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## **Architectural Review Board Staff Report**

**Project Type:** Site Development Section Plan

**Meeting Date:** March 8, 2012

**From:** Mara Perry, AICP  
Senior Planner

**Location:** Chesterfield Blue Valley, Proposed Lot 10

**Applicant:** The Collaborative, Inc. and The Clayton Engineering Company, Inc.

**Description:** **Chesterfield Blue Valley, Proposed Lot 10 (Premium Outlets)**: A Site Development Section Plan, Landscape Plan, Architectural Elevations, and Architect's Statement of Design for a 50.72 acre tract of land zoned "PC" Planned Commercial District in the northeast corner of the development located on the north side of Olive Street Road, west of its intersection with Chesterfield Airport Road.

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### **PROPOSAL SUMMARY**

The request is for eight (8) retail buildings totaling 390,098 square feet, located on Lot 2 of the Chesterfield Blue Valley subdivision. The subject site is zoned "PC" Planned Commercial District and is governed under the terms and conditions of City of Chesterfield Ordinance Number 2612. The exterior building materials will be comprised of brick and stone veneer, EIFS, smooth face architectural metal, exposed steel structure, painted concrete wall with sand texture finish, metal trellis and glass. The roof is proposed to be primarily a flat membrane roof system with parapet walls.

### **HISTORY OF SUBJECT SITE**

The site was zoned "NU" Non-Urban District by St. Louis County prior to the incorporation of the City of Chesterfield. The areas located north of the Chesterfield Monarch Levee also included a "FP" Flood Plain Overlay in addition to the "NU" Non-Urban District Zoning classification. The 55.8 acre, western portion of the Chesterfield Blue Valley development south of the levee was zoned "PC" Planned Commercial District in February of 2006 by the City of Chesterfield.

In January 2008, the 75.063 acre eastern portion of this development, also south of the levee, was zoned "PC" Planned Commercial District. The City of Chesterfield approved the consolidation of both the "PC" Planned Commercial Districts into one district in February of 2008. At that point, Chesterfield Blue Valley was one (1) "PC" Planned Commercial District, governed by City of Chesterfield Ordinance 2443.

In 2010, an additional six (6) acre piece of land was requested to be added to the current development ordinance for the site. Ordinance 2443 was repealed and replaced with Ordinance 2612 for the entire 137.6 acres.

A Site Development Concept Plan for the roadways only was approved by the City Council in 2008. Additional amendments to that roadway plan were approved administratively in 2010. A new Site Development Concept Plan addressing all conceptual requirements is currently under review for approval.



## **STAFF ANALYSIS**

### **General Requirements for Site Design:**

#### **A. Site Relationships**

*Addressed As Written*

*Addressed with Modification*

*Not Applicable*

The subject site is the first lot proposed to be built in the development. The primary boulevard roadway into the development will be constructed connecting to Olive Street Road. Pedestrian connections are being made to the proposed development sidewalk along the boulevard and within the site. The subject site is bordered by the levee to the north and Interstate 64-Highway 40 to the east. The site has direct visibility from Interstate 64 but no points of access. The undeveloped parcels to the south and west are proposed to be developed as a mix of commercial and retail uses. Premium Outlets is proposed as a freestanding outdoor complex of buildings. A series of internal pedestrian streets are being provided along with an outdoor food pavilion area. Covered roof areas are provided along the internal pedestrian areas.

## B. Circulation System and Access

Addressed As Written       Addressed with Modification       Not Applicable

The circulation system into the site has been addressed through the approval of the Site Development Concept Plan. Entrances off the internal boulevard will be provided and no vehicular connection is allowed from Interstate 64-Highway 40. The levee is located immediately along the northern portion of the site. The buildings are internally oriented with open pedestrian streets and courtyards. Pedestrian connections are being made from the parking areas which surround the buildings.

## C. Topography

Addressed As Written       Addressed with Modification       Not Applicable

The subject site is flat and the overall relationship of the project to the site has been addressed through previously approved plans.

## D. Retaining Walls

Addressed As Written       Addressed with Modification       Not Applicable

No retaining walls are being proposed for the development.



