CITY OF CHESTERFIELD, MISSOURI

STOCK AND ASSOCIATES CONSULTING ENGINEERS INC.

GEOTECHNICAL NOTE:

PREPARED FOR: T-O VENTURES, L.L.C. DATED NOVEMBER 11, 2011

PREPARED FOR: T-O VENTURES, L.L.C. DATED NOVEMBER 11, 2011

"REVISED GEOTECHNICAL EXPLORATION" (MT JOB NO. 12652)

"REVISED UNDERSEEPAGE ANALYSIS" (MT JOB NO. 12746)

11. ACCESS TO THIS DEVELOPMENT FROM NORTH OUTER 40 SHALL BE VIA 4 ENTRANCES

REQUIREMENTS OF THE CITY OF CHESTERFIELD MUST BE MET.

ST. LOUIS COUNTY STANDARDS (STANDARD DRAWING 40.25-1)

THE ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC. IN ADDITION, THE

14. PRIOR TO SPECIAL USE PERMIT ISSUANCE BY THE ST. LOUIS COUNTY DEPARTMENT OF

AND TRAFFIC TO GUARANTEE COMPLETION OF THE REQUIRED ROAD IMPROVEMENTS.

16. ALL PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED TO ST. LOUIS COUNTY STANDARDS.

PLANS, SPECIFICATIONS AND CALCULATIONS FOR PERMITS TO INSTALL THE SYSTEM. THE

FIRE HYDRANT LOCATIONS AND PIPING LAYOUT SHOWN ON THIS PLAN IS ACCEPTABLE

18. ALL ON SITE TRAFFIC CONTROL DEVICES SHOULD COMPLY WITH THE CURRENT EDITION OF

"AE" (BASE FLOOD ELEVATION 465) ACCORDING TO THE NATIONAL FLOOD INSURANCE

INCORPORATED AREAS. THE MAP IS IDENTIFIED AS MAP NO. 29189C0140 H, WITH AN

EFFECTIVE DATE OF AUGUST 2, 1995 REVISED TO REFLECT LOMR DATED APRIL 17, 2000

AND APPROVED FOR THE PURPOSE OF THIS SITE DEVELOPMENT PLAN REVIEW.

19. SUBJECT PROPERTY LIES WITHIN FLOOD ZONES "SHADED X", "AH" (BFE DETERMINED)

PROGRAM, FLOOD INSURANCE RATE MAP FOR ST. LOUIS COUNTY, MISSOURI AND

20. TRASH ENCLOSURES WILL ONLY BE LOCATED ON THE NORTH SIDE OF THE DEVELOPMENT

21. TRANSFORMERS ON THE SOUTH SIDE OF THE BUILDING WILL BE COMPLETELY CONTAINED

22. ROOF DRAINS, GUTTERS AND DOWNSPOUTS ON THE SOUTH SIDE OF THE DEVELOPMENT

23. ALL WALL MOUNTED UTILITIES WILL BE PAINTED TO MATCH THE BUILDING AND THEY WILL

BE INSTALLED BELOW THE HEIGHT OF THE SCREEN WALL. ANY PIPING, CONDUIT, ETC.,

THAT NEEDS TO BE MOUNTED ABOVE THE SCREENING OR THAT NEEDS TO BE CONTINUED

WITHIN THE SCREENED WALLS ADJACENT TO THE RETAIL DEVELOPMENT.

UP TO THE ROOF LINE, IS TO BE INTEGRATED INTO THE EXTERIOR FACADE.

COMUNICATION WITH THE US ARMY CORPS OF ENGINEERS, A CONTRACT FOR

BE AWARDED ON MAY 23, 2012 WITH A NOTICE TO PROCEED ANTICIPATED

CORPS OF ENGINEERS ANTICIPATES THE PUMP STATION TO BE FUNCTIONAL

THE COMPLETION OF THE EAST RESERVOIR AND PERMANENT PUMP STATION WILL

AROUND JULY 1, 2012. THE CONSTRUCTION TIME IS 18 MONTHS. THE US ARMY

AND OPERATING WITHIN 12-15 MONTHS. (SOMEWHERE BETWEEN JULY 1, 2013 AND

BY THE CORPS, CHESTERFIELD OUTLETS (DEVELOPER) WILL MOBILIZE AND OPERATE

COURTYARD LEGEND

INTEGRAL COLOR CONCRETE PAVING

1' LINEAR SCORE PATTERN

3B DOUBLE SOLDIER COURSE BORDER COLOR - TBD

(2A) LIGHT BROOM FINISH COLOR - TBD

(2B) LIGHT BROOM FINISH COLOR - TBD

3A FIELD PATTERN - TBD COLOR - TBD

(3) CONCRETE UNIT PAVER

A TEMPORARY STORMWATER PUMP TO DRAIN DOWN THE RESERVOIR FOLLOWING A

OCTOBER 1, 2013) IN THE EVENT THE STORMWATER PUMP STATION IS NOT COMPLETE

24. ROOFTOP MECHANICAL EQUIPMENT WILL BE SCREENED FROM ALL DIRECTIONS.

25. PER THE MONARCH CHESTERFIELD LEVEE DISTRICT AND THEIR CONTINUED

17. NOTE PER FIRE MARSHAL (ROGER N HERIN, MCP): THE FIRE PROTECTION WATER SUPPLY

15. ALL SIDEWALKS ARE TO BE CONSTRUCTED PER MODOT, ST. LOUIS COUNTY, CITY OF

HIGHWAYS AND TRAFFIC, A SPECIAL CASH ESCROW SUPPORTED BY AN IRREVOCABLE LETTER

SYSTEM WILL BE REVIEWED FOR FINAL APPROVAL WHEN THE INSTALLING CONTRACTOR SUBMITS

OF CREDIT MUST BE ESTABLISHED WITH THE ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS

12. ALL PROPOSED ACCESS TO ST. LOUIS COUNTY ROADS FOR NEW DEVELOPMENT SHALL MEET

LOCATED ALONG THE NORTHERN EDGE OF NORTH OUTER 40 DRIVE TO PROVIDE REQUIRED

SIGHT DISTANCE AND CONSTRUCTED TO ST. LOUIS COUNTY STANDARDS AS DIRECTED BY

PREPARED BY:

DESIGN SPEED = 45 MPH

"X" & "Z" = 530 FEET (TYPICAL)

CHESTERFIELD AND/OR A.D.A. STANDARDS.

THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

W'' = 2 LANES

WILL BE INTERNAL.

STORM EVENT.

STANDARD CONCRETE PAVING

LIGHT BROOM FINISH 6'x6' SCORE PATTERN

(1B) 2'x2' SCORE PATTERN

1C ) 4'x4' SCORE PATTERN

(1D) 2'x4' SCORE PATTERN

24" WIDE BAND

90 DEGREES TO BUILDING

LIGHT BROOM FINISH

LIGHT BROOM FINISH

✓ 45 DEGREES TO BUILDING

LIGHT BROOM FINISH

90 DEGREES TO BUILDING

SMOOTH TROWELL FINISH

90 DEGREES TO BUILDING

MIDWEST TESTING

8606 PAGE AVENUE

ST. LOUIS, MO 63114

Phone: 314.739.2727 Fax: 314.739.5429

www. mwtesting.com

IT IS THE CONTRACTORS RESPONSIBILITY TO REVIEW AND FOLLOW ALL

### DANIEL EHLMANN, MISSOURI L.S. NO. 2215

**GENERAL NOTES** 

SURVEYOR'S CERTIFICATION

THIS IS TO CERTIFY THAT STOCK AND ASSOCIATES CONSULTING ENGINEERS. INC. HAS PREPARED THIS SITE DEVELOPMENT PLAN FROM AN ACTUAL SURVEY. THE INFORMATION

SHOWN IS A CORRECT REPRESENTATION OF ALL EXISTING AND PROPOSED LAND DIVISIONS

L.S. NO. 222-D

BOUNDARY AND TOPOGRAPHIC SURVEY BY STOCK & ASSOCIATES CONSULTING ENGINEERS, INC.

ALL UTILITIES SHOWN HAVE BEEN LOCATED BY THE ENGINEER FROM AVAILABLE RECORDS, THEIR LOCATION SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR HAS THE RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES. PRIOR TO CONSTRUCTION, TO HAVE EXISTING UTILITIES FIELD LOCATED.

3. NO GRADE SHALL EXCEED 3:1 SLOPE.

GRADING AND STORM WATER PER M.S.D., MODOT, ST. LOUIS COUNTY, THE CITY OF CHESTERFIELD AND THE MONARCH CHESTERFIELD LEVEE DISTRICT.

STORMWATER SHALL BE DISCHARGED AT ADEQUATE NATURAL DISCHARGE POINT. SINKHOLES ARE NOT ADEQUATE DISCHARGE POINTS. SITE DRAINS TO MASTER DRAINAGE CHANNEL @ S.E. CORNER OF PROPERTY

6. NO STEP ALLOWED AT ACCESSIBLE ENTRANCE DOORS. 7. ALL UTILITIES WILL BE INSTALLED UNDERGROUND.

APPROVAL OF SIGN LOCATIONS DOES NOT CONSTITUTE SIGN APPROVAL. SIGN APPROVAL WILL BE THROUGH A SEPARATE SIGN PACKAGE APPLICATION.

BUILDING OR STRUCTURE, OTHER THAN FREESTANDING PROJECT I.D. SIGNS, LIGHT

STANDARDS OR FLAG POLES. 75 FEET FROM SOUTH LOT LINE

- 25 FEET FROM NORTH, EAST AND WEST LOT LINES PARKING SETBACK:

- 30 FEET FROM THE NORTH, SOUTH AND WEST LOT LINES - 0 FEET FROM THE EAST LOT LINE

10. PROPOSED SITE DEVELOPMENT INFORMATION: OVERALL LOT AREA 48.625 Acres  $\pm$  (2,118,148 s.f.)

PROPOSED BUILDING FOOTPRINT : 472,282 GROSS FLOOR AREA F.A.R. (ORD. 2682 MAX FLOOR 472,282 s.f. BLDG. / 2,118,148 s.f. SITE = 0.223AREA = 500,000 s.f.

OPEN SPACE CALCULATIONS: OVERALL AREA

PARKING CALCULATIONS:

 $48.625 \text{ Acres } \pm (2,118,148 \text{ s.f.}) = 100 \%$ TOTAL BUILDING AREA  $10.842 \text{ Acres } \pm (472,282 \text{ s.f.}) = 22.3 \%$ TOTAL PAVED PARKING AREA  $21.505 \text{ Acres } \pm (936,758 \text{ s.f.}) = 44.2 \%$ TOTAL OPEN SPACE  $16.278 \text{ Acres } \pm (709,108 \text{ s.f.}) = 33.5 \%$ 

NOTE: 30% OPEN SPACE IS REQUIRED FOR THIS DEVELOPMENT BY CITY OF CHESTERFIELD ORDINANCE 2682 B.3.a. THE PROPOSED STORM WATER IMPROVEMENTS COMPLY WITH THIS REQUIREMENT

REQUIRED PARKING: 4.75 SPACES PER 1,000 s.f. OF GROSS FLOOR AREA 472,282 s.f. AT 4.75/1000 = 2,244 SPACES REQUIRED

REDUCTION PER CITY LETTER "CHESTERFIELD OUTLETS - REQUEST FOR MODIFICATION TO PARKING REQUIREMENTS", DATED JANUARY 26, 2012, PER THE CITY OF CHESTERFIELD A 6.6 % REDUCTION TO THE PARKING REQUIREMENT SPECIFIED IN SECTION 1003.165. 4.E.(6) FOR THE PROPOSED CHESTERFIELD OUTLETS DEVELOPMENT IS APPROVED IN ACCORDANCE WITH SECTION 1003.165. 9.D.(1). ADDITIONAL CHANGES TO THE DEVELOPMENT SIZE, RESTAURANT USE THAT EXCEEDS 10% OF THE GROSS LEASABLE AREA OF THE DEVELOPMENT, OR THE ADDITION OF A THEATER IN THE DEVELOPMENT WILL REQUIRE A NEW MODIFICATION TO BE SUBMITTED AND REVIEWED.

REQUIRED PARKING WITH 6.6% REDUCTION: =  $((472,282/1,000) \times 4.75) \times 0.934$ = 2,095 SPACES REQUIRED

PARKING PROVIDED: = 2,183 SPACES (\* INCLUDES 34 H.C. SPACES) \* H.C. PARKING PROVIDED PER CODE: 20 PLUS ONE FOR EACH 100 OR FRACTION THEREOF, OVER 1,0000.

