



II.A.

690 Chesterfield Pkwy W • Chesterfield MO 63017-0760
Phone: 636-537-4000 • Fax 636-537-4798 • www.chesterfield.mo.us

Architectural Review Board Staff Report

Project Type: Site Development Section Plan

Meeting Date: March 8, 2012

From: Mara Perry, AICP
Senior Planner

Location: Chesterfield Commons Seven, Lot 2

Applicant: TR,i and Wolverton & Associates

Description: **Chesterfield Commons Seven, Lot 2 (Valvoline)**: A Site Development Section Plan, Landscape Plan, Architectural Elevations, and Architect's Statement of Design for a 0.977 acre tract of land zoned "PC" Planned Commercial District located on the north side of Chesterfield Airport Road, one-half mile west of the corner of Chesterfield Airport Road and Boone's Crossing.

PROPOSAL SUMMARY

The request is for a 2,477 square foot retail building located on Lot 2 of the Chesterfield Commons Seven subdivision. The subject site is zoned "PC" Planned Commercial District and is governed under the terms and conditions of City of Chesterfield Ordinance Number 2501. The exterior building materials will be comprised of brick, Arriscraft stone, EIFS and glass. The roof is proposed to be a sloped roof membrane system to the rear of the building with parapet walls.

HISTORY OF SUBJECT SITE

The site was zoned "NU" Non-Urban District by St. Louis County prior to the incorporation of the City of Chesterfield. The zoning was changed from "NU" Non-Urban District to "PC" Planned Commercial District by City of Chesterfield Ordinance 2501 on November 17, 2008.

On June 28, 2010, the Planning Commission approved a one-year time extension for the submittal of the Site Development Concept Plan as required by the site specific ordinance. A Site Development Concept Plan for the three proposed lots was approved by the Planning Commission in December of 2010



STAFF ANALYSIS

General Requirements for Site Design:

A. Site Relationships

Addressed As Written Addressed with Modification Not Applicable

The subject site is the first lot to be built in the development. The primary roadway into the development is being constructed to align with the adjacent development to the east. Pedestrian connections are being made to the adjacent development and within the site.

B. Circulation System and Access

Addressed As Written Addressed with Modification Not Applicable

The circulation system into the site has been addressed through the approval of the Site Development Concept Plan. An entrance off the internal street is being provided and no vehicular connection is allowed from Chesterfield Airport Road. Cross access to the adjacent lot, that is yet to be developed, is being provided for ease of circulation within the development. Over half of the required parking is being provided along the side of the building. A connection will be provided through the parking lot to connect to the sidewalk along Chesterfield Airport Road.

C. Topography

Addressed As Written Addressed with Modification Not Applicable

The subject site is flat and the overall relationship of the project to the site has been addressed through previously approved plans.

D. Landscape Design and Screening

Addressed As Written Addressed with Modification Not Applicable

The materials of the trash enclosure match the proposed building materials. Additional landscape screening is being provided around the enclosure. Along the parking area facing Chesterfield Airport Road, a row of bushes will provide additional screening from the fronts of the parked cars.

E. Signage

Addressed As Written Addressed with Modification Not Applicable

Signage is not submitted for approval at this time. Signage will be reviewed against the Sign Package for the site and will be approved by Staff.

F. Lighting

Addressed As Written Addressed with Modification Not Applicable

No decorative or architectural light fixtures are being proposed. Only utilitarian wall mounted lighting fixtures on the north and east elevations are proposed for pedestrian and entry areas.

Use Type: Auto Service and Fuel Stations

Access: addressed above in the Requirements for Building Design

Exterior Elements: design is compatible with surrounding developments.

Landscaping and Screening: site is developed with landscaped islands and screening to break up the pavement area.

Scale: addressed above in the Requirements for Building Design

Site Design: not applicable.

DEPARTMENTAL INPUT

Staff has reviewed the Site Development Section Plan, Landscape Plan, Lighting Plan and Architectural Elevations and has found the application to be in conformance with City of Chesterfield Ordinance 2501, and all other applicable Zoning Ordinance requirements. Staff requests action on the Site Development Section Plan for Chesterfield Commons Seven, Lot 2.

MOTION

The following options are provided to the Architectural Review Board for consideration relative to this application:

- 1) "I move to forward the Site Development Section Plan, Landscape Plan and Architectural Elevations for Chesterfield Commons Seven, Lot 2 (Valvoline), as presented, with a recommendation for approval (or denial) to the Planning Commission."
- 2) "I move to forward the Site Development Section Plan, Landscape Plan and Architectural Elevations for Chesterfield Commons Seven, Lot 2 (Valvoline), to the Planning Commission with the following recommendations..."

Attachments

1. Architectural Review Packet Submittal



ARCHITECTURAL REVIEW BOARD
Project Statistics and Checklist

Date of First Comment Letter Received from the City of Chesterfield 02-22-12

Project Title: Valvoline Instant Oil Change **Location:** Outlot 2 - Chesterfield Seven Development

Developer: Valvoline Instant Oil Change **Architect:** The Roberts Group **Engineer:** Wolverton & Associates

PROJECT STATISTICS:

Size of site (in acres): 0.977 **Total Square Footage:** 2,477 **Building Height:** 20'-0"

Proposed Usage: Service Retail - Instant oil change facility

Exterior Building Materials: Brick, Arriscraft stone, E.I.F.S., and Glass

Roof Material & Design: Sloped roof membrane system to rear of building with parapet walls.

Screening Material & Design: Parapet Walls

Description of art or architecturally significant features (if any): See Architectural write-up attached

ADDITIONAL PROJECT INFORMATION:

Checklist: Items to be provided in an 11" x 17" format

- Color Site Plan with contours, site location map, and identification of adjacent uses.**
- Color elevations for all building faces.**
- Color rendering or model reflecting proposed topography.**
- Photos reflecting all views of adjacent uses and sites.**
- Details of screening, retaining walls, etc.**
- Section plans highlighting any building off-sets, etc. (as applicable)**
- Architect's Statement of Design which clearly identifies how each section in the Standards has been addressed and the intent of the project.**
- Landscape Plan.**
- Lighting cut sheets for any proposed building lighting fixtures. (as applicable)**
- Large exterior material samples. (to be brought to the ARB meeting)**
- Any other exhibits which would aid understanding of the design proposal. (as applicable)**
- Pdf files of each document required.**

February 21, 2012

**Re: Chesterfield Seven Development – Valvoline
Chesterfield, Missouri**

ARCHITECTS STATEMENT

The following items identify how the City of Chesterfield Architectural Review Board guidelines are being addressed for the above mentioned project:

INTRODUCTION

The Chesterfield Commons development has provided the City of Chesterfield with quality business and commercial development in the Chesterfield Valley. THF Realty and Valvoline Instant Oil Change brings you a new addition to the Chesterfield Commons development. Valvoline will be located on Lot 2 of Chesterfield Seven Development which is located at the Northwest corner of the intersection of Chesterfield Airport Road and Public Works Drive. The building will imitate the architectural style and scale of the surrounding Chesterfield Commons development.

The new Valvoline building will provide approximately 2,500 S.F. of new Service Retail space. Vehicular movement to and through the site to parking and building entries is convenient, expedited by the inner development drive, Arnage Road with cross access to Outlot 1.

GENERAL REQUIREMENTS FOR SITE DESIGN

A. Site Relationships

The site consists of 0.977 acres and is a flat parcel of land with multiple existing metal barn structures. The existing barn structures will be demolished and finish grading will be required to prepare the building pad, but there will not be a significant change in the pad elevation. No retaining walls will be required to tie grades to adjacent properties. The building's general orientation is intended to make its frontage and entries plainly visible to the surrounding access roadways while using landscaping to screen its trash enclosures from the neighboring roadways. Sidewalks are included to establish safe, recognizable and convenient pedestrian access to the building's entry doors.