## General Requirements for Building Design:

### A. Scale

Addressed As Written       Addressed with Modification       Not Applicable

The design of the building includes elements of varying height from the primary building mass being 19-24 feet in height. The entry features and internal roof areas range from 30-40 feet in height. Walls surrounding the service courts are eight (8) feet in height. A pedestrian scale is provided through the use of changes in material both horizontally and vertically. There is currently very little context in this area built other than industrial buildings on the south side of Olive Street Road.

**B. Design**

Addressed As Written       Addressed with Modification       Not Applicable

The development is designed with the intent of providing internal pedestrian streets contained between multiple retail structures. The center of the development is generally open with a series of partially covered areas with combinations of roof, canopy and awning structures. The development has six (6) buildings which have a service court on one side. Two (2) other buildings are internal with retail tenant entrances on all four (4) sides. Landscaped courtyards and covered pavilions are included to enhance the pedestrian experience.

**C. Materials and Color**

Addressed As Written       Addressed with Modification       Not Applicable

The buildings include a broad mix of materials and earth tone colors with accent colors at entrance locations. Brick and stone veneers in vertical and horizontal bands break up the larger more service oriented elevations.

**D. Landscape Design and Screening**

Addressed As Written       Addressed with Modification       Not Applicable

The landscape plan is designed to include a variety of landscape materials with water quality features scattered throughout the parking area and the overall development. Due to seepage berm restrictions, a portion of the parking area will not have any trees or landscaping in the islands to the northern edge of the site. Landscaping is used around the outside service areas of the site to soften the visual look of the brick screening walls and external facades.

**E. Signage**

Addressed As Written       Addressed with Modification       Not Applicable

Signage is not submitted for approval at this time. Signage will be reviewed against the Sign Package for the site and will be approved by Staff.

**F. Lighting**

Addressed As Written       Addressed with Modification       Not Applicable

As proposed, lighting will be provided in multiple areas of the development. Utilitarian lighting for the site will be provided to meet basic light levels for the site. Numerous fixtures are proposed to enhance the development for users. The ARB packet submitted for your review includes cut sheets and some sectional diagrams that clarify how these lights will be utilized.

**Use Type: Shopping Center and Office Complex**

**Access:** Service, loading and the trash enclosure areas are located in multiple screened service courts around the edges of the buildings in the development.

**Exterior Elements:** Addressed above in the Requirements for Building Design.

**Landscaping and Screening:** Shopping cart storage is not being proposed in the development.

**Scale:** Addressed above in the Requirements for Building Design.

**Site Design:** Outdoor gathering areas are being provided in multiple locations throughout the development of the internal pedestrian streets. An outdoor dining area is being identified but no outdoor sales.

### **DEPARTMENTAL INPUT**

Staff has reviewed the Site Development Section Plan, Landscape Plan, Lighting Plan and Architectural Elevations and is reviewing it for conformance with City of Chesterfield Ordinance 2612, and all other applicable Zoning Ordinance requirements. Staff requests action on the Site Development Section Plan for Chesterfield Blue Valley, Proposed Lot 10.

### **MOTION**

The following options are provided to the Architectural Review Board for consideration relative to this application:

- 1) "I move to forward the Site Development Section Plan, Landscape Plan and Architectural Elevations for Chesterfield Blue Valley, Proposed Lot 10 (Premium Outlets), as presented, with a recommendation for approval (or denial) to the Planning Commission."
- 2) "I move to forward the Site Development Section Plan, Landscape Plan and Architectural Elevations for Chesterfield Blue Valley, Proposed Lot 10 (Premium Outlets), to the Planning Commission with the following recommendations..."

