

PROPOSED DEVELOPMENT INFORMATION:

OVERALL LOT AREA : 48.625 Acres ± (2,118,148 sf.)
 PROPOSED BUILDING FOOTPRINT : 472,282 GROSS FLOOR AREA
 F.A.R. (ORD. 2682 MAX FLOOR AREA = 500,000 s.f.) : 472,282 s.f. BLDG. / 2,118,148 s.f. SITE = 0.223

OPEN SPACE CALCULATIONS:
 OVERALL AREA : 48.625 Acres ± (2,118,148 sf.) = 100 %
 TOTAL BUILDING AREA : 10.842 Acres ± (472,282 sf.) = 22.3 %
 TOTAL PAVED PARKING AREA : 21,505 Acres ± (936,758 sf.) = 44.2 %
 TOTAL OPEN SPACE : 16,278 Acres ± (709,108 sf.) = 33.5 %

NOTE: 30% OPEN SPACE IS REQUIRED FOR THIS DEVELOPMENT BY CITY OF CHESTERFIELD ORDINANCE 2682 B.3.a. THE PROPOSED STORM WATER IMPROVEMENTS COMPLY WITH THIS REQUIREMENT.

PARKING CALCULATIONS:

REQUIRED PARKING: 4.75 SPACES PER 1,000 SF. OF GROSS FLOOR AREA
 472,282 sf. AT 4.75/1000 = 2,244 SPACES REQUIRED

REDUCTION PER CITY LETTER "CHESTERFIELD OUTLETS - REQUEST FOR MODIFICATION TO PARKING REQUIREMENTS", DATED JANUARY 26, 2012. PER THE CITY OF CHESTERFIELD A 6.6% REDUCTION TO THE PARKING REQUIREMENT SPECIFIED IN SECTION 1003.165.4.E(6) FOR THE PROPOSED CHESTERFIELD OUTLETS DEVELOPMENT IS APPROVED IN ACCORDANCE WITH SECTION 1003.165.9.D.(1). ADDITIONAL CHANGES TO THE DEVELOPMENT SIZE, RESTAURANT USE THAT EXCEEDS 10% OF THE GROSS LEASABLE AREA OF THE DEVELOPMENT, OR THE ADDITION OF A THEATER IN THE DEVELOPMENT WILL REQUIRE A NEW MODIFICATION TO BE SUBMITTED AND REVIEWED.

REQUIRED PARKING WITH 6.6% REDUCTION: = ((472,282/1000) x 4.75) x 0.934
 = 2,095 SPACES REQUIRED

PARKING PROVIDED: = 2,183 SPACES (+ INCLUDES 34 H.C. SPACES)

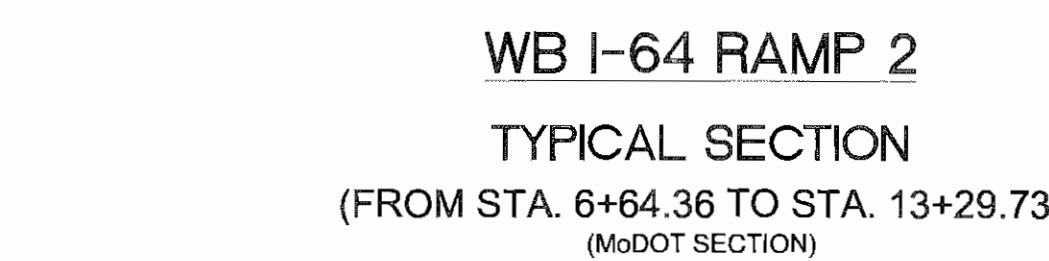
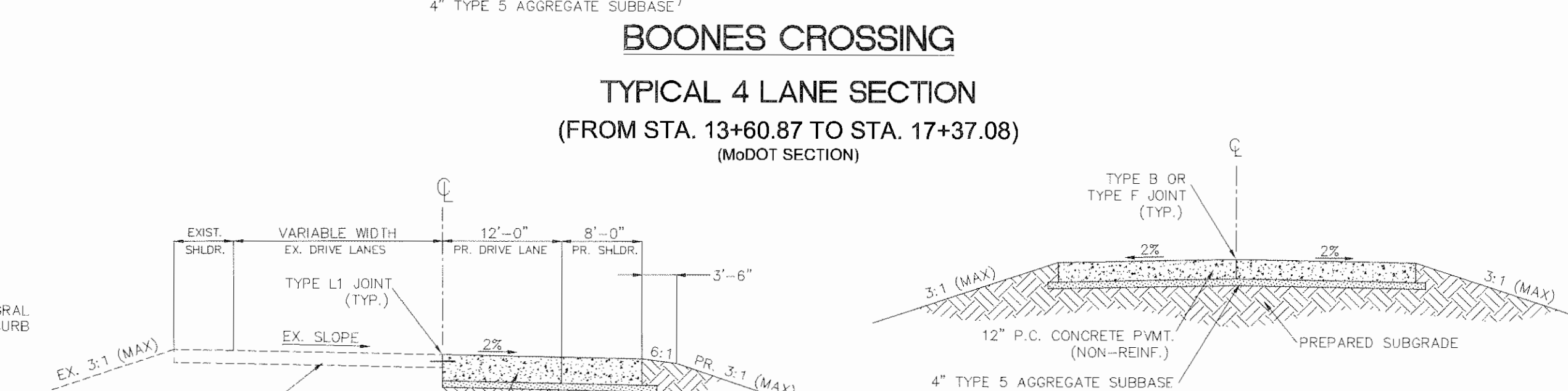
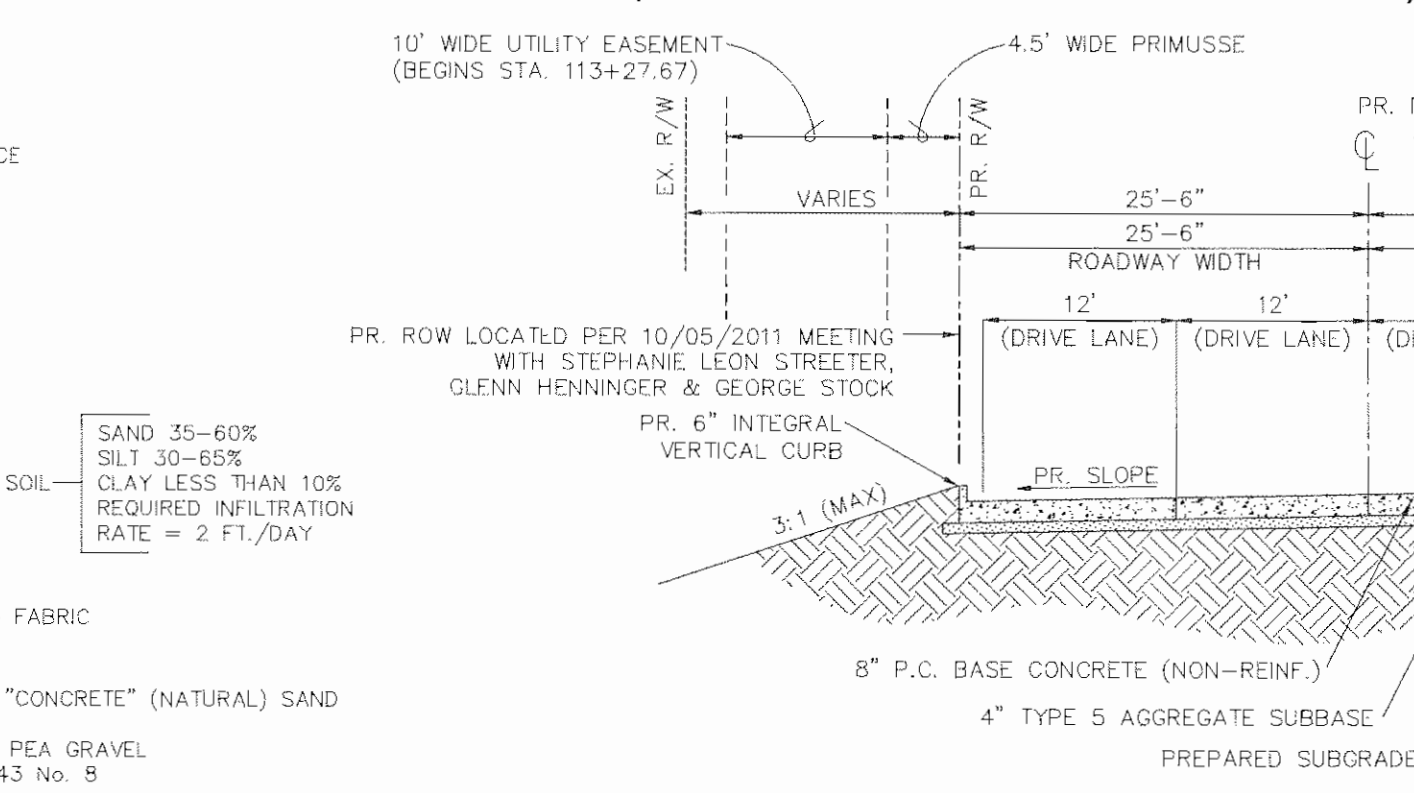
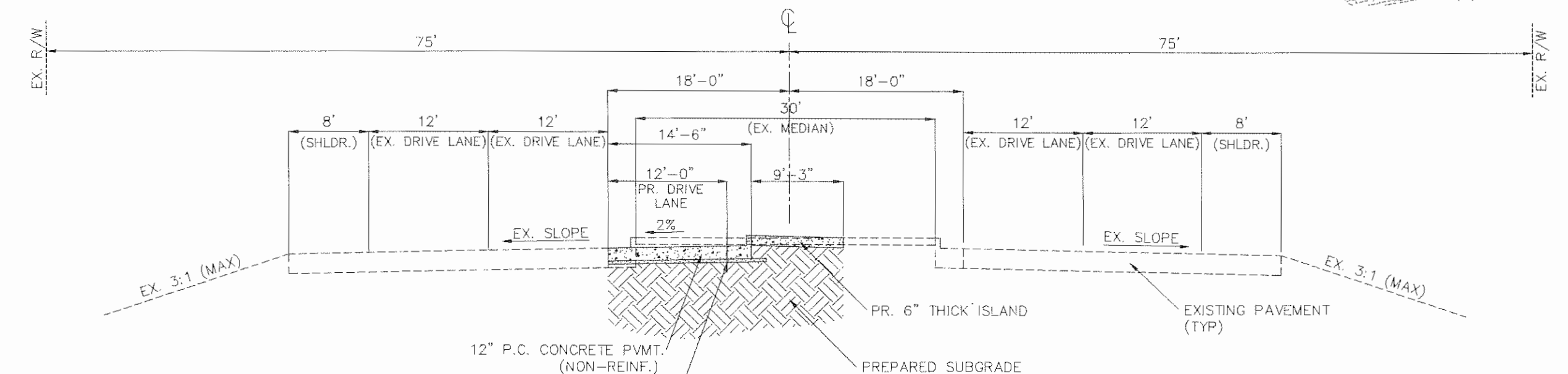
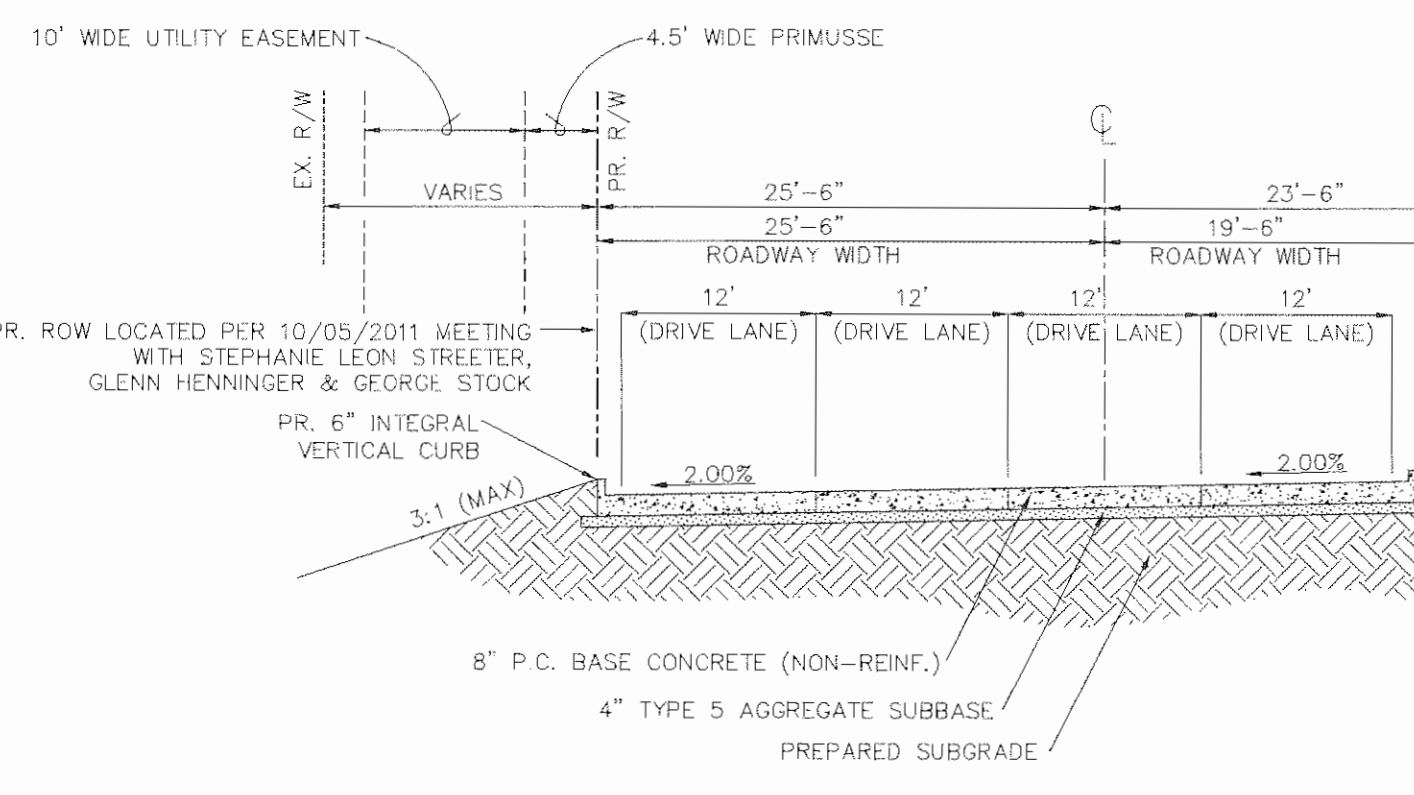
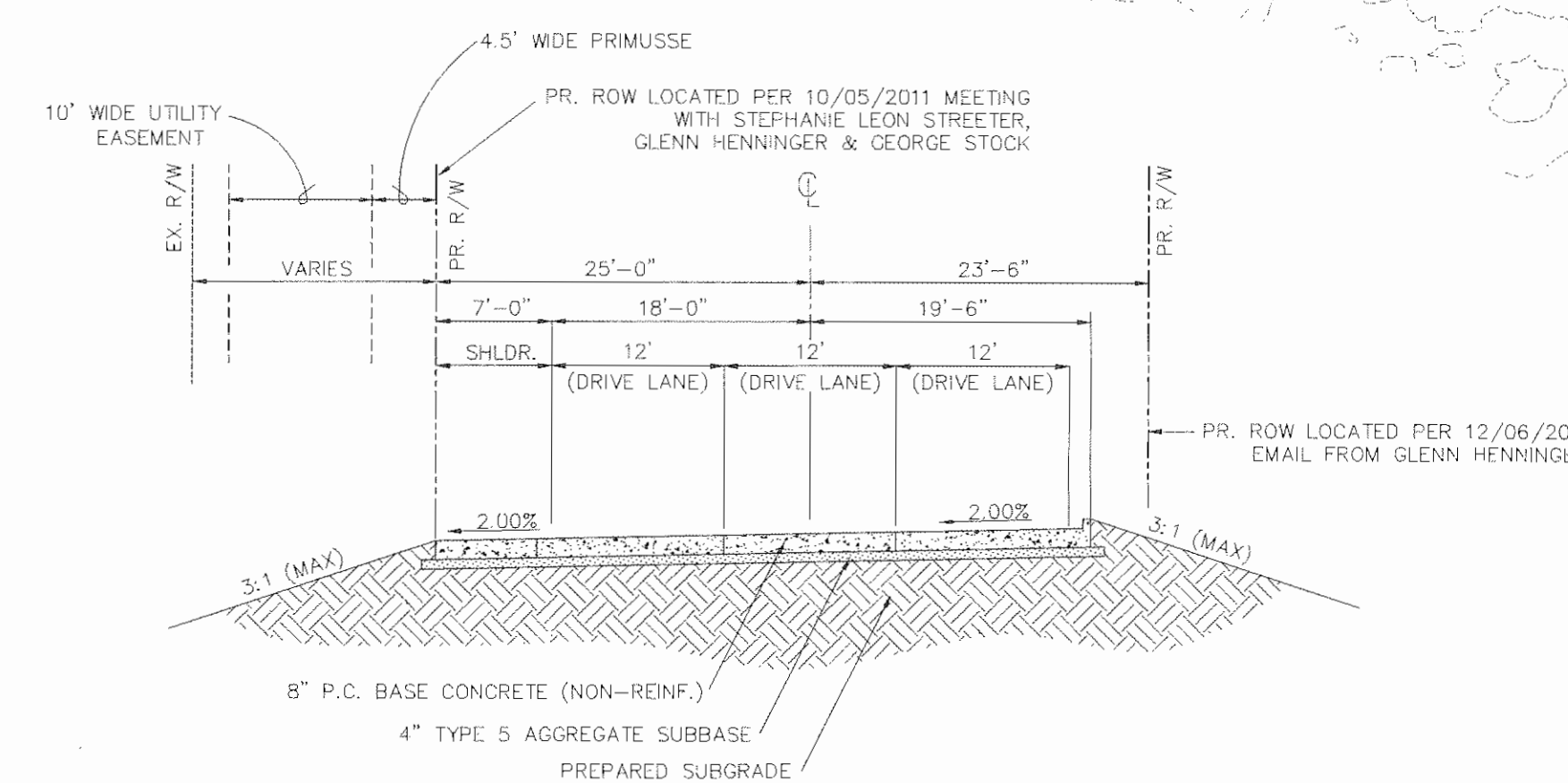
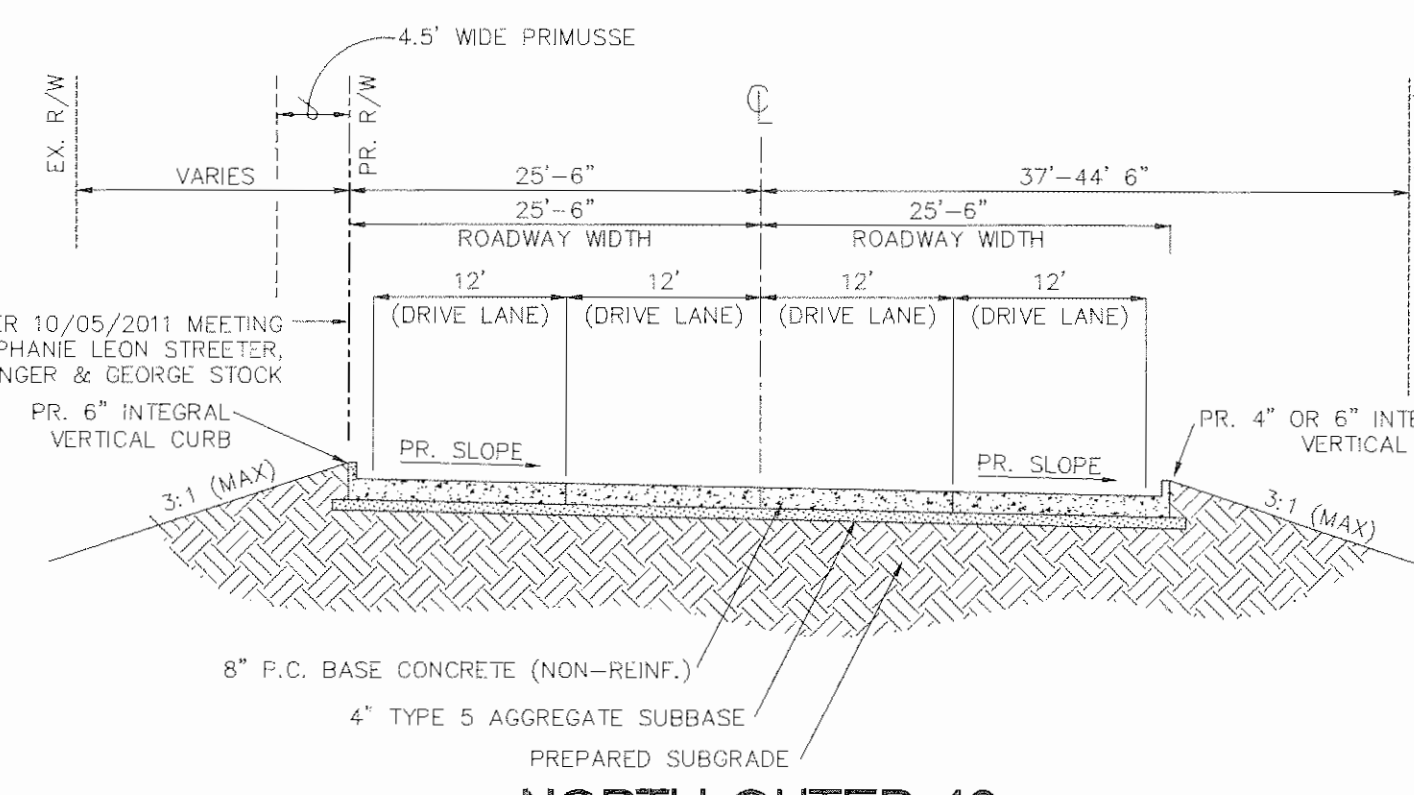
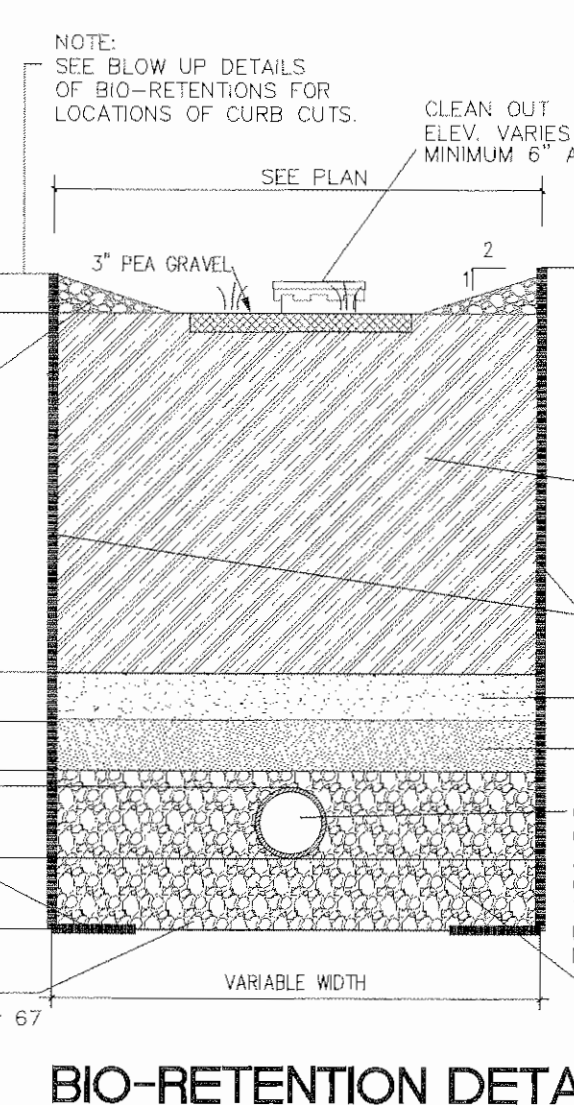
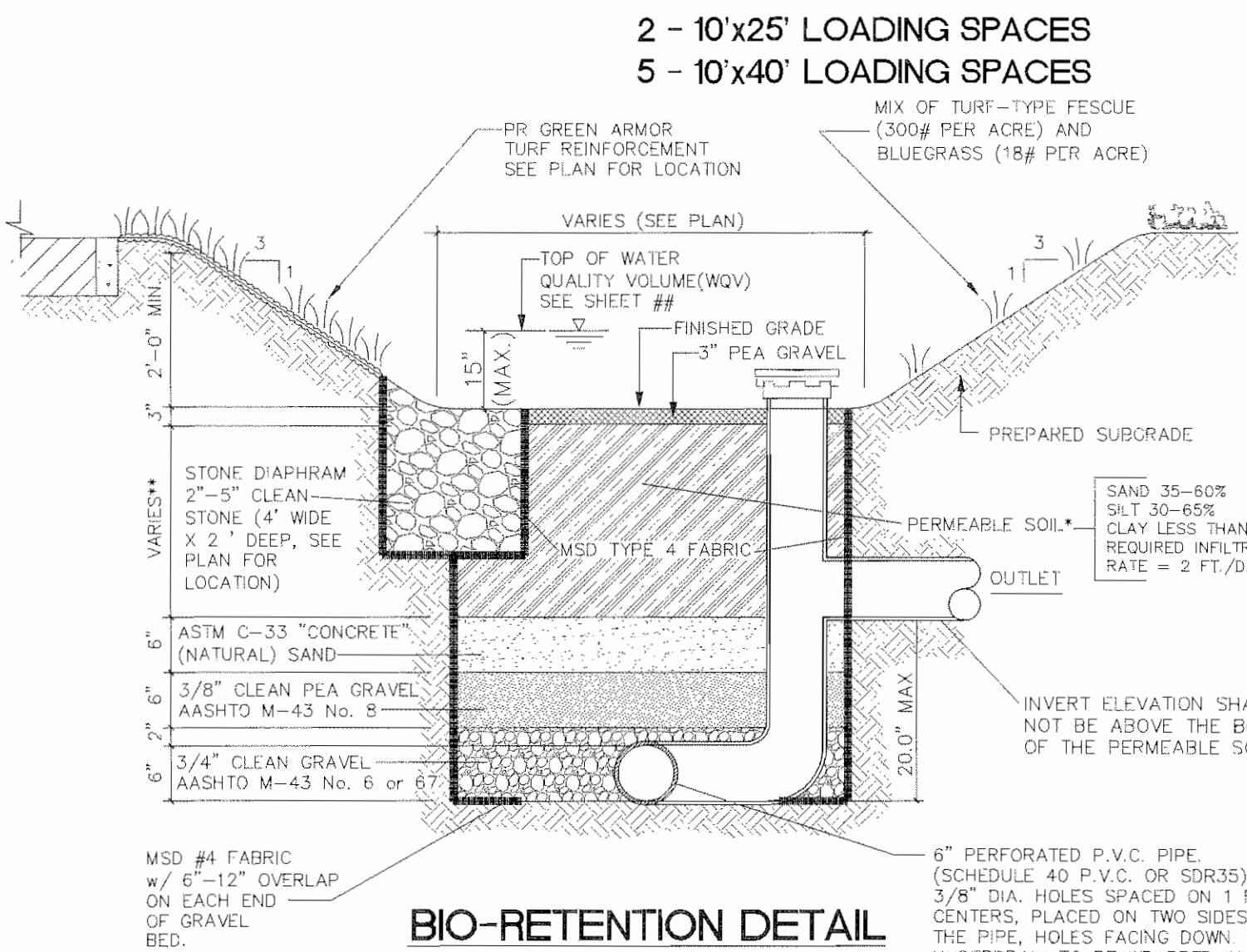
♦ H.C. PARKING PROVIDED PER CODE: 20 PLUS ONE FOR EACH 100 OR FRACTION THEREOF, OVER 10,000.
 20 + 12 (1183/100) = 32 H.C. REQUIRED