B. Circulation System & Access

Vehicular and pedestrian patterns are simple and direct. Vehicular access is provided via the interior development drive Arnage Road and cross access with Outlot 1 to the East. The building is centrally located in the parking lot and the parking field is kept as close as possible to the entry elements. This eliminates the need for pedestrians' path of travel to cross multiple vehicular drive aisles to access the building. Walkways are provided to separate pedestrians from vehicular movements whenever possible. The radii on the proposed pavement areas are such that emergency, delivery and waste hauling vehicles can easily access and circulate through the site. The development is not on the City Bikeway and we have not incorporated an internal bike circulation system. Bikes may be parked in non-handicap spaces at near the entrance to the building, which is highly visible.

C. Topography

1. Due to the flatness of the development it is not possible to incorporate berms or other forms of topography to screen each portion of the development. All surrounding areas are commercial and of similar use.
2. Minimal changes will be made to the existing topography of the site.
3. All grade changes will be soft, smooth, and pleasing to the eye. There will not be any abrupt changes in grade.

D. Retaining walls

1. There are not any retaining walls proposed for this project.

GENERAL REQUIREMENTS FOR BUILDING DESIGN

A. Scale

Building elements are highly compatible in scale and general color appearance with the neighboring buildings. The main objective is to create an attractive and clear expression of the building through the use of glass and canopy projections that will attract favorable attention to itself and the use of stone and brick to provide changes in wall texture and color in proportional amounts.

B. Design

1. The building incorporates a combination of masonry, stone, EIFS, and glass materials to create variety in the design's composition, while maintaining a strong architectural rhythm horizontally and vertically across the building's elevations.
2. Landscaping will be used in the foreground to break up the building façade to avoid linear repetitiveness.
3. The building utilizes some of the corporate trade dress colors coupled with the traditional Chesterfield Commons materials to provide some identity but logos and other franchise designs have been avoided.
4. All building elevations will be architecturally enhanced to clearly define the architectural unity of the constituent building and so that each elevation is presentable to public view. Masonry wainscoting, horizontal banding and texture changes are utilized to articulate the facades particularly at street level.
5. There are not any sculptures or other art elements currently proposed.
6. This building is responsive to energy conservation by the use of well insulating materials throughout.
7. The use of concrete and masonry which are recyclable materials are used as environmentally conscious building techniques and materials.
8. Entry recesses and an EIFS entry tower are used to cover and articulate the building entry.
9. There are not any plans for temporary barrier walls.
10. The HVAC units will be located within the space with only exhaust vent stacks on the roof.

C. Materials and Colors

The design, general scale, and orientation of the buildings are intended to reinforce and create a cohesive visual relationship between the neighboring Chesterfield Commons development and this proposed development. The building incorporates a combination of masonry, stone, and glass materials to create variety in the design's composition, while maintaining a strong architectural rhythm horizontally and vertically across the building's elevations.

D. Landscape Design and Screening

The Landscape design has been prepared by Landscape Technologies to tie into the overall development landscaping. A mixture of deciduous and evergreen trees and shrubs has been used to provide color and interest all year round. All landscape beds are protected from motor vehicles by raised concrete curbs. Trash enclosures are screened by landscaping and is located at the least visible corner of the building.

E. Signage

1. It is understood that signage will require a separate review. The building sign location has been integrated into the building design.

F. Lighting

It is understood that the site lighting is not reviewed as part of the ARB process, however the lighting proposed complies with the City of Chesterfield requirements. There is minimal spill over onto adjacent right-of-ways and all exterior fixtures have fully cut-off lenses.

SPECIFIC REQUIREMENTS FOR THE CHESTERFIELD VALLEY

The materials and architectural treatments are utilized on all sides of the building. The building faces away from Highway 40 and the main parking field is located on the south and east side of the building away from the Highway 40 Right-of-way with Outlot 3 being between this lot and Highway 40. Trash and storage will be in the rear of the building and will be screened with masonry screen walls to match the building. All new utilities will be installed underground.

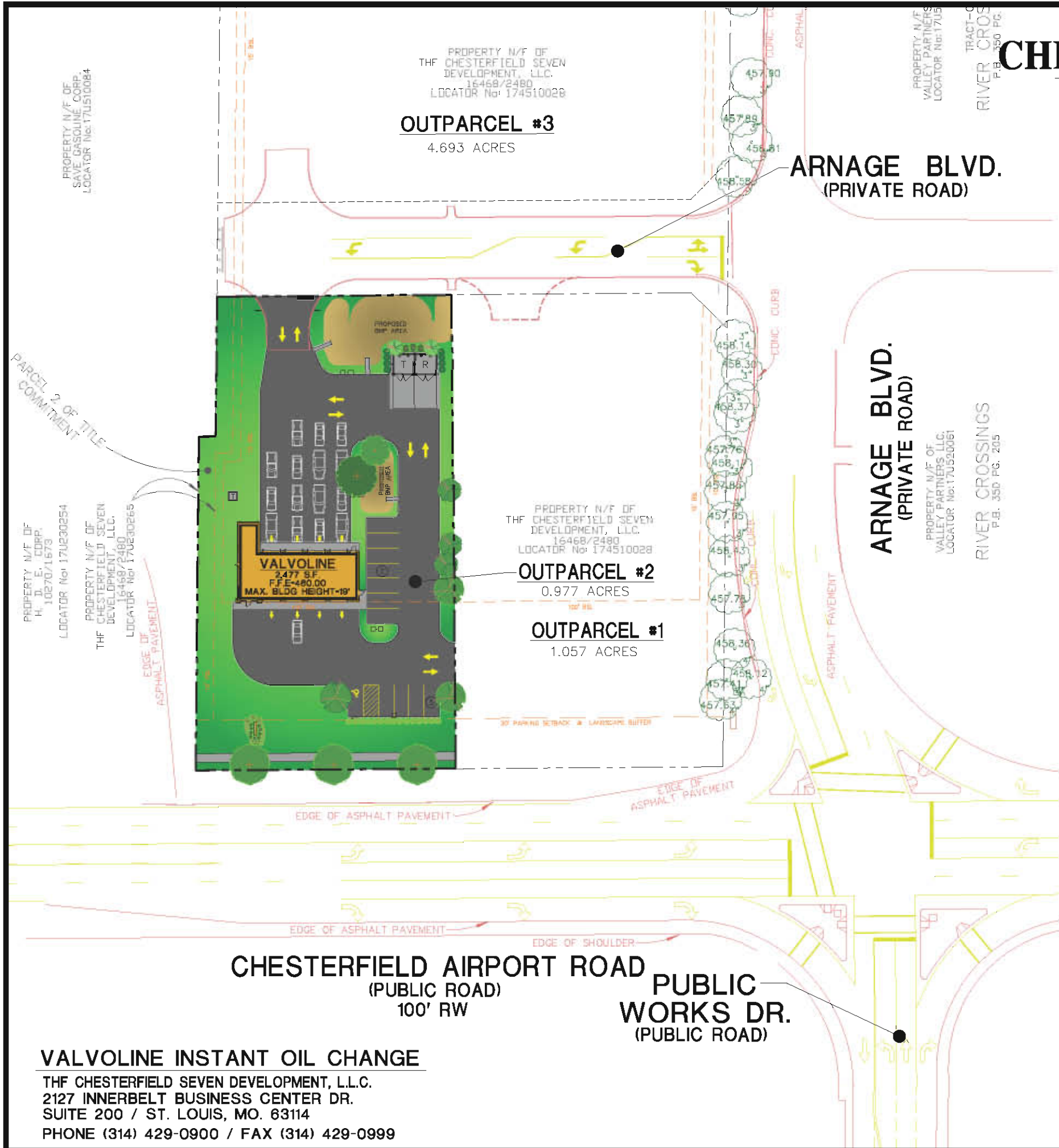
CONCLUSION

In conclusion, we feel that this site and building design results in a wonderful addition to the development of Chesterfield Valley and is an exciting addition to the commercial environment in the City of Chesterfield.