### Attachments

1. Architectural Review Packet Submittal

# ST. LOUIS PREMIUM OUTLETS



PREMIUM  
OUTLETS  
SIMON

WOODMONT  
OUTLETS

THE COLLABORATIVE, INC.  
ARCHITECTS | LANDSCAPE ARCHITECTS | INTERIOR DESIGNERS | PLANNERS

CITY OF CHESTERFIELD

MARCH 8, 2012

ARCHITECTURAL REVIEW BOARD

# PROJECT STATISTICS AND CHECKLIST



## ARCHITECTURAL REVIEW BOARD Project Statistics and Checklist

**Date of First Comment Letter Received from the City of Chesterfield** 02-22-2012  
St. Louis Premium Outlets Highway 64/40 and Missouri River  
**Project Title:** \_\_\_\_\_ **Location:** \_\_\_\_\_  
Premium Outlets | Simon The Collaborative, Inc. The Clayton Engineering  
**Developer:** Woodmont Outlets **Architect:** \_\_\_\_\_ **Engineer:** Company, Inc.

### PROJECT STATISTICS:

**Size of site (in acres):** 50.72 acres **Total Square Footage:** 390,098 gsf **Building Height:** 22'-65' varies  
Premium Outlet Center

**Proposed Usage:** \_\_\_\_\_

**Exterior Building Materials:** Brick and stone veneer, EIFS, smooth face architectural metal, exposed steel, painted concrete wall panels w/ textured finish, open metal trellises, glass and alum. storefront.  
Primarily flat membrane roofing.

**Roof Material & Design:** \_\_\_\_\_

**Screening Material & Design:** Service Court screen walls will be 8' in height, brick, stone and concrete with textured paint. RTU's will be screened by parapet walls.

**Description of art or architecturally significant features (if any):** \_\_\_\_\_

A series of multi-tenant buildings clustered together to create an outdoor, pedestrian-oriented, premium retail experience.

### ADDITIONAL PROJECT INFORMATION:

#### Checklist: Items to be provided in an 11" x 17" format

- Color Site Plan with contours, site location map, and identification of adjacent uses.**
- Color elevations for all building faces.**
- Color rendering or model reflecting proposed topography.**
- Photos reflecting all views of adjacent uses and sites.**
- Details of screening, retaining walls, etc.**
- Section plans highlighting any building off-sets, etc. (as applicable)**
- Architect's Statement of Design which clearly identifies how each section in the Standards has been addressed and the intent of the project.**
- Landscape Plan.**
- Lighting cut sheets for any proposed building lighting fixtures. (as applicable)**
- Large exterior material samples. (to be brought to the ARB meeting)**
- Any other exhibits which would aid understanding of the design proposal. (as applicable)**
- Pdf files of each document required.**

