



690 Chesterfield Pkwy W • Chesterfield MO 63017-0760
Phone: 636-537-4000 • Fax 636-537-4798 • www.chesterfield.mo.us

Planning Commission Staff Report

Project Type: Site Development Plan

Meeting Date: March 9, 2015

From: Jonathan Raiche, Senior Planner

Location: North of Wild Horse Creek Road and west of Long Road

Applicant: Wild Horse Creek Partners, LLC

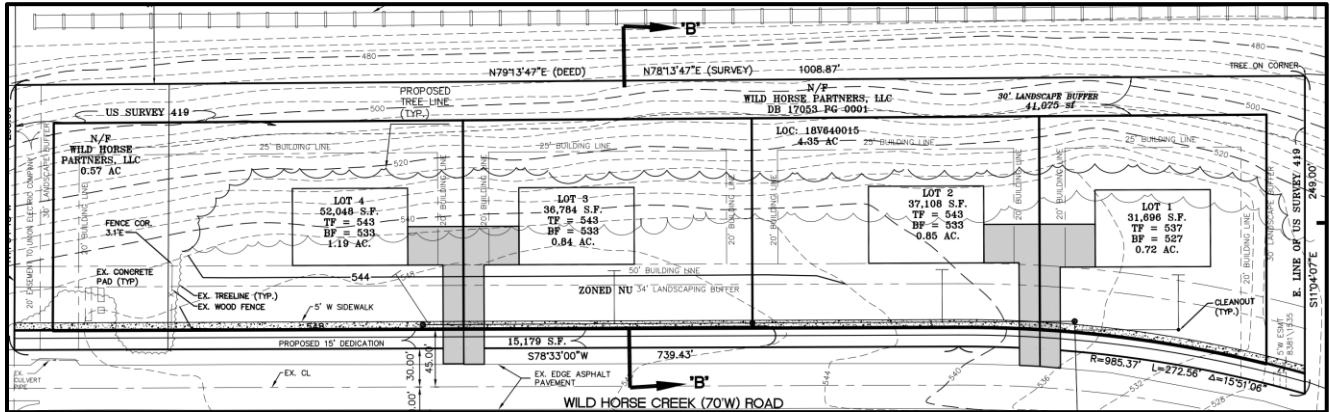
Description: **Wild Horse Bluffs SDP:** A Site Development Plan, Tree Stand Delineation, Tree Preservation Plan, Landscape Plan, Lighting Plan, Architectural Elevations and an Architect's Statement of Design for a 4.91 acre tract of land zoned "E-1AC" Estate District with a "WH" Wildhorse Creek Road Overlay District located on the north side of Wild Horse Creek Road and west of Long Road.

PROPOSAL SUMMARY

Hart Engineering, LLC has submitted on behalf of Wild Horse Creek Partners, LLC a Site Development Plan, Tree Stand Delineation, Tree Preservation Plan, Landscape Plan, Lighting Plan, Architectural Elevations and an Architect's Statement of Design for a 4.91 acre single family detached residential development to be known as Wild Horse Bluffs. The plans would permit the development of four detached single family homes accessing Wild Horse Creek Road via two proposed shared access driveways.

HISTORY OF SUBJECT SITE

On October 15, 2007, the City of Chesterfield approved Ordinance 2394, which zoned the subject site from an "NU" Non-Urban District to an "E-1AC" Estate District with a "WH" Wildhorse Creek Road Overlay District. Because of the overlay designation, a preliminary plan was prepared and provided during the zoning process. A copy of this plan is attached to this report. Both the ordinance and Preliminary Plan permit the development of four detached single family homes. A comparison of the 2007 Preliminary Plan and the current proposed Site Development Plan showing that the proposed plan substantially conforms to the Preliminary Plan can be seen in Figure 1. The majority of the site is currently vacant with one older accessory structure, a shed, located on the eastern end. An aerial of the site can be seen in Figure 2.



2007 Preliminary Plan

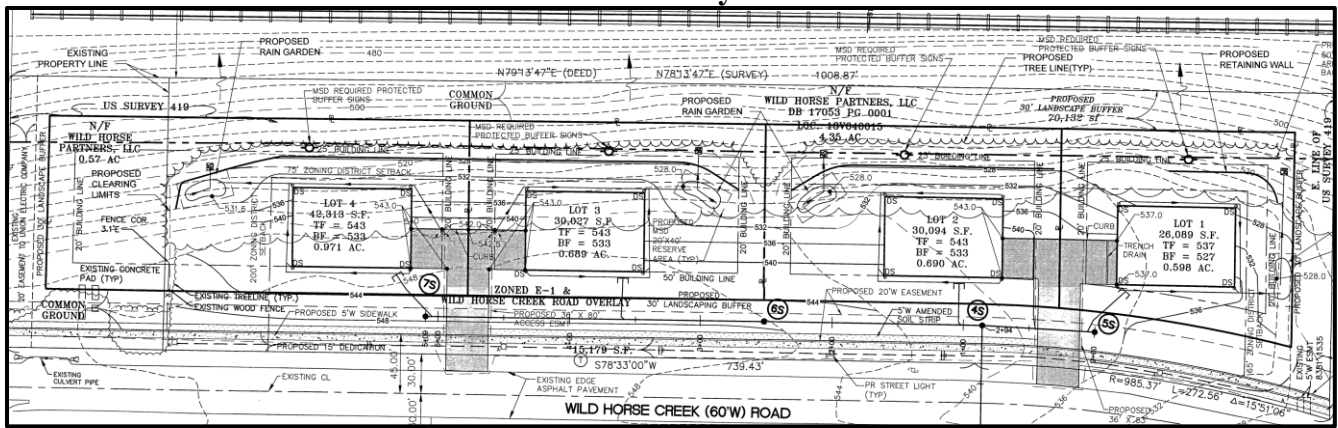


Figure 1 2015 Site Development Plan



Figure 2 Aerial Photo

Land Use and Zoning of Surrounding Properties

Direction	Land Use	Zoning
North	Airport/Industrial	“M3” Planned Industrial District
South	Windridge Estates (SF Residential)	“R1” Residential with a PEU
East	Residential	“NU” Non-Urban District
West	Vacant	“NU” Non-Urban District

STAFF ANALYSIS

Comprehensive Plan

Figure 3 shows the limits of the Wild Horse Creek Road Sub Area in yellow and the subject site in red. The limits of the sub area are also the same limits that encompass the “WH” Overlay area.



Figure 3

The City’s Comprehensive Plan calls for restricted access of homes on arterial roads and for appropriate buffering along arterial roads in Policies 2.1.11 and 2.1.5 respectively. The proposed plan has complied with minimizing the direct access through utilizing two shared access drives rather than each home having a dedicated drive. The plan also proposes a 30’ landscape buffer along Wild Horse Creek Road. This landscape buffer, which is discussed in more detail later in this report, specifically addresses the Policies 2.1.5 and 11.2 of the Comprehensive Plan which call for the development in the Wild Horse Creek Road Sub Area to be setback and screened from the road. A number of the other Comprehensive Plan policies specific to the Wild Horse Creek Road Sub Area are addressed in the following sections of this report.

Zoning

As previously mentioned, the subject site is governed by Ordinance 2394 as well as the “WH” Overlay District requirements effective as of October 15, 2007. The entitlements and requirements that govern this site were created during this zoning process that occurred in 2007. Additionally, this Site Development Plan was received prior to the October 2014 “WH” Overlay District update. The proposed lots vary between approximately 26,000 square feet and 42,000 square feet. The underlying “E-1AC” Estate District in 2007 required a minimum lot size of 22,000 square feet with an overall density of one acre per home. The proposed plans meet the minimum lot size and density requirements of the underlying district.

Traffic Access and Circulation

Ordinance 2394 permits the development of two driveways located on Wild Horse Creek Road and the preliminary plan indicated two driveways in the same locations as those proposed on the current Site Development Plan. The requirement to limit the number of driveways was in an effort to minimize the direct access points to Wild Horse Creek Road as much as the site would allow per the City's Comprehensive Plan. This requirement has been met.

In addition to these two permitted driveways, the developer has proposed a cross access easement to the east for potential future connection to residential redevelopment as required by Ordinance 2394.

Open Space

The "WH" Overlay in 2007 required a minimum of 40% open space retention which corresponds to Policy 11.3 of the Comprehensive Plan. The developer has far exceeded this requirement through providing 73% open space through a variety of restricted areas including common ground and non-buildable areas on private lots. Within this open space, the Common Ground provided is 33% of the site. Many of these areas also coincide with the natural bluff which also meets the requirement of the overlay district for the preservation of natural features.

Landscaping

A Landscape Plan has been submitted showing new trees and shrubs to be installed on the site. The underlying zoning district for this site requires a 30' wide landscape buffer along Wild Horse Creek Road in an effort to provide visual screening between the development and the road thus maintaining the character of Wild Horse Creek Road as previously mentioned in the Comprehensive Plan section. The developer has provided a 30' landscape buffer around the entire perimeter of the site which includes the area along Wild Horse Creek Road. The buffer plantings, in combination with the Street Trees, provide a substantial planting area which utilizes a mixture of ornamental, evergreen, and deciduous trees.

Tree and Slope Preservation

The west, north, and east boundaries of this development are proposed to preserve the existing tree canopy throughout the 30' landscape buffer. This development is proposing a preservation of 44% of the existing tree canopy which exceeds the minimum requirement for 30% preservation. The tree and slope preservation requirements reflect Policies 11.5 and 11.6 of the Comprehensive Plan which call for the preservation of natural features and slopes. Similarly, the Estate District ordinance requires that 70% of slopes exceeding 30% grade be preserved. The developer is proposing to preserve 78% of these steep slopes in an effort to preserve the natural features.

Lighting

The plan proposes four street lights along Wild Horse Creek Road. The proposed street lights will ensure that the two new access points on Wild Horse Creek Road are lit in a way that provides visibility of cars entering and exiting at these points. The developer has decided to install fixtures that are not a standard Ameren UE fixture; however, the fixtures do meet City Code requirements. The fixtures will be mounted at a height of 16 feet and will be fully shielded in order to provide a safe environment while still minimizing light trespass. The developer has also provided a street light agreement that will be required to be recorded to ensure the long term maintenance and operation of these fixtures.

Architectural Elevations

As previously mentioned, this development will consist of four detached single family residential structures. At this time, the developer has provided one elevation that offers a variety of earth tone colors which can provide for variation between the four structures. The exterior materials proposed include brick, stone, and cementitious siding on the principal façade with the mixture of brick and siding extending around the remaining facades. The principal façade includes the most variation through materials and the use of architectural elements that offer various setbacks to avoid a monotonous, flat elevation.

The proposed elevation also features a side-entry garage which provides a more aesthetically pleasing principal façade. Although the principal façade faces Wild Horse Creek Road, the developer has also ensured that two of the three main elements are carried over onto the side and rear facades to be compatible with the principal façade thus meeting the building design requirement of the “WH” Overlay District. In addition to the requirements of the overlay district, the proposed elevation complies with the City’s Architectural Review Design Standards.

DEPARTMENT INPUT

Staff has reviewed the Site Development Plan, Tree Stand Delineation, Tree Preservation Plan, Landscape Plan, Lighting Plan, Architectural Elevations and an Architect’s Statement of Design and has found the proposal to be in compliance with the site specific ordinance and all City Code requirements. As previously mentioned, the Site Development Plan also substantially conforms to the 2007 Preliminary Plan. Staff recommends approval of the proposal as presented.

MOTION

The following options are provided to the Planning Commission for consideration relative to this application:

- 1) “I move to approve (or deny) the Site Development Plan, Tree Stand Delineation, Tree Preservation Plan, Landscape Plan, Lighting Plan, Architectural Elevations and an Architect’s Statement of Design for the Wild Horse Bluffs subdivision.
- 2) “I move to approve the Site Development Plan, Tree Stand Delineation, Tree Preservation Plan, Landscape Plan, Lighting Plan, Architectural Elevations and an Architect’s Statement of Design for the Wild Horse Bluffs subdivision, with the following conditions...” (Conditions may be added, eliminated, altered or modified)

Planning Commission
March 9, 2015

Wild Horse Bluffs
Site Development Plan

CC: Aimee Nassif, Planning and Development Services Director

Attachments: 2007 Preliminary Plan
Site Development Plan
Tree Stand Delineation
Tree Preservation Plan
Landscape Plan
Lighting Plan
Architectural Elevations
Architect's Statement of Design

WILD HORSE BLUFFS

2007 Preliminary Plan

A TRACT OF LAND IN U.S. SURVEY 419 AND BEING
PART OF LOT 20 OF THE SUBDIVISION OF R.H. STEVENS' FARM
CITY OF CHESTERFIELD
ST. LOUIS COUNTY, MISSOURI 63005