20 + 12 (1183/100) = 32 H.C. REQUIREDLOADING CALCULATIONS: REQUIRED LOADING: PROVIDE TWO 10'x25' LOADING SPACES AND ONE 10'x40' LOADING SPACE FOR CENTERS HAVING 25,001-100,000 s.f. PROVIDE 1 ADDITIONAL 10'x40' SPACE FOR EVERY ADDITIONAL

> 100,000 s.f. OF BUILDING AREA. 472,282 s.f. (GROSS FLOOR AREA) REQUIRES THE FOLLOWING: 2 - 10'x25' LOADING SPACES

5 - 10'x40' LOADING SPACES PROVIDED LOADING: 6 - 12' x 100' LOADING AREAS 2 - 10' x 180' LOADING AREAS 1 - 10' x 350' LOADING AREA  $1 - 10' \times 335'$  LOADING AREA

## PREPARED FOR:

T-O VENTURES L.L.C. 200 EAST LONG LAKE ROAD SUITE 300

BLOOMFIELD HILLS, MI 48304-0200

# CHESTERFIELD OUTLETS

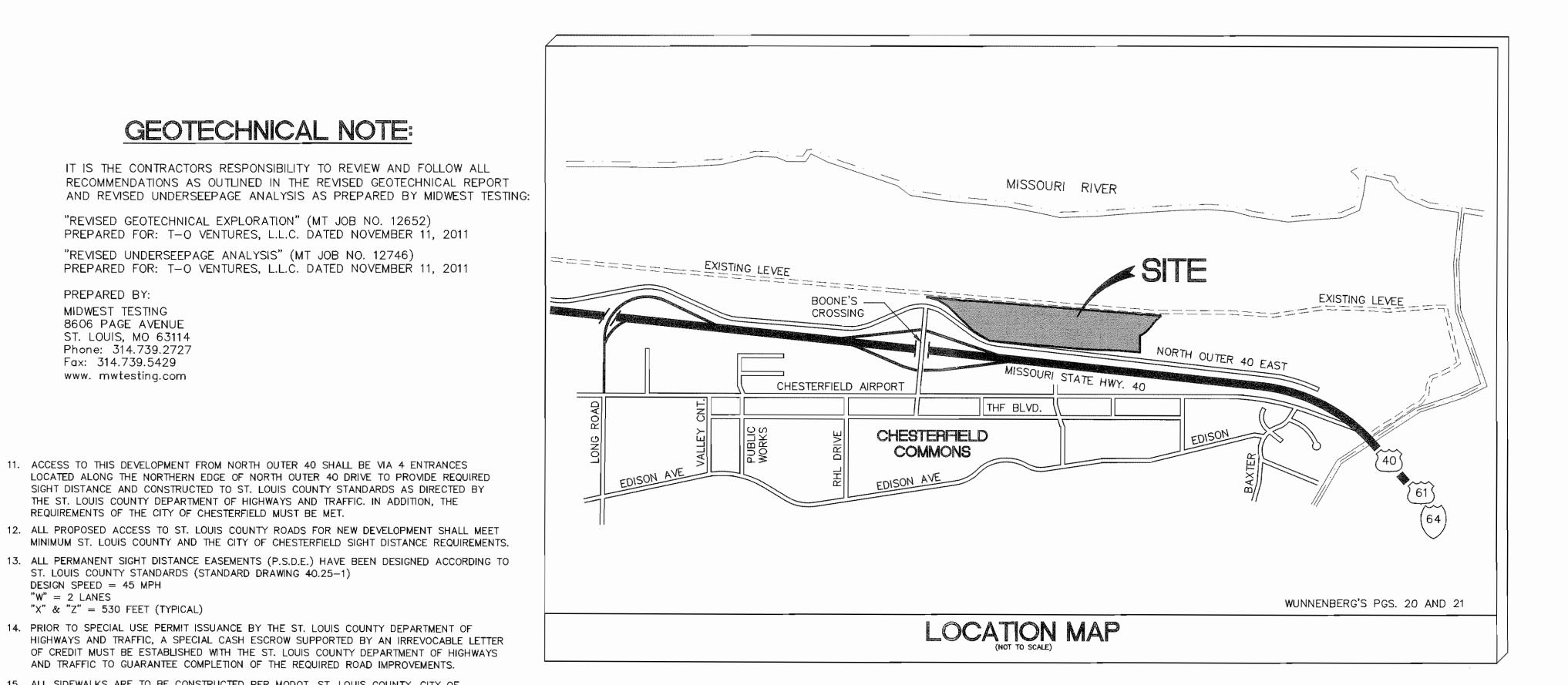
NORTH OUTER 40

CHESTERFIELD, MISSOURI 63005

A TRACT OF LAND BEING PART OF MONARCH-CHESTERFIELD LEVEE DISTRICT TRACT LOCATED IN U.S. SURVEY 2031, TOWNSHIP 45 NORTH, RANGE 4 EAST OF THE 5TH PRINCIPAL MERIDIAN, CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI

> ZONED: "PC" PLANNED COMMERCIAL DISTRICT ORDINANCE NO. 2682

## SITE DEVELOPMENT PLAN



### SITE INFORMATION:

= CHESTERFIELD, MISSOURI

SITE ZIP CODE: = 63005SITE ADDRESS INFO: = 16995 NORTH OUTER 40 ROAD OWNER: = T-O VENTURES L.L.C. (UNDER CONTRACT) WUNNENBERG'S = PGS. 20 AND 21 SEWER DISTRICT = METROPOLITAN ST. LOUIS SEWER DISTRICT WATER SHED = CAULKS CREEK, MISSOURI RIVER FLOOD MAP PANEL = FIRM 29189C014014, LOMR 4/17/00 LOMR = PENDING FIRE DISTRICT

= MONARCH FIRE PROTECTION DIST. 13725 OLIVE BLVD. CHESTERFIELD, MO 63017

= "PC" PLANNED COMMERCIAL (ORD. #2682)

= MISSOURI AMERICAN WATER COMPANY

PROPOSED SITE AREA: = 48.625 Acres  $\pm$ 

ZONING

CITY:

LEGEND EXISTING SANITARY SEWER EXISTING STORM SEWER EXISTING CONTOUR 459.33 SPOT ELEVATION - G - W - T - E -PROPOSED CONTOUR 456 -----<u>×530.5</u>0 PROPOSED SPOT PROPOSED STORM SEWER PROPOSED SANITARY SEWER FIRE HYDRANT NOTES PARKING SPACES GUY WIRE POWER POLE B WATER VALVE HANDICAPPED PARKING CONCRETE CONC ASPHALT ASPH SWALE \_\_\_\_\_ CHAIN-LINK FENCE \_\_\_\_x\_\_\_\_x\_\_\_\_\_x\_\_\_ TRAFFIC FLOW

### UTILITY / FIRE CONTACTS:

AMEREN UE 280 OLD STATE ROAD ELLISVILLE, MO 63021 ATTN: MIKE TREACY PHONE: 314.992.8914 EMAIL: mtreacy@ameren.com CHARTER COMMUNICATION 941 CHARTER COMMONS TOWN & COUNTRY, MO 63017 ATTN: STEVE GERREIN PHONE: 636.387.6641

BERKELEY, MO 63134 ATTN: CLARENCE HANKS AT&T TELEPHONE COMPANY

402 N. 3RD STREET, 1ST FLOOR ST. CHARLES, MO 63301 ATTN: KURT MASTERS PHONE: 636.949.1313 EMAIL: km0993@att.com

DISTANCE ESM'T.

PHONE: 314.575.4787 EMAIL: steve.gerrein@chartercom.com EMAIL: chanks@lacledegas.com MONARCH FIRE PROTECTION DIST. 13725 OLIVE BLVD. CHESTERFIELD, MO 63017

ATTN: ROGER HERIN (FIRE MARSHALL)

PHONE: 314.514.0900 (EXT. 313)

EMAIL: herin.r@monarchfpd.org

MO. AMERICAN WATER COMPANY

EMAIL: dave.pruitt@amwater.com

LACLEDE GAS COMPANY

727 CRAIG ROAD

ST. LOUIS, MO 63141

ATTN: DAVE PRUITT

PHONE: 314,996,2396

6400 GRAHAM ROAD

**ABBREVIATIONS** 

 PLAT BOOK - OVERHEAD ELECTRIC PG. – PAGE UNDERGROUND ELECTRIC - GAS T.B.R. — TO BE REMOVED N/F - NOW OR FORMERLY FND. — FOUND T.B.R.&R. - TO BE REMOVED AND REPLACED SQ. - SQUARE U.I.P. - USE IN PLACE C.O. — CLEANOUT T.B.A. - TO BE ADJUSTED M.H. - MANHOLE BACK OF CURB A.I. — AREA INLET F.C. - FACE OF CURB C.I. — CURB INLET - TOP OF WALL G.I. – GRATE INLET BOTTOM OF WALL Y.D. - YARD DRAIN PAVEMENT ASPH - ASPHALT CONC CONCRETE GROUND FL — FLOWLINE FINISHED GRADE TS - TAILSTAKE - FINISHED FLOOR ELEV — ELEVATION LOWER LEVEL PROP - PROPOSED TYPICAL PR - PROPOSED PERMANENT SIGHT EXIST — EXISTING

(-'W) - RIGHT-OF-WAY WIDTH (REC) — RECORD INFORMATION P.V.C. - POLYVINYL CHLORIDE PIPE R.C.P. - REINFORCED CONCRETE PIPE V.C.P. - VITRIFIED CLAY PIPE

EX - EXISTING

## SHEET INDEX

TITLE SHEET OVERALL SITE DEVELOPMENT PLAN KEY MAP, DETAILS AND TYP SECTIONS SITE DEVELOPMENT PLAN SITE DEVELOPMENT PLAN SDP-C5 SITE DEVELOPMENT PLAN SDP-C6 SITE DEVELOPMENT PLAN SITE DEVELOPMENT PLAN SDP-C8 SEWER PROFILES AND SITE DETAILS SITE SECTIONS SDP-C9 EXISTING EASEMENTS SDP-C10 PROPOSED EASEMENTS AND R.O.W. ORDINANCE NO. 2682 BUILDING A-B ELEVATIONS BUILDING C-D-E ELEVATIONS BUILDING F-G-H ELEVATIONS BUILDING J-K ELEVATIONS BUILDING L-M ELEVATIONS BUILDING N-P ELEVATIONS PLANTING PLAN PLANTING PLAN L-2PLANTING PLAN L-4PLANTING PLAN PLANTING PLAN PLANTING PLAN OVERALL LIGHTING PLAN LT-02 LIGHTING AT TYPICAL ENTRIES LT-03 LIGHTING AT TYPICAL CONCOURSE LT-04 LIGHTING AT CENTRAL AREA LIGHTING AT END BUILDINGS (LDC-Chesterfield- Fixture Cuts - 121211.pdf)

SITE LIGHTING LS-02 SITE LIGHTING SITE LIGHTING SITE LIGHTING

(Chesterfield Mall— Fixture Cuts — LED submittal for city.pdf)

### PROPERTY DESCRIPTION

A tract of land being part of Adjusted Lot 1 of Haynes Boundary Adjustment Plat, according to the plat thereof recorded in Plat Book 357 page 3, part of Adjusted Tract B of the Boundary Adjustment Plat of Lots 8 & 9 of Herman Ficke Estate Subdivision, according to the plat thereof recorded in Plat Book 354, Pages 5 & 6, both of the St. Louis County Records and part of Lots 6 & 7 of Herman Ficke Estate Subdivision in U.S. Survey 2031, Township 45 North, Range 4 East of the Fifth Principal Meridian, City of Chesterfield, St. Louis County, Missouri being more particularly