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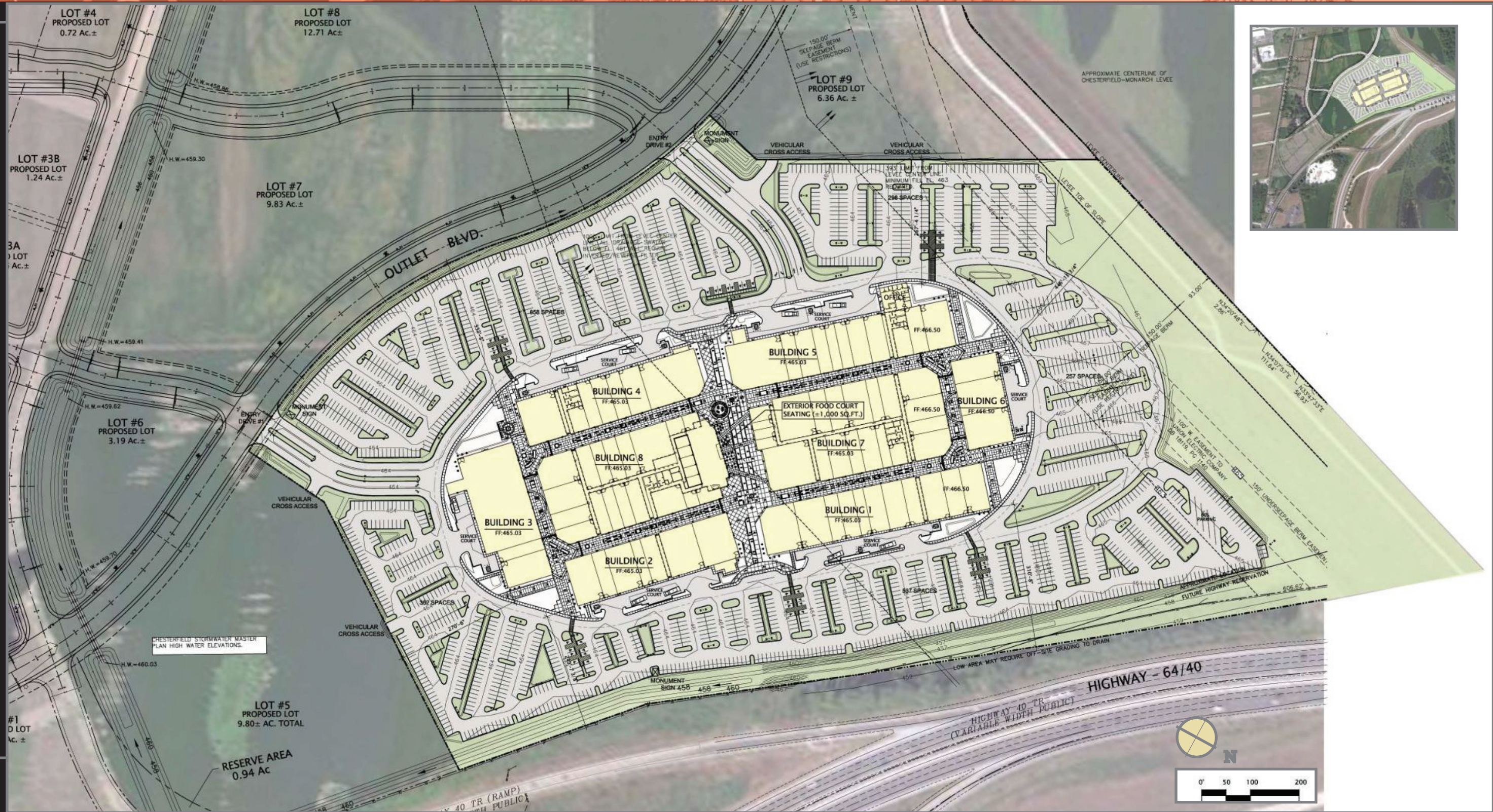
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# COLOR SITE PLAN



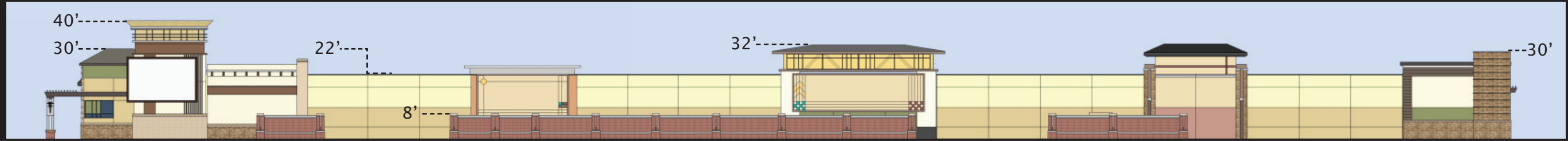
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# BUILDING 1 COLOR ELEVATIONS



EAST ELEVATION



WEST ELEVATION

▪ MATERIALS ▪

- brick and stone veneer
- exterior insulation plaster system (EIFS)
- smooth face architectural metal
- exposed steel structure
- painted concrete wall panels with sand texture finish
- open metal trellises
- glass in aluminum storefronts and curtain walls
- canvas and metal awnings and cornices