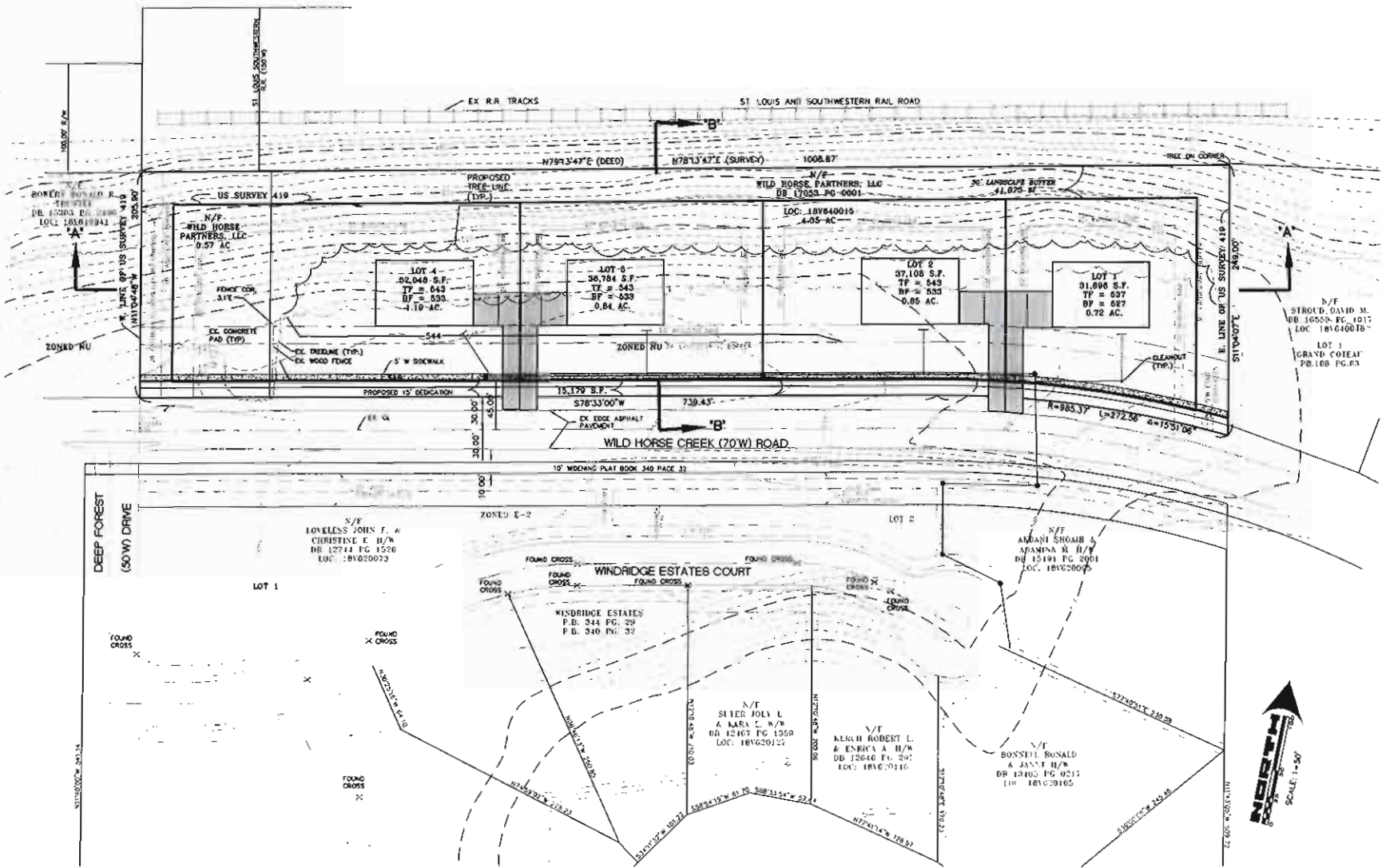
DISCLAIMER



PROPERTY DESCRIPTION

DESCRIPTION OF TRACT
A TRACT OF LAND IN U.S. SURVEY 419 AND BEING PART OF LOT 20 OF THE SUBDIVISION OF R.H. STEVENS' FARM RECORDED IN PLAT BOOK 7 PAGE 37 OF THE ST. LOUIS COUNTY RECORDS FOR CITY RECORDS AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT THE INTERSECTION OF THE WEST LINE OF U.S. SURVEY 419 WITH THE NORTH LINE OF WILD HORSE CREEK ROAD BEING 60 FEET WIDE, SAID POINT ALSO BEING THE SOUTHWEST CORNER OF A TRACT OF LAND CONVEYED BY DEED TO DONALD BOWERS, RECORDED IN DEED BOOK 15203 PAGE 248 OF THE ST. LOUIS COUNTY RECORDS, THENCE NORTH 15 DEGREES 54' 30" WEST ALONG SAID NORTH LINE AND ALONG THE WEST LINE OF A TRACT OF LAND CONVEYED BY DEED TO INVESTMENT CONSULTING GROUP INC. RECORDED IN DEED BOOK 14781 PAGE 2497 OF THE ST. LOUIS COUNTY RECORDS, NORTH 11 DEGREES 04' 00" WEST ALONG SAID WEST LINE A DISTANCE OF 500.00 FEET TO A POINT ON THE WESTERN LINE OF A TRACT OF LAND CONVEYED BY DEED TO DAVID W. STRAUSS, RECORDED IN DEED BOOK 14559 PAGE 1017 OF THE ST. LOUIS COUNTY RECORDS, THENCE S 89 DEGREES 15' 00" WEST ALONG SAID WESTERN LINE SOUTH 11 DEGREES 04' 00" WEST A DISTANCE OF 240.00 FEET TO A POINT ON THE NORTHERN LINE OF SAID WILD HORSE CREEK ROAD, THENCE WESTERLY ALONG THE NORTHERN LINE OF SAID WILD HORSE CREEK ROAD AND BEING A CURVE TO THE LEFT HAVING A RADIUS OF 888.33 FEET, AN INCLUDED ANGLE OF 15 DEGREES 51' 00" WESTERLY, THENCE CONTINUING WESTERLY ALONG THE NORTHERN LINE OF SAID WILD HORSE CREEK ROAD, SOUTH 78 DEGREES 53' 00" WEST A DISTANCE OF 730.43 FEET TO THE POINT OF BEGINNING, CONTAINING 21,880 SQUARE FEET OR 4.91 ACRES, MORE OR LESS.

LEGEND	
DESCRIPTION	SYMBOL
EXISTING CONTOURS	---
PROPOSED CONTOURS	---
EXISTING TREE MASS	---
EXISTING TREE	---
EXISTING UTILITIES	---
EXISTING SANITARY SEWER	---
EXISTING STORM SEWER	---
PROPOSED SANITARY SEWER	---
MANHOLE	---
PROPOSED CLEARING LIMITS	---
PROPOSED 4" SIDEWALK	---
PROPOSED PAVEMENT	---
RETAINING WALL	---



PERTINENT DATA

LOCATOR NUMBERS	18V-64-0015
RECORD OWNER(S)	WILD HORSE PARTNERS LLC
SITE ADDRESS	17436 WILD HORSE CREEK RD CHESTERFIELD, MO 63005
SITE AREA	4.35 ACRES
PRESENT USAGE	SINGLE FAMILY
PRESENT ZONING	1/4" HIGH URBAN
PROPOSED ZONING	T-1 43,560 S.F. DENSITY
PROPOSED DEVELOPMENT	4 LOT SUBDIVISION DETACHED SINGLE FAMILY
PROPOSED SETBACKS	FRONT YARD - 30 FT SIDE YARD - 20 FT REAR YARD - 25 FT
DISTANCE BETWEEN STRUCTURES	150 FT
SCHOOL DISTRICT	WOODMOON R-6 SCHOOL DISTRICT
WASTEWATER	PG 20 ORD 18-4 CREIK COLEUR CREEK
UTILITIES	MISSOURI AMERICAN WATER COMPANY AMERON UT METROPOLITAN ST. LOUIS SEWER DISTRICT SBC
FIRE DISTRICT	LADLICE GAS COMPANY MONARCH FIRE PROTECTION DISTRICT

- ### GENERAL NOTES
- BOUNDARY SURVEY BY WND ENGINEERING TOPOGRAPHIC INFORMATION PER AVAILABLE RECORDS
 - SITE IS VACANT
 - GRADING AND STORMWATER DRAINAGE TO CONFORM TO THE STANDARDS OF MHD AND CITY OF CHESTERFIELD. SLOTTION CONTROL SHALL BE IN PLACE PRIOR TO THE START OF GRADING. ALL STORMWATER SHALL BE DISCHARGED AT AN ADEQUATE NATURAL DISCHARGE POINT.
 - STORMWATER DETENTION IF REQUIRED TO BE FOR USE STANDARDS
 - SANITARY SEWER SERVICE TO MEET USE STANDARDS
 - ROOF-OF-WAY DEDICATION AND/OR EASEMENTS SHALL BE AS DIRECTED BY THE CITY OF CHESTERFIELD AND MISSOURI DEPARTMENT OF TRANSPORTATION
 - SIDEWALKS AND STREET LIGHTS SHALL BE PROVIDED AS DIRECTED BY THE CITY OF CHESTERFIELD
 - PER FEMA COMMUNITY PANEL NUMBER 29189 0015M DATED 02/02/05 THE SITE IS LOCATED IN ZONE "X", AN AREA DETERMINED AND DESIGNATED TO BE OUTSIDE THE 500-YEAR REGULATORY FLOODPLAIN
 - ELECTRIC, TELEPHONE AND CATV SERVICE TO BE PROVIDED BY UNDERGROUND FACILITIES
 - ALL PUBLIC SEWERS AND UTILITIES TO BE COVERED BY BASEMENTS ON THE FINAL PLAN
 - WATER MAIN TO BE 18" DIAMETER
 - RETAINING WALLS TO BE CONSTRUCTED OF SEGMENTAL CONCRETE MASONRY UNITS
 - LOT SIZES AND CONFIGURATIONS SHOWN ON THIS PLAN ARE PRELIMINARY, SUBJECT TO RECORD PLAT APPROVAL

DENSITY CALCULATIONS

1. GROSS AREA	21,880 S.F. (4.91 ACRES)
2. DEDUCT FRONT-OF-WAY	15,179 S.F. (0.33 ACRES)
3. DEDUCT COMMON CIRCULAR	4,075 S.F. (0.09 ACRES)
4. NET AREA	12,626 S.F. (0.29 ACRES)
5. NUMBER OF LOTS	4
6. AVERAGE LOT DENSITY SIZE	49,065 S.F.
7. AVERAGE LOT SIZE	127,636 S.F. (29.24 ACRES)
8. MAX ALLOWABLE NO LOTS	108,711 (2.43 ACRES PER LOT = 4 LOTS)
9. MAX LOT SIZE	53,064 S.F.
10. MIN LOT SIZE	31,690 S.F.

OFF-STREET PARKING REQUIREMENTS

1. PROPOSED USE	FOUR (4) SINGLE FAMILY DWELLING UNITS (D.U.)
2. REQUIRED PARKING RATIO	1 SPACES PER D.U.
3. REQUIRED PARKING	4 SPACES
4. PARKING PROVIDED	8 SPACES (2 PER D.U.)

GREENSPACE

1. SITE	21,880 S.F. (4.91 ACRES) - 100%
2. ROOFS	21,880 S.F. (0.30 ACRES) - 100%
3. DRIVEWAYS	10,180 S.F. (0.23 ACRES) - 5%
3. GREEN SPACE	182,374 S.F. (4.17 ACRES) - 85%

THIS IS TO CERTIFY THAT I HAVE REVIEWED AVAILABLE TOPOGRAPHIC AND UTILITY INFORMATION FOR THIS PROJECT FROM WHICH GRADING, PAVING, AND SEWER LAYOUT HAS BEEN PREPARED, AS SHOWN HEREON. ALL TO BE CONSIDERED AS STRICTLY PRELIMINARY IN NATURE, SUBJECT TO REVISIONS AND MODIFICATIONS AS MAY BE REQUIRED DURING PREPARATION OF THE SITE IMPROVEMENT PLANS. THIS PLAN IS NOT FOR CONSTRUCTION.

MARK WILLIAM HUBERT, P.E. DATE
WIND ENGINEERING COMPANY

THIS IS TO CERTIFY THAT THIS PLAN HAS BEEN PREPARED FROM RECORD INFORMATION (DEEDS, SUBDIVISION PLATS, ASSESSOR PLATS, OUTBOUNDARY SURVEYS, HIGHWAY ROAD PLANS AND OTHER AVAILABLE INFORMATION) THIS PLAN DOES NOT REPRESENT AN ACTUAL BOUNDARY SURVEY BY THIS OFFICE.

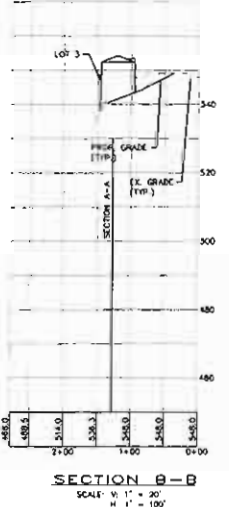
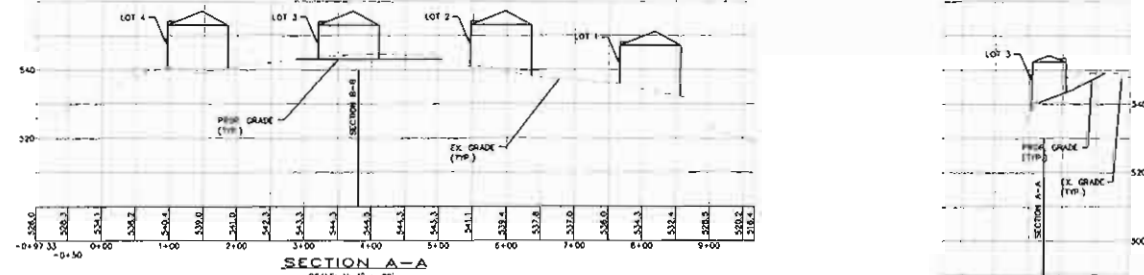
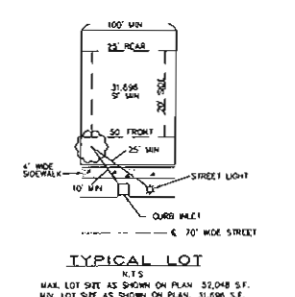
LEE C. FERRENBAUGH, III PL 23210 DATE
WIND ENGINEERING COMPANY

NOTICE TO CONTRACTOR

THE LOCATION OF ANY UNDERGROUND FACILITIES, STRUCTURAL UTILITIES, SEWERS AND DRAINAGE FACILITIES, PUBLIC OR PRIVATE, AS MAY BE SHOWN ON THE DRAWINGS MUST BE DETERMINED APPROXIMATELY AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THEIR EXACT LOCATION AND THE EXISTENCE OF ANY NOT SHOWN. THE RELATIONSHIP BETWEEN ANY PROPOSED WORK AND EXISTING FACILITIES, STRUCTURAL UTILITIES, SEWERS AND DRAINAGE FACILITIES MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. UNDERGROUND FACILITIES MUST BE LOCATED BOTH HORIZONTALLY AND VERTICALLY TO MEET ADEQUATE CLEARANCE/UNDERSTRUCTURE CAPABILITIES OR OTHERWISE VERIFY ANY PROPOSED GRADING, SEWERS AND/OR DRAINAGE FACILITIES, FOOTINGS, MEMBRANES, ETC. PRIOR TO CONSTRUCTION. REPRESENTATIVES OF UTILITY COMPANIES, SEWER AND/OR WATER AUTHORITIES, INCLUDING LOCAL MUNICIPAL AGENCIES AS MAY HAVE JURISDICTION OVER SAME, SHALL BE ON SITE DURING SUCH TIMES THAT ANY WORK IS TAKING PLACE OVER, UNDER OR IN THE VICINITY OF ANY FACILITIES AS MAY BE SHOWN ON THE DRAWINGS OR OTHERWISE LEADS TO EXIST, AND CONTRACTOR SHALL GIVE ADVANCE NOTICE TO SUCH REPRESENTATIVES AS NECESSARY TO COORDINATE THEIR EFFORTS IN THIS REGARD.

PRELIMINARY PLAN DISCLAIMER

THIS DRAWING/PLAN/PLAN HAS BEEN DEVELOPED USING RECORD OR AVAILABLE SURVEY, TOPOGRAPHIC, DRAINAGE, AND UTILITY INFORMATION. THE DESIGN OF THE SITE IMPROVEMENTS, INCLUDING FINAL GRADING, SEWER, DRAINAGE, UTILITIES, AND PAVING IS PRELIMINARY HAVING BEEN BASED UPON SUCH INFORMATION. THE PROPOSED IMPROVEMENTS ARE SUBJECT TO REVISION DURING FINAL ENGINEERING DESIGN, AGENCY APPROVAL, AND REVIEW BY UTILITY COMPANIES. THIS DRAWING IS NOT FOR CONSTRUCTION.



BEFORE YOU DIG - DRILL - BLAST

1-800-344-7483
(TOLL FREE)
MISSOURI ONE CALL SYSTEM, INC.