LOADING CALCULATIONS:

REQUIRED LOADING:
 TWO 10'x25' LOADING SPACES AND ONE 10'x40' LOADING SPACE FOR CENTERS HAVING 25,001-100,000 sf.
 1 ADDITIONAL 10'x40' SPACE FOR EVERY ADDITIONAL 100,000 sf. OF BUILDING AREA.

PROVIDED LOADING:
 6 - 12' x 100' LOADING AREAS
 2 - 10' x 180' LOADING AREAS
 1 - 10' x 350' LOADING AREA
 1 - 10' x 335' LOADING AREA

472,282 sf. (GROSS FLOOR AREA) REQUIRES THE FOLLOWING:
 2 - 10'x25' LOADING SPACES
 5 - 10'x40' LOADING SPACES



FIRM 29189C01014
 LOMR 4/17/00 (465.00)

SUBJECT PROPERTY LIES WITHIN FLOOD ZONES "SHADED X", "AH" (BE DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM) AND/OR "UNINCORPORATED AREAS". THE MAP IS IDENTIFIED AS MAP NO. 218B0310.H, WITH AN EFFECTIVE DATE OF AUGUST 2, 1995 REVISED TO REFLECT LOMR DATED APRIL 17, 2000

100 YR. H.W. ELEV. - MO RIVER: 465.71 (466.00) - HEC RAS MODEL 10/97
 500 YR. H.W. ELEV. - MO RIVER: 468.00 (MILE 40) - FROM UPPER MISSISSIPPI (FLOW FREQUENCY STUDY - BY THE U.S. ARMY CORP. OF ENGINEERS, DATED MARCH 2004)

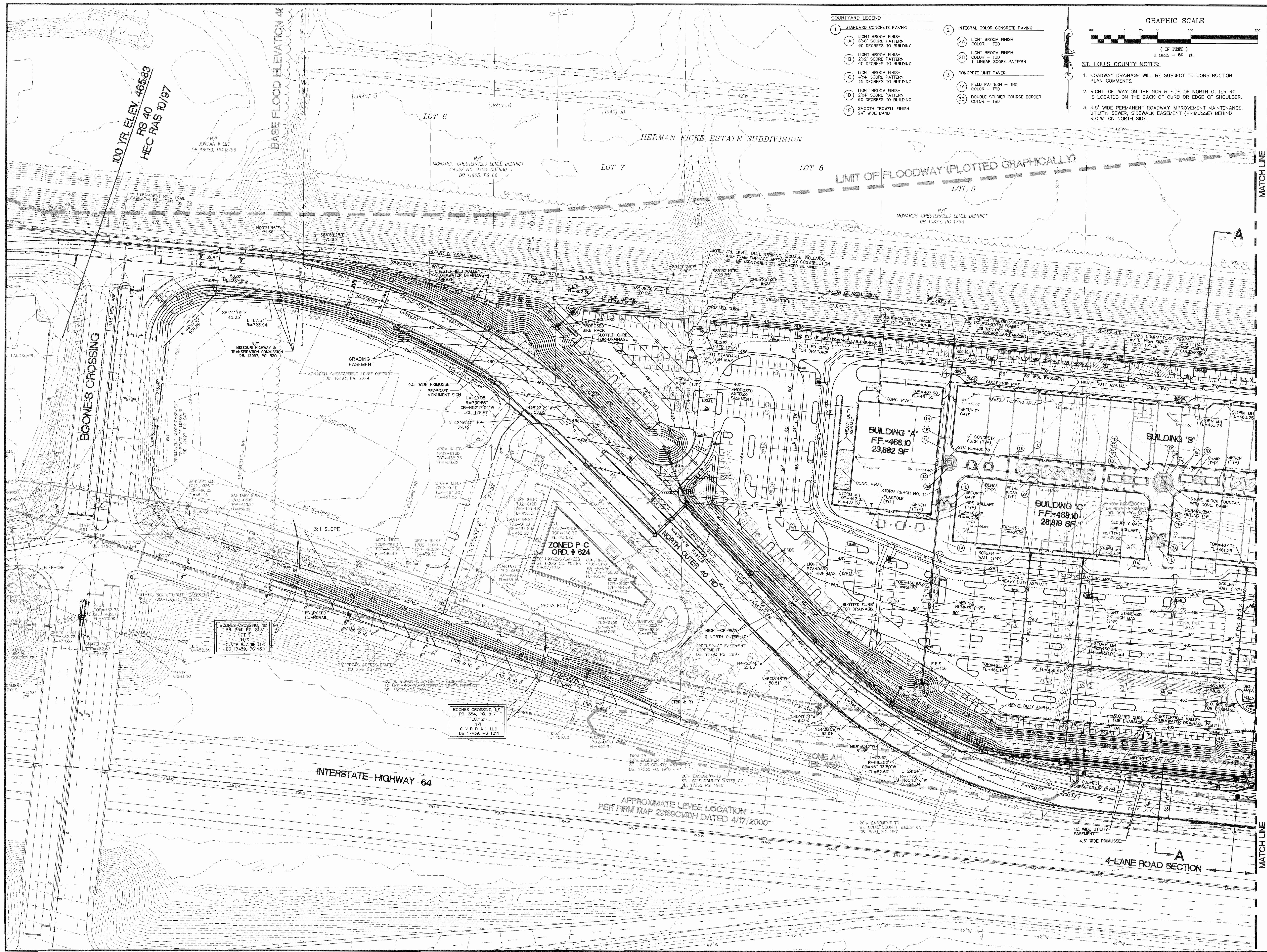
PREPARED BY: **STOCK & ASSOCIATES** Consulting Engineers, Inc.
 257 Chesterfield Business Parkway
 St. Louis, MO 63005
 PHONE: (636) 530-9130
 FAX: (636) 530-9130
 e-mail: general@stockassoc.com
 Web: www.stockassoc.com

SITE DEVELOPMENT FOR:
CHESTERFIELD OUTLETS
 NORTH OUTER 40
 CHESTERFIELD, MISSOURI 63005

STATE OF MISSOURI
 GEORGE MICHAEL STOCK
 CIVIL ENGINEER
 NUMBER PE-25116
 2/15/2012
 E-25116
 NUMBER OF AUTHORITY: 000995

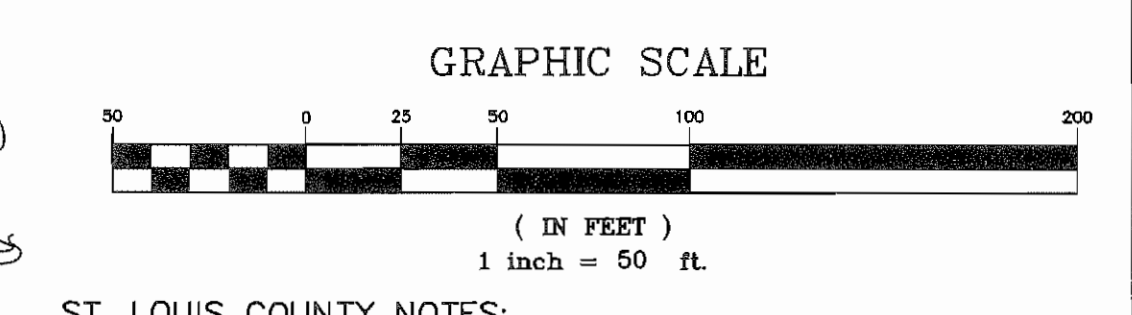
REVISIONS:
 1 1/20/2012 REV. PER REVIEW COMMENTS
 2 2/15/2012 REV. PER REVIEW COMMENTS

DRAWN BY: T.P.S. CHECKED BY: G.M.S.
 DATE: 12/20/2011 JOB NO: 211-4742
 MSD P. NO: BASE MAP: P-29391-00 17U,17T
 SHEET TITLE: OVERALL SITE DEVELOPMENT PLAN KEY MAP
 SHEET NO.: SDP-C2



COURTYARD LEGEND

1	STANDARD CONCRETE PAVING	2	INTEGRAL COLOR CONCRETE PAVING
1A	LIGHT BROOM FINISH 6"X6" SCORE PATTERN 90 DEGREES TO BUILDING	2A	LIGHT BROOM FINISH COLOR - TBD
1B	LIGHT BROOM FINISH 2"X2" SCORE PATTERN 90 DEGREES TO BUILDING	2B	LIGHT BROOM FINISH COLOR - TBD 1" LINEAR SCORE PATTERN
1C	LIGHT BROOM FINISH 4"X4" SCORE PATTERN 45 DEGREES TO BUILDING	3	CONCRETE UNIT PAVER
1D	LIGHT BROOM FINISH 2"X4" SCORE PATTERN 90 DEGREES TO BUILDING	3A	FIELD PATTERN - TBD COLOR - TBD
1E	SMOOTH TROWEL FINISH 24" WIDE BAND	3B	DOUBLE SOLDIER COURSE BORDER COLOR - TBD



- ST. LOUIS COUNTY NOTES:**
- ROADWAY DRAINAGE WILL BE SUBJECT TO CONSTRUCTION PLAN COMMENTS.
 - RIGHT-OF-WAY ON THE NORTH SIDE OF NORTH OUTER 40 IS LOCATED ON THE BACK OF CURB OR EDGE OF SHOULDER.
 - 4.5' WIDE PERMANENT ROADWAY IMPROVEMENT MAINTENANCE, UTILITY, SEWER, SIDEWALK EASEMENT (PRIMUSSE) BEHIND R.O.W. ON NORTH SIDE.

