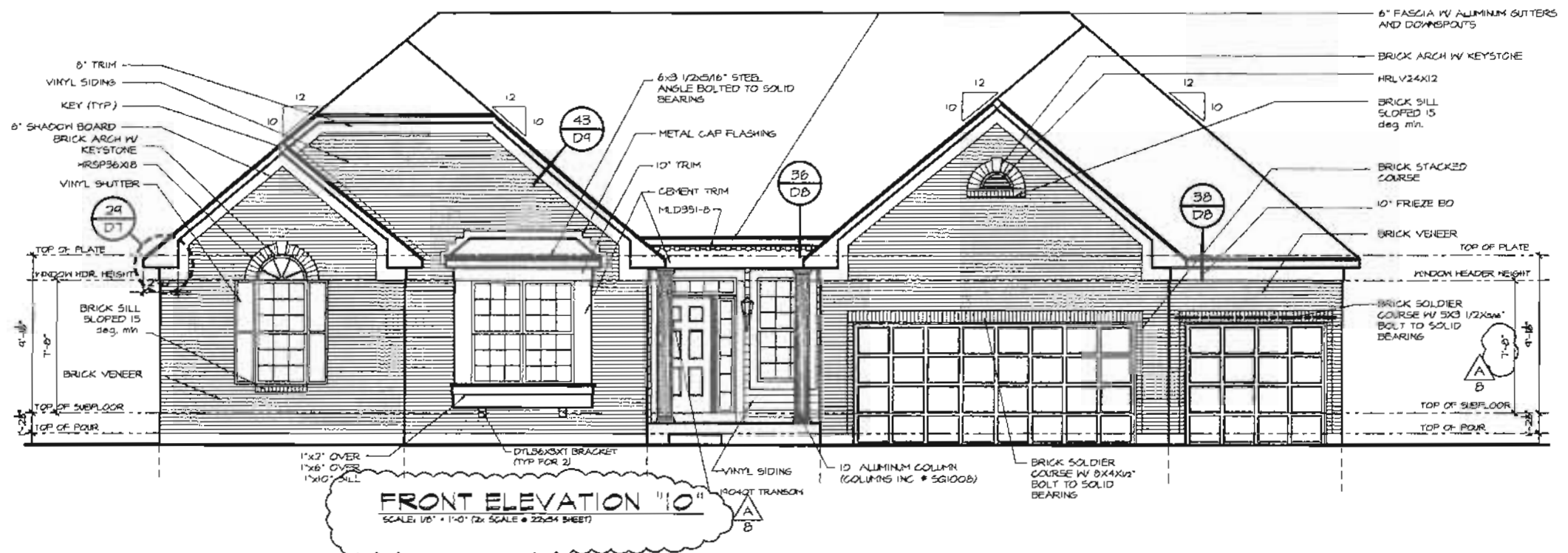
Project: STL0304

EXTERIOR ELEVATIONS "1" - OPTIONS

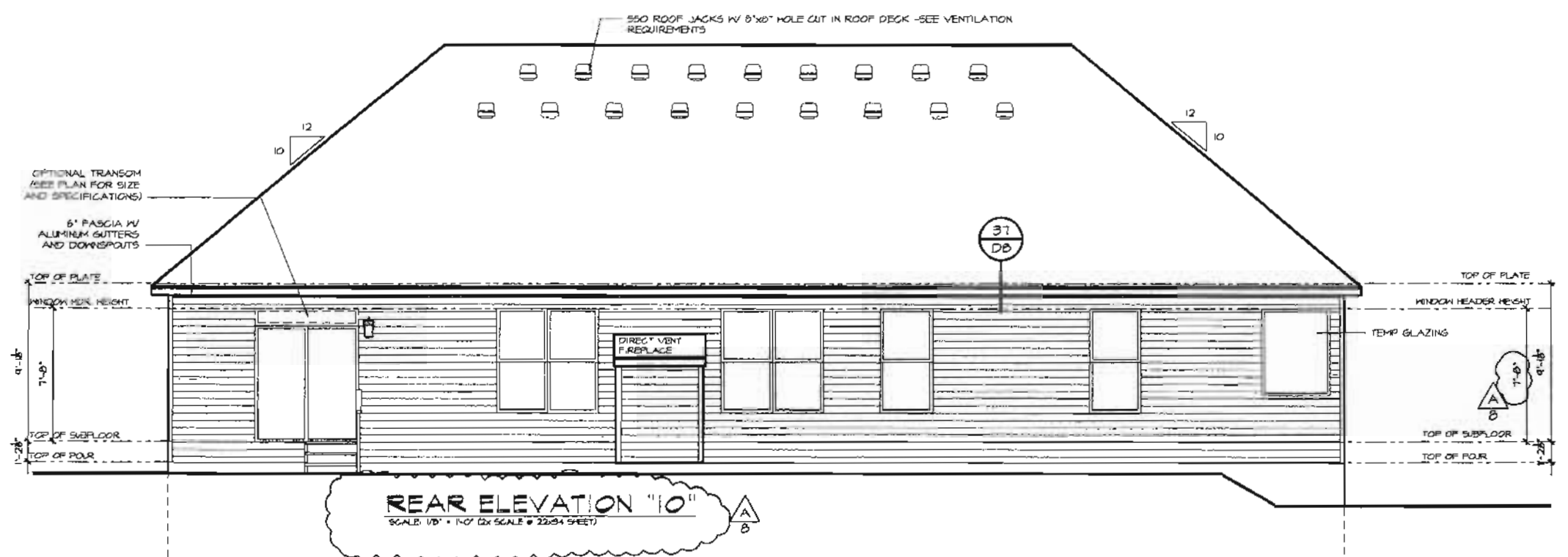
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date:	drawn by:
AT-AG/SSP	CAF
designed by:	PK
drawn by:	AS, PS, RM
checked by:	TEP
date:	12/29/06

sheet:
6.1.8



FRONT ELEVATION "10"
 SCALE: 1/8" = 1'-0" (2x SCALE @ 22x34 SHEET)



REAR ELEVATION "10"
 SCALE: 1/8" = 1'-0" (2x SCALE @ 22x34 SHEET)

- ELEVATION NOTES**
1. SEE GENERAL NOTE SHEETS FOR SUPPLEMENTAL INFORMATION.
 2. PROVIDE Drip Saps OR FLASHING AT ALL WINDOWS AND DOORS. SEE DETAIL PAGES FOR ADDITIONAL INFORMATION.
 3. ALL ROOF SADDLES TO BE OSB SHEATHED W/ BUILDING PAPER AND SHINGLES.
 4. STANDARD SIDING TO BE HORIZONTAL OUTLINE VINYL (UNLESS NOTED OTHERWISE).
 5. STANDARD CORNER PCS'S TO BE 3/2\"/>

CENTEX HOMES
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 16640 Chesterfield Grove Rd.
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 Chesterfield, MO 63005
 Phone: 636.337.7000
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801 N. Lindbergh
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 314.865-2100
 Fax: 314-993-2370

GLANTZ & ASSOCIATES
 ARCHITECTS

PARKDALE
WYNNCREST
 RANCH 3 BR - 2 BA

Project: 8TL0304

EXTERIOR ELEVATIONS
"10" - FRONT & REAR

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