Respectfully Submitted by:
TR,i Architects

CHESTERFIELD SEVEN DEVELOPMENT

CHESTERFIELD, MISSOURI

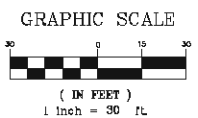


SITE ANALYSIS	
VALVOLINE	2,477 ± SQ. FT.
PARKING PROPOSED	12 SPACES
PARKING REQUIRED	12 SPACES
ACCESSIBLE SPACES PROVIDED= 1 SPACE	
RATIO PROPOSED	4.84 SP/1,000 S.F.
RATIO REQUIRED	4.50 SP/1,000 S.F.
SITE AREA	0.977 ± ACRES
(SITE AREA EXCLUDES OUTPARCELS 1 & 3)	
REQ'D OPEN SPACE	30%=0.29 ± ACRES
PROPOSED OPEN SPACE	45%=0.46 ± ACRES

VALVOLINE INSTANT OIL CHANGE

THE CHESTERFIELD SEVEN DEVELOPMENT, L.L.C.
 2127 INNERBELT BUSINESS CENTER DR.
 SUITE 200 / ST. LOUIS, MO. 63114
 PHONE (314) 429-0900 / FAX (314) 429-0999

SITE DEVELOPMENT PLAN





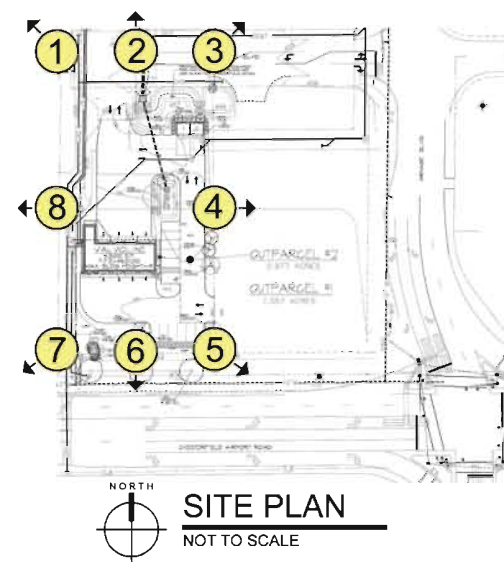
17457 Chesterfield Airport Rd. Chesterfield, MO

2/22/12

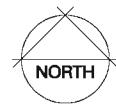


17457 Chesterfield Airport Rd. Chesterfield, MO

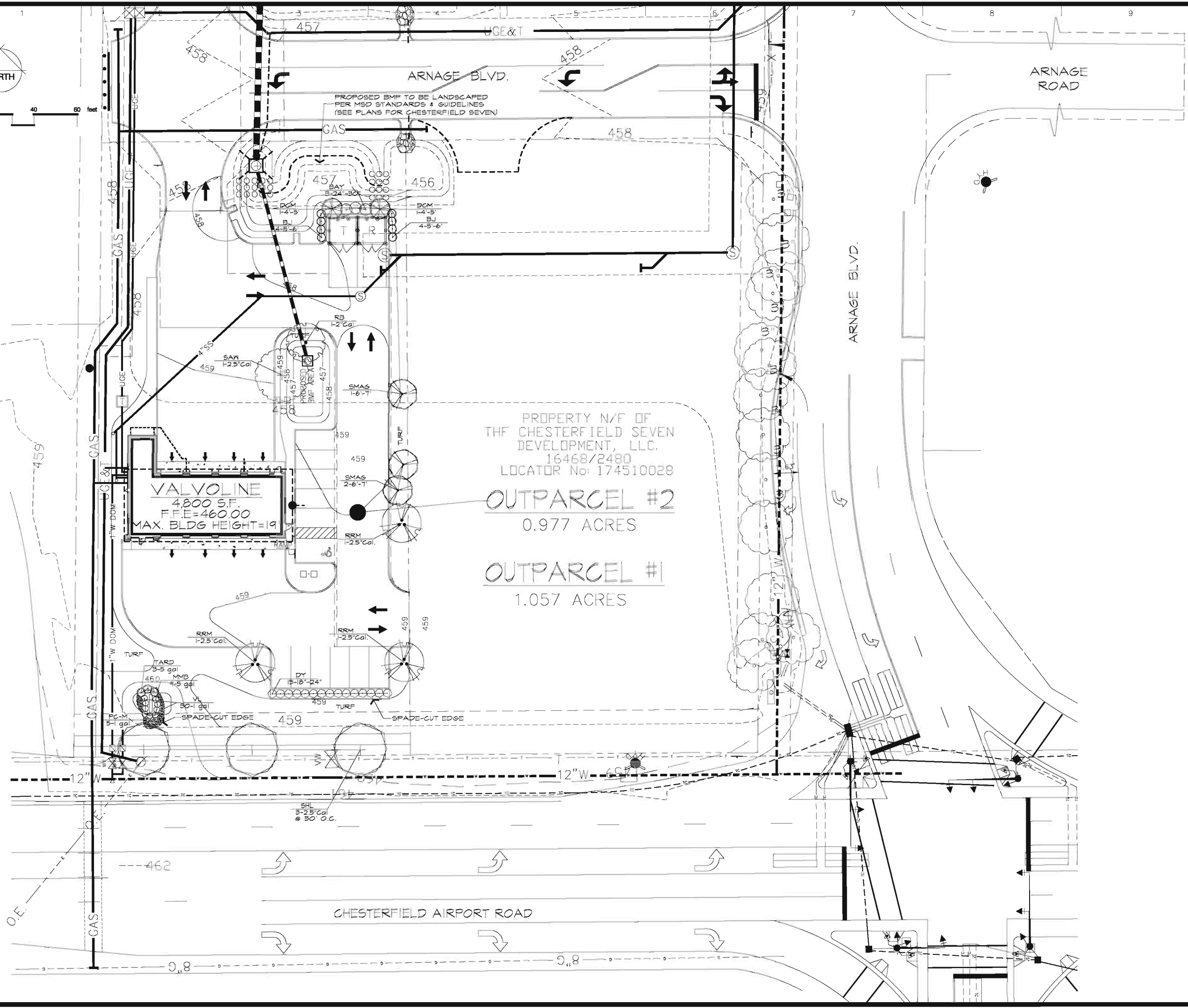
2/22/12



VALVOLINE INSTANT OIL CHANGE
at CHESTERFIELD COMMONS



SCALE: 1" = 20'



PROPERTY N/F OF
THE CHESTERFIELD SEVEN
DEVELOPMENT, LLC.
16468/2480
LOCATOR No: 174510028
OUTPARCEL #2
0.977 ACRES
OUTPARCEL #1
1.057 ACRES

VALVOLINE
4,800 S.F.
F.F.E=460.00
MAX. BLDG HEIGHT=19'

REVISIONS	BY

landscape TECHNOLOGIES
 47 Jackie Creek Drive
 St. Charles, Missouri 63304
 MO Landscape Architectural Corporation #2006008182
 (636) 928-2900
 Fax: (636) 928-4869