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SITE DEVELOPMENT PLAN FOR:
CHESTERFIELD OUTLETS
 NORTH OUTER 40
 CHESTERFIELD, MISSOURI 63005

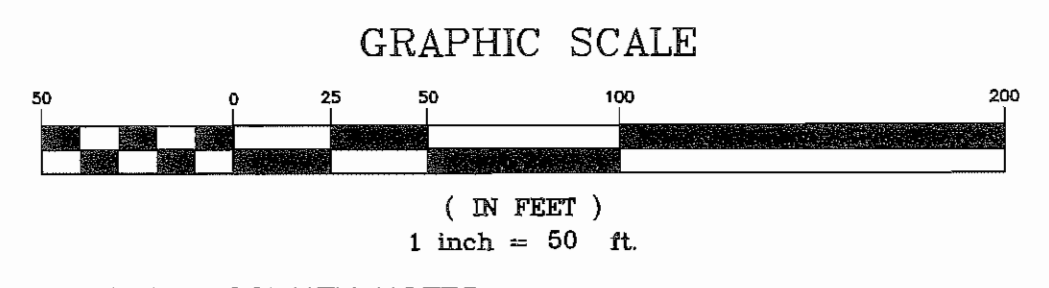
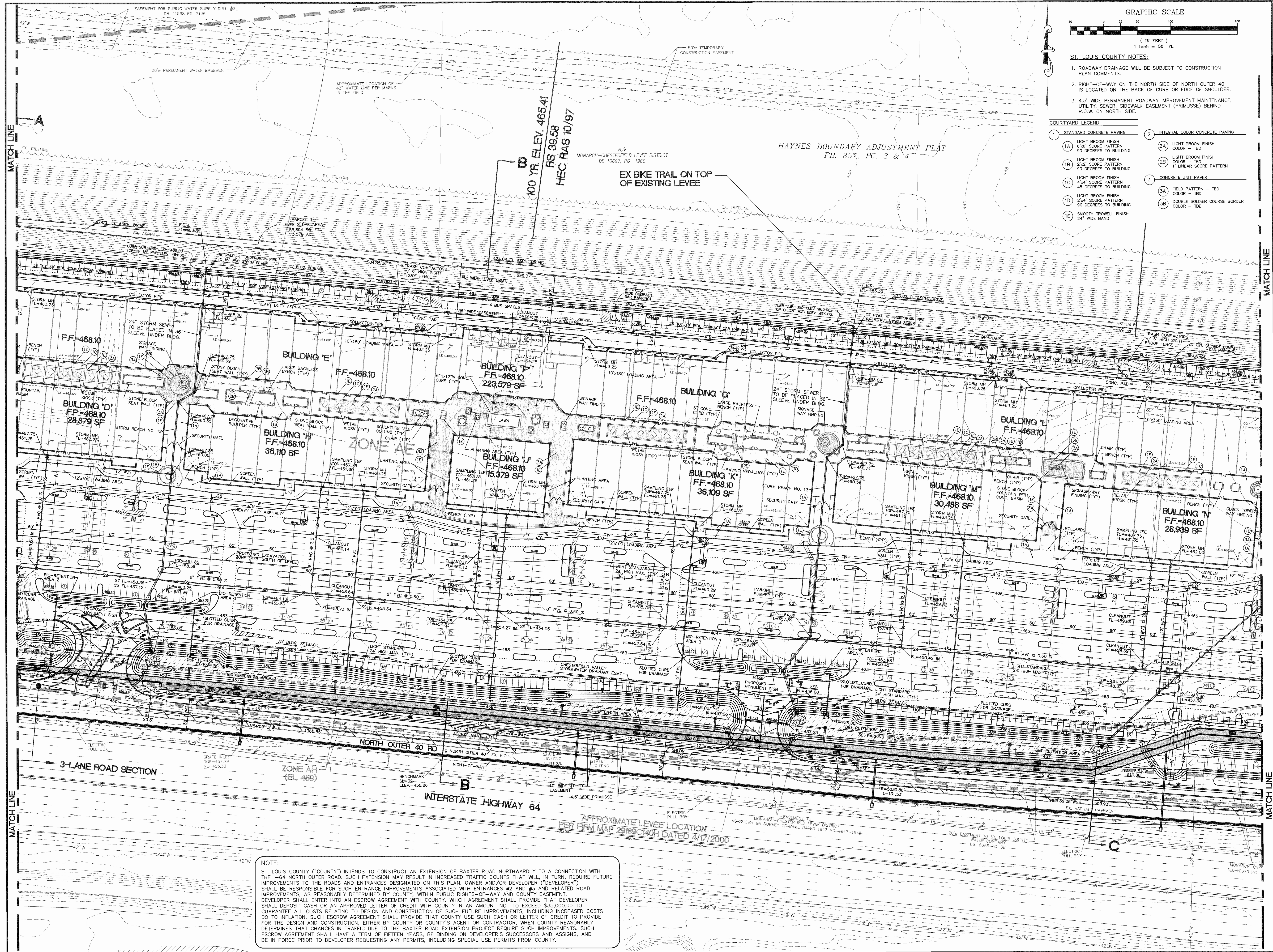
STATE OF MISSOURI
 GEORGE MICHAEL STOCK
 CIVIL ENGINEER
 LICENSE NUMBER: PE-25119

2/15/2012
 GEORGE M. STOCK E-25116
 CIVIL ENGINEER
 CERTIFICATE OF AUTHORITY
 NUMBER: 000995

REVISIONS:

1	1/20/2012 REV. PER REVIEW COMMENTS
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 DATE: 12/20/2011 JOB NO: 211-4742
 MSP P. NO: BASE MAP: P-29391-00 17U,17T
 SHEET TITLE: **SITE DEVELOPMENT PLAN**
 SHEET NO.: **SDP-C3**

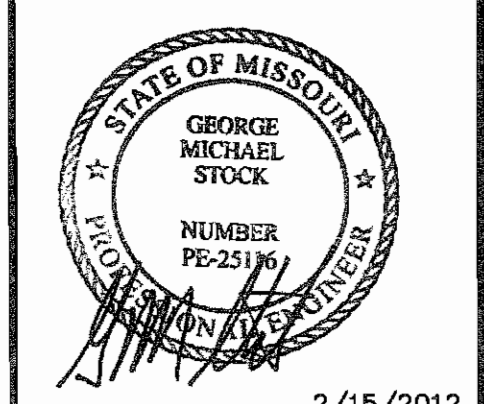


- ST. LOUIS COUNTY NOTES:
- ROADWAY DRAINAGE WILL BE SUBJECT TO CONSTRUCTION PLAN COMMENTS.
 - RIGHT-OF-WAY ON THE NORTH SIDE OF NORTH OUTER 40 IS LOCATED ON THE BACK OF CURB OR EDGE OF SHOULDER.
 - 4.5' WIDE PERMANENT ROADWAY IMPROVEMENT MAINTENANCE, UTILITY, SEWER, SIDEWALK EASEMENT (PRIMUSSE) BEHIND R.O.W. ON NORTH SIDE.

- COURTYARD LEGEND
- | | |
|--|---|
| 1 STANDARD CONCRETE PAVING | 2 INTEGRAL COLOR CONCRETE PAVING |
| 1A LIGHT BROOM FINISH 6"x6" SCORE PATTERN 90 DEGREES TO BUILDING | 2A LIGHT BROOM FINISH COLOR - TBD |
| 1B LIGHT BROOM FINISH 2"x2" SCORE PATTERN 60 DEGREES TO BUILDING | 2B LIGHT BROOM FINISH 1" LINEAR SCORE PATTERN |
| 1C LIGHT BROOM FINISH 4"x4" SCORE PATTERN 45 DEGREES TO BUILDING | 3 CONCRETE UNIT PAVING |
| 1D LIGHT BROOM FINISH 2"x4" SCORE PATTERN 90 DEGREES TO BUILDING | 3A FIELD PATTERN - TBD COLOR - TBD |
| 1E SMOOTH TROWEL FINISH 24" WIDE BAND | 3B DOUBLE SOLDIER COURSE BORDER COLOR - TBD |

PREPARED BY:
STOCK & ASSOCIATES
 Consulting Engineers, Inc.

SITE DEVELOPMENT PLAN FOR:
CHESTERFIELD OUTLETS
 NORTH OUTER 40
 CHESTERFIELD, MISSOURI 63005



2/15/2012
 GEORGE M. STOCK
 CIVIL ENGINEER
 CERTIFICATE OF AUTHORITY NUMBER: 000996

- REVISIONS:
- 1/20/2012 REV. PER REVIEW COMMENTS
 - 2/15/2012 REV. PER REVIEW COMMENTS

DRAWN BY: T.P.S. CHECKED BY: G.M.S.
 DATE: 12/20/2011 JOB NO: 211-4742
 MSD P. NO: BASE MAP: P-29391-00 17U,17T
 SHEET TITLE:

SITE DEVELOPMENT PLAN
 SHEET NO.: **SDP-C4**

NOTE:
 ST. LOUIS COUNTY ("COUNTY") INTENDS TO CONSTRUCT AN EXTENSION OF BAXTER ROAD NORTHWARDLY TO A CONNECTION WITH THE I-64 NORTH OUTER ROAD. SUCH EXTENSION MAY RESULT IN INCREASED TRAFFIC COUNTS THAT WILL, IN TURN, REQUIRE FUTURE IMPROVEMENTS TO THE ROADS AND ENTRANCES DESIGNATED ON THIS PLAN. OWNER AND/OR DEVELOPER ("DEVELOPER") SHALL BE RESPONSIBLE FOR SUCH ENTRANCE IMPROVEMENTS ASSOCIATED WITH ENTRANCES #2 AND #3 AND RELATED ROAD IMPROVEMENTS, AS REASONABLY DETERMINED BY COUNTY, WITHIN PUBLIC RIGHTS-OF-WAY AND COUNTY EASEMENT. DEVELOPER SHALL ENTER INTO AN ESCROW AGREEMENT WITH COUNTY, WHICH AGREEMENT SHALL PROVIDE THAT DEVELOPER SHALL DEPOSIT CASH OR AN APPROVED LETTER OF CREDIT WITH COUNTY IN AN AMOUNT NOT TO EXCEED \$35,000.00 TO GUARANTEE ALL COSTS RELATING TO DESIGN AND CONSTRUCTION OF SUCH FUTURE IMPROVEMENTS, INCLUDING INCREASED COSTS DO TO INFLATION. SUCH ESCROW AGREEMENT SHALL PROVIDE THAT COUNTY USE SUCH CASH OR LETTER OF CREDIT TO PROVIDE FOR THE DESIGN AND CONSTRUCTION, EITHER BY COUNTY OR COUNTY'S AGENT OR CONTRACTOR, WHEN COUNTY REASONABLY DETERMINES THAT CHANGES IN TRAFFIC DUE TO THE BAXTER ROAD EXTENSION PROJECT REQUIRE SUCH IMPROVEMENTS. SUCH ESCROW AGREEMENT SHALL HAVE A TERM OF FIFTEEN YEARS, BE BINDING ON DEVELOPER'S SUCCESSORS AND ASSIGNS, AND BE IN FORCE PRIOR TO DEVELOPER REQUESTING ANY PERMITS, INCLUDING SPECIAL USE PERMITS FROM COUNTY.

40' W ACCESS EASEMENT TO WAYNE D. & RUTHANN E. HAYNES DB 17434, PG. 243

N/F WAYNE & RUTHANN HAYNES DB 9054, PG. 2041

APPROXIMATE LEVEL LOCATION PER FIRM MAP 29189C140H DATED 4/17/2000

ADJUSTED LOT 2

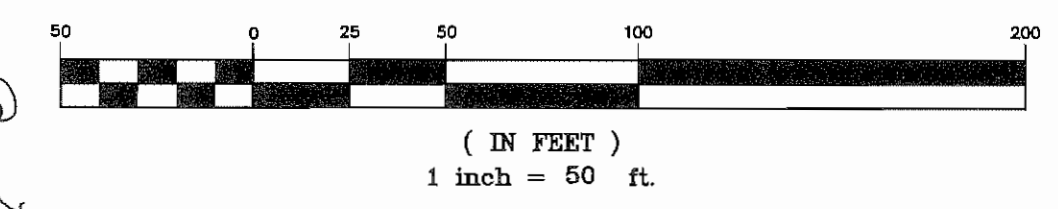
APPROXIMATE LEVEL LOCATION PER FIRM MAP 29189C140H DATED 4/17/2000

COURTYARD LEGEND

- 1 STANDARD CONCRETE PAVING
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- 1B LIGHT BROOM FINISH 2" X 2" SCORE PATTERN 90 DEGREES TO BUILDING
- 1C LIGHT BROOM FINISH 4" X 4" SCORE PATTERN 45 DEGREES TO BUILDING
- 1D LIGHT BROOM FINISH 2" X 4" SCORE PATTERN 90 DEGREES TO BUILDING
- 1E SMOOTH TROWEL FINISH 24" WIDE BAND

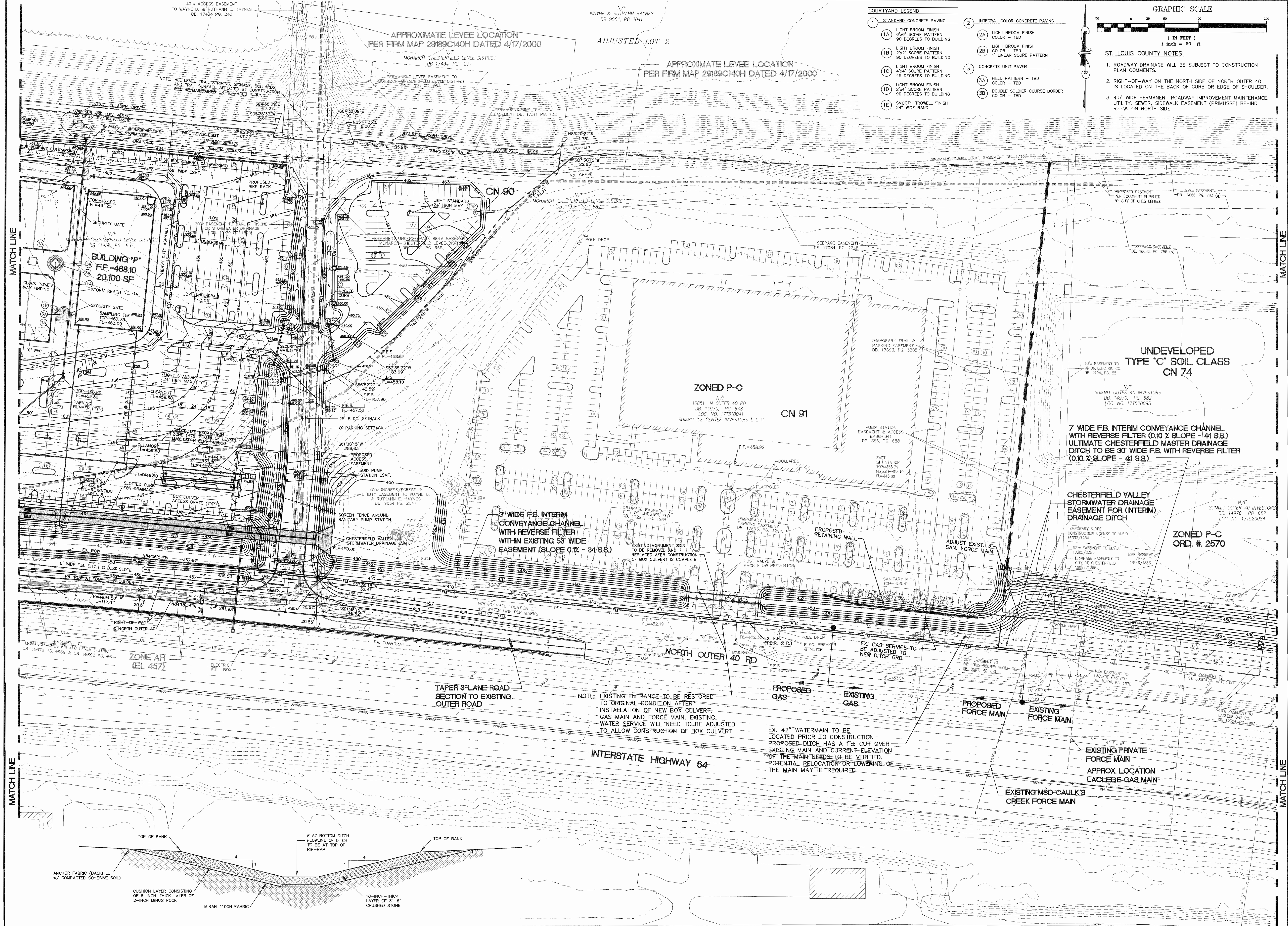
- 2 INTEGRAL COLOR CONCRETE PAVING
- 2A LIGHT BROOM FINISH COLOR - TBD
- 2B LIGHT BROOM FINISH COLOR - TBD 1" LINEAR SCORE PATTERN
- 3 CONCRETE UNIT PAVES
- 3A FIELD PATTERN - TBD COLOR - TBD
- 3B DOUBLE SOLDIER COURSE BORDER COLOR - TBD

GRAPHIC SCALE



ST. LOUIS COUNTY NOTES:

1. ROADWAY DRAINAGE WILL BE SUBJECT TO CONSTRUCTION PLAN COMMENTS.
2. RIGHT-OF-WAY ON THE NORTH SIDE OF NORTH OUTER 40 IS LOCATED ON THE BACK OF CURB OR EDGE OF SHOULDER.
3. 4.5' WIDE PERMANENT ROADWAY IMPROVEMENT MAINTENANCE, UTILITY, SEWER, SIDEWALK EASEMENT (PRIMUSSE) BEHIND R.O.W. ON NORTH SIDE.