CAUTION / HAZARD	
EXISTING UNDERGROUND UTILITIES AND OTHERS	
CALL BEFORE EXCAVATING	
AMERICAN WATER (MO)	1-800-251-6426
AMERICAN WATER (IL)	1-800-422-2782
CHARIERS COMMUNICATIONS	(888) 430-2427
AMERICAN GAS	(314) 242-1000
AMERICAN ELECTRIC	(314) 621-8000
AT&T	1-800-325-1133
A.S.D.	(314) 788-8880
SPRINKLER	1-800-371-8119
GENERAL UTILITIES	1-800-045-8811

WILD HORSE BLUFFS
PRELIMINARY SITE DEVELOPMENT PLAN
 Project No: 05122.01
 127 S. Kirkwood Blvd.
 Kirkwood, MO 63122
 Telephone: 314-865-8786
 Fax: 314-865-7292
 Email: info@windeng.com

REVISIONS	
DATE	05.26.2006
Drawn By	JDK
C.S.O.	
Checked By	JDK
Project Number	05122.01
Sheet Number	PSP-1
W.D.	05/26/06

WILD HORSE BLUFFS

A TRACT OF LAND IN U.S. SURVEY 419 AND BEING
PART OF LOT 20 OF THE SUBDIVISION OF R.H. STEVENS' FARM
TOWNSHIP 45 NORTH, RANGE 3 EAST,
CITY OF CHESTERFIELD
ST. LOUIS COUNTY, MISSOURI 63005

GENERAL NOTES:

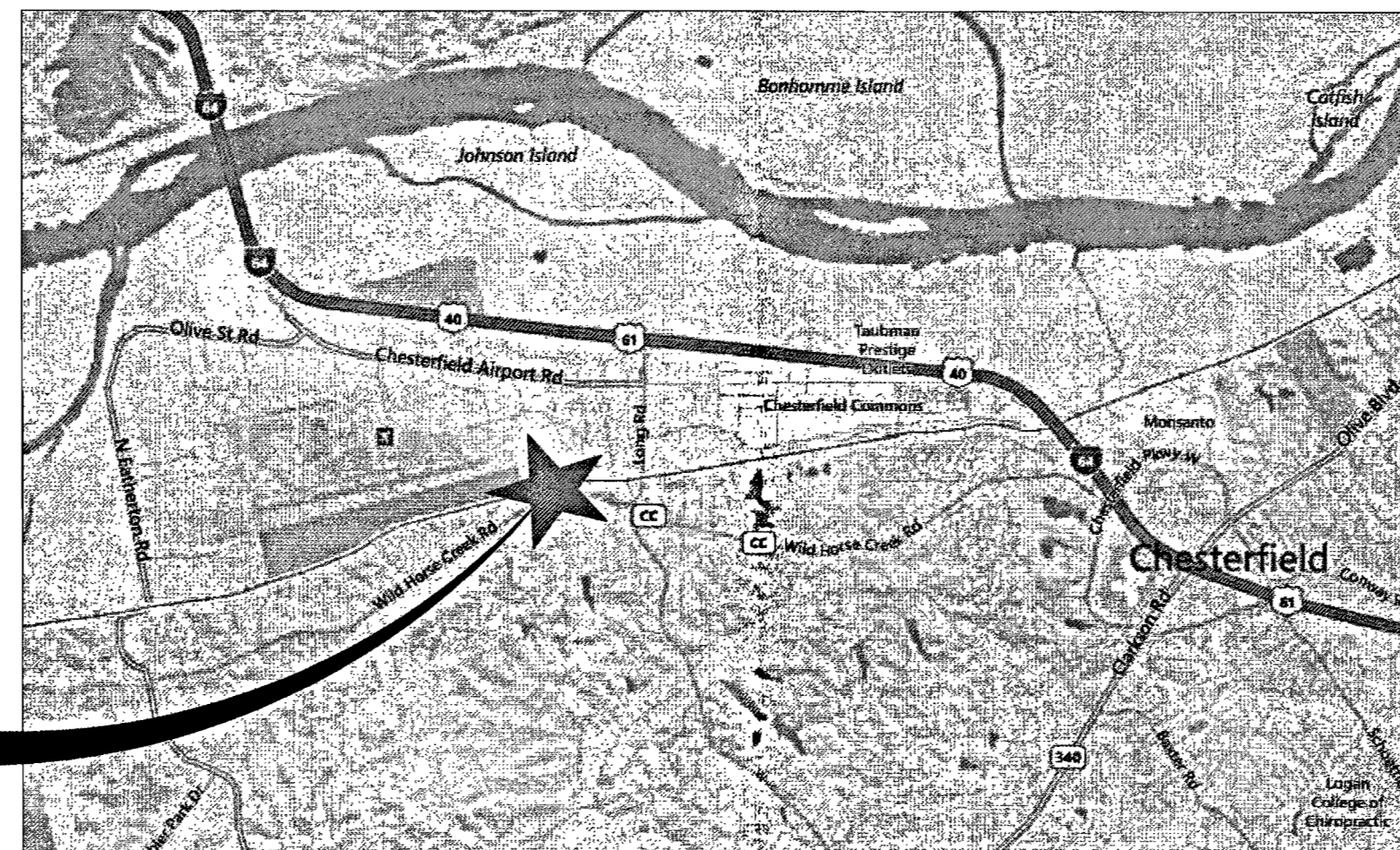
- BOUNDARY SURVEY PROVIDED BY GATEWAY LAND SERVICES, INC. TOPOGRAPHIC INFORMATION PER AVAILABLE RECORDS
- SITE IS VACANT.
- GRADING AND STORMWATER DRAINAGE TO CONFORM TO THE STANDARDS OF MSD AND CITY OF CHESTERFIELD. SILTATION CONTROL SHALL BE IN PLACE PRIOR TO THE START OF GRADING. ALL STORMWATER SHALL BE DISCHARGED AT AN ADEQUATE NATURAL DISCHARGE
- STORMWATER DETENTION IF REQUIRED TO BE PER MSD STANDARDS.
- SANITARY SEWER SERVICE TO MEET MSD STANDARDS.
- RIGHT-OF-WAY DEDICATION AND/OR EASEMENTS SHALL BE AS DIRECTED BY THE CITY OF CHESTERFIELD AND MISSOURI DEPARTMENT OF TRANSPORTATION.
- SIDEWALKS AND STREET LIGHTS SHALL BE PROVIDED AS DIRECTED BY THE CITY OF CHESTERFIELD.
- PER FEMA COMMUNITY PANEL NUMBER 29189 C0145H DATED 08/02/95 THE SITE IS LOCATED IN ZONE 'X', AN AREA DETERMINED AND DESIGNATED TO BE OUTSIDE THE 500-YEAR REGULATORY FLOODPLAIN
- ELECTRIC, TELEPHONE AND CATV SERVICE TO BE PROVIDED BY UNDERGROUND FACILITIES.
- ANY PUBLIC SEWERS AND UTILITIES TO BE COVERED BY EASEMENTS ON THE FINAL PLAT.
- WATER MAIN TO BE MIN. 8" DIAMETER.
- RETAINING WALLS TO BE CONSTRUCTED OF SEGMENTAL CONCRETE MASONRY UNITS.
- LOT SIZES AND CONFIGURATIONS SHOWN ON THIS PLAN ARE PRELIMINARY, SUBJECT TO RECORD PLAT APPROVAL.
- TREE PROTECTION AREA IS ESTABLISHED AS A PROTECTED AREA FOR EXISTING TREES. STRUCTURES OF ANY SIZE, WHETHER TEMPORARY OR PERMANENT, ARE NOT PERMITTED WITHIN PROTECTION AREA. FAILURE TO PRESERVE THE TREE PROTECTION AREA MAY RESULT IN INSPECTION AND ISSUANCE OF FINES BY THE CITY OF CHESTERFIELD. THIS LANGUAGE SHALL BE INCLUDED ON ALL PLANS, PLATS, ORDINANCE, SUBDIVISION INDENTURES, AND OTHER APPROPRIATE DOCUMENTS FOR THIS DEVELOPMENT.

PROPERTY DESCRIPTION

DESCRIPTION OF TRACT:
A TRACT OF LAND IN U.S. SURVEY 419 AND BEING PART OF LOT 20 OF THE SUBDIVISION OF R. H. STEVENS' FARM RECORDED IN PLAT BOOK 7 PAGE 37 OF THE ST. LOUIS COUNTY MISSOURI FORMER CITY RECORDS AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE WEST LINE OF U.S. SURVEY 419 WITH THE NORTH LINE OF WILD HORSE CREEK ROAD BEING 60 FEET WIDE, SAID POINT ALSO BEING THE SOUTHEASTERN CORNER OF A TRACT OF LAND CONVEYED BY DEED TO DONALD BOWERS, RECORDED IN DEED BOOK 15303 PAGE 2496 OF THE ST. LOUIS COUNTY RECORDS; THENCE NORTHERLY LEAVING SAID NORTH LINE AND ALONG THE WEST LINE OF A TRACT OF LAND CONVEYED BY DEED TO INVESTMENT CONSULTING GROUP INC. RECORDED IN DEED BOOK 14761 PAGE 2492 OF THE ST. LOUIS COUNTY RECORDS, NORTH 11 DEGREES 04 MINUTES 48 SECONDS WEST A DISTANCE OF 205.90 FEET TO A POINT ON THE SOUTH LINE OF A TRACT OF LAND CONVEYED TO ST. LOUIS AND SOUTHWESTERN RAIL ROAD (FORMERLY CHICAGO ROCK ISLAND AND PACIFIC RAILROAD COMPANY); THENCE EASTERLY ALONG SAID SOUTH LINE, NORTH 78 DEGREES 13 MINUTES 47 SECONDS EAST A DISTANCE OF 1008.87 FEET TO A POINT ON THE WESTERN LINE OF A TRACT OF LAND CONVEYED BY DEED TO DAVID M STROUD RECORDED IN DEED BOOK 16559 PAGE 1017 OF THE ST. LOUIS COUNTY RECORDS; THENCE SOUTHERLY ALONG SAID WESTERN LINE, SOUTH 11 DEGREES 04 MINUTES 07 SECONDS EAST A DISTANCE OF 249.00 FEET TO A POINT ON THE NORTHERN LINE OF SAID WILD HORSE CREEK ROAD; THENCE WESTERLY ALONG THE NORTHERN LINE OF SAID WILD HORSE CREEK ROAD AND BEING A CURVE TO THE LEFT HAVING A RADIUS OF 985.37 FEET, AN INCLUDED ANGLE OF 15 DEGREES 51 MINUTES 06 SECONDS, AN ARC LENGTH OF 272.56 FEET TO ITS POINT OF TANGENCY; THENCE CONTINUING WESTERLY ALONG THE NORTHERN LINE OF SAID WILD HORSE CREEK ROAD, SOUTH 78 DEGREES 33 MINUTES 00 SECONDS WEST A DISTANCE OF 739.43 FEET TO THE POINT OF BEGINNING, CONTAINING 213,890 SQUARE FEET OR 4.91 ACRES MORE OR LESS.

LOCATION MAP



INDEX

- TITLE SHEET
- SITE & PROFILE PLAN
 - TREE STAND DELINEATION
 - TREE PROTECTION PLAN
 - PROPOSED LANDSCAPE PLAN
- E101 ROAD LIGHTING

LEGEND

DESCRIPTION	SYMBOL
EXISTING CONTOURS	
PROPOSED CONTOURS	582
EXISTING TREE MASS	
EXISTING TREE	
EXISTING UTILITIES	
EXISTING SANITARY SEWER	10" VCP
EXISTING STORM SEWER	12" RCP
PROPOSED SANITARY SEWER	
MANHOLE	
PROPOSED TREELINE	
PROPOSED 5'W SIDEWALK	
PROPOSED PAVEMENT	
RETAINING WALL	TW 547.85 BW 546.25

PERTINENT DATA

LOCATOR NUMBERS : 18V-64-0015
RECORD OWNER(S) : WILD HORSE PARTNERS, LLC
SITE ADDRESS : 17439 WILD HORSE CREEK RD.
CHESTERFIELD, MO 63005

SITE AREA : 4.91 ACRES = 100 %
DEDICATION STRIP : 0.35 ACRES = 7 %
COMMON GROUND : 1.61 ACRES = 33 %
DISTURBED AREA : 3.22 ACRES = 66 %
LOT AREA TOTAL : 128,522 SF (2.95 ACRES)
NON BUILDABLE AREA (OUTSIDE OF SETBACKS MINUS DRIVEWAYS): 157,933.12 SF (3.62 ACRES)
OPEN SPACE : 73%
PRESENT USAGE : SINGLE FAMILY
PRESENT ZONING : E-1 & THE WILD HORSE CREEK ROAD OVERLAY
EXISTING ZONING : E-1 & THE WILD HORSE CREEK ROAD OVERLAY
PROPOSED DEVELOPMENT : 4 LOT SUBDIVISION DETACHED SINGLE FAMILY
EXISTING SETBACKS : FRONT YARD - 50 FT FROM RIGHT-OF-WAY
SIDE YARD - 20 FT
REAR YARD - 25 FT
87 FT

DISTANCE BETWEEN STRUCTURES : ROCKWOOD R-6 SCHOOL DISTRICT
SCHOOL DISTRICT : PG 20 GRID 18-II
WUNNENBERG PAGE NO./GRID : MO RIVER TRIBUTARY AREAS
WATERSHED : MISSOURI AMERICAN WATER COMPANY
UTILITIES : AMEREN UE
: METROPOLITAN ST. LOUIS SEWER DISTRICT
: SBC

FIRE DISTRICT : LACLEDE GAS COMPANY
NEAREST INTERSECTION : MONARCH FIRE PROTECTION DISTRICT
: 1,800 L.F. WEST OF WILD HORSE CREEK ROAD AND
KEHRS MILL ROAD INTERSECTION
SPIRIT OF ST. LOUIS AIRPORT : THIS DEVELOPMENT IS APPROXIMATELY 2,000 FEET
AWAY FROM SPIRIT OF ST. LOUIS AIRPORT RUNWAY 26L.
THERE WILL BE NOTICEABLE AIRCRAFT NOISE AT THIS
SITE ON A DAILY BASIS.

SLOPE DISTURBANCE REQUIREMENT

TOTAL AREA OF SLOPE GREATER THAN 30% : 74,204.91 SF (1.70 ACRES)
AREA OF SLOPE DISTURBED : 16,727.97 SF (0.38 ACRES)
% OF DISTURBED AREA : 22%

OFF-STREET PARKING REQUIREMENTS

- PERMITTED USE : FOUR (4) SINGLE FAMILY DWELLING UNITS (D.U.)
- REQUIRED PARKING RATIO : 2 SPACES PER D.U.
- REQUIRED PARKING : 8 SPACES
- PARKING PROVIDED : 8 SPACES GARAGED (2 PER D.U.)