REGISTERED LANDSCAPE ARCHITECT
 MISSOURI
 NUMBER 017
 DATE: JANUARY 31, 2012

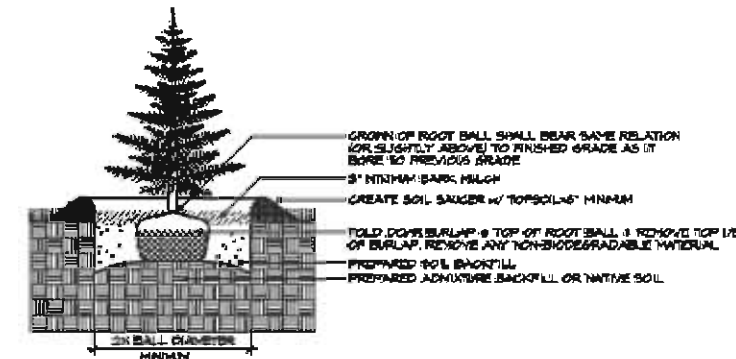
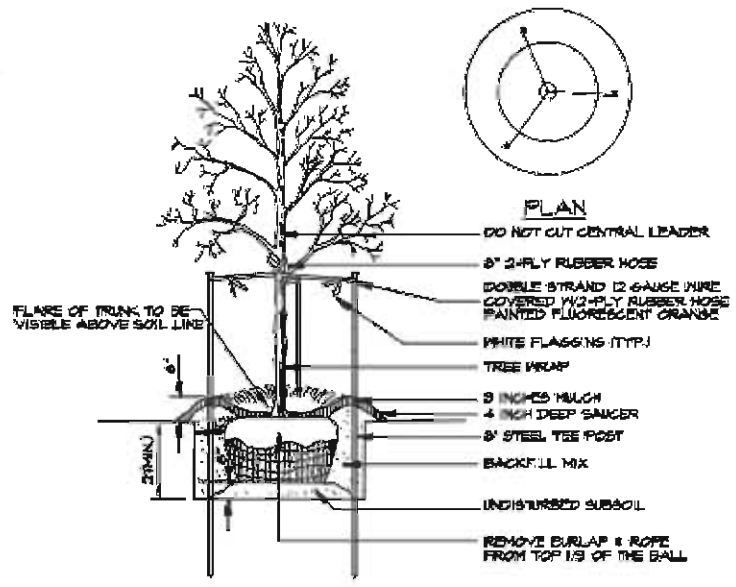
PLANTING PLAN FOR THE PROPOSED
Valvoline
 CHESTERFIELD, MISSOURI

DRAWN BY: MANDIS
 CHECKED BY: RMM
 DATE: JANUARY 31, 2012
 SCALE: 1"=20'-0"
 JOB NO: 2012-108
 SHEET: 1-1

OF TWO SHEETS

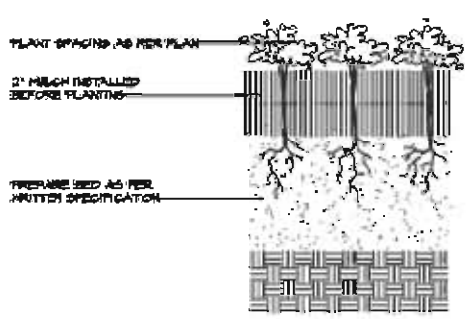
NOTES:

- 1.) All natural vegetation shall be maintained where it does not interfere with construction or the permanent plan of operation. Every effort possible shall be made to protect existing structures or vegetation from damage due to equipment usage. Contractor shall at all times protect all materials and work against injury to public.
- 2.) The landscape contractor shall be responsible for any coordination with other site related work being performed by other contractors. Refer to architectural drawings for further coordination of work to be done. Coordinate locations of trees with the location of proposed light standards, fire hydrants and utilities.
- 3.) Underground facilities, structures and utilities must be considered approximate only. There may be others not presently known or shown. It shall be the landscape contractor's responsibility to determine or verify the existence of and exact location of the above (Call 1-800-DIG-RITE).
- 4.) Plant material are to be planted in the same relationship to grade as was grown in nursery conditions.
- 5.) All mulch to be shredded oak bark mulch at 3" depth (after compaction) unless otherwise noted. Mulch shall be clean and free of all foreign materials. Edge all beds with spade-cut edge unless otherwise noted.
- 6.) It shall be the landscape contractor's responsibility to:
 - A.) Verify all existing and proposed features shown on the drawings prior to commencement of work.
 - B.) Report all discrepancies found with regard to existing conditions or proposed design to the landscape architect immediately for a decision.
 - C.) Stake the locations of all proposed plant material and obtain the approval of the owner's representative or landscape architect prior to installation.
- 7.) The landscape contractor is to receive the site graded to within 1/10 of a foot. Landscape contractor to obtain letter of grade certification from the general contractor prior commencement of work.
- 8.) All planting beds shall be cultivated to 6" depth minimum and graded smooth immediately before planting of plants. Plant groundcover to within 12" of trunk of trees or shrubs planted within the area.
- 9.) All plant material (except using ground cover, perennials and annuals) are to be warranted for a period of 12 months after installation at 100% of the installed price.
- 10.) All disturbed lawn areas to be seeded with a mixture of Turf-Type fescue (300# per acre) and bluegrass (15# per acre). Landscape contractor shall offer an alternate price for seed in lieu of seed. Lawn areas shall be unconditionally warranted for a period of 90 days from date of final acceptance. Bare areas more than one square foot per any 30 square feet shall be replaced.
- 11.) Items shown on this drawing take precedence over the material list. It shall be the landscape contractor's responsibility to verify all quantities and conditions prior to implementation of this plan. No substitutions of types or size of plant materials will be accepted without written approval from landscape architect.
- 12.) Siltation controls may be required to prevent run-off. Straw bales placed end-to-end shall be used, anchored with no less than two 3/8" X 36" reinforcing rods. Bales shall remain until all graded areas are seeded or sodded.
- 13.) The minimum setback is 30'-0" from an existing or proposed right of way.
- 14.) One (1) tree is required for every fifty (50) lineal feet of street frontage.
- 15.) Landscape islands shall be placed at the ends of parking aisles as required by Ordinance #2512 of the City of Chesterfield Zoning Ordinance:
 - A.) There shall be a minimum landscape width of nine (9) feet and a minimum area of 100 square feet. Provide one (1) deciduous tree per island.
 - B.) At the end of double row parking, a minimum of 210 square feet shall be provided for with a minimum of two (2) deciduous trees per island.
 - C.) Islands shall have plantings consisting of groundcovers such as shrubs, ivy, flowers and grasses. Mulch or rock may be used instead of grass or in combination with grass.
- 16.) Consideration shall be given to the type of grass to be used due to need for drought tolerance in areas without in-ground irrigation systems. (Examples: Turf Type Tall Fescue blend less than five years old, and Crossline, a semi-dwarf variety, blended with 5-10% bluegrass and referred to as a Transition mix).
- 17.) A minimum of sixty percent (60%) of the deciduous trees must be of a species which matures at +35', evenly dispersed throughout the project.
- 18.) If the estimated materials cost of new landscaping indicated on the Site Development Plan, as required by the Planning Commission, exceeds one thousand (1,000) dollars, as determined by a plant nursery, the petitioner shall furnish a two (2) year bond or escrow sufficient in amount to guarantee the installation of said landscaping.
- 19.) Upon release of the landscape installation bond, a two (2) year Landscape Maintenance Bond shall be required.