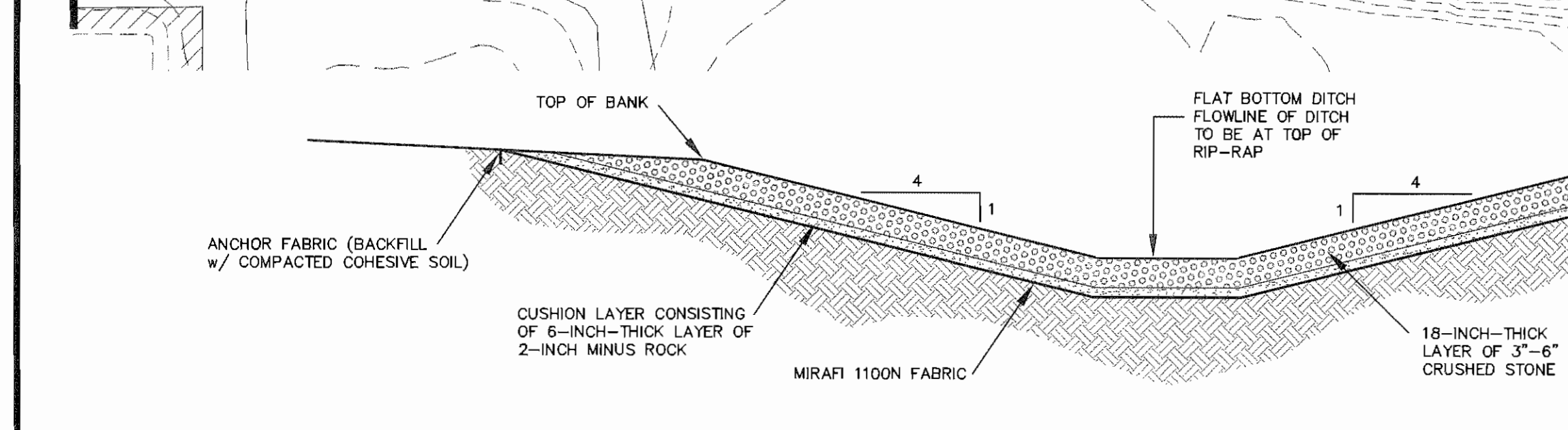


MATCH LINE

MATCH LINE

MATCH LINE

MATCH LINE



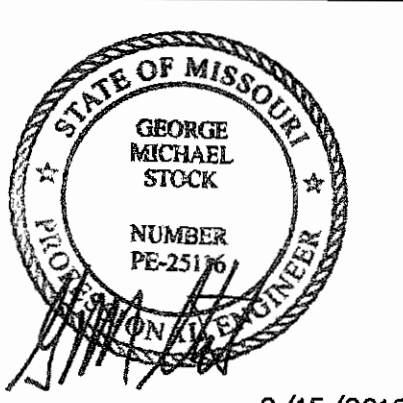
REVERSE FILTER CROSS-SECTION

PREPARED BY: STOCK & ASSOCIATES Consulting Engineers, Inc.

SITE DEVELOPMENT PLAN FOR:

CHESTERFIELD OUTLETS

NORTH OUTER 40
CHESTERFIELD, MISSOURI 63005



2/15/2012
GEORGE M. STOCK E-25116
CIVIL ENGINEER
CERTIFICATE OF AUTHORITY NUMBER: 000696

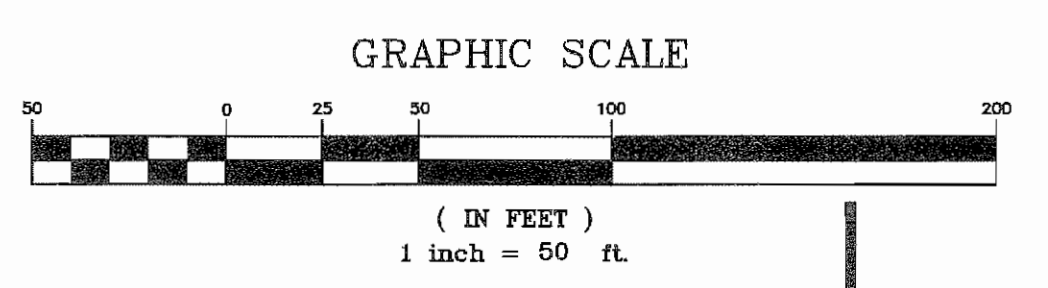
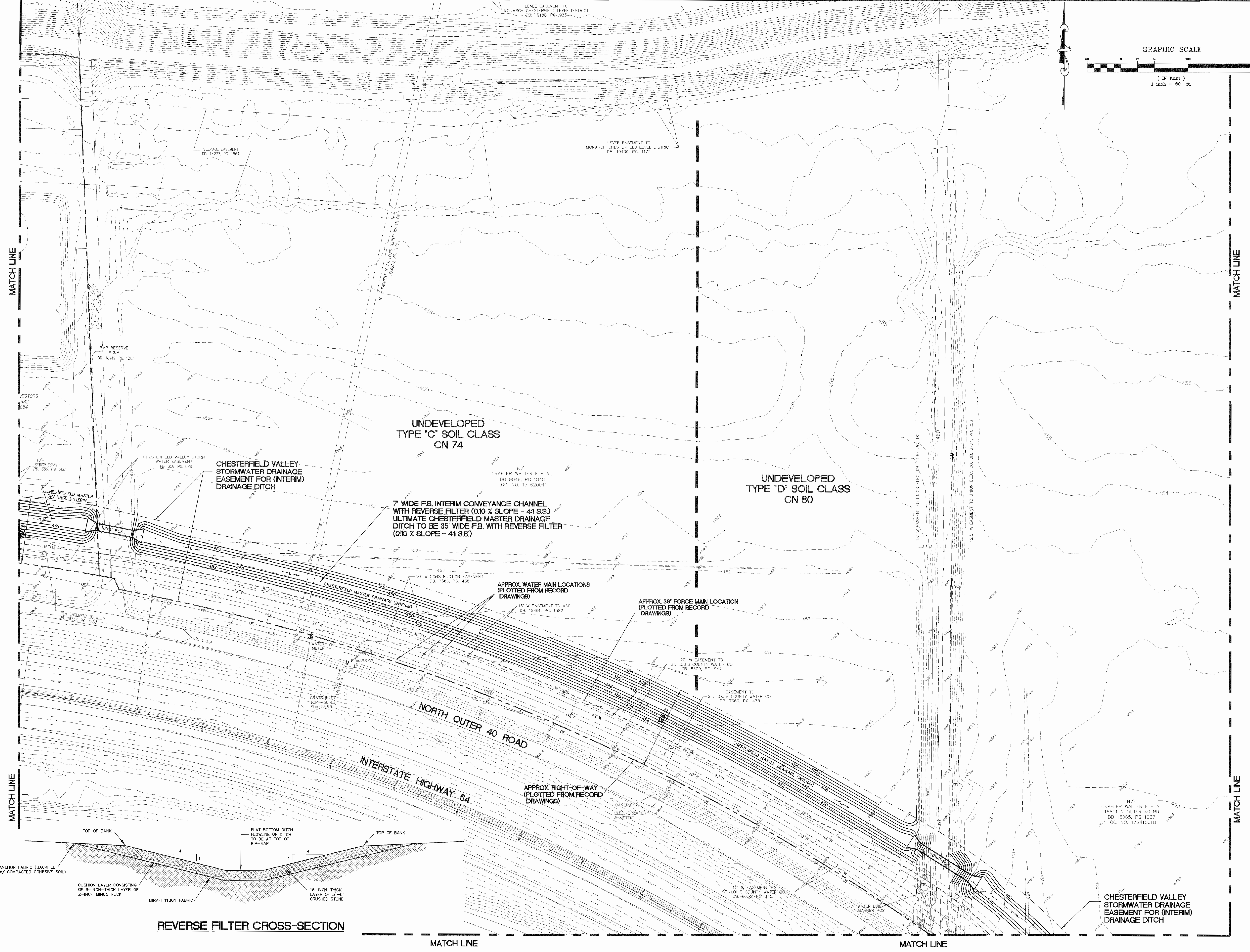
REVISIONS:

1	1/20/2012	REV. PER REVIEW COMMENTS
2	2/15/2012	REV. PER REVIEW COMMENTS

DRAWN BY:	CHECKED BY:
T.P.S.	G.M.S.
DATE:	JOB NO.:
12/20/2011	211-4742
MSD P. NO.:	BASE MAP:
P-29391-00	17U,17T

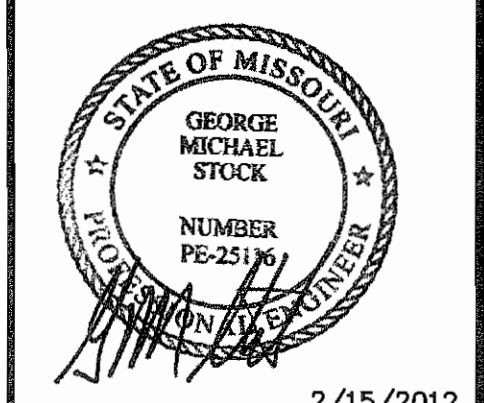
SITE DEVELOPMENT PLAN

SHEET NO.: SDP-C5



PREPARED BY:
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SITE DEVELOPMENT PLAN FOR:
CHESTERFIELD OUTLETS
 NORTH OUTER 40
 CHESTERFIELD, MISSOURI 63005



2/15/2012
 GEORGE M. STOCK E-25116
 CIVIL ENGINEER
 CERTIFICATE OF AUTHORITY
 NUMBER: 000996

REVISIONS:

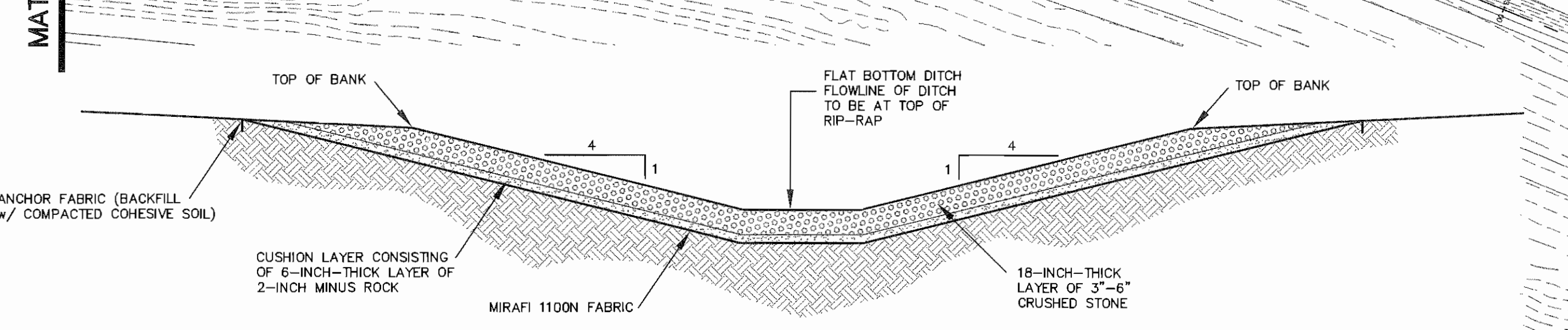
1	1/20/2012	REV. PER REVIEW COMMENTS
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P-29391-00	17J,17T

SHEET TITLE:
SITE DEVELOPMENT PLAN

SHEET NO.:
SDP-C6

REVERSE FILTER CROSS-SECTION

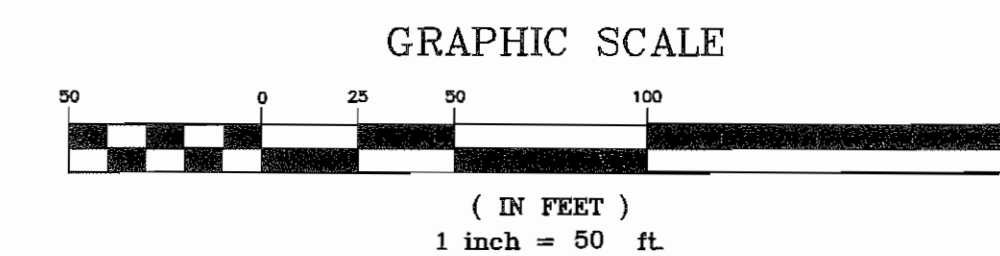


MATCH LINE

UNDEVELOPED
TYPE 'D' SOIL CLASS
CN 80

7' WIDE F.B. INTERIM CONVEYANCE CHANNEL
WITH REVERSE FILTER (0.10 % SLOPE - 41 S.S.)
ULTIMATE CHESTERFIELD MASTER DRAINAGE
DITCH TO BE 40' WIDE F.B. WITH REVERSE FILTER
(0.10 % SLOPE - 41 S.S.)

N/E
GRAELER, WALTER E. ETAL
16703 N OUTER 40 RD
DB 13965, PG 1037
LOC. NO. 175410018



APPROX. WATER MAIN LOCATIONS
(PLOTTED FROM RECORD
DRAWINGS)

50' W CONSTRUCTION EASEMENT
DB 7680, PG. 438

APPROX. 36" FORCE MAIN LOCATION
(PLOTTED FROM RECORD
DRAWINGS)

EASEMENT LINE SHOWN PER
MONARCH-CHESTERFIELD LEVEE
DISTRICT WATERSHED NO. 5 PUMP
STATION PONDING AREA EXHIBIT.