SOUTH ELEVATION

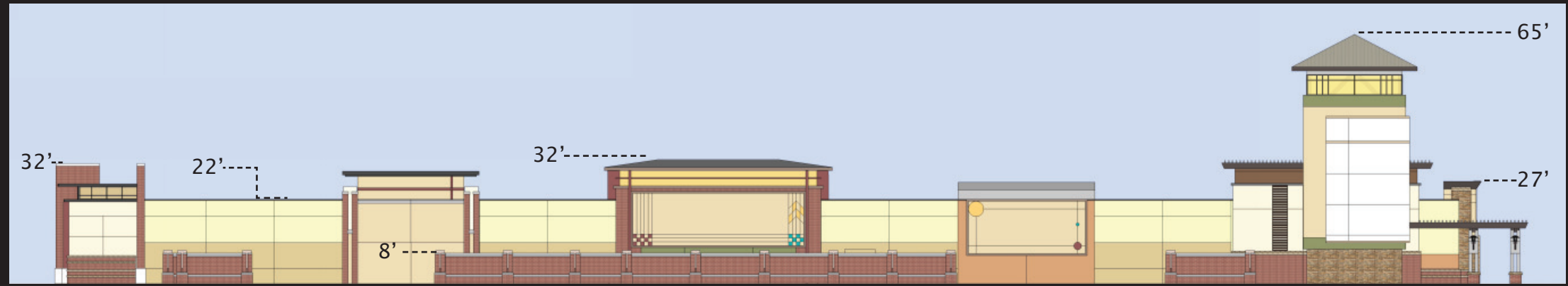


NORTH ELEVATION

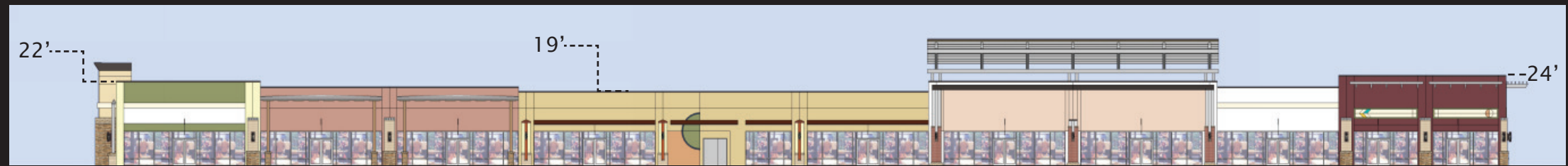
# BUILDING 2 COLOR ELEVATIONS

## MATERIALS

- brick and stone veneer
- exterior insulation plaster system (EIFS)
- smooth face architectural metal
- exposed steel structure
- painted concrete wall panels with sand texture finish
- open metal trellises
- glass in aluminum storefronts and curtain walls
- canvas and metal awnings and cornices



EAST ELEVATION



WEST ELEVATION

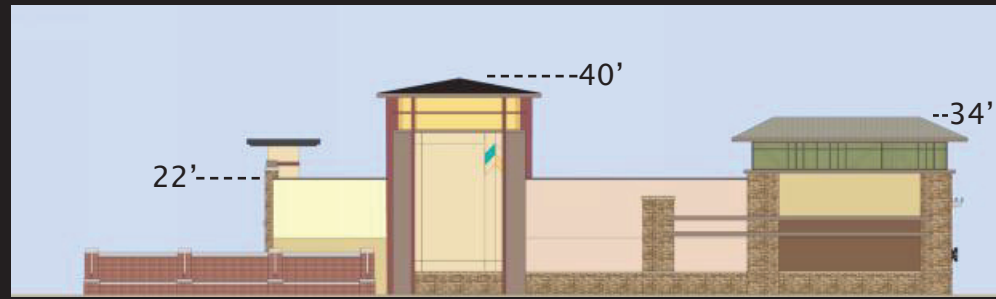


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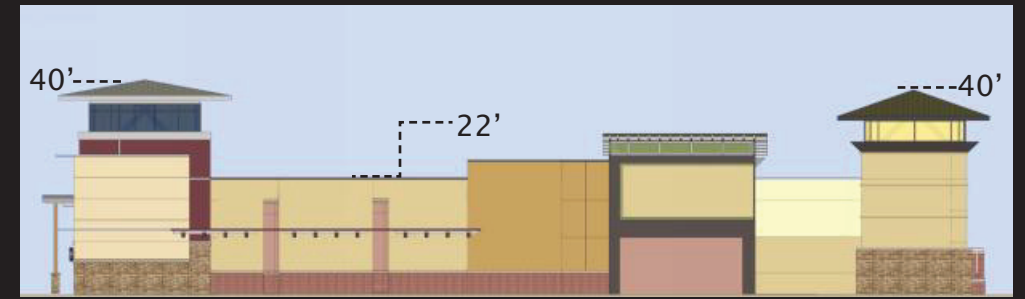