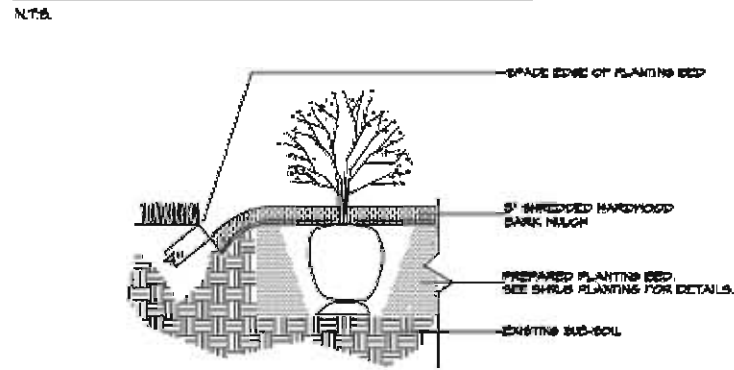


PLANT SCHEDULE:

TREES	Quantity	Common/Botanical	Size	Evergreen/Dec.	Rate of Growth
RRM	3	Red Rocket Maple / Acer rubrum 'Red Rocket'	2.5" Cal.	Deciduous	Fast
SAW	1	Sawtooth Oak / Quercus acutissima	2.5" Cal	Deciduous	Fast
SHL	3	'Skyline' Locust / Gleditsia triacanthos 'Skyline'	2.5" Cal	Deciduous	Medium
EVERGREEN TREES	Quantity	Common/Botanical	Size	Evergreen/Dec.	Rate of Growth
BJ	8	Burki Juniper / Juniperus virginiana 'Burkii'	5'-6'	Evergreen	Medium
FLOWERING TREES	Quantity	Common/Botanical	Size	Evergreen/Dec.	Rate of Growth
DCM	2	Dynamite Crape Myrtle / Lagerstroemia indica 'Whit II'	4'-5'	Deciduous	Medium
RB	1	Redbud / Cercis canadensis	2" Cal	Deciduous	Fast
SMAG	3	Saucer Magnolia / Magnolia X soulangiana	6'-7'	Deciduous	Slow
SHRUBS	Quantity	Common/Botanical	Size	Evergreen/Dec.	Rate of Growth
DY	15	Dense Yew / Taxus media 'Densiformis'	18"-24"	Evergreen	
MMB	9	Morris Midget Boxwood / Buxus microphylla japonica 'Morris Mic	5 gal	Evergreen	
BAY	3	Northern Bayberry / Myrica pensylvanica	24"-30"	Evergreen	
TARD	3	Tardiva Hydrangea / Hydrangea paniculata 'Tardiva'	5 gal	Deciduous	
ANNUALS/PERENNIALS	Quantity	Common/Botanical	Size	Evergreen/Dec.	Rate of Growth
PC-M	5	Purple Coneflower / Echinacea purpurea 'Magnus'	1 gal	Deciduous	
VL	30	Variegated Lily Turf / Liriope muscari 'Variegata'	1 gal	Deciduous	



PERENNIAL / ANNUAL PLANTING



REVISIONS	BY

landscape TECHNOLOGIES

Landscape Architect
Landscape Designer
Landscape Contractor

Landscape Architect License # 000000000
Landscape Designer License # 000000000
Landscape Contractor License # 000000000

Landscape Architect License # 000000000
Landscape Designer License # 000000000
Landscape Contractor License # 000000000

Landscape Architect License # 000000000
Landscape Designer License # 000000000
Landscape Contractor License # 000000000

PLANTING PLAN FOR THE PROPOSED

Valvoline

CHESTERFIELD, MISSOURI

DRAWN
CHECKED
DATE
SCALE
JOB NO.
DATE
BY

JANUARY 18, 2020
SCALE
JOB NO.
DATE
BY

L-2



VALVOLINE INSTANT OIL CHANGE
17457 CHESTERFIELD AIRPORT ROAD
CHESTERFIELD, MO 63005



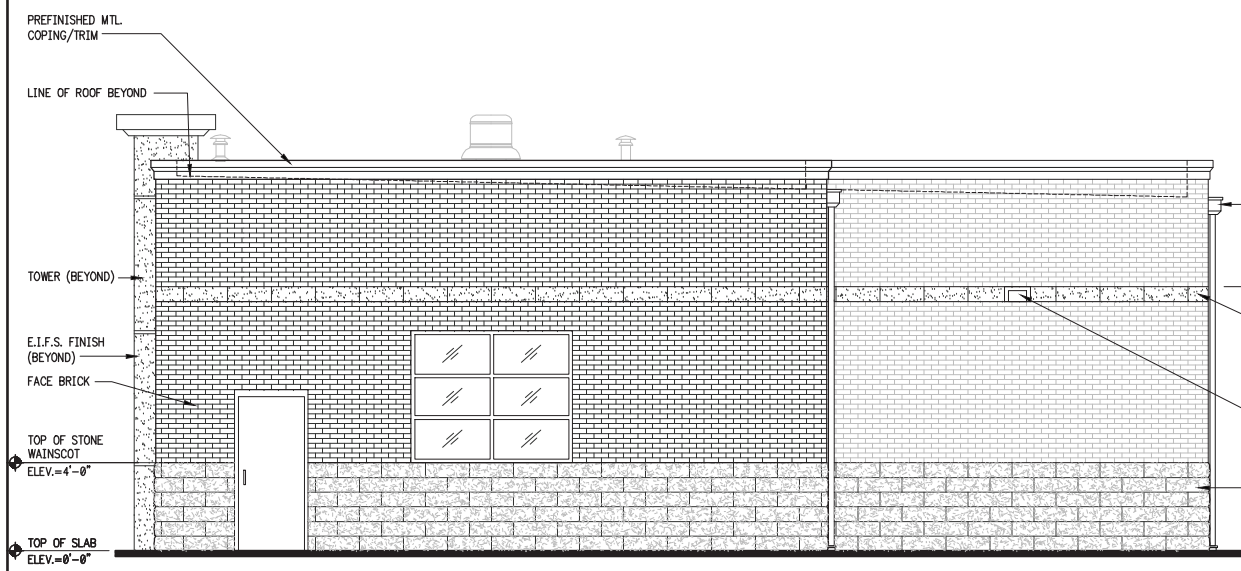
EXTERIOR ELEVATIONS

The Roberts Group P.C.
 Architects - Engineers - Landscape Architects
 2590 Southland Drive - Louisville, KY 40203
 859-276-2006 / 859-276-2901 Faxville

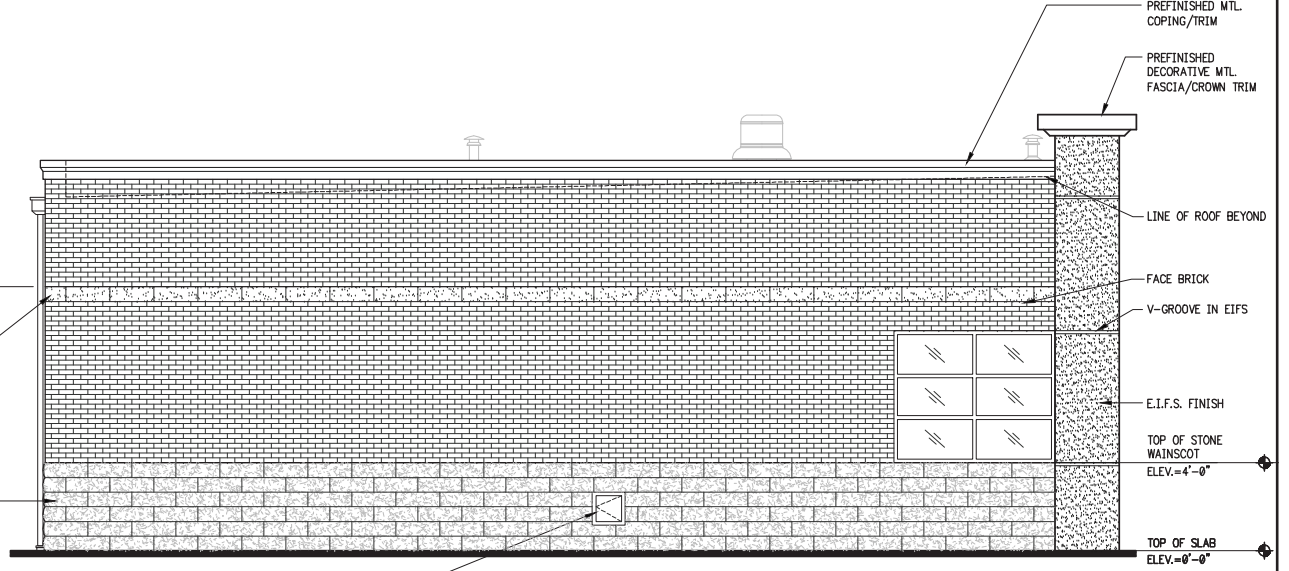
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REVISIONS
1/23/12 REMOVED SIGNAGE - PAR