Beginning at the intersection of the north right-of-way line of Interstate Highway 64, variable width, with the east line of above said Adjusted Lot 1, said point also being the southwest corner of a tract of land as conveyed to Summit Ice Center Investors. L.L.C., by instrument recorded in Book 14970, page 648 of the St. Louis County records; thence westerly along last said north right-of-way line the following courses and distances: North 84 degrees 06 minutes 54 seconds West, 367.97 feet; North 87 degrees 28 minutes 53 seconds West, 510.88 feet; North 84 degrees 06 minutes 54 seconds West, 830.00 feet and North 83 degrees 59 minutes 14 seconds West, 926.50 feet to the eastern edge of pavement of North Outer 40, variable width, said point also being located on a curve to the right having a radius of 777.67 feet; thence along the eastern, northeastern and northern edge of said pavement the following courses and distances: thence along said curve with an arc length of 24.04 feet and a chord which bears North 65 degrees 13 minutes 16 seconds West, 24.04 feet to a curve to the right; thence along said curve having a radius of 663.52 feet, an arc length of 52.62 feet and a chord which bears North 62 degrees 03 minutes 50 seconds West, 52.60 feet; North 58 degrees 15 minutes 42 seconds West, 51.58 feet; North 54 degrees 28 minutes 05 seconds West, 53.91 feet; North 49 degrees 41 minutes 24 seconds West, 50.75 feet; North 46 degrees 03 minutes 48 seconds West, 50.51 feet; North 44 degrees 27 minutes 48 seconds West, 55.05 feet; North 44 degrees 51 minutes 59 seconds West, 56.04 feet; North 44 degrees 14 minutes 23 seconds West, 55.29 feet; North 44 degrees 26 minutes 33 seconds West, 103.72 feet; North 44 degrees 45 minutes 34 seconds West, East, 104.77 feet; North 44 degrees 36 minutes 56 seconds West, 105.89 feet; North 45 degrees 23 minutes 29 seconds West, 57.85 feet to a curve to the left having a radius of 730.85 feet; along said curve an arc length of 129.08 feet and a chord which bears North 52 degrees 17 minutes 04 seconds West, 128.91 feet to a curve to the left having a radius of 761.27 feet and along said curve an arc length of 299.14 feet and a chord which bears North 67 degrees 45 minutes 54 seconds West, 297.22 feet to the east line of a tract of tract of land as conveyed to The Missouri Highway and Transportation Commission by instrument recorded in Book 12097, Page 830 of above said records said point also being located on the west line of above said Lot 6; thence along said west line North 00 degrees 21 minutes 46 seconds East, 21.56 feet; thence departing last said west line the following courses and distances: South 84 degrees 50 minutes 26 seconds East, 75.65 feet; South 83 degrees 33 minutes 04 seconds East, 203.31 feet; South 83 degrees 57 minutes 15 seconds East, 199.86 feet; South 85 degrees 08 minutes 30 seconds East, 70.09 feet; South 04 degrees 51 minutes 30 seconds West, 9.00 feet; South 85 degrees 32 minutes 19 seconds East, 99.85 feet; North 05 degrees 25 minutes 52 seconds East, 9.00 feet; South 84 degrees 34 minutes 08 seconds East, 230.73 feet; South 84 degrees 33 minutes 54 seconds East, 799.19 feet; South 84 degrees 35 minutes 06 seconds East, 699.37 feet; South 84 degrees 39 minutes 13 seconds East, 1101.32 feet: South 84 degrees 23 minutes 27 seconds East, 81.27 feet; South 05 degrees 36 minutes 33 seconds West, 6.80 feet and South 84 degrees 38 minutes 09 seconds East, 27.27 feet to the south line of a Permanent Bike Trail Easement according to instrument recorded in Book 17311, Page 138 of above said records; thence along said south line the following courses and distances; South 84 degrees 38 minutes 09 seconds East, 92.10 feet; North 05 degrees 17 minutes 33 seconds East, 8.00 feet; South 84 degrees 42 minutes 27 seconds East, 95.20 feet; South 84 degrees 22 minutes 35 secands East, 98.38 feet; South 87 degrees 39 minutes 27 seconds East, 96.96 feet and North 85 degrees 20 minutes 22 seconds East, 14.76 feet to the east line of above said Adjusted Lot 1; thence along the east and southeastern lines of said Adjusted Lot 1 the following courses and distances: South 07 degrees 30 minutes 12 seconds West, 22.65 feet; South 50 degrees 31 minutes 21 seconds West, 99.71 feet; South 38 degrees 40 minutes 37 seconds West, 130.29 feet; South 43 degrees 35 minutes 48 seconds West, 119.08 feet; South 52 degrees 55 minutes 22 seconds West, 83.69 feet; South 66 degrees 52 minutes 22 seconds West, 42.59 feet and South 01 degrees 38 minutes 15 seconds West, 288.83 feet to the Point of Beginning and containing 2,118,148 square feet or 48.625 acres more or less according to calculations performed by Stock & Associates Consulting Engineers, Inc. on July 22, 2011.

NOTE PER ST. LOUIS COUNTY:

ST. LOUIS COUNTY ("COUNTY") INTENDS TO CONSTRUCT AN EXTENSION OF BAXTER ROAD NORTHWARDLY TO A CONNECTION WITH THE 1-64 NORTH OUTER ROAD. SUCH EXTENSION MAY RESULT IN INCREASED TRAFFIC COUNTS THAT WILL, IN TURN, REQUIRE FUTURE IMPROVEMENTS TO THE ROADS AND ENTRANCES DESIGNATED ON THIS PLAN. OWNER AND/OR DEVELOPER ("DEVELOPER") SHALL BE RESPONSIBLE FOR SUCH ENTRANCE IMPROVEMENTS ASSOCIATED WITH ENTRANCES #2 AND #3 AND RELATED ROAD IMPROVEMENTS. AS REASONABLY DETERMINED BY COUNTY, WITHIN PUBLIC RIGHTS-OF-WAY AND COUNTY EASEMENT. DEVELOPER SHALL ENTER INTO AN ESCROW AGREEMENT WITH COUNTY, WHICH AGREEMENT SHALL PROVIDE THAT DEVELOPER SHALL DEPOSIT CASH OR AN APPROVED LETTER OF CREDIT WITH COUNTY IN AN AMOUNT NOT TO EXCEED \$35,000.00 TO GUARANTEE ALL COSTS RELATING TO DESIGN AND CONSTRUCTION OF SUCH FUTURE IMPROVEMENTS, INCLUDING INCREASED COSTS DO TO INFLATION. SUCH ESCROW AGREEMENT SHALL PROVIDE THAT COUNTY USE SUCH CASH OR LETTER OF CREDIT TO PROVIDE FOR THE DESIGN AND CONSTRUCTION, EITHER BY COUNTY OR COUNTY'S AGENT OR CONTRACTOR, WHEN COUNTY REASONABLY DETERMINES THAT CHANGES IN TRAFFIC DUE TO THE BAXTER ROAD EXTENSION PROJECT REQUIRE SUCH IMPROVEMENTS. SUCH ESCROW AGREEMENT SHALL HAVE A TERM OF FIFTEEN YEARS, BE BINDING ON DEVELOPER'S SUCCESSORS AND ASSIGNS. AND BE IN FORCE PRIOR TO DEVELOPER REQUESTING ANY PERMITS, INCLUDING SPECIAL USE PERMITS FROM COUNTY,

STL COUNTY

ËLEV.=458.86

#12-166

UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE

STRUCTURES AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE

UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION

OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING

WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319 RSMo.

ACTUAL LOCATION OF ALL UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES, EITHER

"STANDARD ALUMINUM DISK" STAMPED SL—32, 1990. DISK IS SET IN BETWEEN THE HWY I-64 NORTH OUTER ROAD AND THE WEST BOUND HWY. I-64; 19' SOUTH OF THE CENTERLINE OF THE NORTH BOUND LANE HWY. I-64, APPROXIMATELY 0.5 MILES EAST OF THE INTERSECTION OF BOONES CROSSING ROAD AND NORTH OUTER ROAD. (SL-32 WAS RESET FROM UNDERGROUND POSITION. THIS IS A NEW ELEVATION SET IN JULY 2002.) AS SHOWN HEREON

**BENCHMARK** 

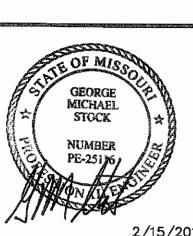
MISSOURI ONE-CALL 1-800-344-7483

UTILITY NOTE:

SURVEYS, RECORDS AND INFORMATION, AND , THEREFORE DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NON-EXISTENCE, SIZE, TYPE, NUMBER, OR LOCATION OF THESE FACILITIES. SHOWN OR NOT SHOWN ON THESE PLANS. THE UNDERGROUND FACILITIES, STRUCTURES, AND

STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC. AND THE UNDERSIGNED ENGINEER HAVE NO RESPONSIBILITY FOR SERVICES PROVIDED BY OTHERS TO IMPLEMENT THE IMPROVEMENTS SHOWN ON THIS PLAN AND ALL OTHER DRAWINGS WHERE THE UNDERSIGNED ENGINEER'S SEAL APPEARS. THE CONSTRUCTION MEANS AND METHODS ARE THE SOLE RESPONSIBILITY OF THE OWNER AND CONTRACTOR STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC. HA NO RESPONSIBILITY TO VERIFY FINAL IMPROVEMENTS AS SHOWN ON THIS PLAN UNLESS SPECIFICALLY ENGAGED AND AUTHORIZED TO DO SO BY THE OWNER OR CONTRACTOR.

Section



GEORGE M. STOCK E-25116 CIVIL ENGINEER CERTIFICATE OF AUTHORITY NUMBER: 000996

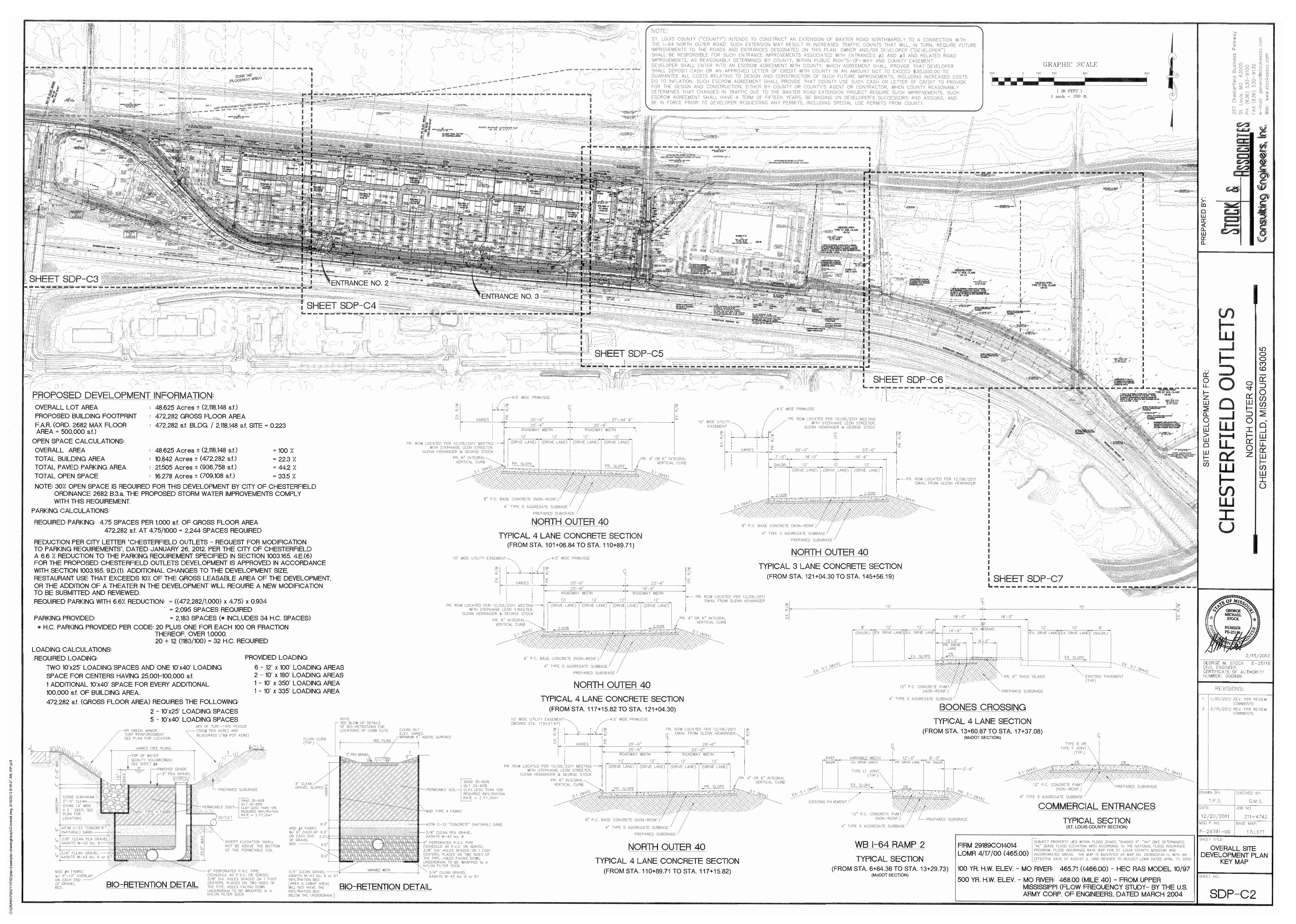
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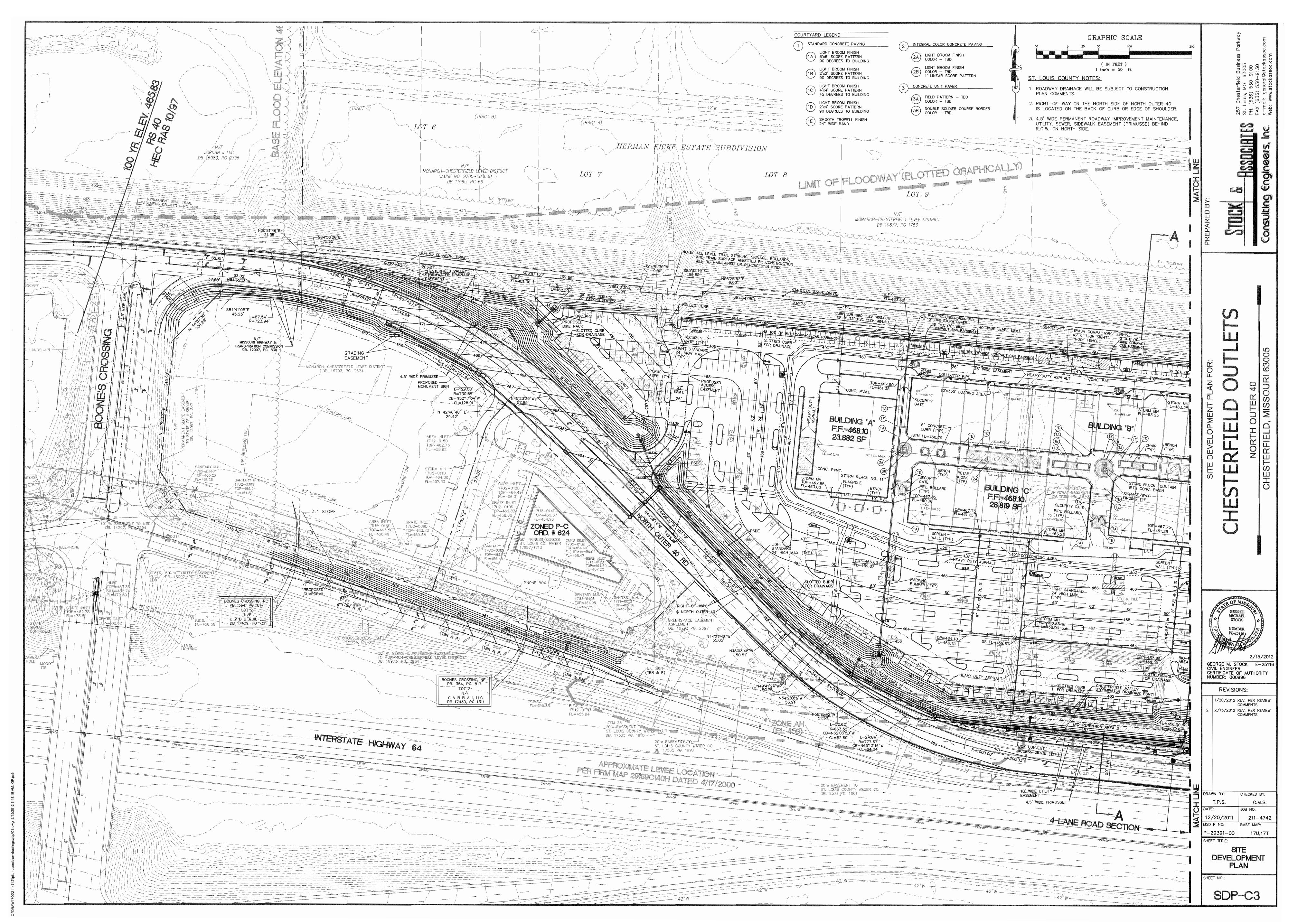
1/20/2012 REV. PER REVIEW 2/15/2012 REV. PER REVIEW