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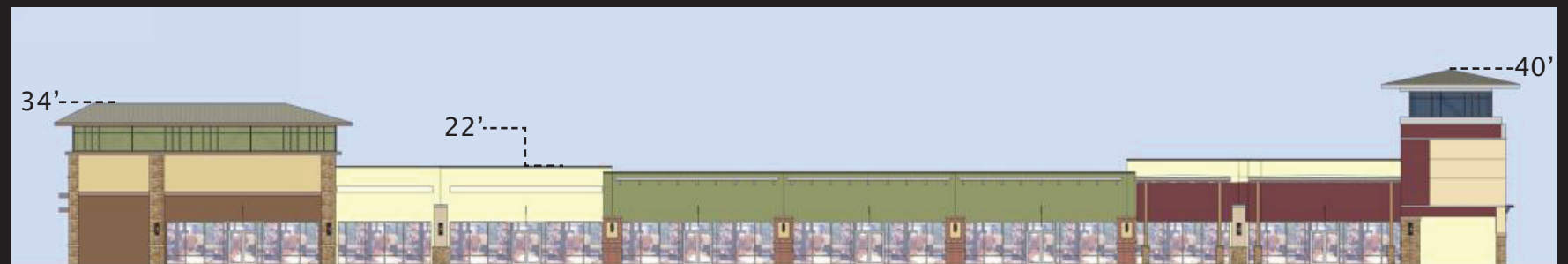
# BUILDING 3 COLOR ELEVATIONS



EAST ELEVATION



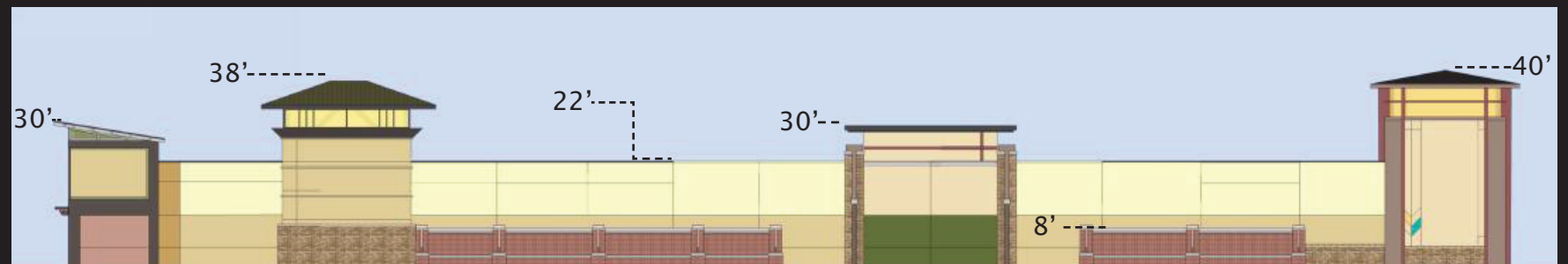
WEST ELEVATION



NORTH ELEVATION

## ▪ MATERIALS ▪

- brick and stone veneer
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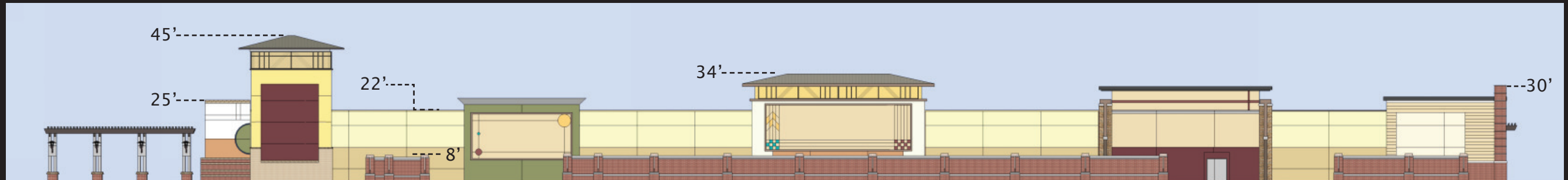