SHEET
A-3

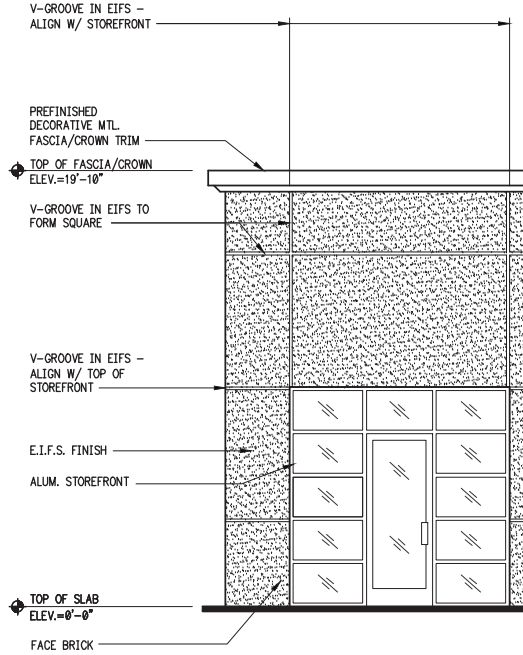


LEFT ELEVATION
 SCALE: 1/4" = 1'-0"

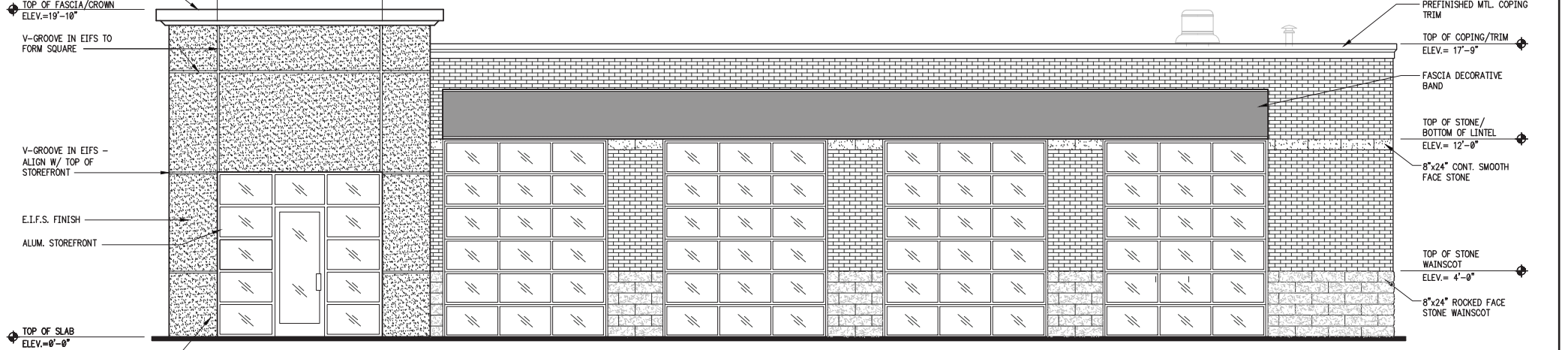


RIGHT ELEVATION
 SCALE: 1/4" = 1'-0"

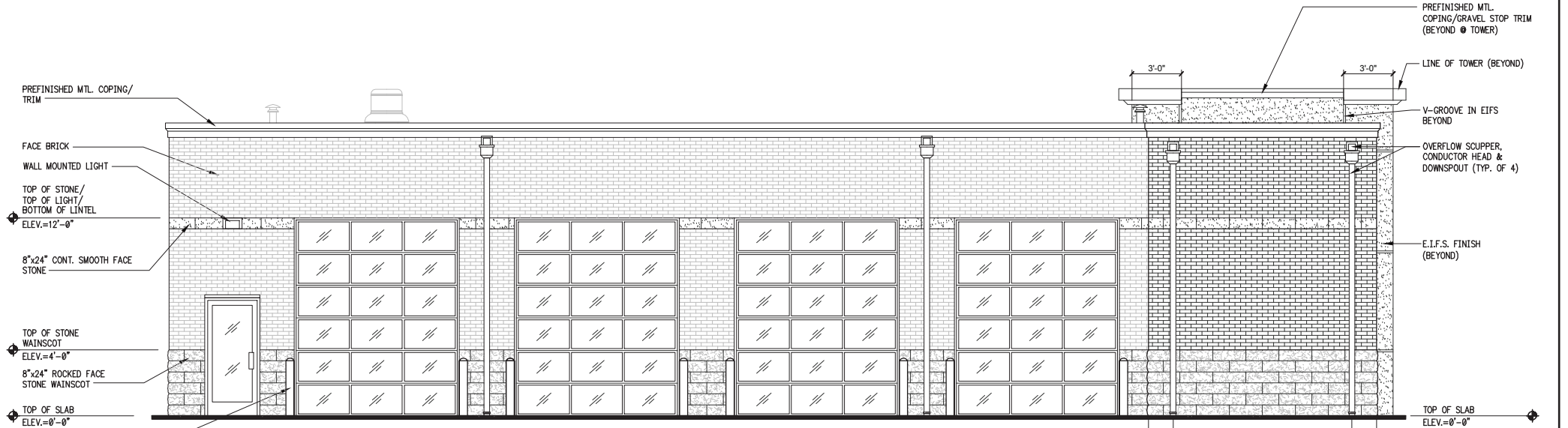
EXTERIOR FINISHES	
STONE WAINSCOT:	ARRISCRAFT - 8"x24" RENAISSANCE, ROCKED FACE - WHITE
STONE ACCENT COURSE:	ARRISCRAFT - 8"x24" RENAISSANCE, SMOOTH FACE - WHITE
STONE MORTAR:	NATURAL
BRICK:	ENDICOTT CLAY - MEDIUM IRONSPOT #46 (VELOUR MODULAR SIZE)
BRICK MORTAR:	SOLOMAN GRIND - #45A (TO MATCH ADJACENT CENTER)
MASONRY SEALER:	ALL BRICK/STONE SURFACES SHALL BE TREATED W/ SEALER. REFER TO SPECIFICATIONS.
E.I.F.S.:	DRYVIT - COLOR #454A STONE GRAY - SANDPEBBLE FINE FINISH
COPING & DECORATIVE TOWER FASCIA/CROWN:	FIRESTONE/UNI-CLAD 24 GAUGE PREFINISHED COIL STOCK "SILVER METALLIC"
CONDUCTOR HEAD & DOWNSPOUTS:	FIRESTONE/UNI-CLAD 24 GAUGE PREFINISHED COIL STOCK "SILVER METALLIC"
STOREFRONT SYSTEM:	2x4 1/2" KAWNEER TRIFAB VG 451T SERIES CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM W/ 1" INSULATED GLAZING.
DUMPSTER WALLS:	MATCH BUILDING
H.M. DOORS & FRAMES:	FIELD PAINT w/SHERWIN-WILLIAMS B66-310 PRO-CYRL PRIMER FOLLOWED BY (2) FINISH COATS OF B66-300 SHER-CYRL HPA. COLOR SHALL BE SHERWIN WILLIAMS - COMPUTER MATCH BRICK COLOR.
BOLLARDS/GUARD POSTS:	FIELD PAINT w/SHERWIN-WILLIAMS B66-310 PRO-CYRL PRIMER FOLLOWED BY (2) FINISH COATS OF B66-300 SHER-CYRL HPA. COLOR SHALL BE "VALVOLINE RED".
PARKING LOT STRIPING:	SHERWIN-WILLIAMS #TM226 SETFAST TM PAINT. COLOR SHALL BE "WHITE".
HANDICAP STALL STRIPING:	SHERWIN-WILLIAMS #TM2133 SETFAST TM PAINT. COLOR SHALL BE "ADA BLUE".