NOTICE TO CONTRACTOR

THE LOCATION OF ANY UNDERGROUND FACILITIES, STRUCTURES, UTILITIES, SEWERS AND DRAINAGE FACILITIES, PUBLIC OR PRIVATE, AS MAY BE SHOWN ON THE DRAWINGS MUST BE CONSIDERED APPROXIMATE AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THEIR EXACT LOCATION AND THE EXISTENCE OF ANY NOT SHOWN. THE RELATIONSHIP BETWEEN ANY PROPOSED WORK AND SUCH EXISTING FACILITIES, STRUCTURES, UTILITIES, SEWERS AND DRAINAGE FACILITIES MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. ALL UNDERGROUND FACILITIES MUST BE LOCATED BOTH HORIZONTALLY AND VERTICALLY TO VERIFY ADEQUATE CLEARANCE/COVER/STRUCTURAL CAPABILITIES OR INTEGRITY VERSUS ANY PROPOSED GRADING, SEWERS AND/OR DRAINAGE FACILITIES, FOOTINGS, IMPROVEMENTS, ETC. PRIOR TO CONSTRUCTION. REPRESENTATIVES OF UTILITY COMPANIES, SEWER AND/OR WATER AUTHORITIES, INCLUDING LOCAL MUNICIPAL AGENCIES AS MAY HAVE JURISDICTION OVER SAME, SHALL BE ON SITE DURING SUCH TIMES THAT ANY WORK IS TAKING PLACE OVER, UNDER OR IN THE VICINITY OF ANY FACILITIES AS MAY BE SHOWN ON THE DRAWINGS OR OTHERWISE FOUND TO EXIST, AND CONTRACTOR SHALL GIVE ADVANCE NOTICE TO SUCH REPRESENTATIVES AS NEEDED TO COORDINATE THEIR EFFORTS IN THIS REGARD.

THIS IS TO CERTIFY THAT THIS PLAT HAS BEEN PREPARED FROM RECORD INFORMATION (DEEDS, SUBDIVISION PLANS, ASSESSOR PLATS, OUTBOUNDARY SURVEYS, HIGHWAY ROAD PLANS AND OTHER AVAILABLE INFORMATION) THIS PLAT DOES NOT REPRESENT AN ACTUAL BOUNDARY SURVEY BY THIS OFFICE.

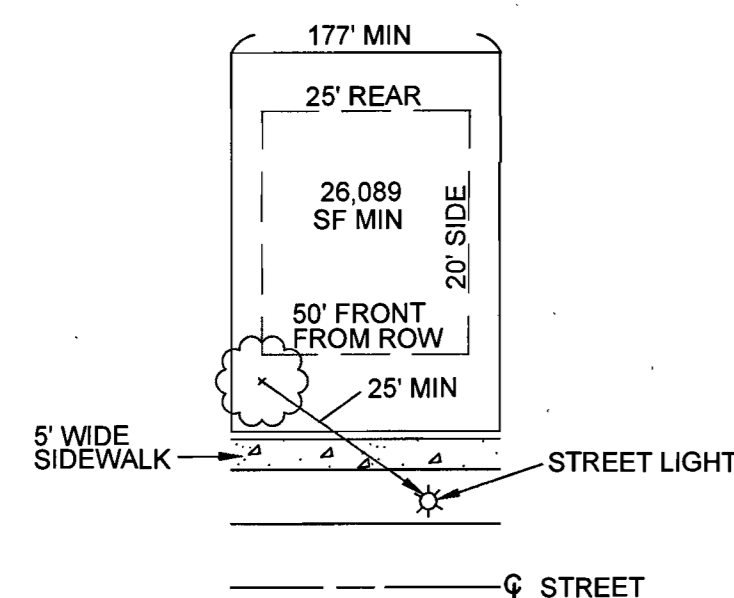
LEE C. FERRENBAUCH, III
PLS2310
GATEWAY LAND SERVICES, INC.

DATE

RECEIVED
City of Chesterfield

MAR - 3 2015

Department of Public Services



TYPICAL LOT

N.T.S.
MAX. LOT SIZE AS SHOWN ON PLAN: 42,313 S.F.
MIN. LOT SIZE AS SHOWN ON PLAN: 26,089 S.F.



*** CAUTION / HAZARD ***
EXISTING UNDERGROUND UTILITIES AND OTHERS
CALL BEFORE EXCAVATING

AMERICAN WATER (MO) : 1-800-253-6426
AMERICAN WATER (IL) : 1-800-422-2762
CHARTER COMMUNICATIONS : (888) 438-2427
AMEREN UE : (314) 342-1000
LACLEDE GAS : (314) 621-6960
AT&T : 1-800-252-1133
M.S.D. : (314) 768-6260
SPRINT NEXTEL : 1-800-521-0579
GENERAL UTILITIES : 1-800-DIG-RITE

PRELIMINARY PLAN DISCLAIMER

THIS DRAWING/PLAT/PLAN HAS BEEN DEVELOPED USING RECORD OR AVAILABLE SURVEY, TOPOGRAPHIC, DRAINAGE, AND UTILITY INFORMATION. THE DESIGN OF THE SITE IMPROVEMENTS, INCLUDING FINAL GRADES, SEWERS, DRAINAGE, UTILITIES, AND PAVING IS STRICTLY PRELIMINARY HAVING BEEN BASED UPON SUCH INFORMATION. THE PROPOSED IMPROVEMENTS ARE SUBJECT TO REVISION DURING FINAL ENGINEERING DESIGN, AGENCY APPROVAL, AND REVIEW BY UTILITY COMPANIES. THIS DRAWING IS NOT FOR CONSTRUCTION.

UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO ANY GRADING AND/OR CONSTRUCTION OF IMPROVEMENTS.



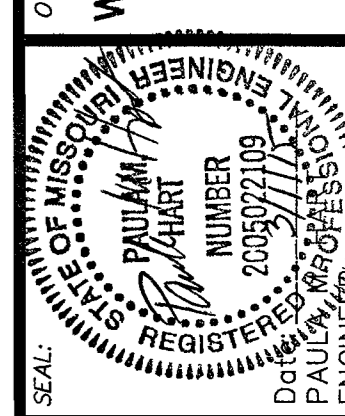
Noble Engineering Consultants has provided geotechnical services for the project proposed hereon. A geotechnical investigation was conducted during August 26, 2014 for the development proposed hereon. Our findings indicate that the earth-related aspects are suitable for the development proposed hereon to the geotechnical recommendations set forth in our Geotechnical Study dated August 29, 2014.
Eric E. Seals, PE 10-01-2014

P-0030109-00
BASE MAP: 18V2

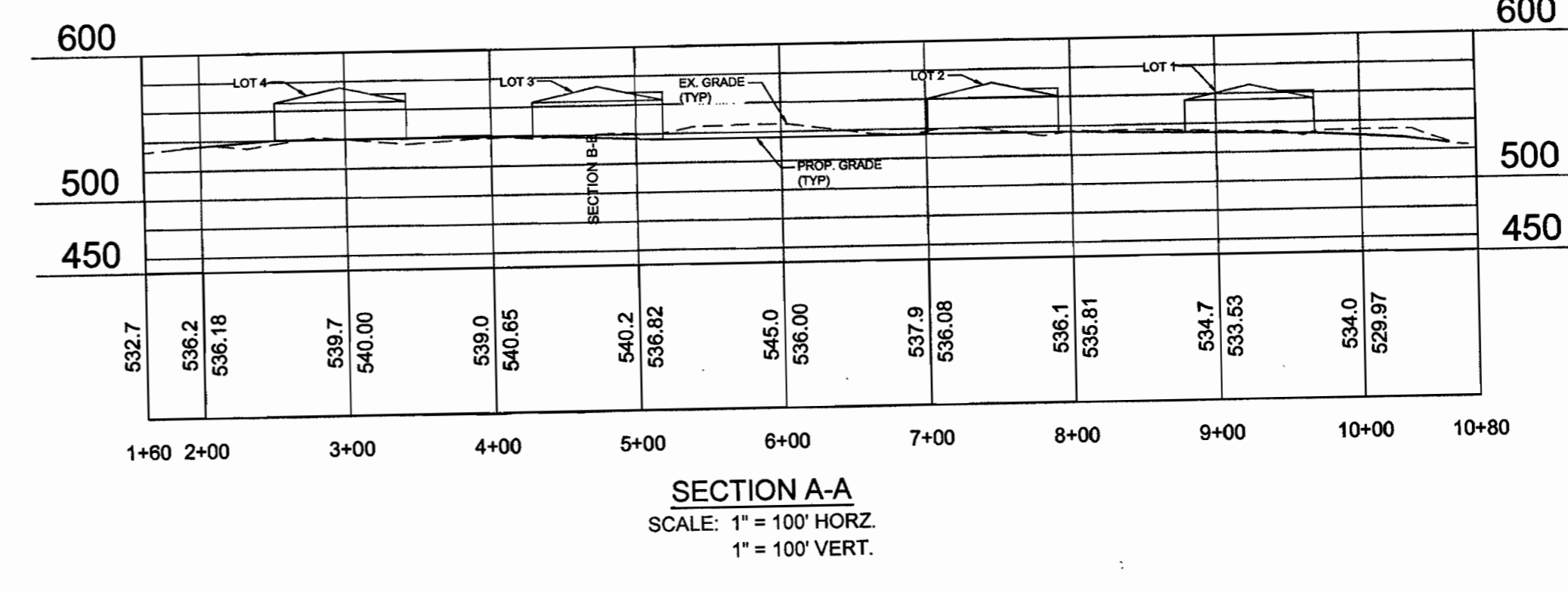
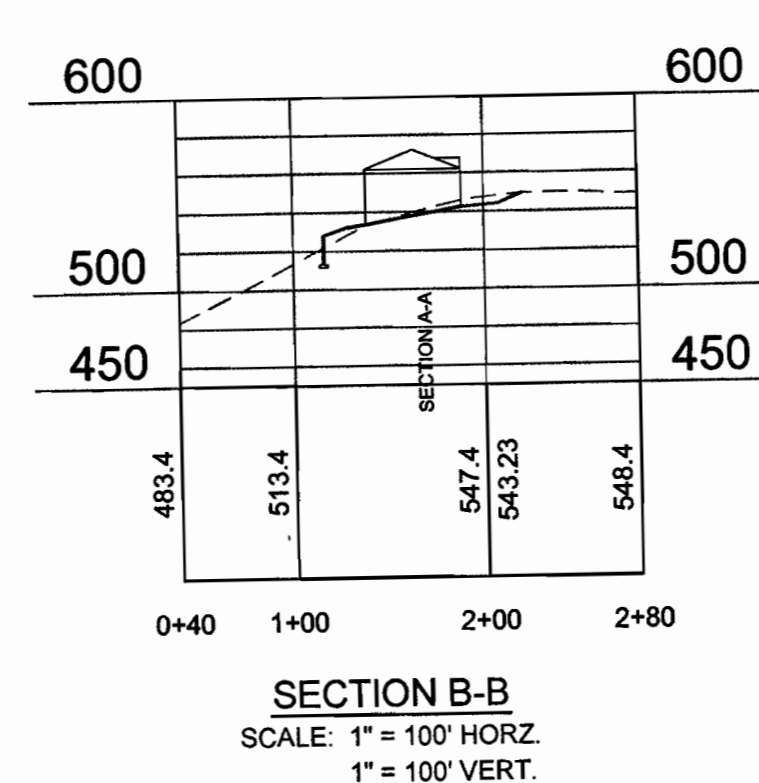
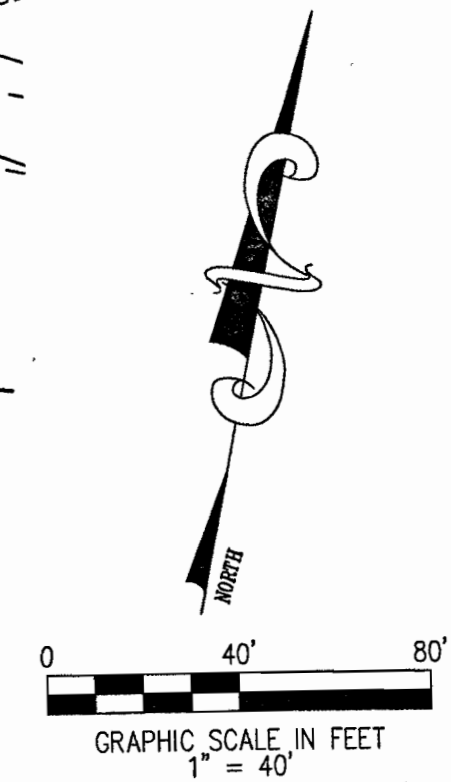
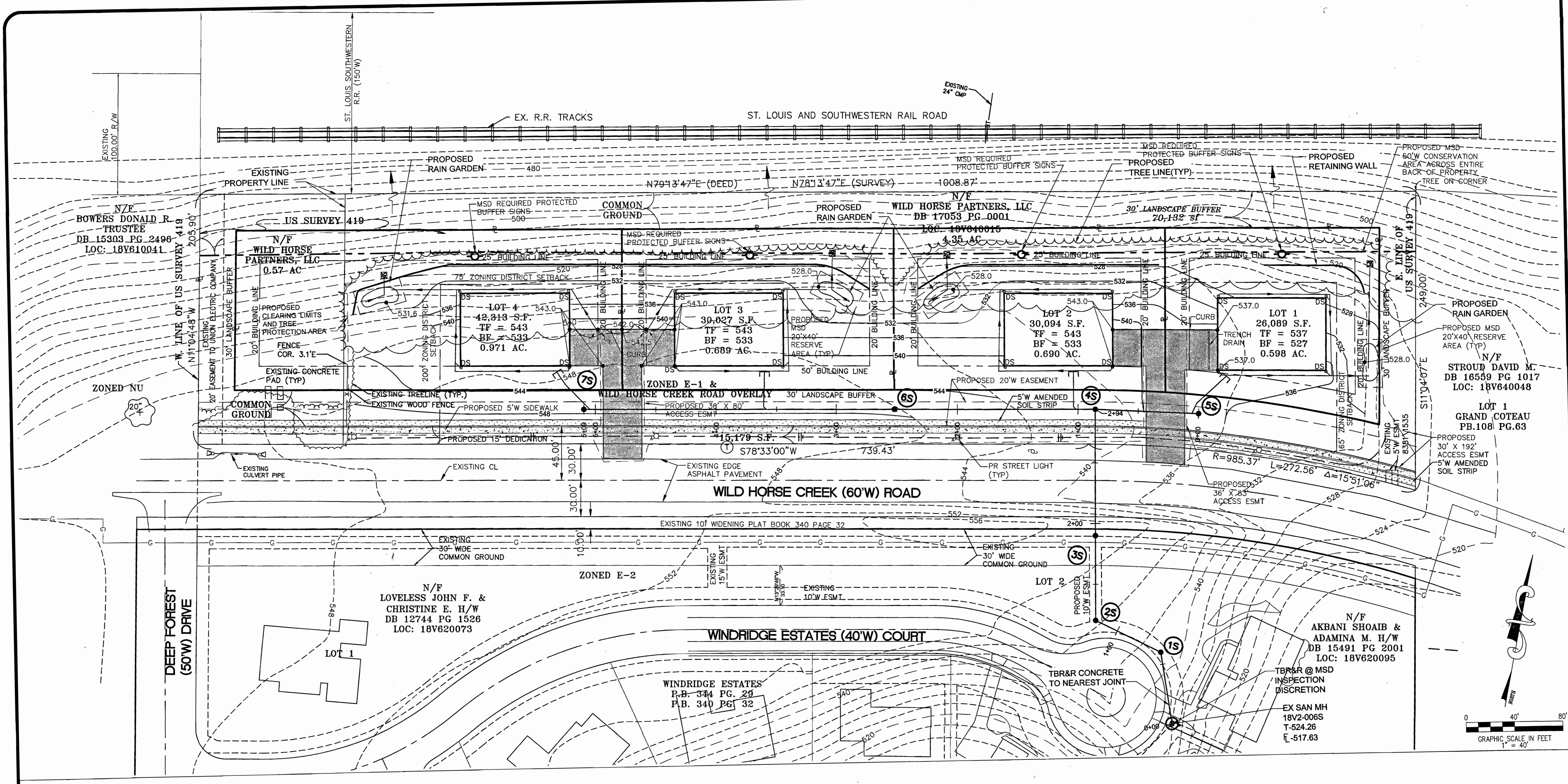
WILD HORSE BLUFFS
SITE DEVELOPMENT PLAN
CHESTERFIELD, MO

ISSUE DATE
7/13/2014
SCALE
AS SHOWN
Job Number
14014
Sheet Number
1

OWNER:
WILD HORSE CREEK PARTNERS, LLC
4 WEST DRIVE, SUITE 110
CHESTERFIELD, MO. 63077
CONTACT: CHRIS PUPICELLI
PHONE: (314) 409-3621



CIVIL ENGINEER
HART
ENGINEERING, L.L.C.
5717 MANGO DRIVE
ST. LOUIS, MO 63129
MISSOURI STATE CERTIFICATE OF AUTHORITY #2008000100
(314) 487-1841 TELEPHONE
(314) 803-0528 CELL



Call BEFORE you DIG
TOLL FREE
1-800-344-7483
MISSOURI ONE-CALL SYSTEM, INC.