SOUTH ELEVATION

# BUILDING 4 COLOR ELEVATIONS

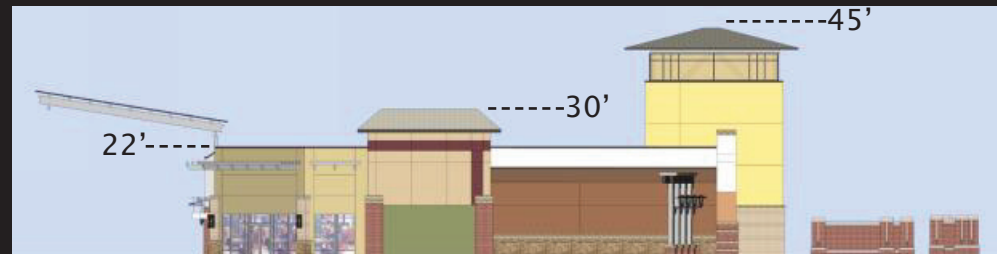


EAST ELEVATION



WEST ELEVATION

- MATERIALS ▪
- brick and stone veneer
  - exterior insulation plaster system (EIFS)
  - smooth face architectural metal
  - exposed steel structure
  - painted concrete wall panels with sand texture finish
  - open metal trellises
  - glass in aluminum storefronts and curtain walls
  - canvas and metal awnings and cornices



NORTH ELEVATION



SOUTH ELEVATION

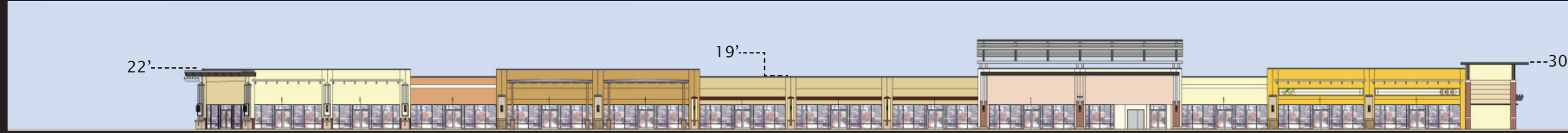
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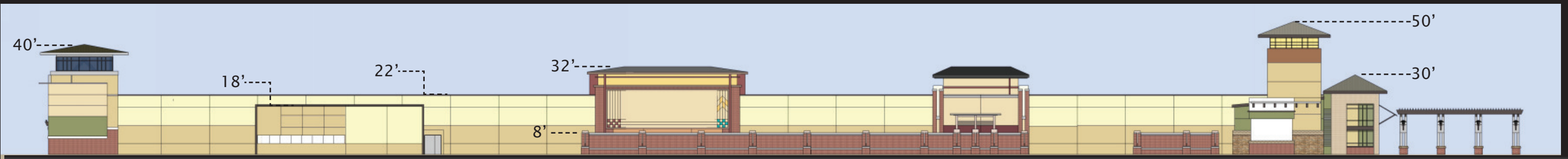
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# BUILDING 5 COLOR ELEVATIONS