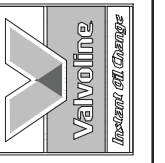
NOTE: ALL SIGNAGE SHALL BE APPLIED FOR & PERMITTED UNDER A SEPARATE SIGNAGE SUBMITTAL.
 G.C. SHALL PROVIDE BLOCKING IN STUD WALL BEHIND EACH SIGN AS REQUIRED BY SIGN VENDOR - FIELD VERIFY REQUIREMENTS W/ VENDOR & OWNER'S REPRESENTATIVE.



FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



REAR ELEVATION
 SCALE: 1/4" = 1'-0"



VALVOLINE INSTANT OIL CHANGE
 17457 CHESTERFIELD AIRPORT ROAD
 CHESTERFIELD, MO 63005

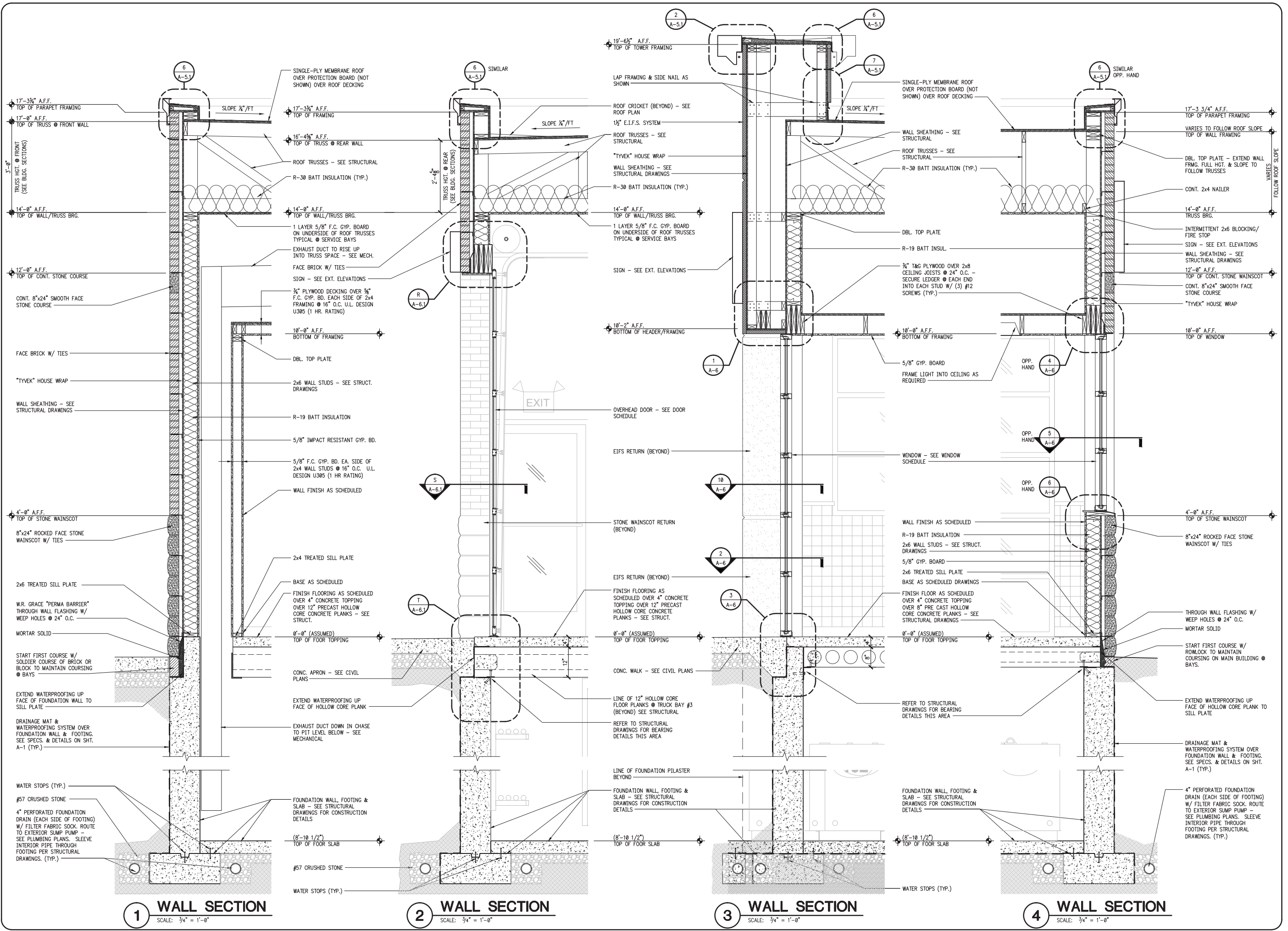
WALL SECTIONS
 The Roberts Group PSC
 Architects - Engineers - Landscape Architects
 3996 Southland Drive - Lexington, KY 40503
 605-276-2006 / 605-276-2001 Fax/Email

JOB NO.	12000
DATE	1-24-12
DRAWN	TRG
CHECKED	TRG

REVISIONS

SHEET

A-5



PREFINISHED MTL. COPING OVER
2 LAYERS OF 2x- BLOCKING
CUT-TO-FIT

TOP OF MASONRY

FACE BRICK

8"x24" ROCKED FACE STONE
WAINSCOT

#6 DOWELS @ EA. VERT.
REINFORCED CELL

#4'S @ 12" O.C.

1/2" ANCHOR BOLTS @ 2'-8" O.C.
& AT EA. END TO SECURE
BLOCKING

CONT. 8" BOND COURSE W/ (1)
#5 BAR - GROUT SOLID

8" CMU WALL W/ HORIZ. JOINT
REINF. AT 16" O.C. VERT. AND #6
BARS AT ENDS, CORNERS &
2'-0" D.C. BTWN. GROUT BLOCK
SOLID AT REINF. SEE PLAN FOR
LOCATIONS.

6" PIPE BOLLARD - SEE DTL.
5/A-10.

6" CONC. SLAB W/ 6x6
W2.9xW2.9 WNF ON COMPACTED
6" CRUSHED STONE

1/2" EXPANSION JOINT W/
URETHANE SEALANT

12" CMU - GROUT ALL CELLS
SOLID BELOW GRADE

CONC. FOOTING W/ 4-#5'S CONT.
TAB

2x2x3/16" STL. ANGLE FRAME

LINE OF COPING BEYOND

6" STEEL GATE POST - SEE DTL.
4/A-10.