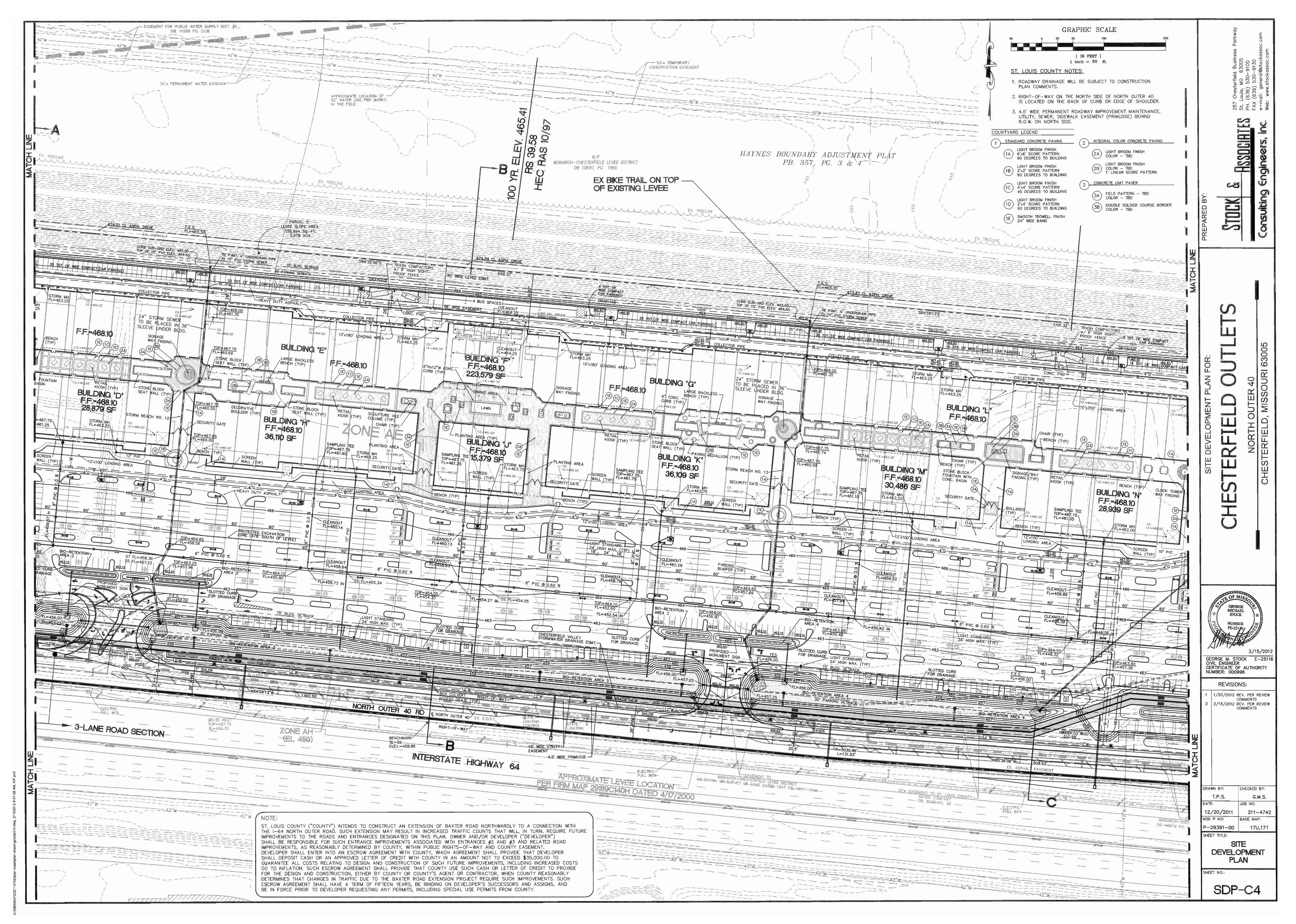


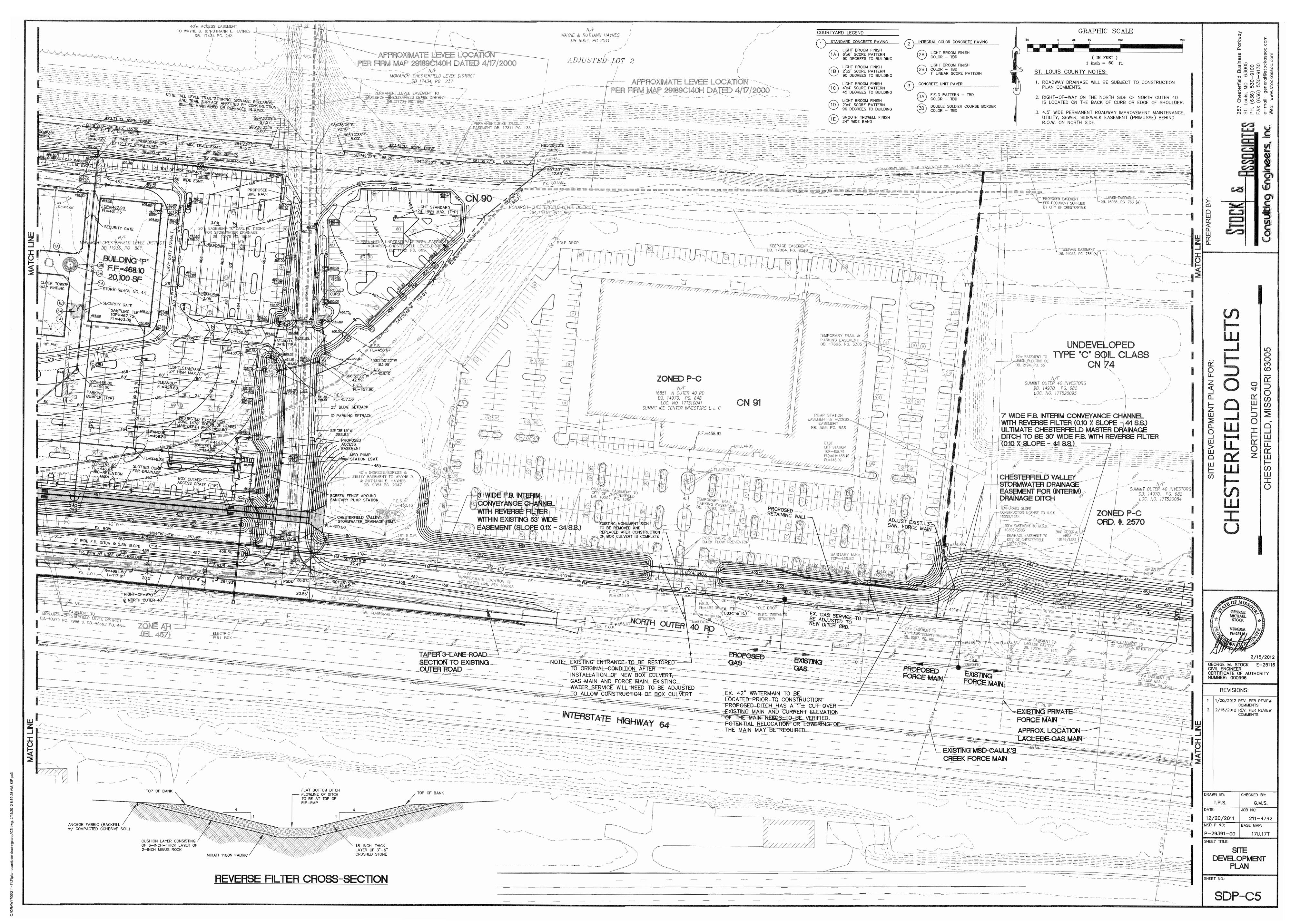
DRAWN BY: CHECKED BY: T.P.S. G.M.S. 12/20/2011 211-4742 BASE MAP:

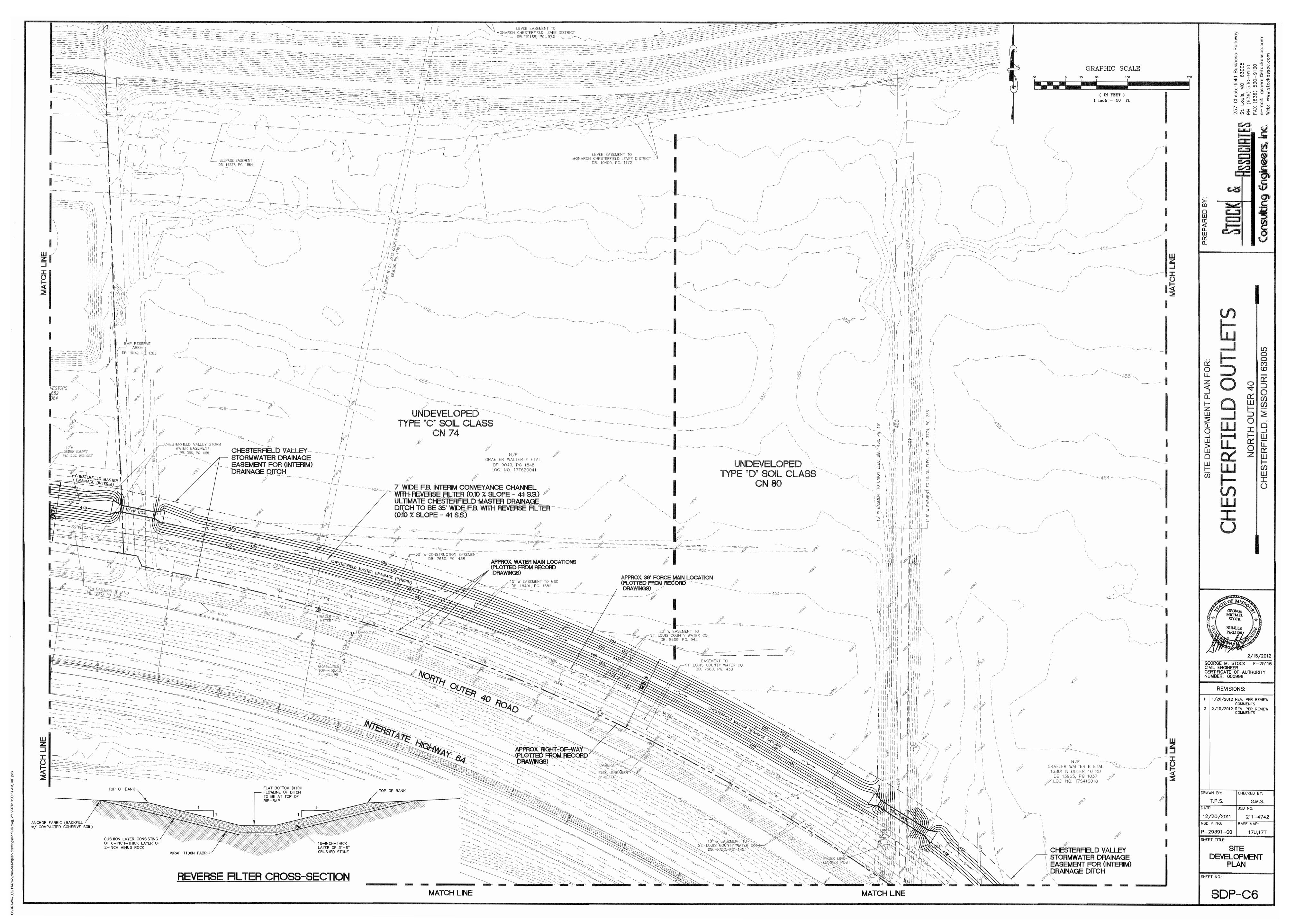
P-29391~00 1**7**U,17T TITLE SHEET

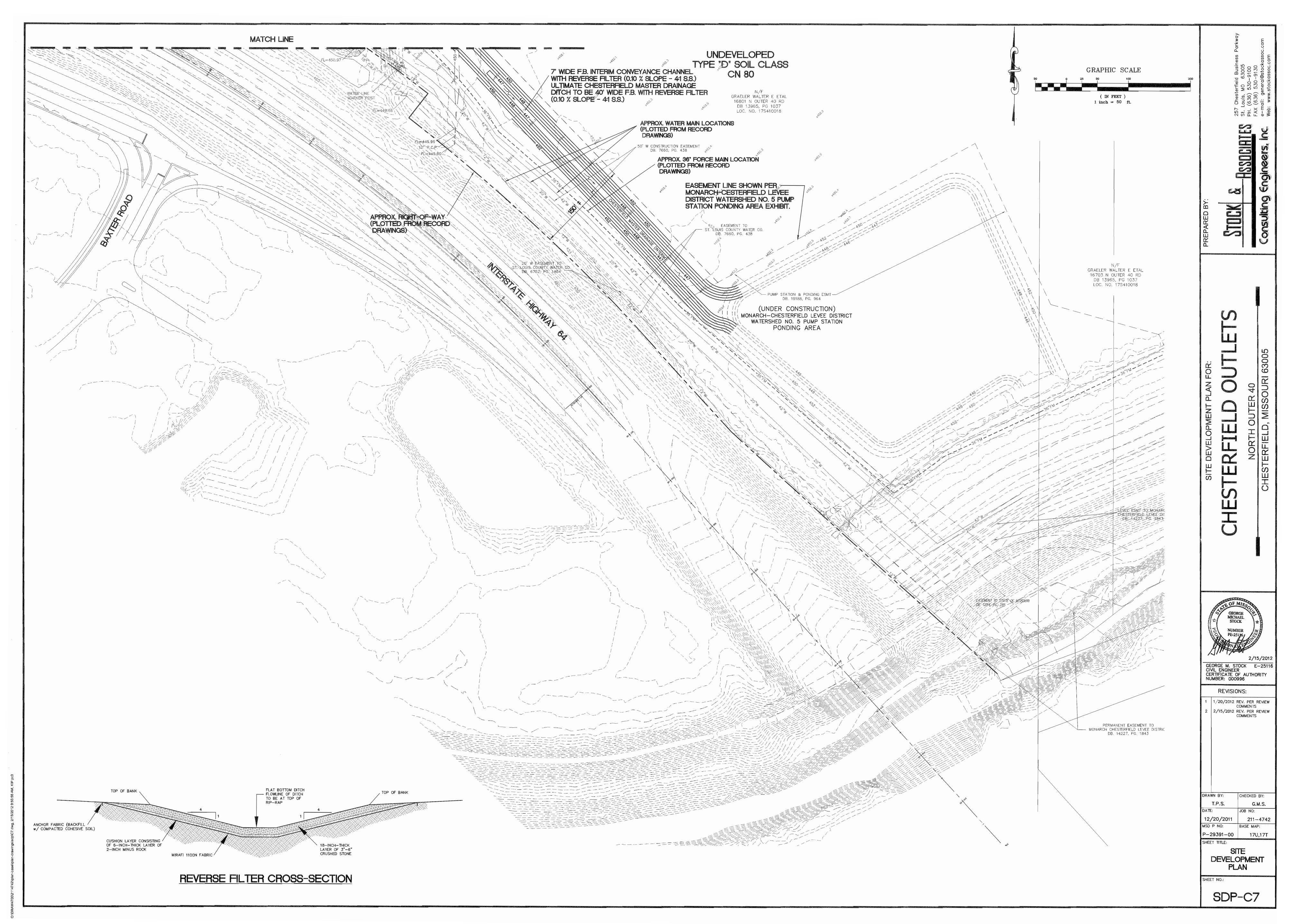


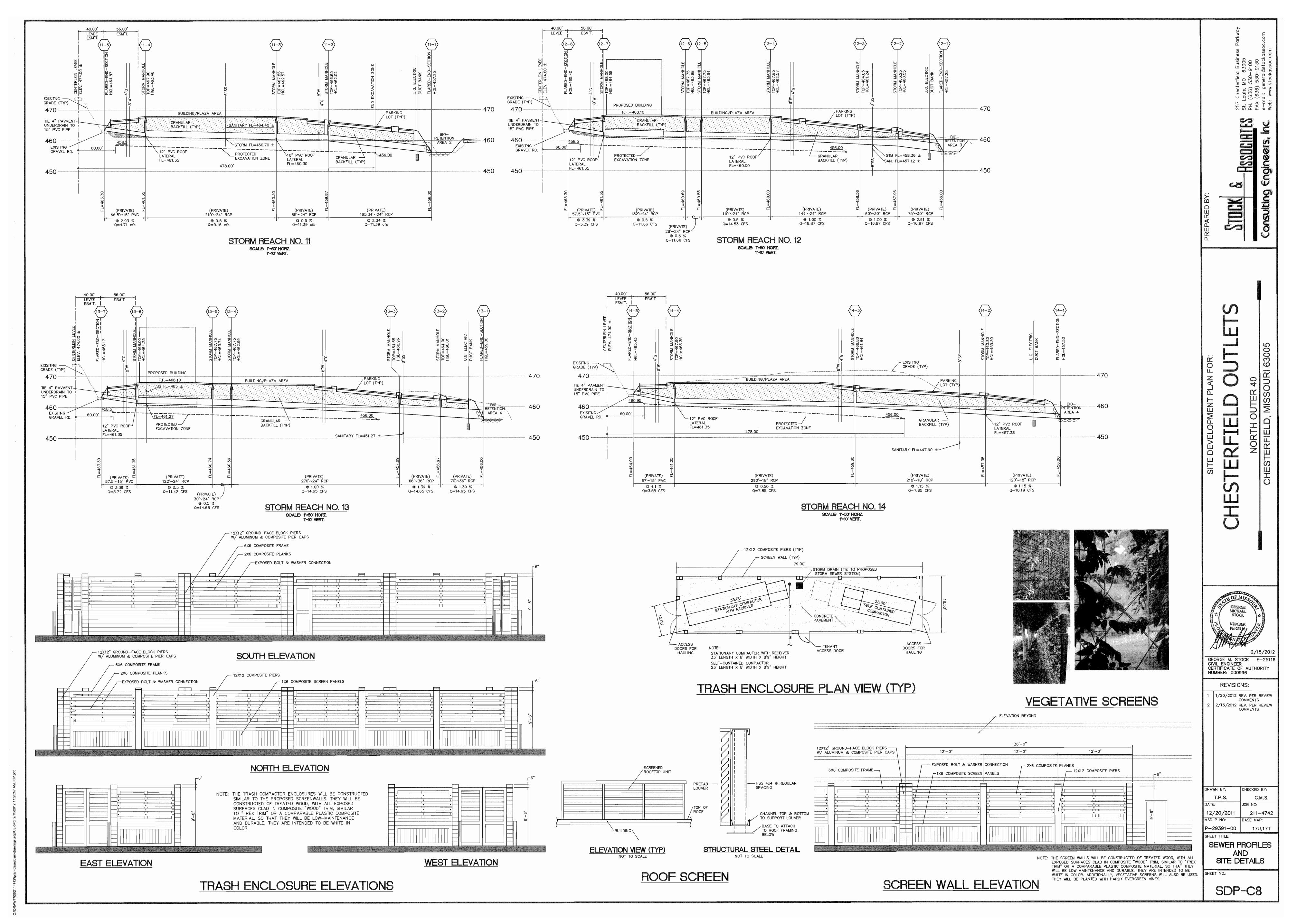


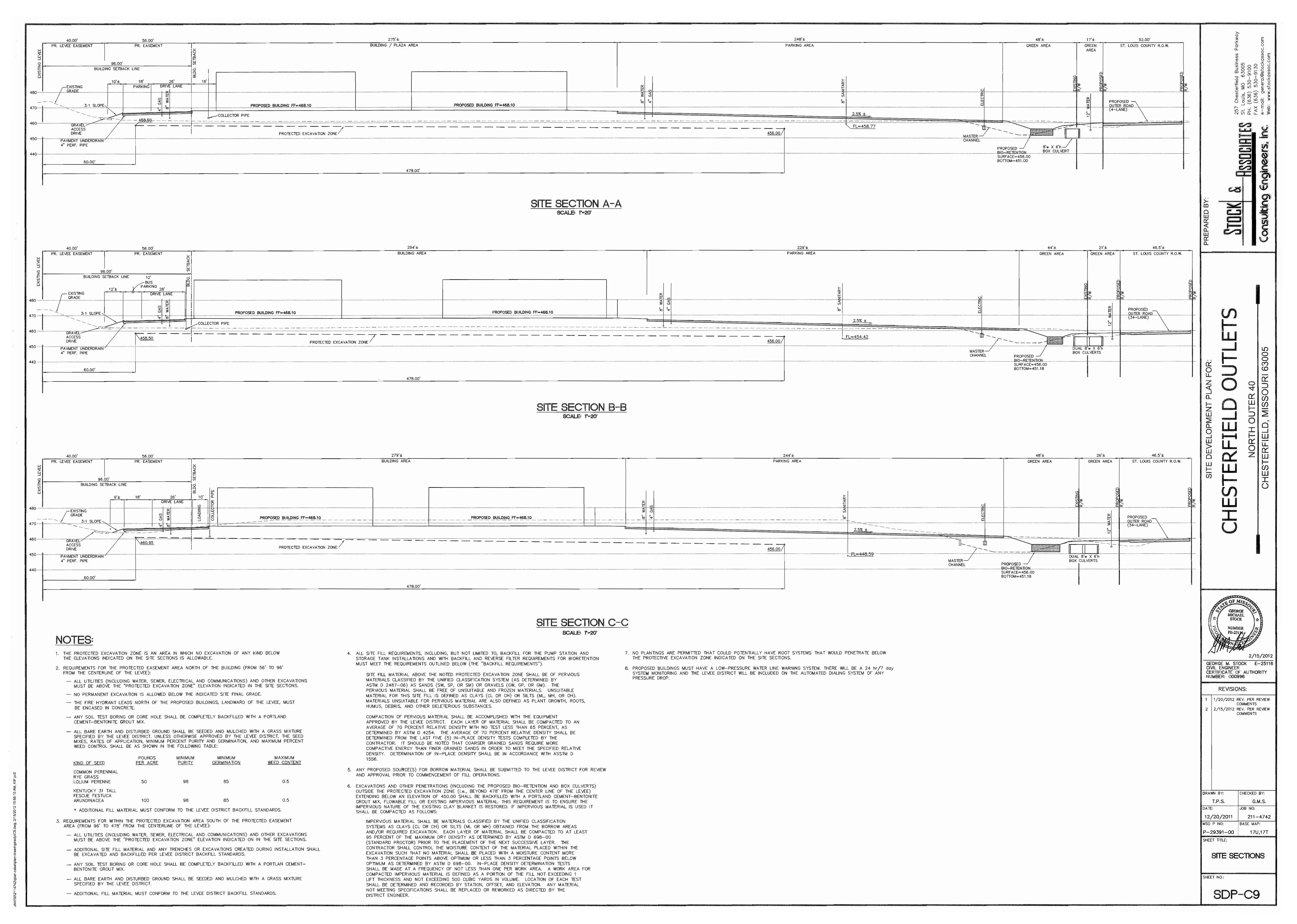


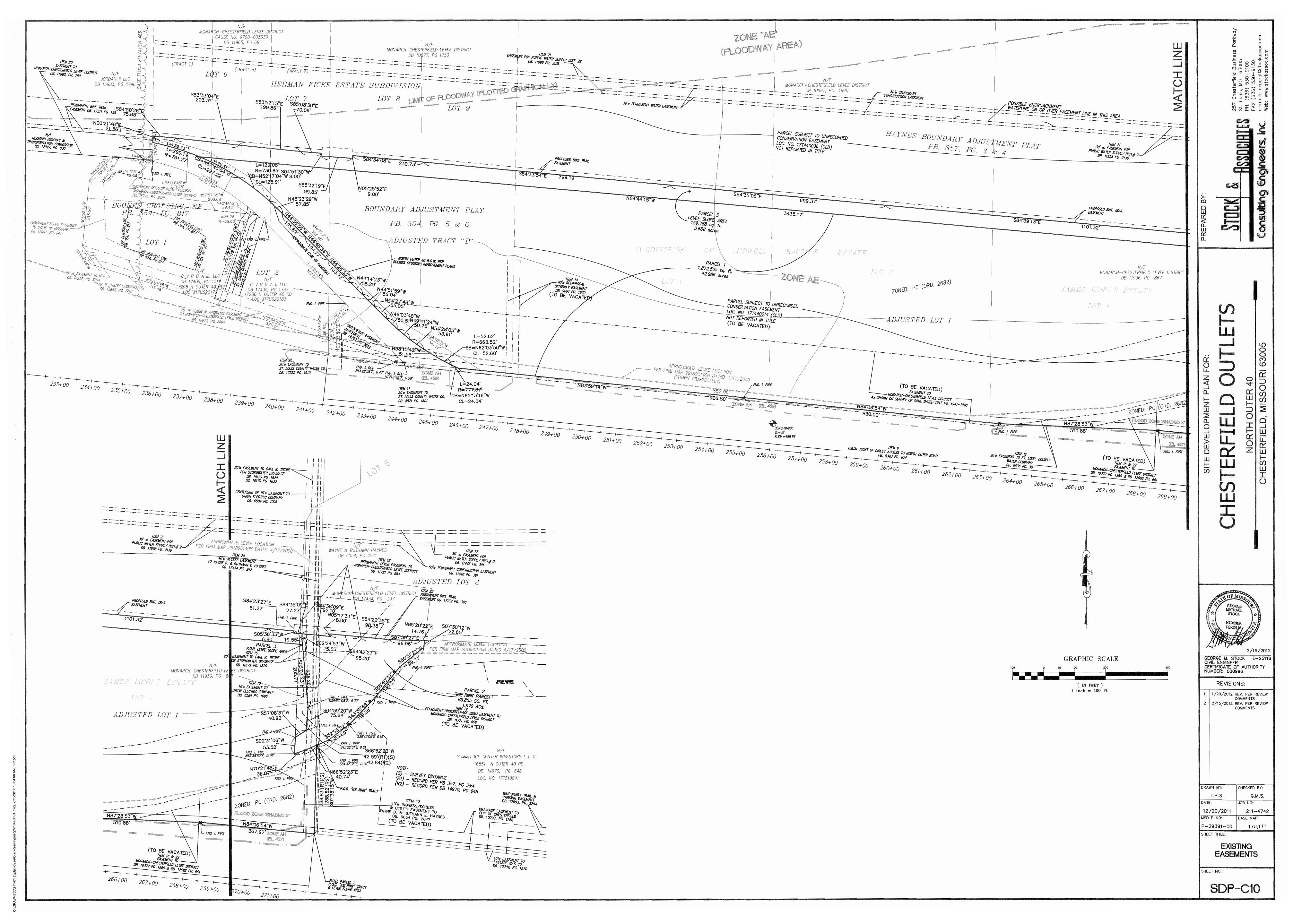


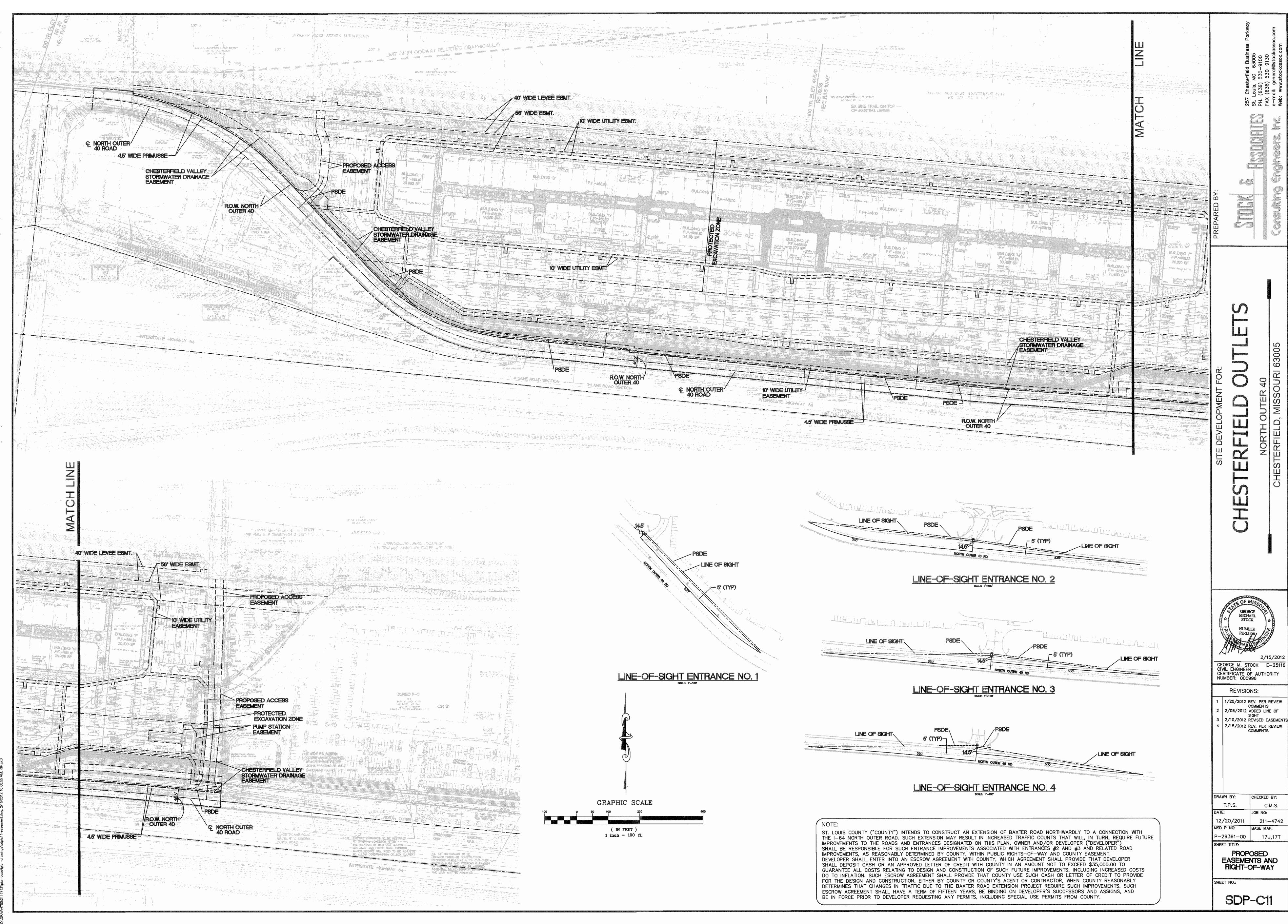












**REVISIONS:** 

1 1/20/2012 REV. PER REVIEW COMMENTS
2 2/06/2012 ADDED LINE OF SIGHT
3 2/10/2012 REVISED EASEMENTS
4 2/15/2012 REV. PER REVIEW COMMENTS

CHECKED BY: G.M.S.

211-4742 BASE MAP: 17U,17T

PROPOSED EASEMENTS AND RIGHT-OF-WAY

WHEREAS, Doster Ullom, LLC, on behalf of T-O Ventures. LLC. has requested a change in zoning from a "NU" Non-Urban District with an "FP" Flood Plain Overlay to a "PC" Planned Commercial District for a 48.625 acre tract of land located north of North Outer 40 Road and east of Boone's Crossing; and,

WHEREAS, a Public Hearing was held before the Planning Commission on September 12, 2011; and,

WHEREAS, the Planning Commission, having considered said request, recommended approval of the change of zoning; and, WHEREAS, the Planning Commission, having considered said request,

recommended approval of an amendment to the Openspace requirement; and, WHEREAS, the Planning and Public Works Committee, having considered said request, recommended approval of the change of zoning on October 20, 2011 with amendments to the Access/Access Management and Road Improvement requirements; and,

WHEREAS, the City Council, at its November 7, 2011 meeting, recommended further review of the permitted uses and hours of operation; and WHEREAS, the City Council, having considered said request voted to

approve the change of zoning request with the amendments to Openspace, Access/Access Management and Road Improvements, Permitted Uses, and