EASEMENT TO
ST. LOUIS COUNTY WATER CO.
DB. 7650, PG. 438

APPROX. RIGHT-OF-WAY
(PLOTTED FROM RECORD
DRAWINGS)

INTERSTATE HIGHWAY 64

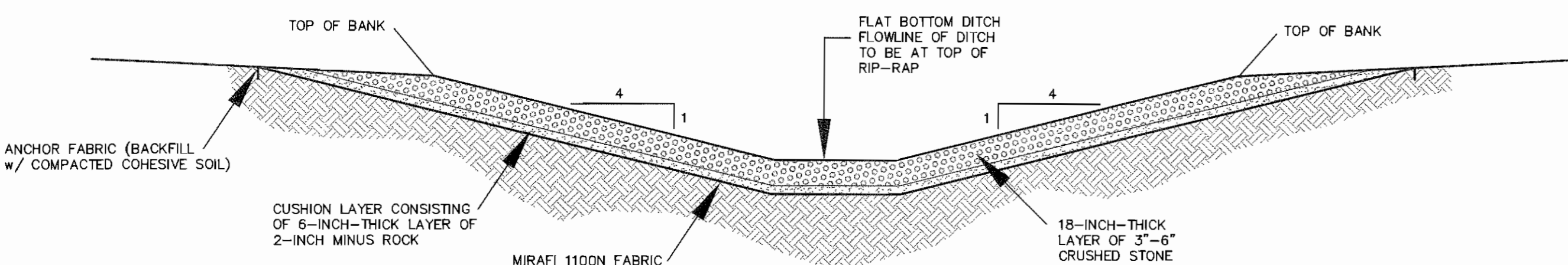
(UNDER CONSTRUCTION)
MONARCH-CHESTERFIELD LEVEE DISTRICT
WATERSHED NO. 5 PUMP STATION
PONDING AREA

N/E
GRAELER, WALTER E. ETAL
16703 N OUTER 40 RD
DB 13965, PG 1037
LOC. NO. 175410018

LEVEE ESMT TO MONARCH
CHESTERFIELD LEVEE DISTRICT
DB-14227, PG. 1843

EASEMENT TO STATE OF MISSOURI
DB 1284, PG. 285

PERMANENT EASEMENT TO
MONARCH-CHESTERFIELD LEVEE DISTRICT
DB-14227, PG. 1843



REVERSE FILTER CROSS-SECTION

PREPARED BY:

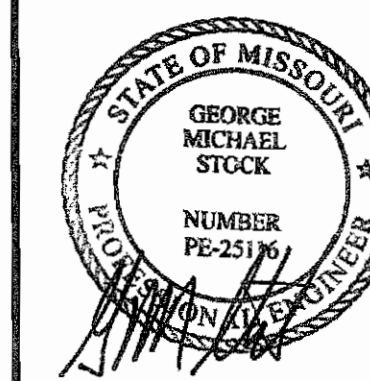
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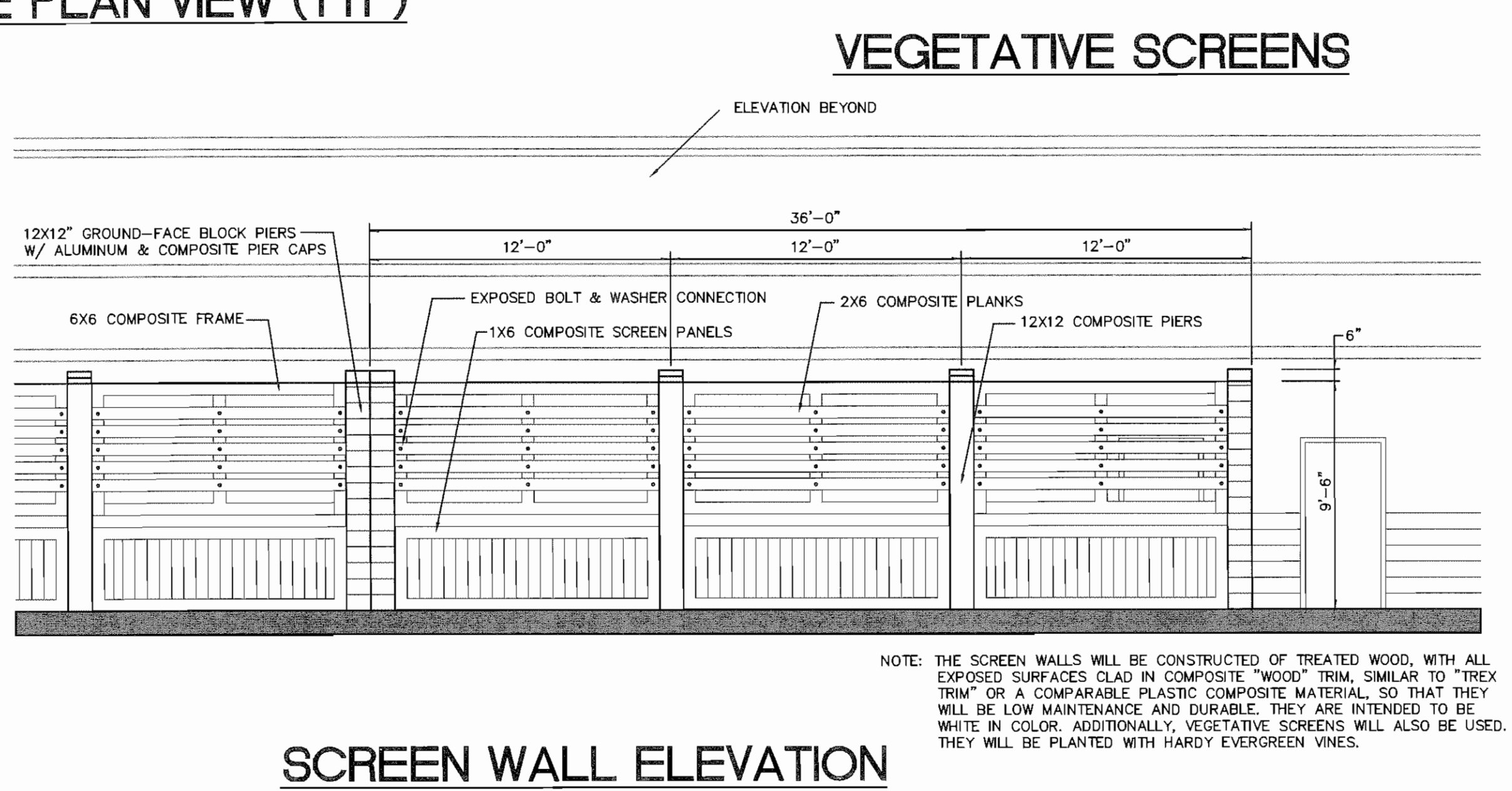
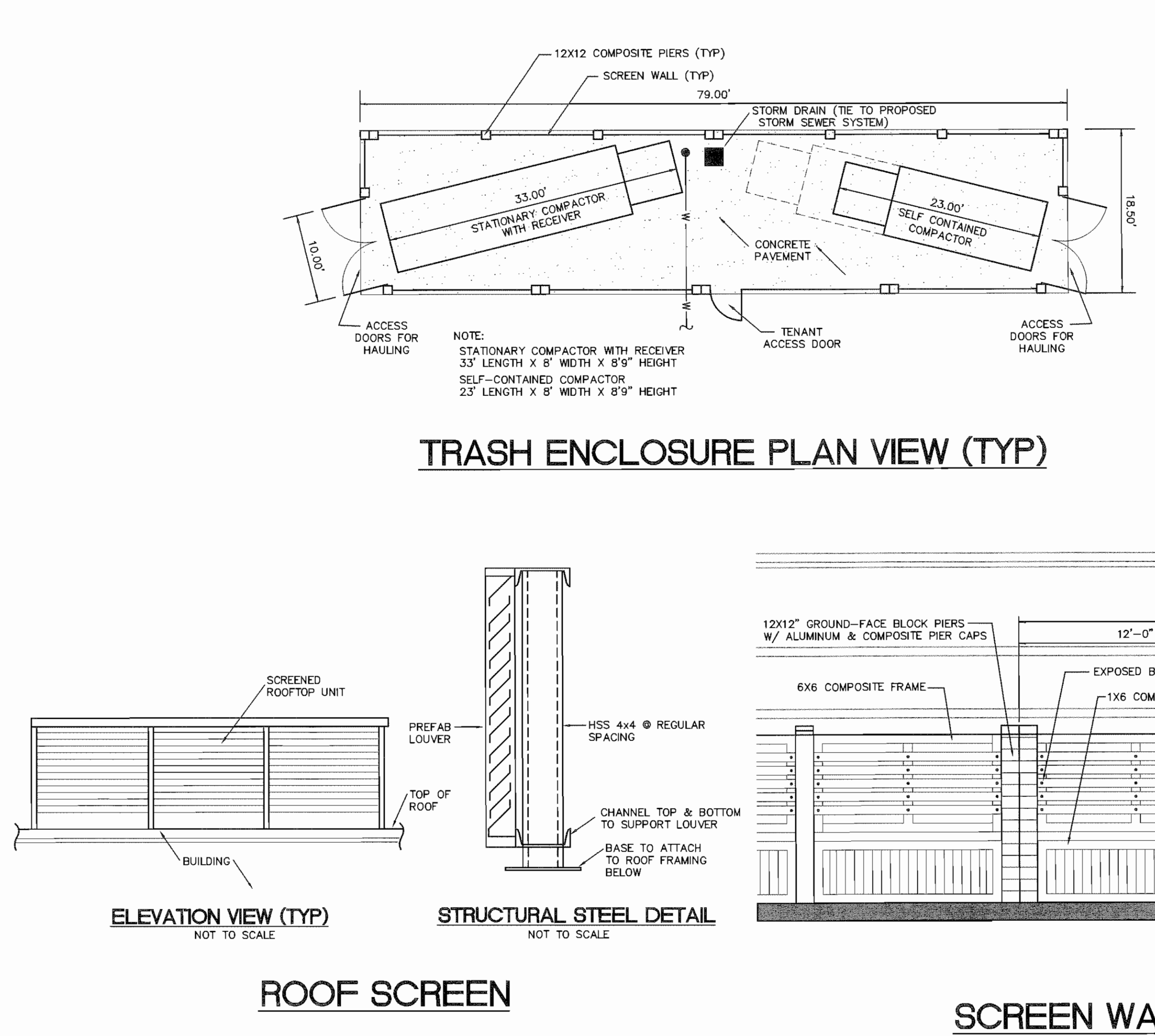
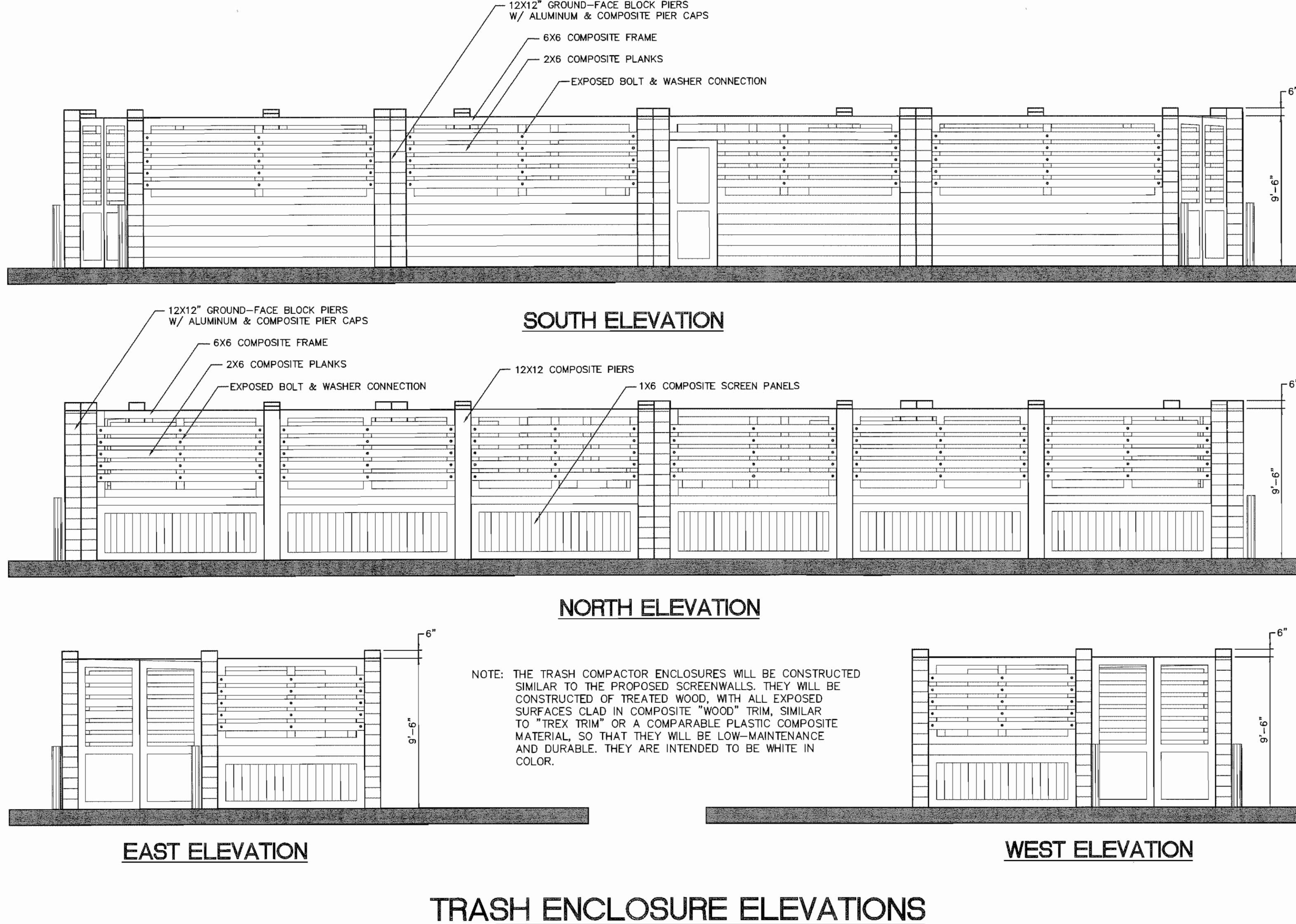
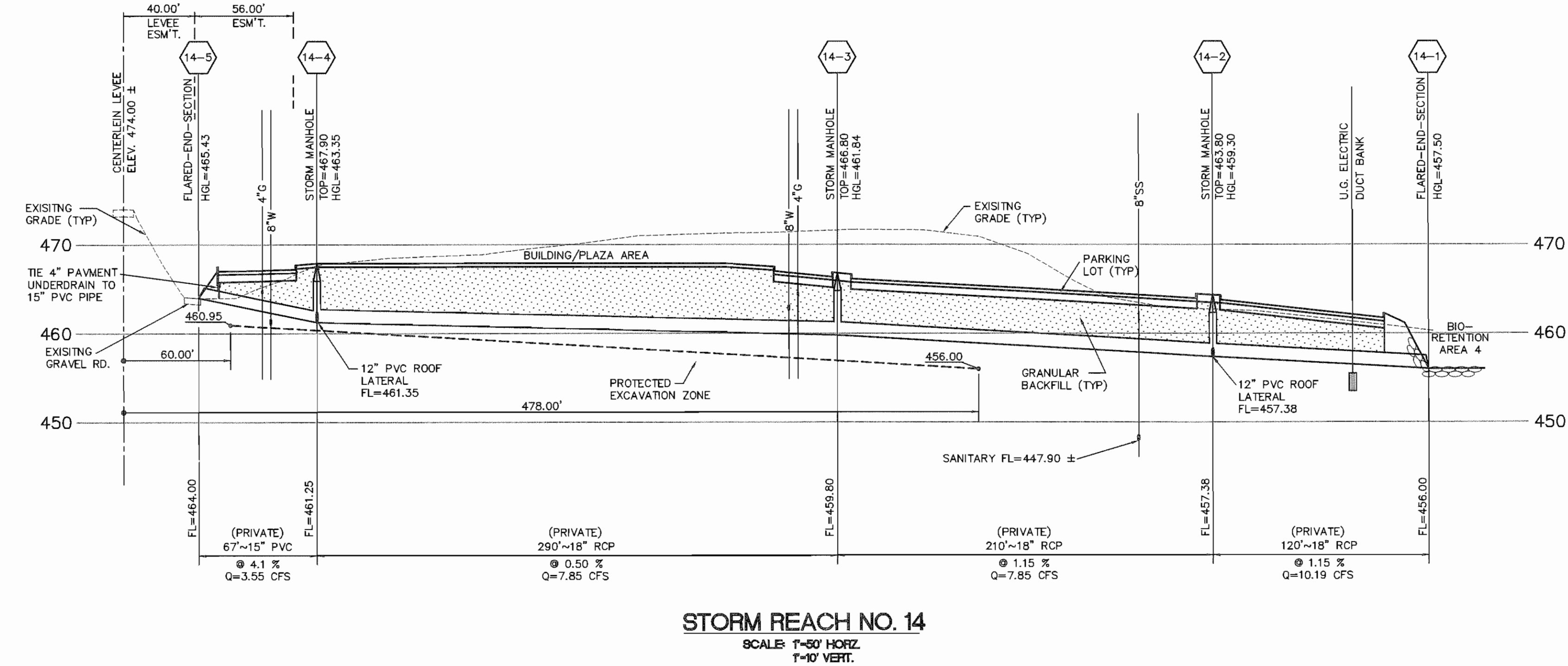
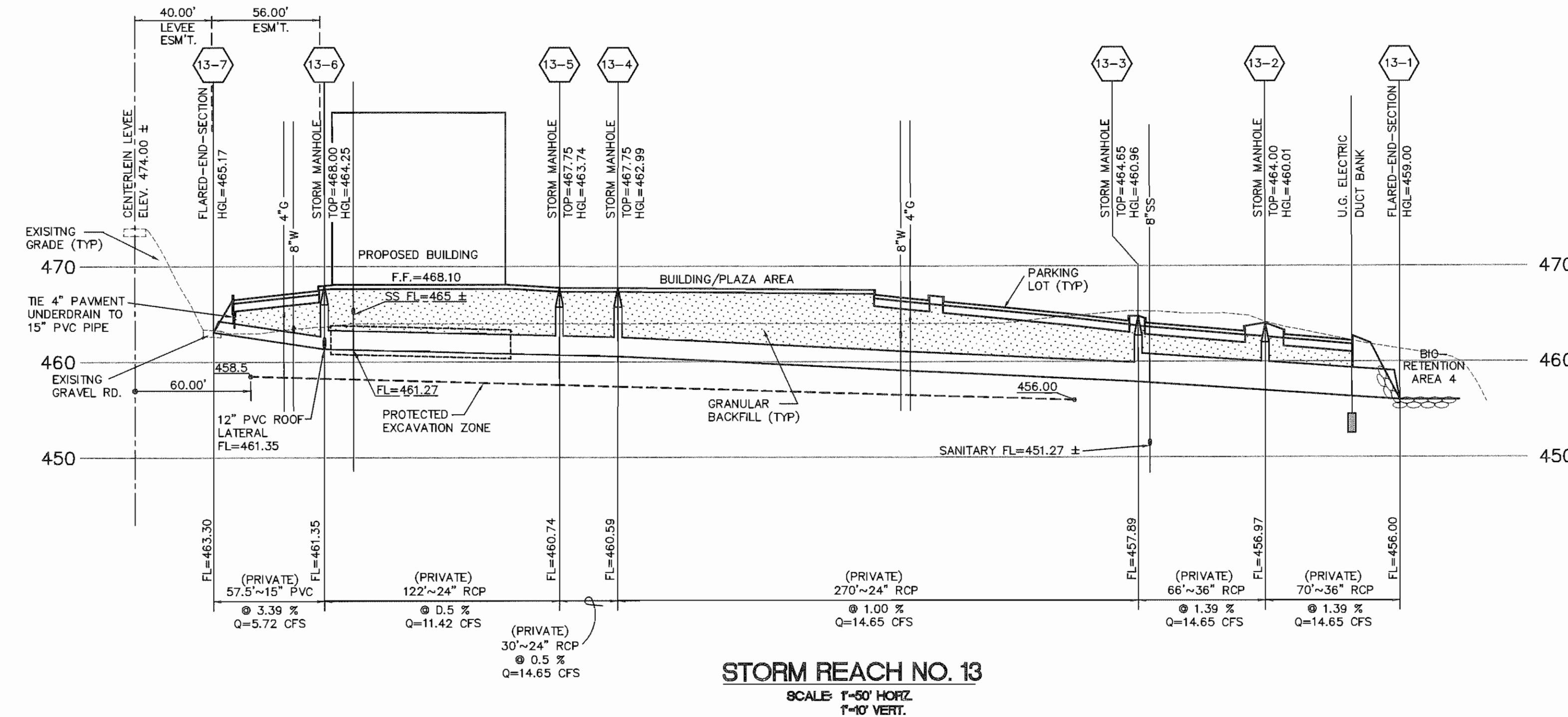
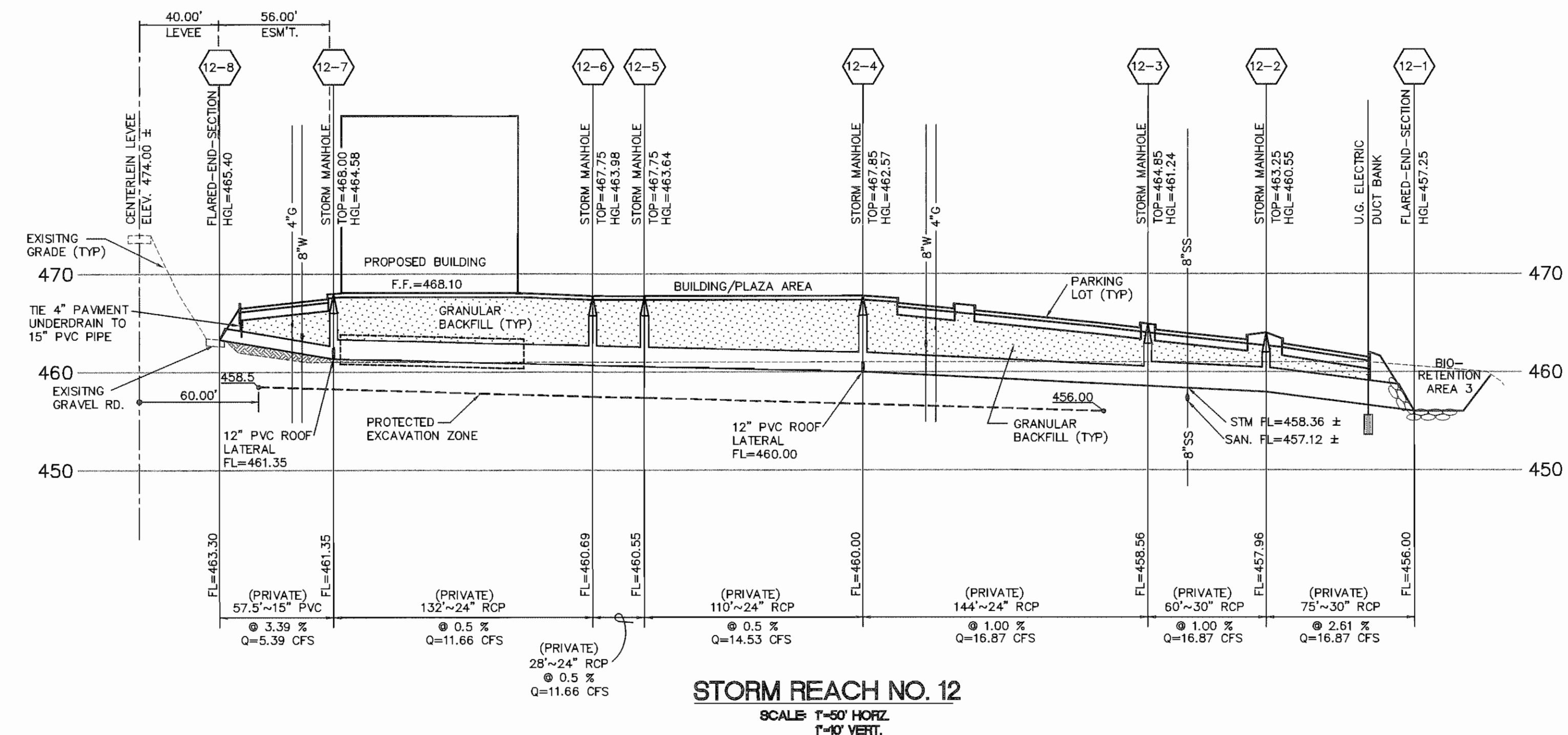
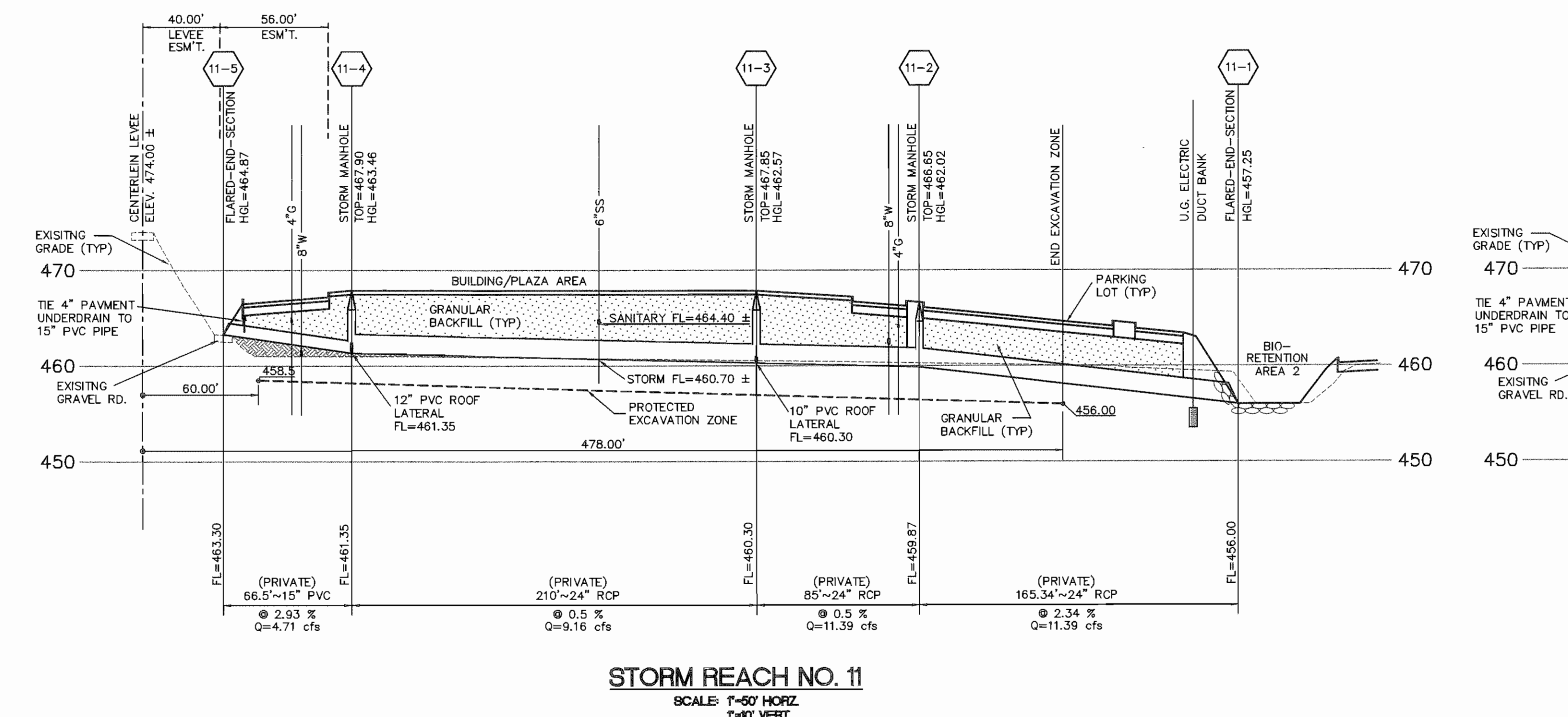
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|---|-----------|--------------------------|
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MSD P. NO.:	BASE MAP:
P-29391-00	17U,17T