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EXISTING UNDERGROUND UTILITIES AND OTHERS
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GENERAL UTILITIES	1-800-DIG-RITE

14014 Working Plot Printed On: 9/17/2014 9:55 PM

Revisions

Date

OWNER: WILD HORSE CREEK PARTNERS, LLC
4 WEST DRIVE, SUITE 110
CHESTERFIELD, MO. 63071
CONTACT: CHRIS PURICELLI
PHONE: (314) 409-3621

OWNER: STROND DAVID M.
DB 16559 PG 1017
LOC: 18V640048

OWNER: LOT 1 GRAND COTEAU
PB.108 PG.63

OWNER: N/F LOVELESS JOHN F. & CHRISTINE E. H/W
DB 12744 PG 1526
LOC: 18V620073

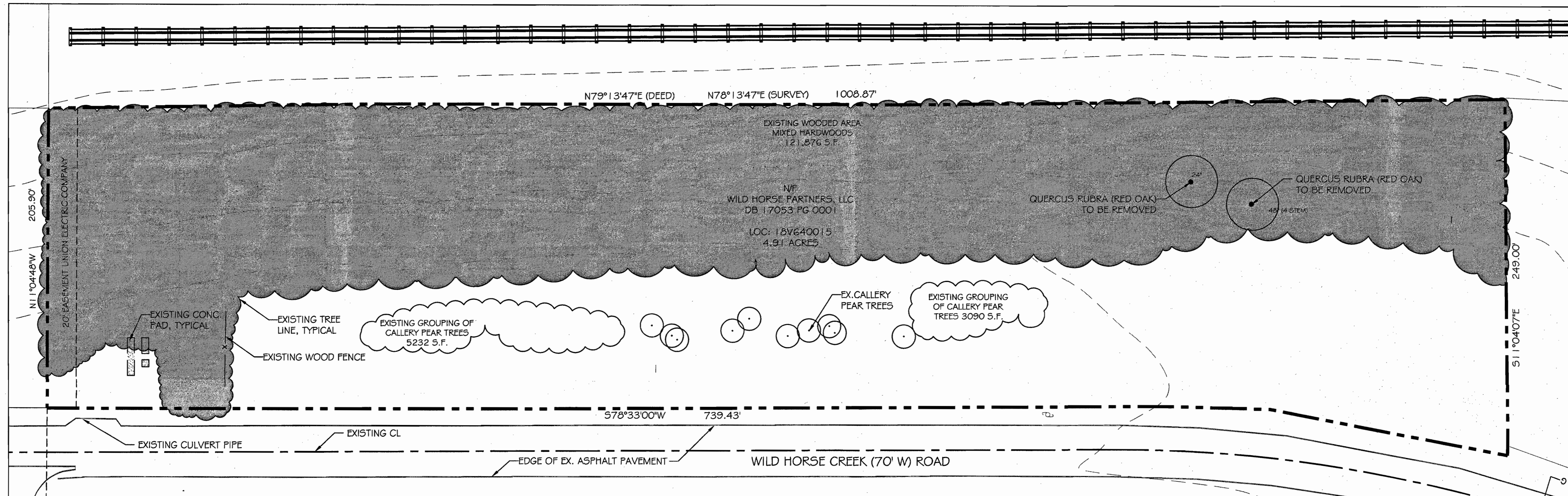
OWNER: WINDRIDGE ESTATES
P.B. 344 PG. 29
P.B. 340 PG 32

OWNER: N/F AKBANI SHOAB & ADAMINA M. H/W
DB 15491 PG 2001
LOC: 18V620095

OWNER: HART ENGINEERING, L.L.C.
717 MANGO DRIVE
ST. LOUIS, MO 63114
MISSOURI STATE CERTIFICATE OF AUTHORITY #2008000100

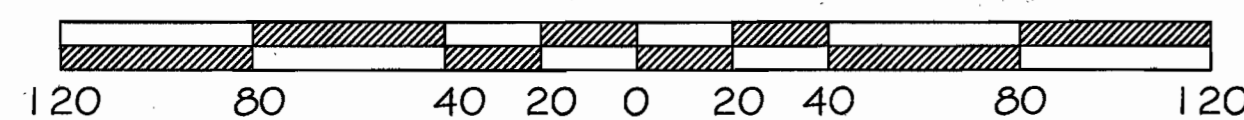
ISSUE DATE: 7/13/2014
SCALE: AS SHOWN
Job Number: 14014
Sheet Number: 2

P-0030109-00
BASE MAP: 18V2



TREE STAND DELINEATION PLAN

SCALE: 1" = 40'-0"



EXISTING WOODED AREA, 121,876 S.F. OF MIXED HARDWOODS. PRIMARY SPECIES:

ACER SACCHARUM (SUGAR MAPLE)	32%
CELTIS OCCIDENTALIS (HACKBERRY)	18%
TILIA AMERICANA (AMERICAN BASSWOOD)	16%
ULMUS SPP. (ELM SPECIES)	8%
SASSAFRAS ALBIDUM (SASSAFRAS)	7%
ASH SPP. (ASH)*	4%
OAK SPP.	4%
JUGLANS NIGRA (BLACK WALNUT)	2%
ACER NEGUNDO (BOXELDER)	2%
DIOSPYROS VIRGINIANA (PERSIMMON)	1%
CATALPA SPECIOSA (CATALPA)	1%
JUNIPERUS VIRGINIANA (RED CEDAR)	1%

THE TREES IN THIS STAND ARE IN GOOD TO FAIR CONDITION. TYPICAL TO A WOODED AREA THE TREES ARE HIGH BRANCHED AND NARROW IN FORM. THERE ARE SEVERAL TREES WITH ROT AT THE ROOT BASE AND OLD WOUNDS WITH INCLUDED BARK THERE ARE SEVERAL LARGE ASH TREES WHICH SHOULD BE REMOVED AS THE PRESENCE OF EMERALD ASH BORER HAS BEEN CONFIRMED IN THE ST. LOUIS AREA.

**Nafe & Associates
Landscape Architects LLC**

Nancy Nafe RLA, ISA, LEED AP
P.O. Box 191284
St. Louis, MO 63119

**Wild Horse Bluffs
Wild Horse Creek Road
Chesterfield, Missouri 63107**

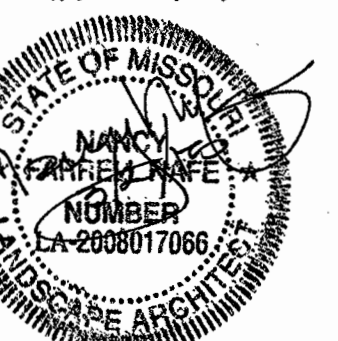
Tree Stand Delineation

Project No:

No	Description	Date

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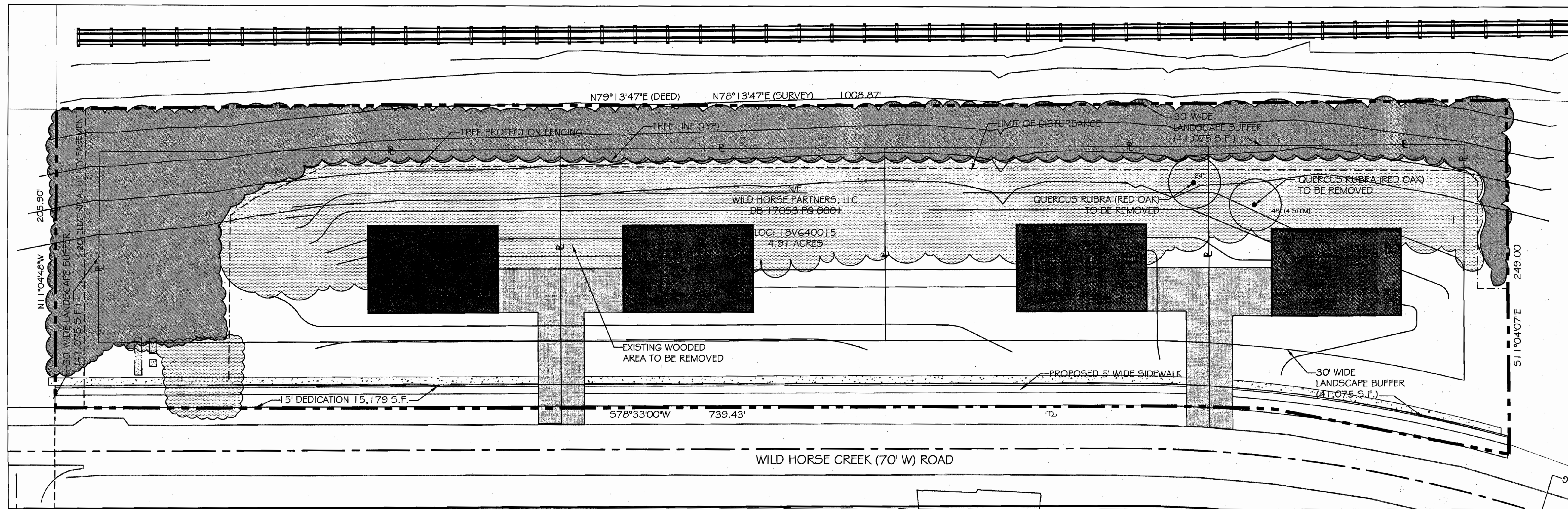
Nancy Nafe
Landscape Architect
MO License # 2008017066
ISA Certified Arborist
MO License # MW-4803A

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DATE: 10.17.2014

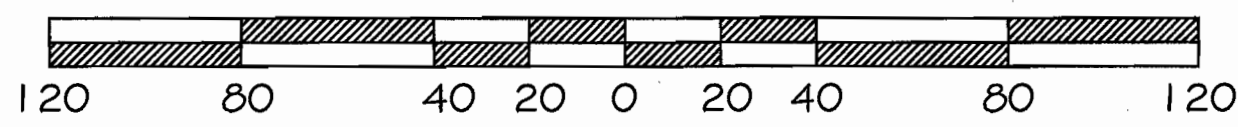
SCALE: AS INDICATED

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TREE PRESERVATION PLAN

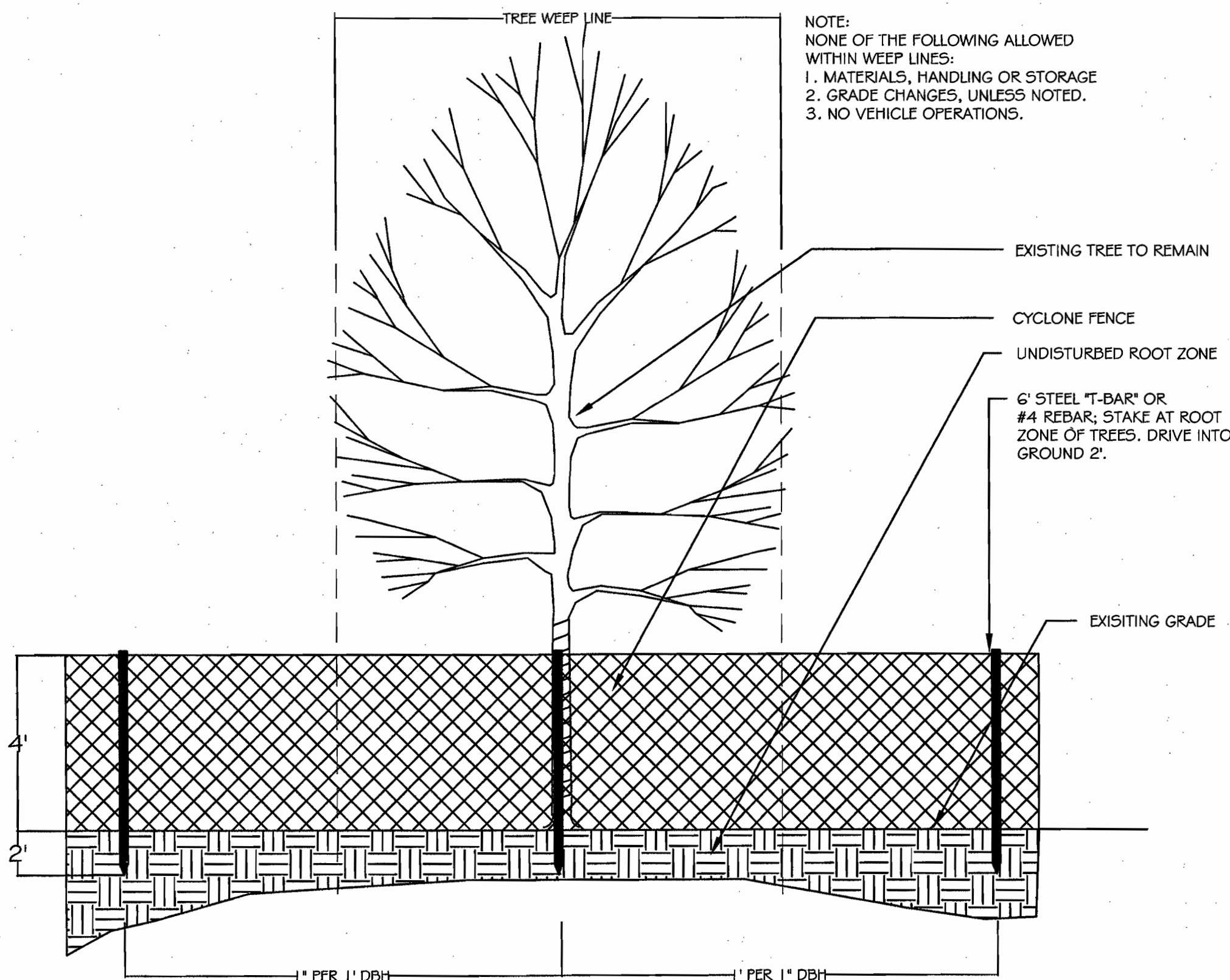
SCALE: 1" = 40'-0"



NOTE:

TREE PROTECTION AREA IS ESTABLISHED AS A PROTECTED AREA FOR EXISTING TREES. STRUCTURES OF ANY SIZE, WHETHER TEMPORARY OR PERMANENT, ARE NOT PERMITTED WITHIN PROTECTION AREA. FAILURE TO PRESERVE THE TREE PROTECTION AREA MAY RESULT IN INSPECTION AND ISSUANCE OF FINES BY THE CITY OF CHESTERFIELD. THIS LANGUAGE SHALL BE INCLUDED ON ALL PLANS, PLATS, ORDINANCE, SUBDIVISION INDENTURES, AND OTHER APPROPRIATE DOCUMENTS FOR THIS DEVELOPMENT.