NOW THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHESTERFIELD, ST.LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1. The City of Chesterfield Zoning Ordinance and the Official Zoning District Map, which are part thereof, are hereby amended by establishing a "FC" Planned Commercial District for a 48.625 acre tract of land with a new ordinance and the conditions of which are established in the Attachment A, which is attached hereto and made a part hereof for Chesterfield Outlets and described as follows:

A tract of land being part of Adjusted Lot 1 of Hayes Boundary Adjustment Plat, according to the plat thereof recorded in Plat Book 357 page 3, part of the Adjusted Tract B of the Boundary Adjustment Plat of Lots 8 & 9 of Herman Ficke Estate Subdivision

according to the plat thereof recorded in Plat Book 354, Pages 5 & 6, both of the St. Louis County Records and part of Lots 6 & 7 of Herman Ficke Estate Subdivision in U.S. Survey 2031, Township 45 North. Range 4 East of the Fifth Principal Meridian, City of Chesterfield, St. Louis County, Missouri.

Section 2. The preliminary approval, pursuant to the City of Chesterfield Zoning Ordinance is granted, subject to all of the ordinances, rules and regulations and the specific conditions as recommended by the Planning Commission in its recommendations to the City Council, which are set out in the Attachment "A" and preliminary plan, which are attached hereto and, made

Section 3. The City Council, pursuant to the petition filed by Doster Ullom, LLC in P.Z. 07-2011, requesting the amendment embodied in this ordinance, and pursuant to the recommendations of the City of Chesterfield Planning Commission that said petition be granted and after a public hearing held by the Planning Commission on the 12th day of September 2011, does hereby adopt this ordinance pursuant to the power granted to the City of authorizing the City Council to exercise legislative power pertaining to planning

Section 4. This ordinance and the requirements thereof are exempt from the warning and summons for violations as set out in Section 1003.410 of the Zoning Ordinance of the City of Chesterfield.