SHEET TITLE:
SITE DEVELOPMENT PLAN

SHEET NO.:
SDP-C7

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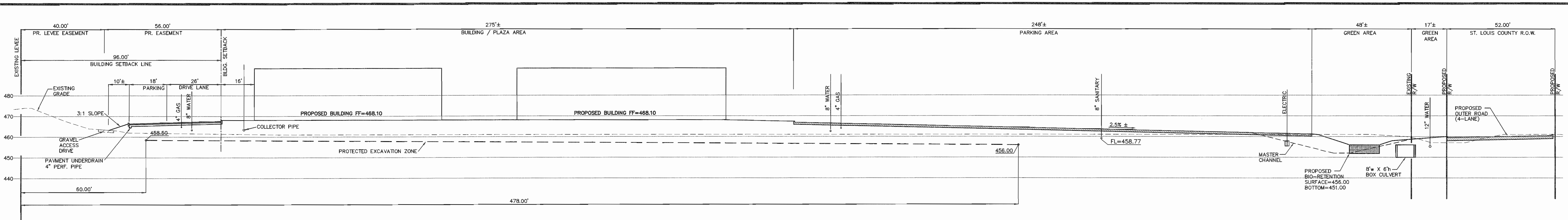
SITE DEVELOPMENT PLAN FOR:
CHESTERFIELD OUTLETS
NORTH OUTER 40
CHESTERFIELD, MISSOURI 63005

2/15/2012
GEORGE M. STOCK
CIVIL ENGINEER
CERTIFICATE OF AUTHORITY
NUMBER: 000996

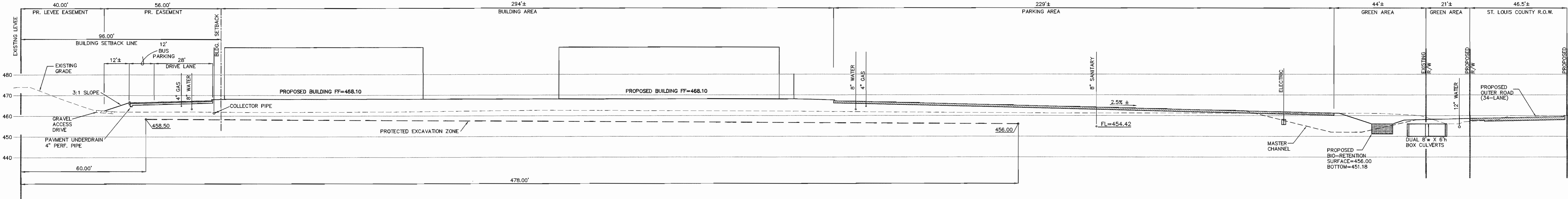
REVISIONS:

1	1/20/2012	REV. PER REVIEW COMMENTS
2	2/15/2012	REV. PER REVIEW COMMENTS

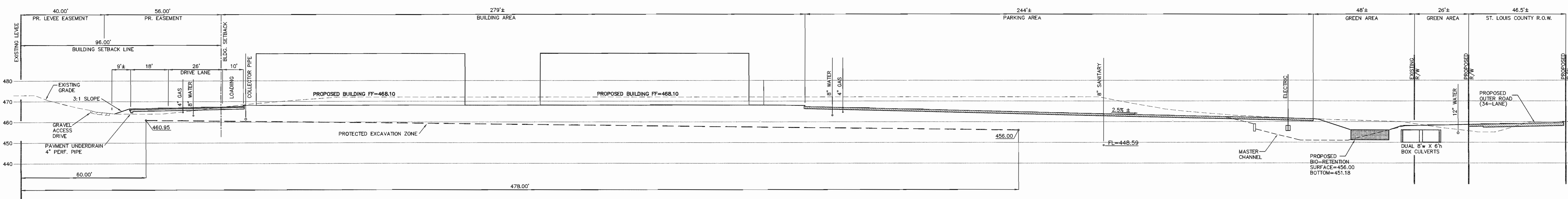
DRAWN BY: T.P.S. CHECKED BY: C.M.S.
DATE: 12/20/2011 JOB NO: 211-4742
MSD P. NO: BASE MAP:
P-29391-00 17U,17T
SHEET TITLE: SEWER PROFILES AND SITE DETAILS
SHEET NO.:
SDP-C8



SITE SECTION A-A
SCALE: 1"=20'



SITE SECTION B-B
SCALE: 1"=20'



SITE SECTION C-C
SCALE: 1"=20'

NOTES:

1. THE PROTECTED EXCAVATION ZONE IS AN AREA IN WHICH NO EXCAVATION OF ANY KIND BELOW THE ELEVATIONS INDICATED ON THE SITE SECTIONS IS ALLOWABLE.
2. REQUIREMENTS FOR THE PROTECTED EASEMENT AREA NORTH OF THE BUILDING (FROM 56' TO 96' FROM THE CENTERLINE OF THE LEVEE):
 - ALL UTILITIES (INCLUDING WATER, SEWER, ELECTRICAL AND COMMUNICATIONS) AND OTHER EXCAVATIONS MUST BE ABOVE THE "PROTECTED EXCAVATION ZONE" ELEVATION INDICATED IN THE SITE SECTIONS.
 - NO PERMANENT EXCAVATION IS ALLOWED BELOW THE INDICATED SITE FINAL GRADE.
 - THE FIRE HYDRANT LEADS NORTH OF THE PROPOSED BUILDINGS, LANDWARD OF THE LEVEE, MUST BE ENCASED IN CONCRETE.
 - ANY SOIL TEST BORING OR CORE HOLE SHALL BE COMPLETELY BACKFILLED WITH A PORTLAND CEMENT-BENTONITE GROUT MIX.
 - ALL BARE EARTH AND DISTURBED GROUND SHALL BE SEEDED AND MULCHED WITH A GRASS MIXTURE SPECIFIED BY THE LEVEE DISTRICT, UNLESS OTHERWISE APPROVED BY THE LEVEE DISTRICT. THE SEED MIXES, RATES OF APPLICATION, MINIMUM PERCENT PURITY AND GERMINATION, AND MAXIMUM PERCENT WEED CONTROL SHALL BE AS SHOWN IN THE FOLLOWING TABLE:

KIND OF SEED	POUNDS PER ACRE	MINIMUM PURITY	MINIMUM GERMINATION	MAXIMUM WEED CONTENT
COMMON PERENNIAL RYE GRASS	50	98	85	0.5
LOLIUM PERENNE				
KENTUCKY 31 TALL FESCUE	100	98	85	0.5
ARUNDINACEA				

 - * ADDITIONAL FILL MATERIAL MUST CONFORM TO THE LEVEE DISTRICT BACKFILL STANDARDS.
3. REQUIREMENTS FOR WITHIN THE PROTECTED EXCAVATION AREA SOUTH OF THE PROTECTED EASEMENT AREA (FROM 96' TO 478' FROM THE CENTERLINE OF THE LEVEE):
 - ALL UTILITIES (INCLUDING WATER, SEWER, ELECTRICAL AND COMMUNICATIONS) AND OTHER EXCAVATIONS MUST BE ABOVE THE "PROTECTED EXCAVATION ZONE" ELEVATION INDICATED ON IN THE SITE SECTIONS.
 - ADDITIONAL SITE FILL MATERIAL AND ANY TRENCHES OR EXCAVATIONS CREATED DURING INSTALLATION SHALL BE EXCAVATED AND BACKFILLED PER LEVEE DISTRICT BACKFILL STANDARDS.
 - ANY SOIL TEST BORING OR CORE HOLE SHALL BE COMPLETELY BACKFILLED WITH A PORTLAND CEMENT-BENTONITE GROUT MIX.
 - ALL BARE EARTH AND DISTURBED GROUND SHALL BE SEEDED AND MULCHED WITH A GRASS MIXTURE SPECIFIED BY THE LEVEE DISTRICT.
 - ADDITIONAL FILL MATERIAL MUST CONFORM TO THE LEVEE DISTRICT BACKFILL STANDARDS.
4. ALL SITE FILL REQUIREMENTS, INCLUDING, BUT NOT LIMITED TO, BACKFILL FOR THE PUMP STATION AND STORAGE TANK INSTALLATIONS AND REVERSE FILTER REQUIREMENTS FOR BIORETENTION MUST MEET THE REQUIREMENTS OUTLINED BELOW (THE "BACKFILL REQUIREMENTS").