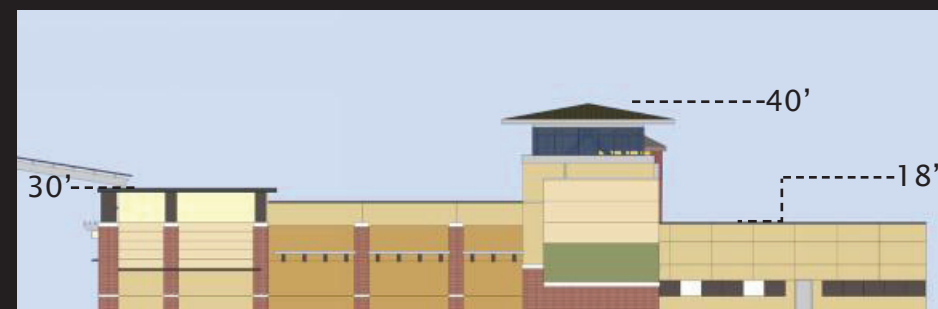
EAST ELEVATION



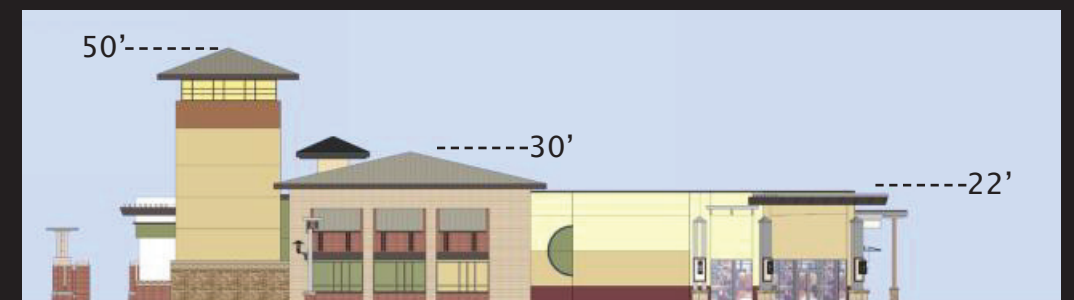
WEST ELEVATION

▪ MATERIALS ▪

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NORTH ELEVATION



SOUTH ELEVATION

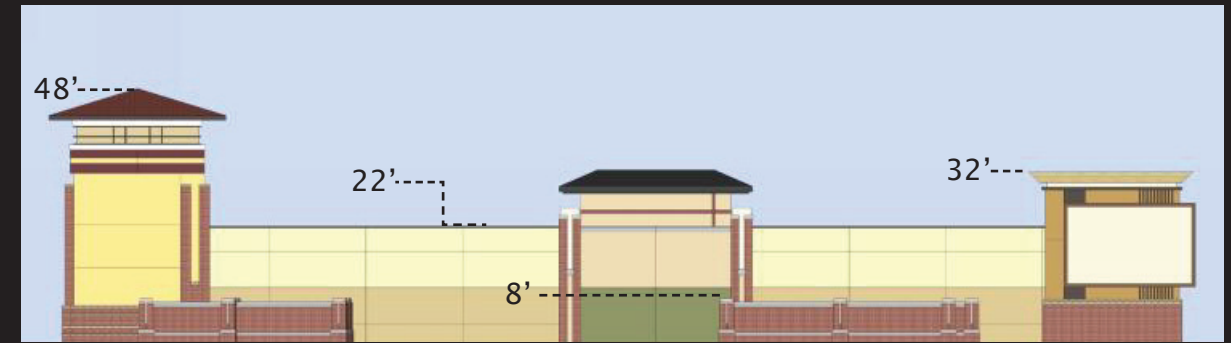
# BUILDING 6 COLOR ELEVATIONS



EAST ELEVATION



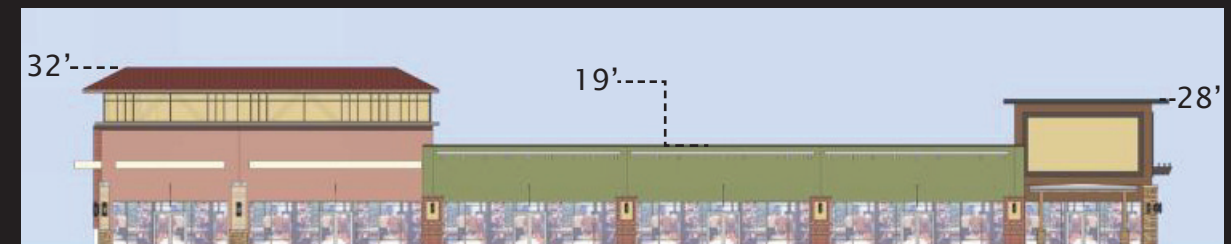
WEST ELEVATION



NORTH ELEVATION

## ▪ MATERIALS ▪

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