Section 5. This ordinance shall be in full force and effect from and after its passage and approval. Passed and approved this 2/ day of WOVEMBER, 2011

FIRST READING HELD: 11/07/2011

P.Z. 07-2011 Chesterfield Outlets Public Hearing - 09/12/2011 Planning Commission - 10/10/2011 (T-O Ventures, LLC) Planning and Public Works Committee - 10/20/2011 City Council - 11/07/2011 City Council - 11/21/2011

All provisions of the City of Chesterfield City Code shall apply to this development except as specifically modified herein.

ATTACHMENT A

I. SPECIFIC CRITERIA A. PERMITTED USES

> 1. The uses allowed in this PC District shall be a. Administrative office for educational or religious facility

 b. Art gallery Art studio Bakery Barber or beauty shop

Bowling center Brewpub Coffee shop Commercial service facility Community center

Drug store and pharmacy Dry cleaning establishment Education facility-specialized private schools Education facility-vocational school

Educational facility-college/university Educational facility – kindergarten or nursery school Film drop-off and pick-up station

Financial institution Grocery-community Grocery-neighborhood Grocery-supercenter w. Gymnasium

Hotel and motel Hotel and motel, extended stay aa. Office, dental bb. Office, general cc. Office, medical

Hospital

dd. Professional and technical service facility ee. Recreation facility ff. Restaurant, fast food gg. Restaurant, outdoor customer dining area

Public Hearing - 09/12/2011 P.Z. 07-2011 Chesterfield Outlets Planning Commission - 10/10/2011 (T-O Ventures, LLC) Planning and Public Works Committee - 10/20/2011 Page 2 of 14 City Council - 11/07/2011 City Council - 11/21/2011

hh. Restaurant, sit down

ii. Restaurant, take out Retail sales establishment, community k. Retail sales establishment, neighborhood II. Retail sales establishment, regional

mm. Retail sales, outdoor nn. Tackle and bait shop oo. Theater, indoor

2. Accessory uses for this development shall include, but not be limited to:

Cafeteria for employees and guests only Day care center, child Donation collection bin

 farmers market e. Kennel, boarding Newspaper stand

Parking area, including garages, for automobiles Sales yard operated by a church, school, or other not for profit Veterinary clinic

3. The above uses in the PC District shall be restricted as follows: a. No single tenant shall occupy more than 75,000 square feet within this PC

4. Hours of Operation. a. Hours of operation for retail sales will be limited to 6 a.m. to midnight. B. FLOOR AREA, HEIGHT, BUILDING AND PARKING STRUCTURE REQUIREMENTS

 Floor Area a. Total building floor area shall not exceed 500,000 square feet.

a. The maximum height of the building, exclusive of rooftop mechanical equipment and screening, shall not exceed 45 feet; however, architectural features, including but not limited to towers, that do not add any usable floor area may be a maximum of 60 feet in height.

P.Z. 07-2011 Chesterfield Outlets Public Hearing ~ 09/12/2011

City Council - 11/21/2011

Planning Commission – 10/10/2011

Planning and Public Works Committee - 10/20/2011

Open Space a. A minimum of 35% openspace is required for this development. 30% open space shall be required if the required storm water improvements, per the current version of the Chesterfield Valley Master Storm Water Plan, along the southern portion of this District are enclosed.

C. SETBACKS

1. Structure Setbacks No building or structure, other than: freestanding project identification signs, light standards, or flag poles will be located within the following setbacks:

a. 75 feet from the southern boundary of the PC District.

b. 25 feet from the north, east and west boundaries of the PC District.

No parking stall, loading space, internal driveway, or roadway, except points of ingress or egress, will be located within the following setbacks:

a. 30 feet from the north, south, and west boundaries of the PC District.

 b. 0 feet from the eastern boundary of the PC District. D. PARKING AND LOADING REQUIREMENTS

1. Parking and loading spaces for this development will be as required in the City of Chesterfield Code.

2. Construction Parking

a. The streets surrounding this development and any street used for construction access thereto shall be cleaned throughout the day. The developer shall keep the road clear of mud and debns at all times.

b. Provide adequate off-street stabilized parking area(s) for construction employees and a washdown station for construction vehicles entering and leaving the site in order to eliminate the condition whereby mud from construction and employee vehicles is tracked onto the pavement causing hazardous roadway and driving conditions.

3. Parking lots shall not be used as streets.

P.Z. 07-2011 Chesterfield Outlets Public Hearing - 09/12/2011 Planning Commission - 10/10/2011 Planning and Public Works Committee - 10/20/2011 City Council - 11/07/2011 City Council - 11/21/2011

E. LANDSCAPE AND TREE REQUIREMENTS

The developer shall adhere to the Landscape and Tree Preservation Requirements of the City of Chesterfield Code.

(T-O Ventures, LLC)

Page 4 of 14

1. Signs shall be permitted in accordance with the regulations of the City of Chesterfield Code or a Sign Package may be submitted for the planned district. Sign Packages shall adhere to the City Code and are reviewed and approved by the City of Chesterfield Planning Commission.

2. Ornamental Entrance Monument construction, if proposed, shall be reviewed by the City of Chesterfield, and/or the St. Louis County Department of Highways and Traffic (or MoDOT), for sight distance considerations prior to installation or construction.

The maximum height from grade of any wall sign shall not exceed 45 feet.

G. LIGHT REQUIREMENTS

1. Provide a lighting plan and cut sheet in accordance with the City of

1. The developer shall adhere to the Architectural Review Standards of the City

Chesterfield Code.

H. ARCHITECTURAL

of Chesterfield Code. 2. Trash enclosures: All exterior trash areas will be enclosed with a minimum six (6) foot high sight-proof enclosure complemented by adequate landscaping or as directed by the City of Chesterfield. The location, material, and elevation of any trash enclosures will be as approved by the City of Chesterfield on the

I. ACCESS/ACCESS MANAGEMENT

Site Development Plan.

1. Ingress and egress must conform to the Missouri Department of Transportation's (MoDOT), St. Louis County Department of Highways and Traffic, and City of Chesterfield's Access Management Guidelines as directed by the City. Ingress and egress must be reviewed and approved by MoDOT, St. Louis County, and the City of Chesterfield, as directed by the

Public Hearing - 09/12/2011 P.Z. 07-2011 Chesterfield Outlets Planning Commission - 10/10/2011 (T-O Ventures, LLC Planning and Public Works Committee - 10/20/2011 City Council - 11/07/2011 City Council - 11/21/2011

2. Provide public access easements as needed along the eastern and western extents of the property such that access is provided from North Outer 40 Road to the adjoining property to the north. The easements shall be dedicated to the City of Chesterfield for public use. The conveyance or dedication of these easements will be a condition of the issuance of permits following Site Improvement Plans approval. The location, dimensions and form of the conveyance or dedication shall be mutually agreed upon by the developer and the City of Chesterfield, and any such conveyance or dedication shall be subject to existing easements, if any.

J. ROAD IMPROVEMENTS

1. Construct improvements to North Outer 40 Road and Boone's Crossing as required by MoDOT, St. Louis County and the City of Chesterfield, as directed by the City, to support the proposed development.

K. TRAFFIC STUDY

1. Provide a traffic study as directed by the City of Chesterfield, St. Louis County and/or the Missouri Department of Transportation. The scope of the study shall include internal and external circulation and may be limited to site specific impacts, such as the need for additional lanes, entrance configuration, geometrics, sight distance, traffic signal modifications or other improvements required, as long as the density of the proposed development falls within the parameters of the City's traffic model. Should the density be other than the density assumed in the model, regional issues shall be addressed as directed by the City of Chesterfield.

2. Provide a sight distance evaluation report, as required by the City of Chesterfield, for the proposed entrance onto N. Outer 40 Rd. If adequate sight distance cannot be provided at the access location, acquisition of right of way, reconstruction of pavement, including correction to the vertical alignment, and/or other off-site improvements shall be required, as directed by the City of Chesterfield and/or the Missouri Department of Transportation.

.. MONARCH-CHESTERFIELD LEVEE DISTRICT/HOWARD BEND LEVEE

1. All set-backs, dedication of easements and/or other restrictions or limitations shall be established as directed by the Monarch-Chesterfield Levee District upon site plan review.

P.Z. 07-2011 Chesterfield Outlets (T-O Ventures, LLC Planning and Public Works Committee - 10/20/2011

M. POWER OF REVIEW

Planning Commission - 10/10/2011

Public Hearing - 09/12/2011

City Council - 11/07/2011

City Council - 11/21/2011

1. The City Council shall review and provide final approval of the Site Development Plan for the proposed development subsequent to Planning

N. STORMWATER AND FLOOD PLAIN

are not negatively impacted.

 Construct the required on-site storm water improvements per the current version of the Chesterfield Valley Master Storm Water Plan. The developer shall be responsible for construction of the required on-site storm water improvements and for providing positive drainage for the development. In the event that the ultimate off-site required improvements are not constructed concurrently with this development, the developer shall provide interim drainage facilities. Interim facilities shall be sized to handle runoff from the on-site 100-year, 24-hour storm event as produced by the Master Storm Water Plan model. The interim facilities shall provide positive drainage for the development and handle existing off-site flows such that off-site properties

The developer may elect to propose alternate geometry, size and/or type of storm water improvements that are functionally equivalent to the required improvements. Functional equivalence is said to be achieved when, as determined by the Public Works Director, the alternate proposal provides the same hydraulic function, connectivity, and system-wide benefits without adversely affecting any of the following: water surface profiles at any location outside the development; future capital expenditures; maintenance obligations; equipment needs; frequency of maintenance; and probability of malfunction. The City will consider, but is not obligated to accept, the developer's alternate plans. If the Public Works Director determines that the developer's proposal may be functionally equivalent to the Chesterfield Valley Master Storm Water Plan improvements, hydraulic routing calculations will be performed to make a final determination of functional equivalence. The Director will consider the developer's proposal, but is not obligated to have the hydraulic analysis performed if any of the other criteria regarding functional equivalence will not be met. The hydraulic routing calculations regarding functional equivalence may be performed by a consultant retained by the City of Chesterfield. The developer shall be responsible for all costs related to consideration of an alternate proposal, which shall include any

costs related to work performed by the consultant. 2. Provide a Chesterfield Valley Storm Water Easement along North Outer 40 Road to accommodate the future construction of the Chesterfield Valley Master Storm Water Plan improvements in that area, and depict the

P.Z. 07-2011 Chesterfield Outlets Public Hearing - 09/12/2011 Planning Commission – 10/10/2011 (T-O Ventures, LLC) Planning and Public Works Committee - 10/20/2011 Page 7 of 14 City Council - 11/07/2011 City Council — 11/21/2011

improvements on the Site Development Plan and improvement plans. Maintenance of the required channel shall be the responsibility of the property

3. All Chesterfield Valley Master Storm Water Plan on-site improvements shall be operational and positive drainage provided for the development prior to the paving of any driveways or parking areas.

4. The project is located in the Caulks Creek Impact area and subject to applicable fees.

5. Formal plan submittal and approval is required by the District prior to the issuance of permits.

Prior to Site Development Plan approval, provide a geotechnical report, prepared

O. GEOTECHNICAL REPORT

by a registered professional engineer licensed to practice in the State of Missoun, as directed by the Department of Planning and Public Works. The report shall verify the suitability of grading and proposed improvements with soil and geologic conditions and address the existence of any potential sinkhole, ponds, dams, septic fields, etc., and recommendations for treatment. A statement of compliance, signed and sealed by the geotechnical engineer preparing the report, shall be included on all Site Development Plans and Improvement Plans.

P. MISCELLANEOUS

All utilities will be installed underground.

2. An opportunity for recycling will be provided. All provisions of Chapter 25, Article VII. and Section 25-122 thru Section 25-126 of the City of Chesterfield. Missouri Code shall be required where applicable.

3. Prior to final release of subdivision construction deposits, the developer shall provide certification by a registered land surveyor that all monumentation depicted on the record plat has been installed and United States Public Land Survey Corners have not been disturbed during construction activities or that they have been reestablished and the appropriate documents filed with the Missouri Department of Natural Resources Land Survey Program.

II. TIME PERIOD FOR SUBMITTAL OF SITE DEVELOPMENT CONCEPT PLANS AND SITE DEVELOPMENT PLANS

P.Z. 07-2011 Chesterfield Outlets Public Hearing - 09/12/2011 Planning Commission - 10/10/2011 (T-O Ventures, LLC) Planning and Public Works Committee - 10/20/2011 City Council - 11/21/2011

A. The developer shall submit a concept plan within eighteen (18) months of City Council approval of the change of zoning.