TREE CANOPY CALCULATIONS			
	SQUARE FEET	ACRES	PERCENTAGE
TOTAL EXISTING TREE CANOPY	135,196	3.1000	100.00%
20' ELECTRICAL EASEMENT (20' X 209.90')	4,118		
TREE CANOPY PROPOSED FOR REMOVAL DUE TO CONSTRUCTION	71,428		
TOTAL TREE CANOPY PROPOSED FOR REMOVAL	75,546	1.7300	55.88%
EXISTING TREE CANOPY PROPOSED FOR PRESERVATION	59,652	1.3700	44.12%



A TREE PROTECTION DETAIL
NOT TO SCALE

TREE PROTECTION NOTES:

1. A TREE PROTECTION ZONE WILL BE ESTABLISHED AROUND EACH TREE OR ANY VEGETATION TO BE PRESERVED. THE TREE PROTECTION ZONE SHALL BE AN AREA DEFINED BY THE RADIUS EXTENDING OUTWARD FROM THE TRUNK OF THE TREE A DISTANCE OF ONE (1) LINEAR FOOT FOR EACH CALIPER INCH AT (DBH). (A TREE WITH A 10 INCH CALIPER WILL HAVE A 10 FOOT RADIUS TREE PROTECTION ZONE) THE TREE PROTECTION FENCING SHALL ENCOMPASS THE CRITICAL ROOT ZONE OF PROTECTED TREES.
2. TREE PROTECTION FENCE SHALL BE INSTALLED AROUND ALL EXISTING TREES OR VEGETATION TO REMAIN ON THE SITE PRIOR TO ANY SITE PREPARATION OR CONSTRUCTION WORK AND MAINTAINED THROUGHOUT THE ENTIRE PROJECT. (SEE DETAIL THIS SHEET)
3. SILT FENCING OR SOIL DIKES SHALL BE INSTALLED PRIOR TO ANY SITE PREPARATION OR CONSTRUCTION WORK AND MAINTAINED THROUGHOUT THE ENTIRE PROJECT TO PREVENT THE BUILDUP OF SEDIMENT WITHIN THE TREE PROTECTION ZONE. (SEE ENGINEER'S DRAWINGS FOR FURTHER INSTRUCTIONS ON SILT FENCING INSTALLATION)
4. THE CONTRACTOR SHALL NOT PROCEED WITH ANY WORK ON THE JOB SITE UNTIL THE TREE PROTECTION FENCING AND SILT FENCING HAS BEEN INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
5. VEHICULAR PARKING, EQUIPMENT STORAGE, MATERIAL STORAGE, WASHOUT ACTIVITIES, TRENCHING, PLACEMENT OF FILL MATERIAL, REMOVAL OF SOIL, OR ANY OTHER ACTIVITIES THAT MAY BE DETRIMENTAL TO THE HEALTH OF THE TREE ARE STRICTLY PROHIBITED WITHIN THE TREE PROTECTION ZONE.
6. PRUNING TO PROVIDE CLEARANCE FOR STRUCTURES, VEHICULAR TRAFFIC, AND CONSTRUCTION EQUIPMENT SHALL BE PERFORMED BY A LICENSED ARBORIST UNDER THE DIRECTION OF THE LANDSCAPE ARCHITECT AND SHALL CONFORM TO ALL I.S.A. TREE PRUNING STANDARDS
7. NO WIRES, NAILS OR OTHER MATERIALS MAY BE ATTACHED TO ANY TREES ON SITE.
8. TREES MUST BE MAINTAINED IN GOOD HEALTH THROUGHOUT THE CONSTRUCTION PROCESS. MAINTENANCE MAY INCLUDE WATERING THE ROOT PROTECTION ZONE AND/OR WASHING FOLIAGE DIRTYED BY CONSTRUCTION ACTIVITIES.
9. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY TREES DAMAGED BY CONSTRUCTION ACTIVITY.

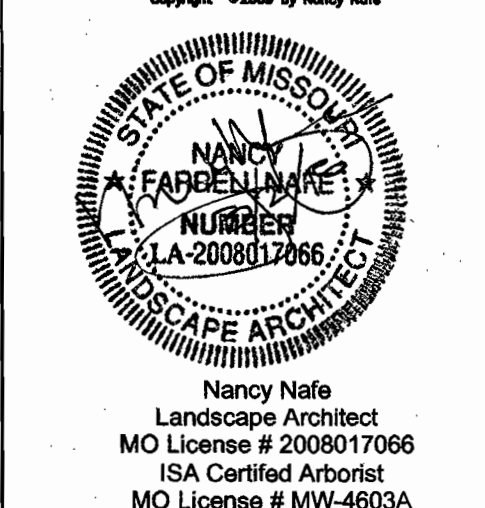
**Nafe & Associates
Landscape Architects LLC**
Nancy Nafe RLA, ISA, LEED AP
P.O. Box 191284
St. Louis, MO 63119

**Wild Horse Bluffs
Wild Horse Creek Road
Chesterfield, Missouri 63107
Tree Preservation Plan**

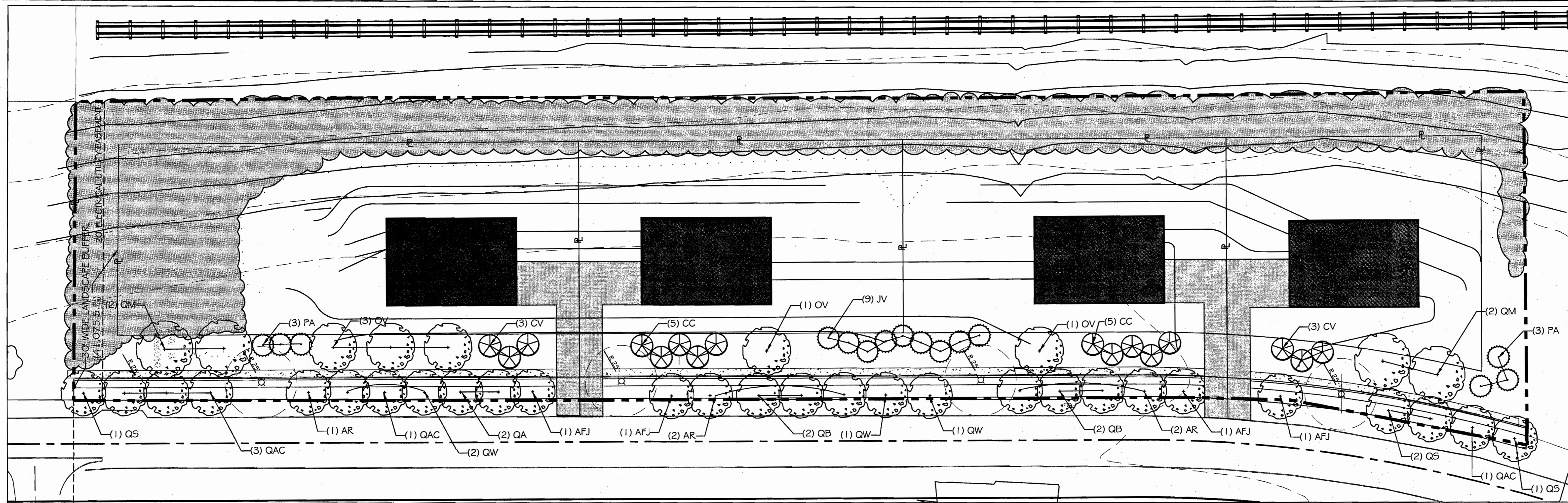
Project No: 1410

No	Description	Date

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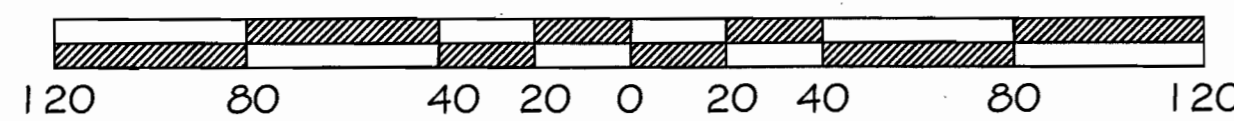


DATE: 10.17.2014
SCALE: AS INDICATED



PROPOSED LANDSCAPE PLAN

SCALE: 1" = 40'-0"



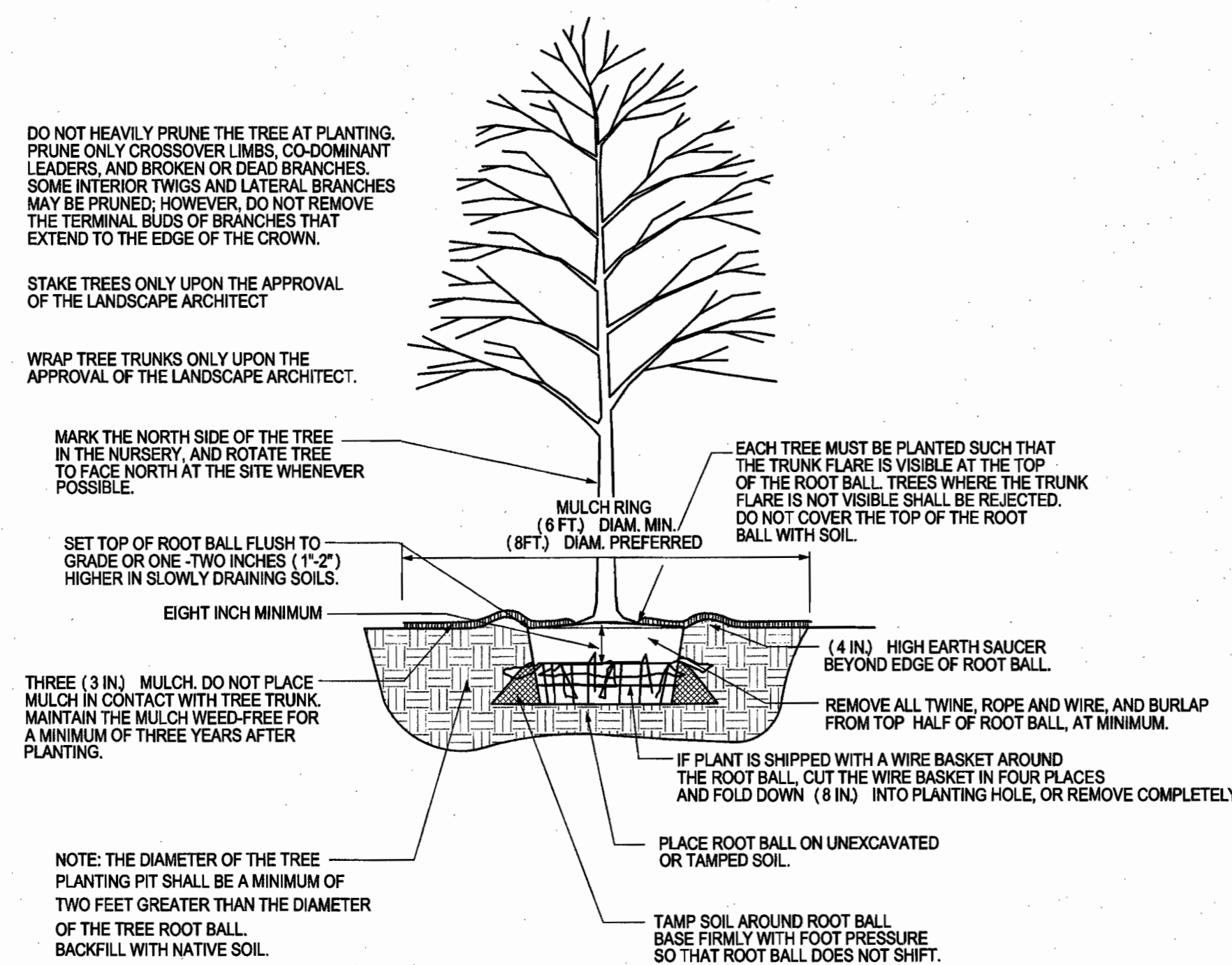
FRONT LANDSCAPE BUFFER PLANT SCHEDULE						
SYMBOL	QUANTITY	SCIENTIFIC NAME	COMMON NAME	SIZE	CONTAINER	COMMENTS
CC	10	CERIS CANADENSIS	REDBUD	2.5" CALIPER, 10'-12' HT.	B&B	SINGLE STEM ORNAMENTAL TREE
CV	6	CRATAEGUS VIREDIS WINTER KING	GREEN HAWTHORN	2.5" CALIPER, 10'-12' HT.	B&B	SINGLE STEM ORNAMENTAL TREE
JV	9	JUNIPERUS VIRGINIANA 'CANAKERTI'	CANAKERTI RED CEDAR	6'-9' HT.	B&B	EVERGREEN
OV	5	OSTRYA VIRGINIANA	HOPHORNBEAM	3" CALIPER, 8'-10' HT.	B&B	DECIDUOUS TREE
PA	6	PICEA ABIES	NORWAY SPRUCE	8'-10' HT.	B&B	EVERGREEN
QM	4	QUERCUS MUEHLBERGII	CHINKAPIN OAK	3" CALIPER, 12' - 14' HT	B&B	DECIDUOUS TREE
TOTAL	40					

STREET TREE SCHEDULE						
SYMBOL	QUANTITY	SCIENTIFIC NAME	COMMON NAME	SIZE	CONTAINER	COMMENTS
AFJ	4	ACER x FREEMANNI 'JEFFERSON' AUTUMN BLAZE	FREEMAN MAPLE	3" CALIPER, 12' - 14' HT	B&B	TRUNK FREE OF BRANCHES 6' - 7' HT. DECIDUOUS TREE
AR	5	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	3" CALIPER, 12' - 14' HT	B&B	TRUNK FREE OF BRANCHES 6' - 7' HT. DECIDUOUS TREE
QA	2	QUERCUS ALBA	WHITE OAK	4" CALIPER, 12' - 14' HT	B&B	TRUNK FREE OF BRANCHES 6' - 7' HT. DECIDUOUS TREE
QB	4	QUERCUS BICOLOR	SWAMP WHITE OAK	4" CALIPER, 12' - 14' HT	B&B	TRUNK FREE OF BRANCHES 6' - 7' HT. DECIDUOUS TREE
QAC	5	QUERCUS ACUTISSIMA	SAWTOOTH OAK	4" CALIPER, 12' - 14' HT	B&B	TRUNK FREE OF BRANCHES 6' - 7' HT. DECIDUOUS TREE
Q5	4	QUERCUS SHUMARDII	SHUMARD OAK	4" CALIPER, 12' - 14' HT	B&B	TRUNK FREE OF BRANCHES 6' - 7' HT. DECIDUOUS TREE
QW	4	QUERCUS x WAREI	REGAL PRINCE OAK	3" CALIPER, 12' - 14' HT	B&B	TRUNK FREE OF BRANCHES 6' - 7' HT. DECIDUOUS TREE
TOTAL	25					

101.2 LINEAR FEET OF STREET FRONTAGE, 20 TREES AT AN AVERAGE OF 36 FEET ON CENTER.

TREE TYPE PERCENTAGES		
	QUANTITY	PERCENTAGE
DECIDUOUS TREES	37	55%
EVERGREENS	15	22%
ORNAMENTAL TREES	16	23%
TOTAL	68	100%

OPEN AREA CALCULATIONS		
	ACRES	PERCENTAGE
TOTAL PROPERTY	4.91	100%
DEDICATION STRIP	0.35	7%
COMMON GROUND	1.61	33%
TOTAL LOT AREA	2.95	60%
TOTAL OPEN SPACE (NON BUILDABLE AREA, OUTSIDE OF SETBACKS, MINUS DRIVEWAYS)	3.62	73%



A TREE PLANTING DETAIL - B&B TREES IN ALL SOIL TYPES

NOTE: THIS DETAIL ASSUMES THAT THE PLANTING SPACE IS LARGER THAN (8 FT.) SQUARE, OPEN TO THE SKY, AND NOT COVERED BY ANY PAVING OR GRATING.