SITE FILL MATERIAL ABOVE THE NOTED PROTECTED EXCAVATION ZONE SHALL BE OF PERVIOUS MATERIALS CLASSIFIED BY THE UNIFIED CLASSIFICATION SYSTEM (AS DETERMINED BY ASTM D 2487-06) AS SANDS (SW, SP, OR SM) OR GRAVELS (GW, GR, OR GM). THE PERVIOUS MATERIAL SHALL BE FREE OF UNSUITABLE AND FROZEN MATERIALS. UNSUITABLE MATERIAL FOR THIS SITE FILL IS DEFINED AS CLAYS (CL OR CH) OR SILTS (ML, MH, OR OH). MATERIALS UNSUITABLE FOR PERVIOUS MATERIAL ARE ALSO DEFINED AS PLANT GROWTH, ROOTS, HUMUS, DEBRIS, AND OTHER DELETERIOUS SUBSTANCES.

COMPACTION OF PERVIOUS MATERIAL SHALL BE ACCOMPLISHED WITH THE EQUIPMENT APPROVED BY THE LEVEE DISTRICT. EACH LAYER OF MATERIAL SHALL BE COMPACTED TO AN AVERAGE OF 70 PERCENT RELATIVE DENSITY WITH NO TEST LESS THAN 65 PERCENT, AS DETERMINED BY ASTM D 4254. THE AVERAGE OF 70 PERCENT RELATIVE DENSITY SHALL BE DETERMINED FROM THE LAST FIVE (5) IN-PLACE DENSITY TESTS COMPLETED BY THE CONTRACTOR. IT SHOULD BE NOTED THAT COARSER GRAINED SANDS REQUIRE MORE COMPACTIVE ENERGY THAN FINER GRAINED SANDS IN ORDER TO MEET THE SPECIFIED RELATIVE DENSITY. DETERMINATION OF IN-PLACE DENSITY SHALL BE IN ACCORDANCE WITH ASTM D 1556.
5. ANY PROPOSED SOURCE(S) FOR BORROW MATERIAL SHALL BE SUBMITTED TO THE LEVEE DISTRICT FOR REVIEW AND APPROVAL PRIOR TO COMMENCEMENT OF FILL OPERATIONS.
6. EXCAVATIONS AND OTHER PENETRATIONS (INCLUDING THE PROPOSED BIO-RETENTION AND BOX CULVERTS) OUTSIDE THE PROTECTED EXCAVATION ZONE (I.E., BEYOND 478' FROM THE CENTER LINE OF THE LEVEE) EXTENDING BELOW AN ELEVATION OF 450.00 SHALL BE BACKFILLED WITH A PORTLAND CEMENT-BENTONITE GROUT MIX, FLOWABLE FILL OR EXISTING IMPERVIOUS MATERIAL. THIS REQUIREMENT IS TO ENSURE THE IMPERVIOUS NATURE OF THE EXISTING CLAY BLANKET IS RESTORED, IF IMPERVIOUS MATERIAL IS USED IT SHALL BE COMPACTED AS FOLLOWS:

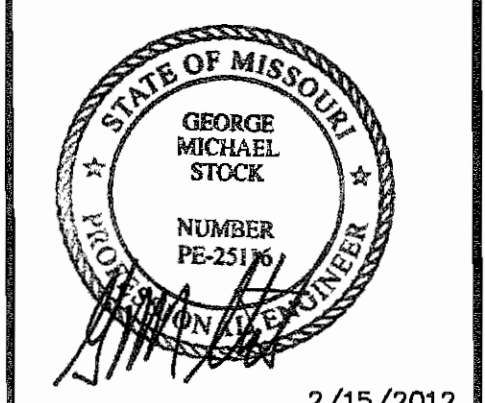
IMPERVIOUS MATERIAL SHALL BE MATERIALS CLASSIFIED BY THE UNIFIED CLASSIFICATION SYSTEMS AS CLAYS (CL OR CH) OR SILTS (ML OR MH) OBTAINED FROM THE BORROW AREAS AND/OR REQUIRED EXCAVATION. EACH LAYER OF MATERIAL SHALL BE COMPACTED TO AT LEAST 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 698-00 (STANDARD PROCTOR) PRIOR TO THE PLACEMENT OF THE NEXT SUCCESSIVE LAYER. THE CONTRACTOR SHALL CONTROL THE MOISTURE CONTENT OF THE MATERIAL PLACED WITHIN THE EXCAVATION SUCH THAT NO MATERIAL SHALL BE PLACED WITH A MOISTURE CONTENT MORE THAN 3 PERCENTAGE POINTS ABOVE OPTIMUM OR LESS THAN 3 PERCENTAGE POINTS BELOW OPTIMUM AS DETERMINED BY ASTM D 698-00. IN-PLACE DENSITY DETERMINATION TESTS SHALL BE MADE AT A FREQUENCY OF NOT LESS THAN ONE PER WORK AREA. A WORK AREA FOR COMPACTED IMPERVIOUS MATERIAL IS DEFINED AS A PORTION OF THE FILL NOT EXCEEDING 1 LIFT THICKNESS AND NOT EXCEEDING 500 CUBIC YARDS IN VOLUME. LOCATION OF EACH TEST SHALL BE DETERMINED AND RECORDED BY STATION, OFFSET, AND ELEVATION. ANY MATERIAL NOT MEETING SPECIFICATIONS SHALL BE REPLACED OR REWORKED AS DIRECTED BY THE DISTRICT ENGINEER.
7. NO PLANTINGS ARE PERMITTED THAT COULD POTENTIALLY HAVE ROOT SYSTEMS THAT WOULD PENETRATE BELOW THE PROTECTIVE EXCAVATION ZONE INDICATED ON THE SITE SECTIONS.
8. PROPOSED BUILDINGS MUST HAVE A LOW-PRESSURE WATER LINE WARNING SYSTEM. THERE WILL BE A 24 hr/7 day SYSTEM MONITORING AND THE LEVEE DISTRICT WILL BE INCLUDED ON THE AUTOMATED DIALING SYSTEM OF ANY PRESSURE DROP.

PREPARED BY:

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SITE DEVELOPMENT PLAN FOR:

CHESTERFIELD OUTLETS
NORTH OUTER 40
CHESTERFIELD, MISSOURI 63005



2/15/2012
GEORGE M. STOCK
E-25116
CIVIL ENGINEER
CERTIFICATE OF AUTHORITY
NUMBER: 000996

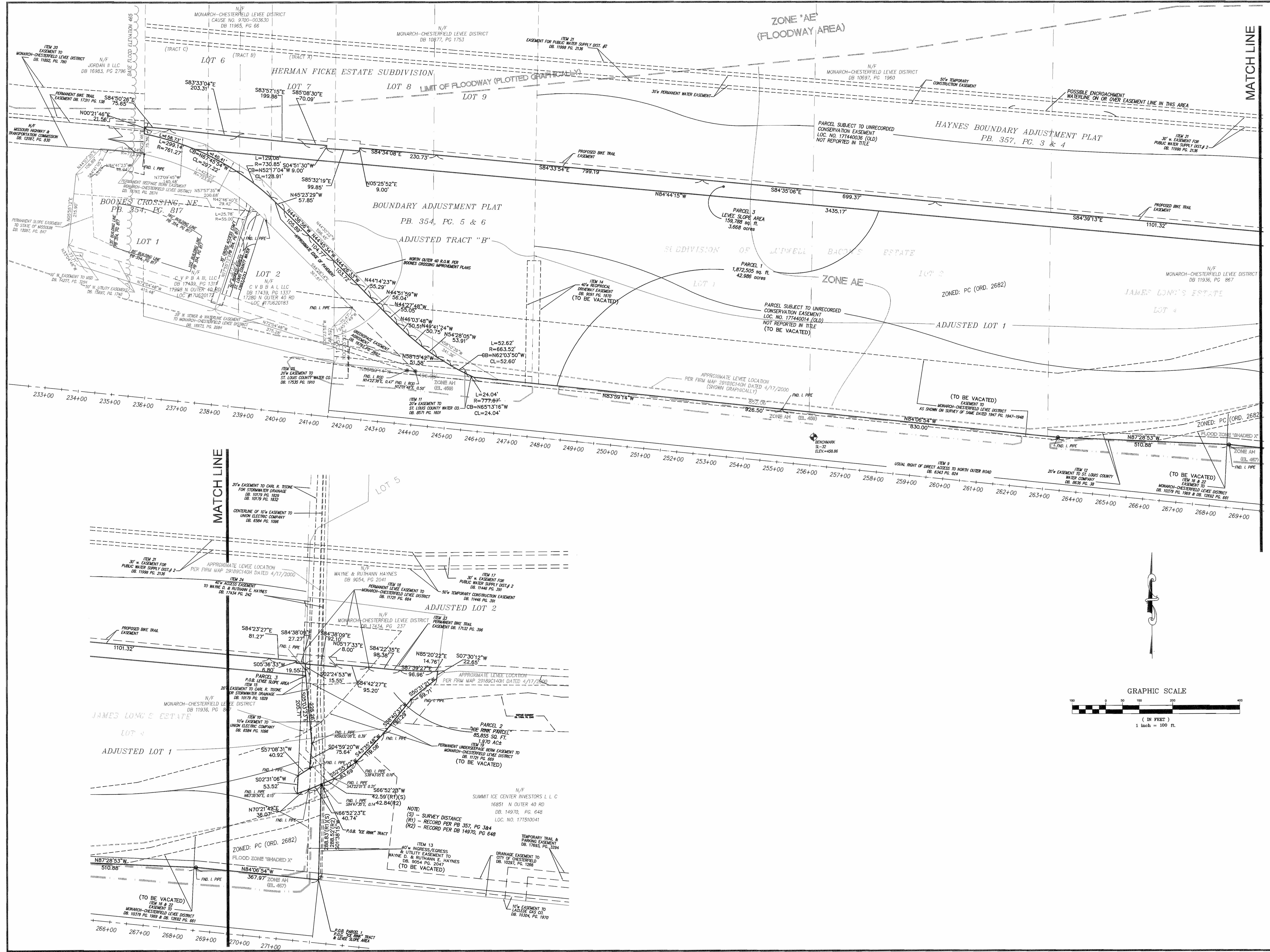
REVISIONS:

1	1/20/2012	REV. PER REVIEW COMMENTS
2	2/15/2012	REV. PER REVIEW COMMENTS

DRAWN BY:	T.P.S.	CHECKED BY:	G.M.S.
DATE:	12/20/2011	JOB NO.:	211-4742
MSD P. NO.:	P-29391-00	BASE MAP:	17U,17T

SHEET TITLE:
SITE SECTIONS

SHEET NO.:
SDP-C9



PREPARED BY: **STOCK & ASSOCIATES**
Consulting Engineers, Inc.