Page 8 of 14

B. In lieu of submitting a Site Development Concept Plan and Site Development Section Plans, the petitioner may submit a Site Development Plan for the entire development within eighteen (18) months of the date of approval of the change of zoning by the City.

C. Failure to comply with these submittal requirements will result in the expiration of the change of zoning and will require a new public hearing.

D. Said Plan shall be submitted in accordance with the combined requirements for Site Development Section and Concept Plans. The submission of Amended Site Development Plans by sections of this project to the Planning Commission shall be permitted if this option is utilized.

E. Where due cause is shown by the developer, this time interval for plan submittal may be extended through appeal to and approval by the Planning Commission.

III. COMMENCEMENT OF CONSTRUCTION

A. Substantial construction shall commence within two (2) years of approval of the Site Development Concept Plan or Site Development Plan, unless otherwise

B. Where due cause is shown by the developer, the Commission may extend the period to commence construction for not more than one additional year. IV. GENERAL CRITERIA

A, SITE DEVELOPMENT CONCEPT PLAN

1. Any Site Development Concept Plan shall show all information required on a preliminary plat as required in the City of Chesterfield Code.

2. Include a Conceptual Landscape Plan in accordance with the City of Chesterfield Code to indicate proposed landscaping along arterial and

3. Include a Lighting Plan in accordance with the City of Chesterfield Code to indicate proposed lighting along arterial collector roadways.

4. Provide comments/approvals from the appropriate Fire District, the St. Louis County Department of Highways and Traffic, Monarch Chesterfield Levee

P.Z. 07-2011 Chesterfield Outlets Public Hearing - 09/12/2011 Planning Commission – 10/10/2011 (T-O Ventures, LLC) Planning and Public Works Committee - 10/20/2011 Page 9 of 14

District, Spirit of St. Louis Airport and the Missouri Department of Transportation .5. Compliance with the current Metropolitan Sewer District Site Guidance as

B. SITE DEVELOPMENT PLAN SUBMITTAL REQUIREMENTS

The Site Development Plan shall include, but not be limited to, the following: 1. Location map, north arrow, and plan scale. The scale shall be no greater

than one (1) inch equals one hundred (100) feet. Outboundary plat and legal description of property.

Density calculations.

adopted by the City of Chesterfield.

City Council - 11/21/2011

 Parking calculations. Including calculation for all off street parking spaces, required and proposed, and the number, size and location for handicap

5. Provide openspace percentage for overall development including separate percentage for each lot on the plan.

Provide Floor Area Ratio (F.A.R.).

A note indicating all utilities will be installed underground. A note indicating signage approval is separate process.

adjacent property lines, and proposed use. 10. Specific structure and parking setbacks along all roadways and property

9. Depict the location of all buildings, size, including height and distance from

11. Indicate location of all existing and proposed freestanding monument signs.

12. Zoning district lines, subdivision name, lot number, dimensions, and area, and zoning of adjacent parcels where different than site.

13. Floodplain boundaries. 14. Depict existing and proposed improvements within 150 feet of the site as directed. Improvements include, but are not limited to, roadways driveways and walkways adjacent to and across the street from the site,

P.Z. 07-2011 Chesterfield Outlets Public Hearing - 09/12/2011 Planning Commission - 10/10/2011 (T-O Ventures, LLC) Planning and Public Works Committee - 10/20/2011 Page 10 of 14 City Council - 11/07/2011 City Council - 11/21/2011

significant natural features, such as wooded areas and rock formations, and other karst features that are to remain or be removed.

15. Depict all existing and proposed easements and rights-of-way within 150 feet of the site and all existing or proposed off-site easements and rights-of-

way required for proposed improvements. 16. Indicate the location of the proposed storm sewers, detention basins,

sanitary sewers and connection(s) to the existing systems. 17. Depict existing and proposed contours at intervals of not more than one (1)

foot, and extending 150 feet beyond the limits of the site as directed. 18. Address trees and landscaping in accordance with the City of Chesterfield

19. Comply with all preliminary plat requirements of the City of Chesterfield Subdivision Regulations per the City of Chesterfield Code.

20. Signed and sealed in conformance with the State of Missouri Department of Economic Development, Division of Professional Registration, Missoun Board for Architects, Professional Engineers and Land Surveyors

21. Provide comments/approvals from the appropriate Fire District, Monarch Levee District, Spirit of St. Louis Airport and the Missouri Department of

22. Compliance with Sky Exposure Plane.

23. Compliance with the current Metropolitan Sewer District Site Guidance as adopted by the City of Chesterfield.

C. SITE DEVELOPMENT SECTION PLAN SUBMITTAL REQUIREMENTS The Site Development Section Plan shall adhere to the above criteria and to the

1. Location map, north arrow, and plan scale. The scale shall be no greater than one (1) inch equals one hundred (100) feet.

Parking calculations, including calculation for all off street parking spaces required and proposed, and the number, size and location for handicap

P.Z. 07-2011 Chesterfield Outlets Public Hearing - 09/12/2011 Planning Commission - 10/10/2011 (T-O Ventures, LLC) Planning and Public Works Committee - 10/20/2011 Page 11 of 14 City Council – 11/07/2011 City Council - 11/21/2011

3. Provide open space percentage for overall development including separate percentage for each lot on the plan.

Provide Floor Area Ratio (F.A.R.).

A note indicating all utilities will be installed underground

A note indicating signage approval is separate process. 7. Depict the location of all buildings, size, including height and distance from adjacent property lines and proposed use.

8. Specific structure and parking setbacks along all roadways and property

9. Indicate location of all existing and proposed freestanding monument signs. 10. Zoning district lines, subdivision name, lot number, lot dimensions, lot area. and zoning of adjacent parcels where different than site.

Floodplain boundaries.

12. Depict existing and proposed improvements within 150 feet of the site as directed. Improvements include, but are not limited to, roadways driveways and walkways adjacent to and across the street from the site. significant natural features, such as wooded areas and rock formations, and other karst features that are to remain or be removed.

13. Depict all existing and proposed easements and rights-of-way within 150 feet of the site and all existing or proposed off-site easements and rights-ofway required for proposed improvements.

14. Indicate the location of the proposed storm sewers, detention basins. sanitary sewers and connection(s) to the existing systems.

15. Depict existing and proposed contours at intervals of not more than one (1) foot, and extending 150 feet beyond the limits of the site as directed. 16. Address trees and landscaping in accordance with the City of Chesterfield

17. Comply with all preliminary plat requirements of the City of Chesterfield Subdivision Regulations per the City of Chesterfield Code.

P.Z. 07-2011 Chesterfield Outlets Public Hearing - 09/12/2011 (T-O Ventures, LLC) Planning Commission - 10/10/2011 Planning and Public Works Committee - 10/20/2011 Page 12 of 14

Economic Development, Division of Professional Registration, Missouri Board for Architects, Professional Engineers and Land Surveyors 19. Provide comments/approvals from the appropriate Fire District, Monarch

18. Signed and sealed in conformance with the State of Missouri Department of

Levee District, Spirit of St. Louis Airport, St. Louis Department of Highways and Traffic, and the Missouri Department of Transportation. 20. Compliance with Sky Exposure Plane.

21. Compliance with the current Metropolitan Sewer District Site Guidance as adopted by the City of Chesterfield.

of building permits for each phase of development.

City Council - 11/21/2011

V. TRUST FUND CONTRIBUTION The developer shall be required to contribute to the Chesterfield Valley Trust Fund. Traffic generation assessment contributions shall be deposited with St. Louis County prior to the issuance of building permits. If development phasing is anticipated, the developer shall provide the traffic generation assessment contribution prior to issuance

1. The developer shall contribute a Traffic Generation Assessment (TGA) to the Chesterfield Valley Trust Fund (No. 556). This contribution shall not exceed an amount established by multiplying the required parking spaces by the following rate schedule:

Required Contribution Type of Development Contribution \$606.42 General Office \$1,819.37 General Retail \$2,977.17 Loading Space

(Parking spaces as required by the City of Chesterfield Code.) If types of development proposed differ from those listed, rates shall be

provided by the Saint Louis County Department of Highways and Traffic.

If a portion of the improvements required herein are needed to provide for the safety of the traveling public, their completion as a part of this development is

Credits for roadway improvements will be as approved by the City of

P.Z. 07-2011 Chesterfield Outlets Public Hearing - 09/12/2011 (T-O Ventures, LL0 Planning Commission – 10/10/2011 Planning and Public Works Committee - 10/20/2011 City Council — 11/07/2011

City Council - 11/21/2011 Any portion of the roadway improvement contribution that remains, following

completion of road improvements required by the development, shall be retained in the appropriate Trust Fund. Sidewalk construction and utility relocation, among other items, are not considered allowable credits. 2. As this development is located within a trust fund area established by Saint

Louis County, any portion of the traffic generation assessment contribution which remains following completion of road improvements required by the development should be retained in the appropriate trust fund. 3. Traffic generation assessment contributions shall be deposited with Saint

Louis County prior to the issuance of building permits. If development phasing is anticipated, the developer shall provide the traffic generation assessment contribution prior to issuance of building permits for each phase of development. Funds shall be payable to Treasurer, Saint Louis County,

Water Main

The primary water line contribution is based on gross acreage of the development land area. The contribution shall be a sum of \$731.73 per acre for the total area as approved on the Site Development Plan to be used solely to help defray the cost of constructing the primary water line serving the Chesterfield Valley area.

The primary water line contribution shall be deposited with the Saint Louis County

Department of Highways and Traffic. The deposit shall be made before St. Louis County approval of the Site Development Plan unless otherwise directed by the Saint Louis County Department of Highways and Traffic. Funds shall be payable to the Treasurer, Saint Louis County.

Stormwater

Louis County.

The storm water contribution is based on gross acreage of the development land area. These funds are necessary to help defray the cost of engineering and construction improvements for the collection and disposal of storm water from the Chesterfield Valley in accordance with the Master Plan on file with and jointly approved by Saint Louis County and the Metropolitan Saint Louis Sewer District. The amount of the storm water contribution will be computed based on \$2,321.64 per acre for the total area as approved on the Site Development Plan. The storm water contributions to the Trust Fund shall be deposited with the Saint Louis County Department of Highways and Traffic. The deposit shall be made before the issuance of a Special Use Permit (S.U.P.) by Saint Louis County Department of Highways and Traffic or before the issuance of building permits in the case where no Special Use Permit is required. Funds shall be payable to the Treasurer, Saint

P.Z. 07-2011 Chesterfield Outlets Public Hearing - 09/12/2011 Planning Commission – 10/10/2011 (T-O Ventures, LLC) Planning and Public Works Committee - 10/20/2011 Page 14 of 14 City Council - 11/07/2011 City Council - 11/21/2011

Sanitary Sewer

The sanitary sewer contribution is collected as the Caulks Creek impact fee. The sanitary sewer contribution within Chesterfield Valley area shall be deposited

with the Metropolitan St. Louis Sewer District as required by the District. The amount of these required contributions for the roadway, storm water and primary water line improvements, if not submitted by January 1, 2012, shall be adjusted on that date and on the first day of January in each succeeding year thereafter in accordance with the construction cost index as determined by the

Saint Louis County Department of Highways and Traffic. Within 60 days of approval of any development plan by the City of Chesterfield, the

Failure to do so will result in the expiration of approval of said plan and require reapproval of a plan by the Planning Commission.

approved Plan will be recorded with the St. Louis County Recorder of Deeds.

this Attachment A. B. Failure to comply with any or all the conditions of this ordinance will be adequate cause for revocation of approvals/permits by reviewing Departments and Commissions.

C. Non-compliance with the specific requirements and conditions set forth in this

A. The City of Chesterfield, Missouri will enforce the conditions of this ordinance in

accordance with the Plan approved by the City of Chesterfield and the terms of

Ordinance and its attached conditions or other Ordinances of the City of Chesterfield shall constitute an ordinance violation, subject, but not limited to, the penalty provisions as set forth in the City of Chesterfield Code.

D. Waiver of Notice of Violation per the City of Chesterfield Code. E. This document shall be read as a whole and any inconsistency to be integrated to carry out the overall intent of this Attachment A.

GEORGE STOCK Number PE-25176/

NUMBER: 000996 REVISIONS: 1/20/2012 REV. PER REVIEW

2 2/15/2012 REV. PER REVIEW

CERTIFICATE OF AUTHORITY

GEORGE M. STOCK E-2511

CIVIL ENGINEER

T.P.S. 12/20/2011 MSD P NO:

> ORDINANCE NO. 2682

SDP-C12

P-29391-00