PLANTING NOTES:

1. THE LANDSCAPE CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS PERFORMING WORK ON THE SITE.
2. THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL GRADES, DIMENSIONS, AND EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE OWNER.
3. THE LANDSCAPE CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING AND NEWLY INSTALLED UNDERGROUND UTILITIES PRIOR TO ANY LAWN WORK OR TREE AND SHRUB PLANTING AND SHALL IMMEDIATELY REPORT ANY CONFLICTS TO THE OWNER.
4. THE LANDSCAPE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON THE DRAWINGS. QUANTITIES IN PLANT SCHEDULE ARE FOR REFERENCE ONLY.
5. ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSEYMEN.
6. NO PLANT OR CULTIVAR SUBSTITUTIONS WILL BE ACCEPTABLE WITHOUT WRITTEN APPROVAL OF THE OWNER.
7. ALL PLANTS SHALL BE BALLED AND WRAPPED, FABRIC BAG GROWN OR CONTAINER GROWN. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND.
8. OWNER OR OWNER'S REPRESENTATIVE SHALL INSPECT PLANT MATERIAL FOR ACCEPTANCE PRIOR TO PLANTING.
9. NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR OWNER'S REPRESENTATIVE.
10. LOCATIONS OF NEW PLANT MATERIAL SHALL BE STAKED OR SET OUT BY THE LANDSCAPE CONTRACTOR AND APPROVED BY THE OWNER OR OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
11. REFER TO PLANTING DETAILS AND/OR SPECIFICATIONS FOR INFORMATION RELATING TO PLANTING PIT DIMENSIONS AND EXTENT AND COMPOSITION OF BACKFILL MATERIAL.
12. THE TREES SHALL BEAR THE SAME RELATIONSHIP TO TREE PIT FINISH GRADE AS TO THE ORIGINAL GRADE, PRIOR TO DIGGING.
13. ACER RUBRUM, AND OTHER TREES SUBJECT TO SUNSCALD SHALL BE WRAPPED WITH NURSERY TREE WRAP, TAN IN COLOR. AFFIX THE WRAP TOP AND BOTTOM. DO NOT APPLY MANUFACTURER'S TRADEMARK FACING OUTWARD.
14. THE CONTRACTOR SHALL REMOVE ALL PLASTIC MATERIALS FROM AROUND THE ROOT BALLS OF THE PLANTS AFTER POSITIONING IN THE PLANT PITS. REMOVE BURLAP, ROPE, AND WIRE FROM AROUND THE TRUNKS AND FROM THE TOP HALF OF THE ROOT BALL, AT A MINIMUM.
15. SOIL MIX USED IN PLANTING ACTIVITIES SHALL BE 60% PULVERIZED TOPSOIL, 35% SAND AND 5% ORGANIC MATTER. SOIL SAMPLES ARE SUBJECT TO INSPECTION AND APPROVAL BY THE OWNER OR OWNER'S REPRESENTATIVE.
16. TREE & SHRUB PITS SHALL BE AMENDED WITH 'SOIL MOIST TRANSPLANT' AS PER MANUFACTURER'S INSTRUCTIONS.
17. MULCH SHALL BE TRIPLE GROUND HARDWOOD, APPLY 3 INCH LAYER TO ALL PLANTING BEDS AND A 6 FOOT DIAMETER MULCH RING TO ALL TREES PLANTED IN LAWN AREA.
18. ALL TREES SHALL RECEIVE A TRUNK GUARD, CONSISTING OF A 4 INCH DIAMETER x 24 INCH TALL CORRUGATED PLASTIC PIPE, SLIT TO RECEIVE TREE TRUNK.
19. ALL PLANT PITS SHALL BE AMENDED WITH OSMOCOTE PLUS SLOW RELEASE FERTILIZER 15-9-12 WITH MICRO-NUTRIENTS, AS PER MANUFACTURER'S INSTRUCTIONS.
20. ALL AREAS THAT HAVE BEEN DISTURBED BY PLANTING ACTIVITY SHALL BE RESTORED TO A NEAT CONDITION. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO OWNER'S PROPERTY CAUSED BY HIS EQUIPMENT AND/OR LABOR.
21. ALL AREAS THAT HAVE BEEN DISTURBED BY CONSTRUCTION ACTIVITY THAT ARE NOT SHOWN TO BE PLANTED, PAVED OR BUILT UPON SHALL BE SEEDED WITH SEED MIX, TO BE APPROVED BY OWNER.
22. THE LANDSCAPE CONTRACTOR SHALL WATER ALL PLANT MATERIALS TWICE WITHIN THE FIRST 24 HOURS FOLLOWING PLANTING.
23. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR ONE CALENDAR YEAR FOLLOWING SUCCESSFUL COMPLETION & ACCEPTANCE OF PROJECT. ANY PLANT FAILING TO SURVIVE AND THRIVE SHALL BE REPLACED BY THE LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

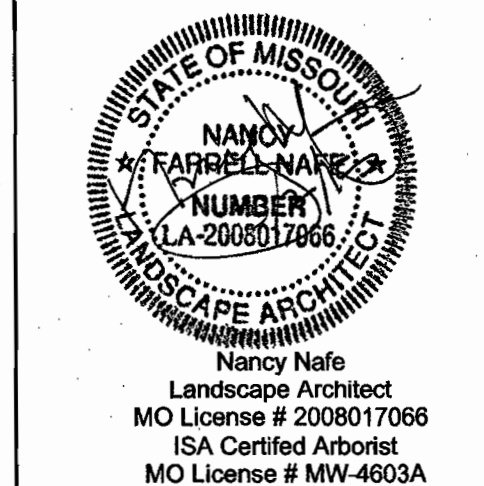
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Wild Horse Creek Road
Chesterfield, Missouri 63107**
Proposed Landscape Plan

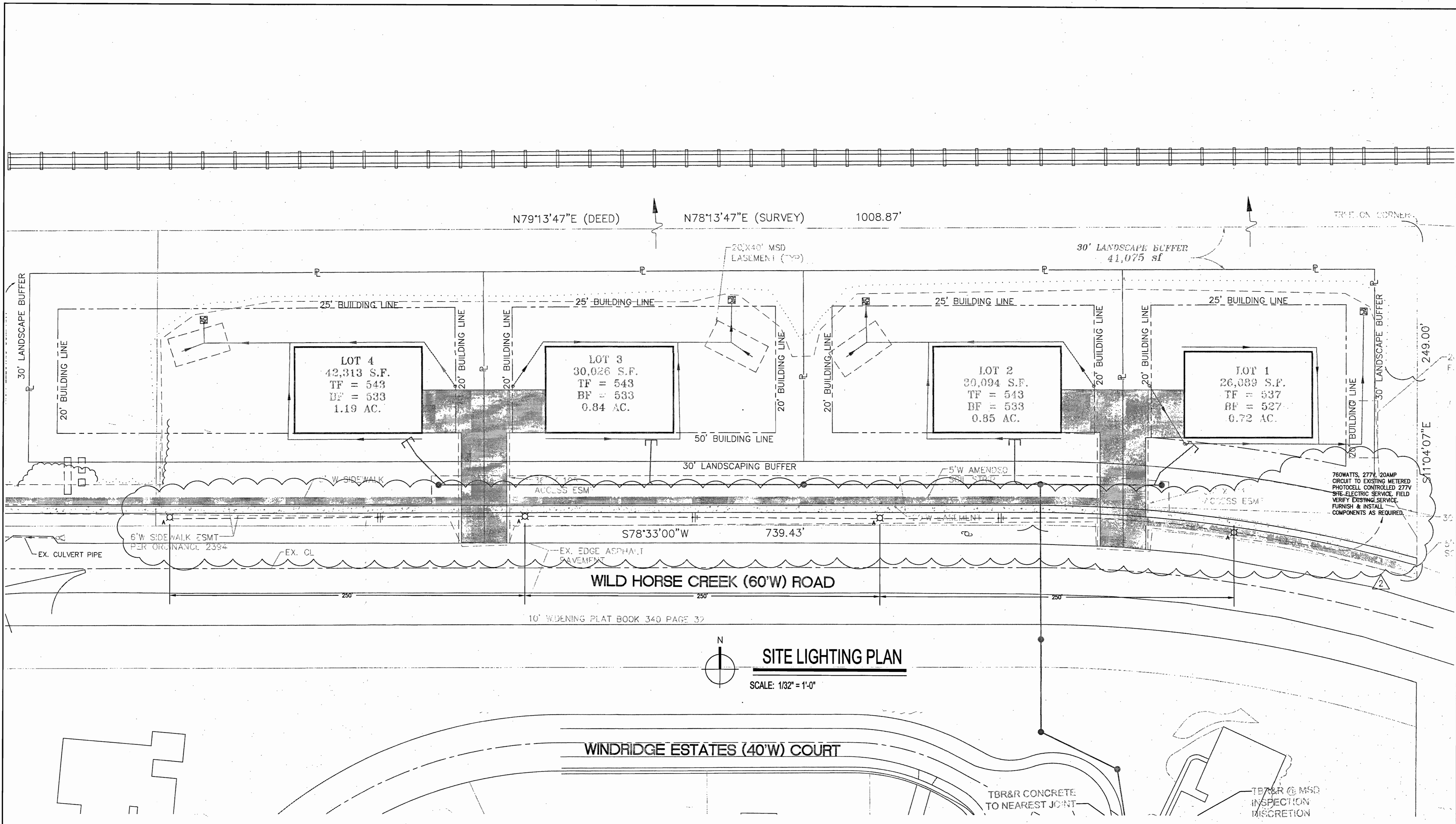
Project No: 1006


No	Description	Date


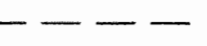
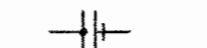
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DATE: 10.17.2014
SCALE: AS INDICATED



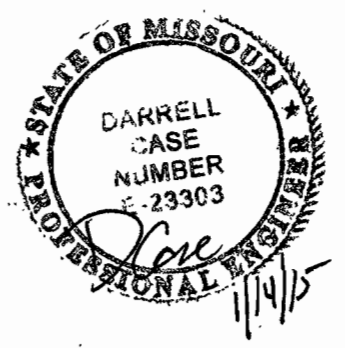

SITE LIGHTING PLAN
 SCALE: 1/32" = 1'-0"

- LEGEND:**
-  POLE MOUNTED LIGHT FIXTURE TYPE "A" PER ANP LIGHTING SPEC
 -  UNDERGROUND CONDUIT
 -  PHASE, NEUTRAL & GROUND HOMERUN CONDUIT

- GENERAL NOTES:**
1. LIGHT FIXTURES SHALL BE 277VOLT, 150WATT METAL HALIDE ANP#A1631-150MH-15-277-49 MOUNTED ON 16 FT HIGH POLE.
 2. E.C. SHALL FURNISH CONCRETE POLE FOUNDATIONS FOR LIGHT POLES PER DETAIL, THIS SHEET.
 3. UNDERGROUND CONDUIT SHALL BE MINIMUM SCHEDULE 40 PVC BURIED MINIMUM 24" BELOW FINISHED GRADE.
 4. WIRE SIZE FOR ALL POWER WIRING SHALL BE # 10 AWG TYPE XHHW.
 5. SEE SHEET E102 FOR LIGHT FIXTURE SPECIFICATIONS AND LIGHT POLE DETAIL.