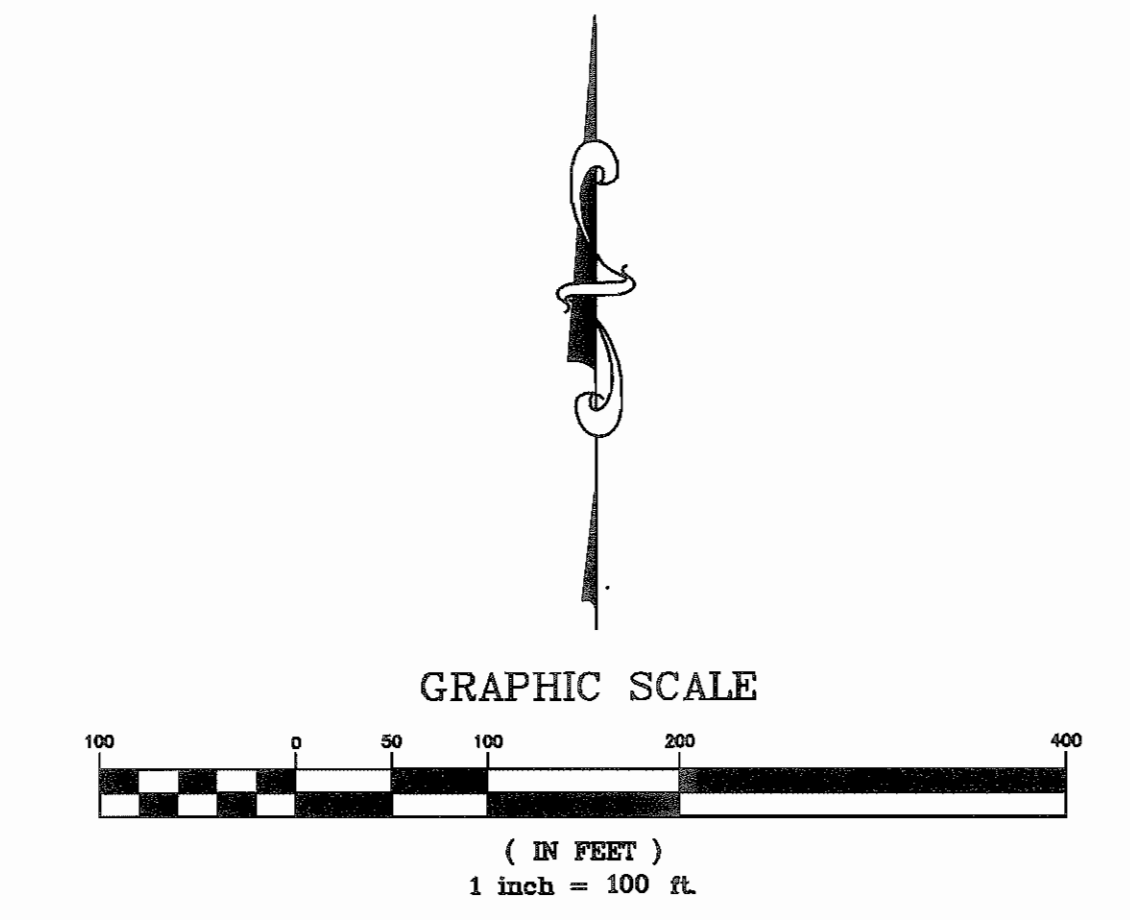
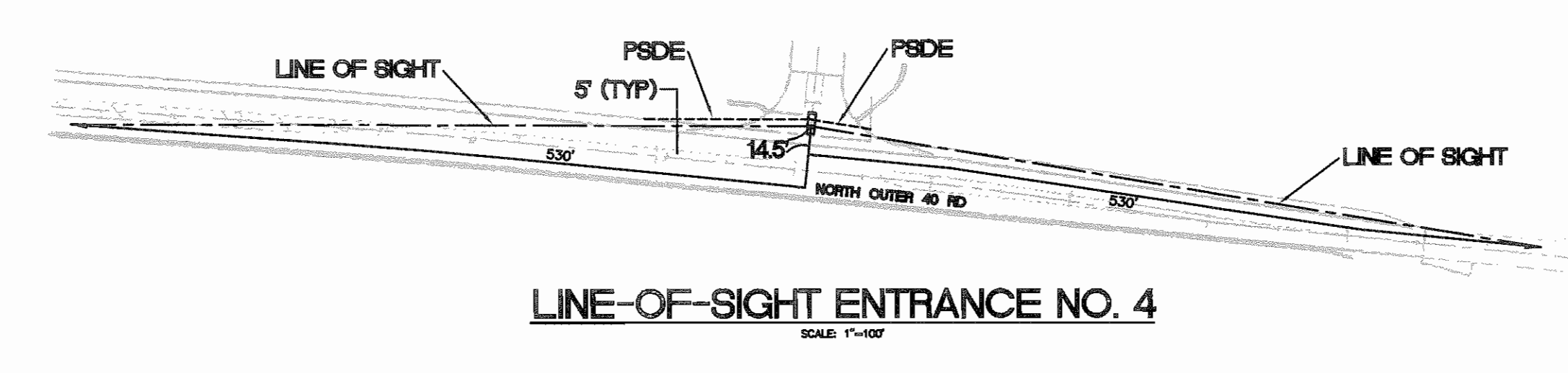
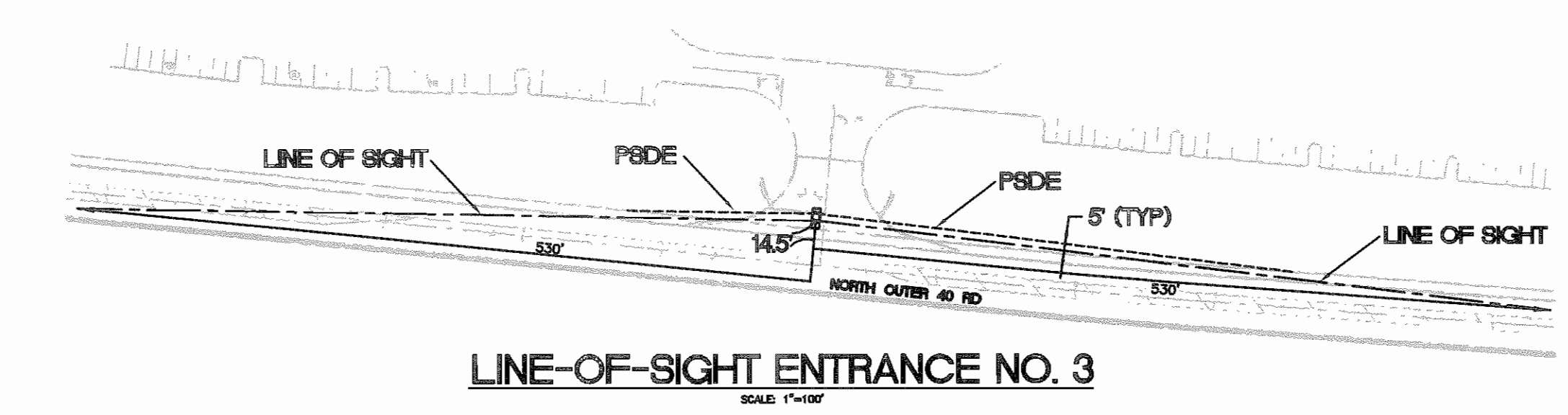
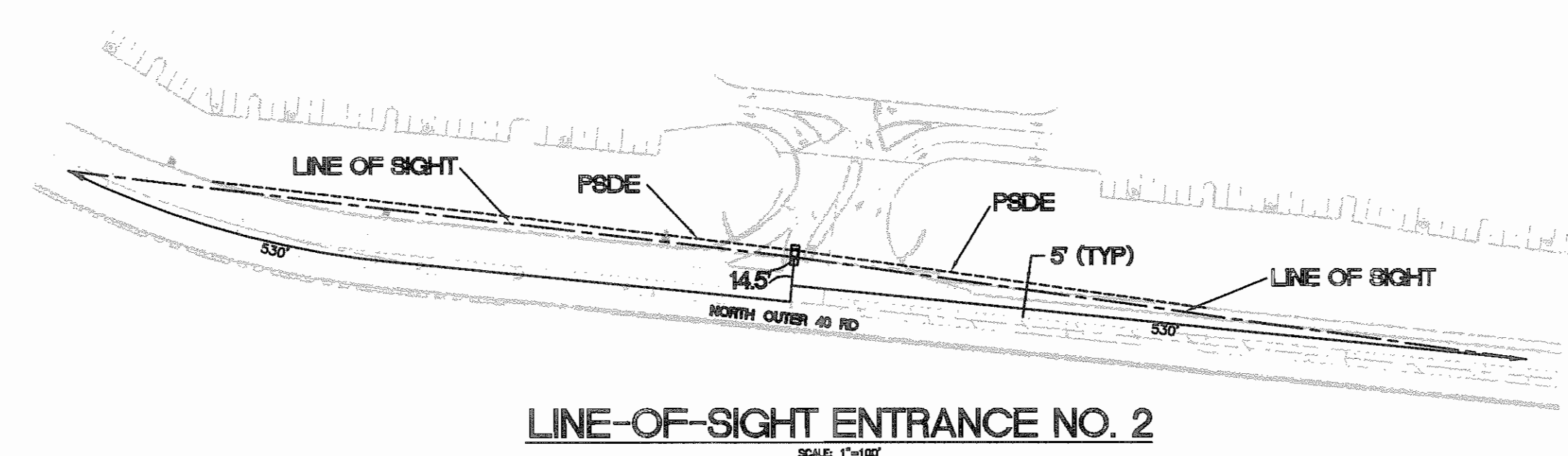
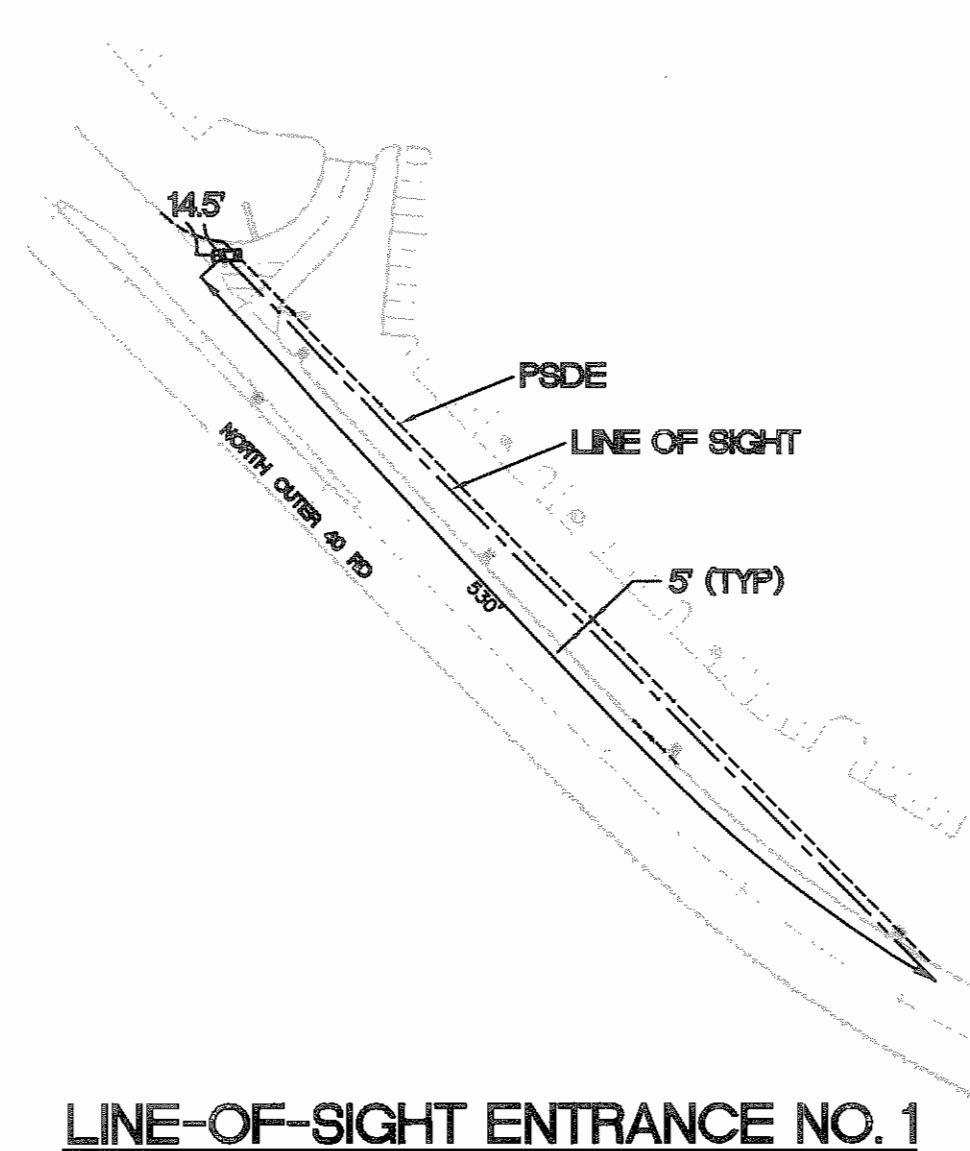
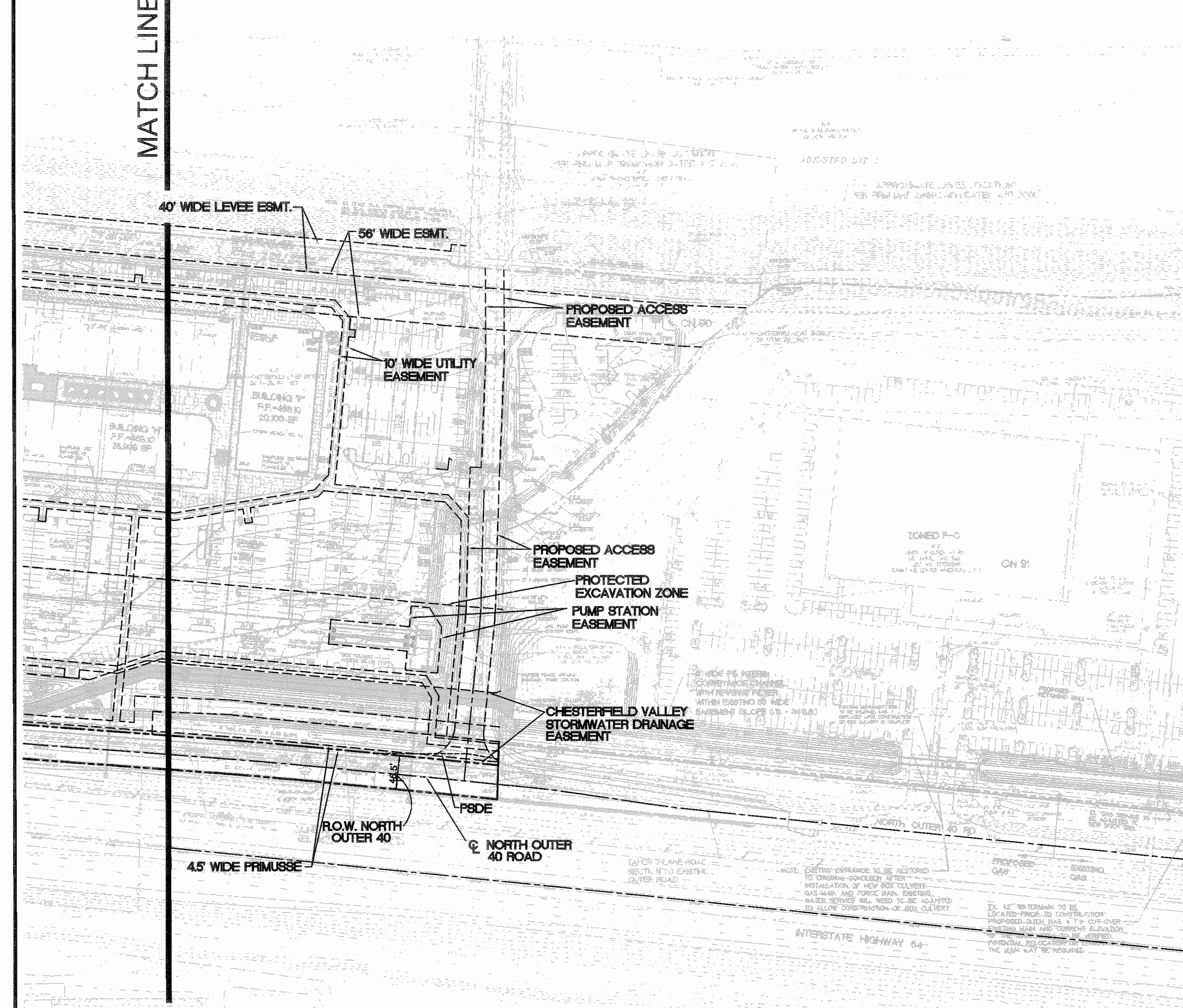
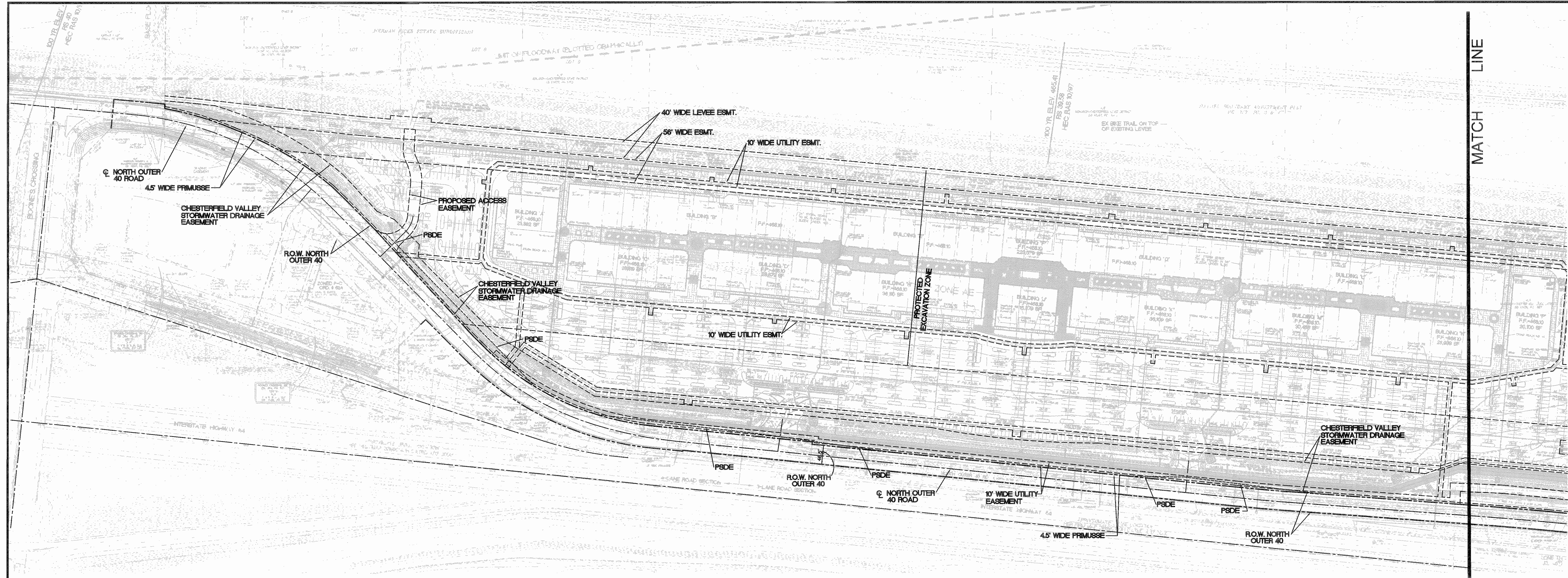
SITE DEVELOPMENT PLAN FOR: **CHESTERFIELD OUTLETS**
 NORTH OUTER 40
 CHESTERFIELD, MISSOURI 63005

2/15/2012
 GEORGE M. STOCK - E-25116
 CIVIL ENGINEER
 CERTIFICATE OF AUTHORITY
 NUMBER: 000996

REVISIONS:	
1	1/20/2012 REV. PER REVIEW COMMENTS
2	2/15/2012 REV. PER REVIEW COMMENTS

DRAWN BY:	CHECKED BY:
T.P.S.	G.M.S.
DATE:	JOB NO:
12/20/2011	211-4742
MSD P NO:	BASE MAP:
P-29391-00	17U,17T
SHEET TITLE:	
EXISTING EASEMENTS	
SHEET NO.:	
SDP-C10	

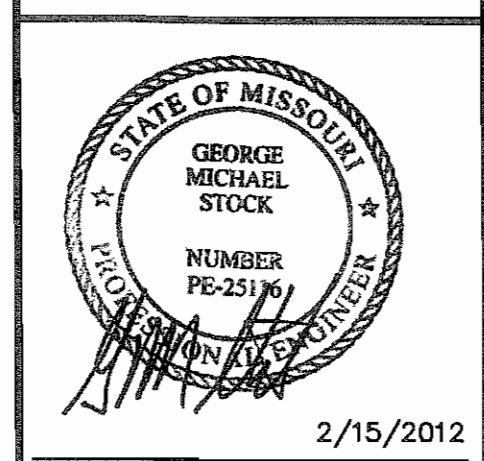
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NOTE:
ST. LOUIS COUNTY ("COUNTY") INTENDS TO CONSTRUCT AN EXTENSION OF BAXTER ROAD NORTHWARDLY TO A CONNECTION WITH THE I-64 NORTH OUTER ROAD. SUCH EXTENSION MAY RESULT IN INCREASED TRAFFIC COUNTS THAT WILL, IN TURN, REQUIRE FUTURE IMPROVEMENTS TO THE ROADS AND ENTRANCES DESIGNATED ON THIS PLAN. OWNER AND/OR DEVELOPER ("DEVELOPER") SHALL BE RESPONSIBLE FOR SUCH ENTRANCE IMPROVEMENTS ASSOCIATED WITH ENTRANCES #2 AND #3 AND RELATED ROAD IMPROVEMENTS, AS REASONABLY DETERMINED BY COUNTY, WITHIN PUBLIC RIGHTS-OF-WAY AND COUNTY EASEMENT. DEVELOPER SHALL ENTER INTO AN ESCROW AGREEMENT WITH COUNTY, WHICH AGREEMENT SHALL PROVIDE THAT DEVELOPER SHALL DEPOSIT CASH OR AN APPROVED LETTER OF CREDIT WITH COUNTY IN AN AMOUNT NOT TO EXCEED \$35,000.00 TO GUARANTEE ALL COSTS RELATING TO DESIGN AND CONSTRUCTION OF SUCH FUTURE IMPROVEMENTS, INCLUDING INCREASED COSTS DO TO INFLATION. SUCH ESCROW AGREEMENT SHALL PROVIDE THAT COUNTY USE SUCH CASH OR LETTER OF CREDIT TO PROVIDE FOR THE DESIGN AND CONSTRUCTION, EITHER BY COUNTY OR COUNTY'S AGENT OR CONTRACTOR, WHEN COUNTY REASONABLY DETERMINES THAT CHANGES IN TRAFFIC DUE TO THE BAXTER ROAD EXTENSION PROJECT REQUIRE SUCH IMPROVEMENTS. SUCH ESCROW AGREEMENT SHALL HAVE A TERM OF FIFTEEN YEARS, BE BINDING ON DEVELOPER'S SUCCESSORS AND ASSIGNS, AND BE IN FORCE PRIOR TO DEVELOPER REQUESTING ANY PERMITS, INCLUDING SPECIAL USE PERMITS FROM COUNTY.

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SITE DEVELOPMENT FOR:
CHESTERFIELD OUTLETS
NORTH OUTER 40
CHESTERFIELD, MISSOURI 63005



2/15/2012
GEORGE M. STOCK E-25116
CIVIL ENGINEER
CERTIFICATE OF AUTHORITY
NUMBER: 000996

REVISIONS:

1	1/20/2012	REV. PER REVIEW COMMENTS
2	2/06/2012	ADDED LINE OF SIGHT
3	2/10/2012	REVISED EASEMENTS
4	2/15/2012	REV. PER REVIEW COMMENTS

DRAWN BY: T.P.S.	CHECKED BY: G.M.S.
DATE: 12/20/2011	JOB NO: 211-4742
MSD P NO: P-29391-00	BASE MAP: 17U,17T

PROPOSED EASEMENTS AND RIGHT-OF-WAY

SHEET NO.:
SDP-C11