Rev.	Description	Date	By
0	Issued for Construction	9-3-14	DK
1	Revision 1	9-23-14	DK
2	Revision 2	1-28-15	DK

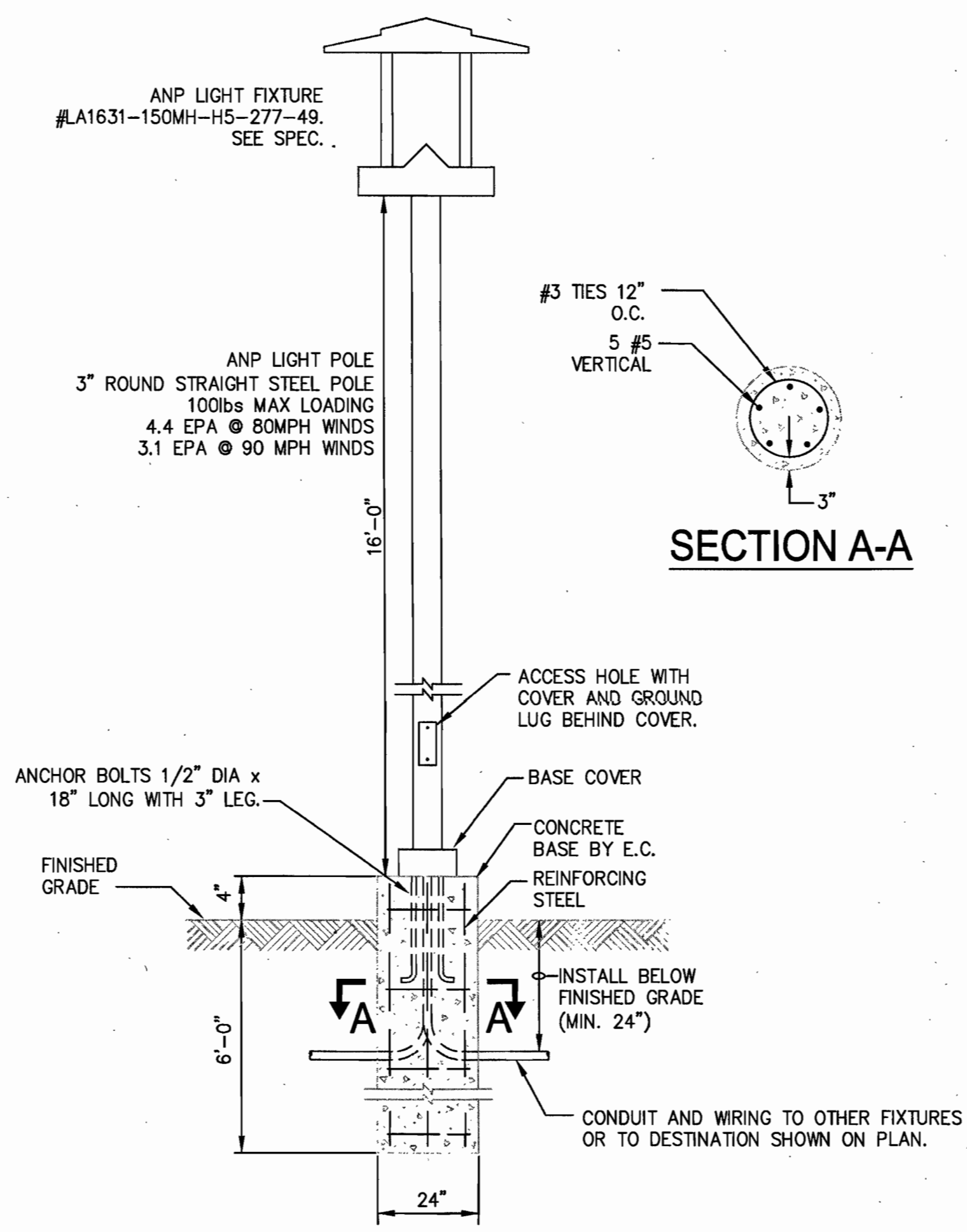
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WILD HORSE BLUFF ROAD LIGHTING

IAS WELDRY
 PRAVY STELLI
 MARYLAND
 HEIGHTS, MD
 63143
 314-450-1492





LIGHT POLE FOUNDATION DETAIL
NO SCALE

TYPE A LIGHT FIXTURE

AMEREN U.E. INCENTIVE PROGRAM DOES NOT APPLY TO 150W MH.

ANP Lighting Specifications LA163

Project: _____
Customer No: #LA1631-150MH-H5-277-49
Fixture Type: _____
Quantity: _____

Weight: _____
EPA: 1.4

LA163 - 1 - N/A - 42WPL - H2 - PC - 208 - 72

LA163
This Contemporary Roadway Fixture has a Clean Modern Design. This Series is Available in Three Sizes for a Variety of Applications and Provides Effective Lighting for Walk Mounts, Pedestrian Areas and Roadways. It has a Hinged and Gasketed Cover for Easy Driver/Ballast Access, and it is Cut Off Compliant. It is made from a Cast Aluminum Body with a Spun Aluminum Hood Connected with Two Struts for an Open Center.

1	2	3	4	5	6	7
LA163						

1 FIXTURE ORIENTATION	3 LIGHT SOURCES & WATTAGES	4 OPTICS
1 Post	High Pressure Sodium (Walk Mount, HID) Fluorescent (WPL)	High Pressure Sodium/Metal Halide (HID)
2 LENSES	WATTAGES 50MH 150MH 26WPL 50HPS 150HPS 33WPL 70MH 42WPL 70HPS 37WPL 100HPS 30WPLDIM 100MH 42WPLDIM 100MH 57WPLDIM DIM (default 0-10v DC)	H2 (Horizontal lamp reflector consisting of highly reflective segmented Alzak material to produce high lumen output and specific light pattern) H3 (Horizontal lamp reflector consisting of highly reflective segmented Alzak material to produce high lumen output and specific light pattern) H4 (Horizontal lamp reflector consisting of highly reflective segmented Alzak material to produce high lumen output and specific light pattern) H5 (Horizontal lamp reflector consisting of highly reflective segmented Alzak material to produce high lumen output and specific light pattern) S5 (Spun aluminum highly polished reflector producing Type V distribution)
5 ACCESSORIES	6 VOLTAGES	7 FINISHES
High Pressure Sodium/Metal Halide (HID) PC (Button Photo Cell) TLPC (Twist lock photo cell: includes receptacle and photo cell - remote placement) QRS (Quartz/Resistive for Emergency Back Up Lighting)	120 208 240 277	H2 (Horizontal lamp reflector consisting of highly reflective segmented Alzak material to produce high lumen output and specific light pattern) H3 (Horizontal lamp reflector consisting of highly reflective segmented Alzak material to produce high lumen output and specific light pattern) H4 (Horizontal lamp reflector consisting of highly reflective segmented Alzak material to produce high lumen output and specific light pattern) H5 (Horizontal lamp reflector consisting of highly reflective segmented Alzak material to produce high lumen output and specific light pattern) S5 (Spun aluminum highly polished reflector producing Type V distribution)
PC (Button Photo Cell) TLPC (Twist lock photo cell: includes receptacle and photo cell - remote placement) EMG (Emergency back-up ballast - remote placement)		

HID ballasts shall be EISA compliant HPF.
-20' F lamp starting. Medium/mogul base porcelain socket, 4kv rated.
150W MH lamp output; 14000 initial lumens, 8000 maintained lumens.

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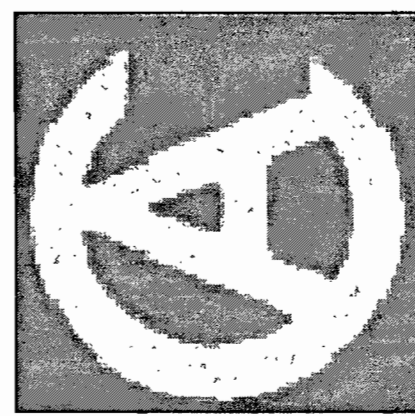
By:	DK
Date:	9-9-14
Revision:	9-25-14
City review comments:	11-11-14
Issued for Construction:	
Revision 1:	
City review comments:	
Rev:	0
	1
	2

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**WILD HORSE BLUFF
ROAD LIGHTING**

149 VELDON
PKWY, STE. 111
MARYLAND
HEIGHTS, MD
314-650-1492



SHEET NO.
E102

EXTERIOR COLOR PALETTE

SAMPLE EARTH TONE COLORS



EARTH TONE COLOR PALETTE: SINGLE FAMILY RESIDENCES AT WILDHORSE BLUFFS

STONE

NATURALLY OCCURRING STONE COLORS IN THE OFF WHITE, GRAYS, TANS AND BROWNS RANGE SHALL BE USED.

BRICK

BRICK COLORS IN THE OFF-WHITE, GRAYS, TANS, BROWNS AND "EARTH TONE "REDS RANGE SHALL BE USED.

SIDING

SIDING COLORS IN THE OFF WHITE, GRAYS, TANS AND LIGHT BROWNS RANGE SHALL BE USED.

MAJOR TRIM ELEMENTS: FASCIA, SOFFITS, GUTTERS, GUTTER BOARDS, RAKE BOARDS, APRON BOARDS AND CORNER BOARDS

MAJOR TRIM ELEMENTS SHALL BE WHITE OR OFF WHITE

MINOR TRIM ELEMENTS: SHUTTERS

SHUTTER COLORS SHALL BE EARTH TONES FROM PALETTE ABOVE

WINDOWS AND WINDOW TRIM

WINDOWS AND WINDOW TRIM COLORS IN THE WHITE, TANS, BROWNS AND GREENS RANGE SHALL BE USED.



FRONT ELEVATION



LEFT SIDE ELEVATION



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chesterfield, mo 63011
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PROPOSED SINGLE FAMILY RESIDENCE FOR:
WILDHORSE BLUFFS
MODEL HOME "A"

WILDHORSE CREEK ROAD
CHESTERFIELD, MO

COLOR ELEVATIONS

sheet: **A1**

EXTERIOR COLOR PALETTE

SAMPLE EARTH TONE COLORS



EARTH TONE COLOR PALETTE: SINGLE FAMILY RESIDENCES AT WILDHORSE BLUFFS

STONE

NATURALLY OCCURRING STONE COLORS IN THE OFF WHITE, GRAYS, TANS AND BROWNS RANGE SHALL BE USED.

BRICK

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SIDING

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MAJOR TRIM ELEMENTS: FASCIA, SOFFITS, GUTTERS, GUTTER BOARDS, RAKE BOARDS, APRON BOARDS AND CORNER BOARDS

MAJOR TRIM ELEMENTS SHALL BE WHITE OR OFF WHITE

MINOR TRIM ELEMENTS: SHUTTERS

SHUTTER COLORS SHALL BE EARTH TONES FROM PALETTE ABOVE

WINDOWS AND WINDOW TRIM

WINDOWS AND WINDOW TRIM COLORS IN THE WHITE, TANS, BROWNS AND GREENS RANGE SHALL BE USED.



REAR ELEVATION



RIGHT SIDE ELEVATION

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Hunt
1/14/15

PROPOSED SINGLE FAMILY RESIDENCE FOR:
WILDHORSE BLUFFS
MODEL HOME "A"

WILDHORSE CREEK ROAD
CHESTERFIELD, MO

COLOR ELEVATIONS

sheet:
A2



sheet:

A3

SITE RENDERING

PROPOSED SINGLE FAMILY RESIDENCE FOR:
WILDHORSE BLUFFS
MODEL HOME "A"
WILDHORSE CREEK ROAD
CHESTERFIELD, MO



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date: 12/01/14
revised:



Looking West



Looking North




Looking South



Looking East

date: 12/01/17
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Hunk
11/1/16

PROPOSED SINGLE FAMILY RESIDENCE FOR:
WILDHORSE BLUFFS
MODEL HOME "A"
WILDHORSE CREEK ROAD
CHESTERFIELD, MO

SITE PHOTOS

sheet:

A4

CHESTERFIELD ARCHITECTURAL REVIEW BOARD
ARCHITECT'S STATEMENT OF DESIGN
RESIDENTIAL ARCHITECTURE: SINGLE FAMILY RESIDENCES AT WILDHORSE BLUFFS

• ACCESS

- VEHICULAR ACCESS PER STANDARD 12'-15' WIDE CONCRETE OR SIMILAR MATERIAL, DRIVEWAY TO MATCH EXISTING ADJACENT DRIVEWAYS. EACH NEW SINGLE FAMILY RESIDENCE SHALL HAVE A SHARED DRIVEWAY AND SEPARATE APRON AS SHOWN PER SITE PLAN.
- VEHICULAR PARKING SHALL BE WITHIN 3 CAR GARAGE PROVIDED OR UPON A CONCRETE APRON ADJACENT TO GARAGE.
- SAFE PEDESTRIAN ACCESS PER STANDARD 5' WIDE CONCRETE OR SIMILAR MATERIAL, SIDEWALK SEPARATED FROM WILD HORSE CREEK ROAD BY GREENSPACE AS SHOWN PER SITE PLAN.
- SEPARATE 4' WIDE CONCRETE OR SIMILAR MATERIAL SIDEWALKS FOR EACH RESIDENCE FROM SHALL BE PROVIDED FROM DRIVEWAY TO FRONT ENTRY DOOR.

• EXTERIOR ELEMENTS

- THE USE OF BRICK, STONE AND CEMENTITIOUS SIDING ON THE FRONT FAÇADE CREATES A WIDE VARIETY OF STYLES WHEN COMBINED WITH A PALETTE OF SEVERAL EARTH TONE COLOR OPTIONS AVAILABLE. THIS ALLOWS EACH RESIDENCE TO BECOME UNIQUE, UTILIZING THE MANY TEXTURES AND COLORS AVAILABLE.
- EARTH TONE COLORS SHALL INCLUDE, BUT NOT BE LIMITED TO BROWNS, GREENS, REDS, BLUES, YELLOWS, TANS, BLACKS AND WHITES.
- THE SIDE AND REAR ELEVATIONS SHALL UTILIZE SIMILAR MATERIALS AS THE FRONT ELEVATION.
- OFFSETS / SETBACKS IN THE FIRST AND SECOND FLOOR PLAN HAVE BEEN IMPLEMENTED TO, NOT ONLY CREATE A WELL DESIGNED FLOOR PLAN, BUT ALSO LEND TO A MORE INTERESTING FRONT ELEVATION WITH DEPTH.

• LANDSCAPING AND SCREENING



- OVERALL NATURAL TOPOGRAPHY SHALL REMAIN.
- MODULAR BLOCK RETAINING WALLS SHALL BE USED IN REAR OF SITE TO PROVIDE A REASONABLE BUILDABLE SITE FOR NEW RESIDENCES.
- RETAINING WALLS SHALL BE TERRACED WHERE POSSIBLE, BUT DUE TO THE EXISTING STEEP SLOPE, TALLER RETAINING WALLS MAY BE REQUIRED.
- GUARDRAILS AND LANDSCAPING SHALL BE PROVIDED AT TOP OF WALL FOR SAFETY.
- THE USE OF BERMS, WHERE ALLOWED, SHALL BE USED TO LESSEN THE NOISE OF VEHICULAR TRAFFIC ON WILD HORSE CREEK ROAD AS WELL AS PROVIDE VISUAL PRIVACY.
- THE USE OF TREES, SHRUBS AND VARIOUS PLANTINGS SHALL BE INCORPORATED TO INCREASE PRIVACY FOR THE RESIDENCES AND REPLACE ANY REMOVED TREES DUE TO CONSTRUCTION.
- CONSISTENT LANDSCAPING ACROSS EACH SITE SHALL BE UTILIZED TO CREATE A UNIFORM FEEL.
- LANDSCAPING SHALL ALSO LIMIT THE AMOUNT OF WATER RUNOFF AND EROSION.

• SCALE

- NEW RESIDENCES SHALL COMPLY WITH LOCAL SINGLE FAMILY RESIDENTIAL STANDARDS, REGARDING SQUARE FOOTAGE AND HEIGHT, SO AS TO MIMIC EXISTING BUILDING SCALE OF ADJACENT PROPERTIES.

• SITE DESIGN

- NEW SINGLE FAMILY RESIDENCES SHALL BE LOCATED WELL WITHIN ALL SETBACKS, LEAVING AMPLE GREENSPACE ON ALL FOUR SIDES, WHICH HELPS SEPARATE THE RESIDENCES FROM EACH OTHER AND ADJACENT PROPERTIES.
- AS STATED PREVIOUSLY, ALL LANDSCAPING SHALL BE DESIGNED AND LOCATED TO CREATE AS MUCH OF AN AUDIBLE AND VISUAL SEPARATION AS POSSIBLE.
- NEW RESIDENCES SHALL HAVE SIDE ENTRY GARAGES WITH PARKING APRONS.

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PROPOSED SINGLE FAMILY RESIDENCE FOR: WILDHORSE BLUFFS MODEL HOME "A" WILDHORSE CREEK ROAD CHESTERFIELD, MO	
ARCHITECT'S STATEMENT OF DESIGN	
sheet:	A5