HINGE SEE DETAIL 7/A-10

6" SCHEDULE 40 PIPE. SEE
DTL 5/A-10 FOR SIMILAR
CONSTRUCTION

GATE SEE DTL 4/A-10

3/16"x2" HORIZONTAL RAIL -
INSTALL FLUSH W/ LEG OF STEEL
ANGLE FRAME

2x2x3/16" STL. ANGLE "X"
BRACES WELDED TO FRAME

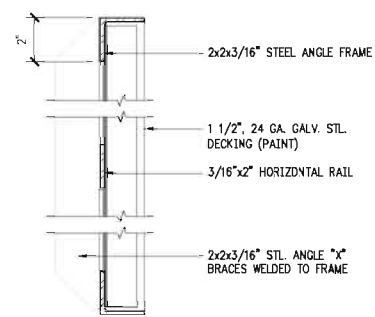
HINGE SEE DETAIL 7/A-10

DOMED TOP OF CONC. FOOTING (1")
TOP OF PAVEMENT

18" CONC. FOOTING. SEE DTL.
5/A-10.

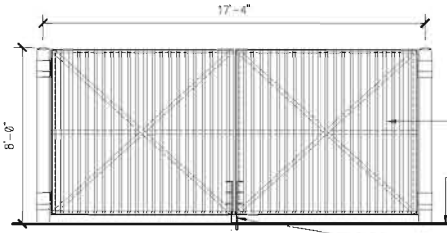
6" CONC. FILLED SCHEDULE 40
PIPE

HINGE SLEEVE

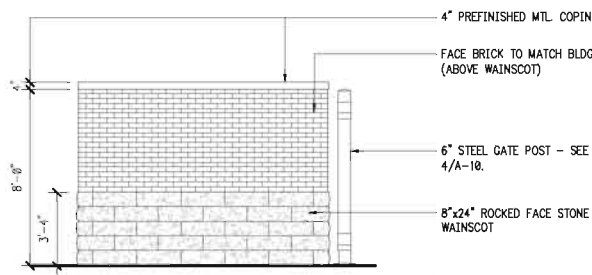


6 GATE SECTION
SCALE: 3" = 1'-0"

1 SECTION @ TRASH ENCLOSURE
SCALE: 3/4" = 1'-0"

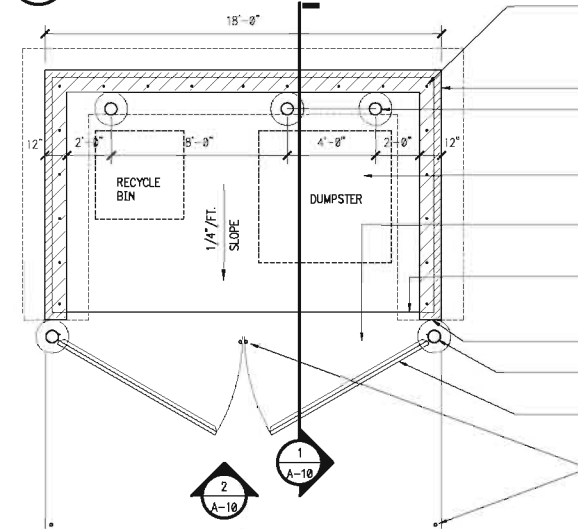


FRONT ELEVATION



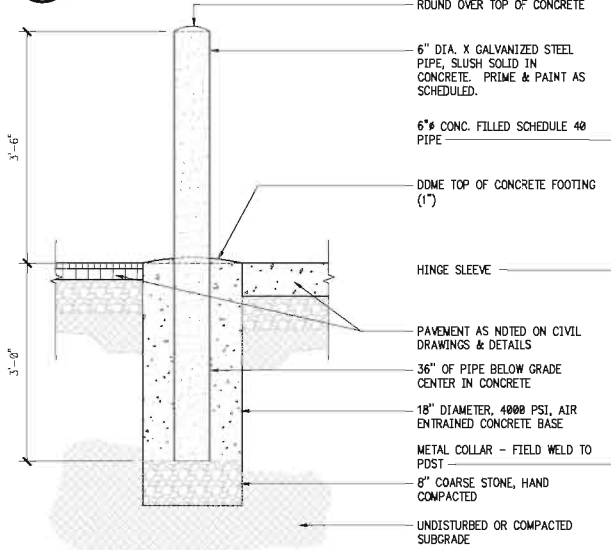
TYP. SIDE ELEVATION

2 TRASH ENCLOSURE ELEVATIONS
SCALE: 1/4" = 1'-0"

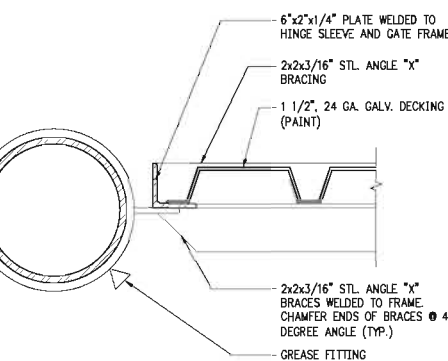
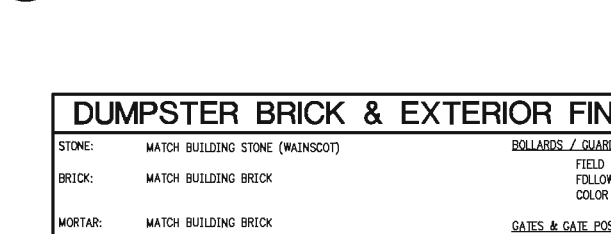


3 TRASH ENCLOSURE PLAN
SCALE: 1/4" = 1'-0"

4 TRASH ENCLOSURE GATE DETAIL
SCALE: 3/4" = 1'-0"



5 BOLLARD DETAIL
SCALE: 3/4" = 1'-0"



7 HINGE DETAIL
SCALE: 3" = 1'-0"

NOTE:
GATES SHALL BE EQUIPPED WITH DROP (CANE) BOLTS, HEAVY DUTY
HINGES AND LATCHES (WITH PADLOCK) DRILL HOLES 2" DEEP IN CONC.
/ PAVING TO ALLOW DROP BOLTS TO HOLD GATES IN CLOSED POSITION
AND AT AN OPEN POSITION OF 90°. POSITION VERTICAL HOLD TO KEEP
CANE BOLTS FROM DRAGGING CONC.

DUMPSTER BRICK & EXTERIOR FINISH NOTES REFER ALSO TO "EXTERIOR
FINISHES", SHEET A-3.

STONE:	MATCH BUILDING STONE (WAINSCOT)	BOLLARDS / GUARD POSTS:	FIELD PAINT w/SHERWIN-WILLIAMS B66-310 PRO-CYRL PRIMER FOLLOWED BY (2) FINISH COATS OF B66-300 SHER-CYRL HPA. COLOR SHALL BE "VALVOLINE RED".
BRICK:	MATCH BUILDING BRICK	GATES & GATE POSTS:	FIELD PAINT w/SHERWIN-WILLIAMS B66-310 PRO-CYRL PRIMER FOLLOWED BY (2) FINISH COATS OF B66-300 SHER-CYRL HPA. COLOR SHALL MATCH EXTERIOR HOLLOW METAL DOOR & FRAME COLOR.
MORTAR:	MATCH BUILDING BRICK		
COPING:	MATCH BUILDING COPING/TRIM.		
SEALER:	ALL BRICK SURFACES SHALL BE TREATED W/ SEALER. REFER TO SPECIFICATIONS.		



VALVOLINE INSTANT OIL CHANGE
17457 CHESTERFIELD AIRPORT ROAD
CHESTERFIELD, MO 63005

DUMPSTER ENCLOSURE
The Roberts Group P.C.
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209-C Southland Drive - Lexington, KY 40503
859-276-2006 / 859-276-2801 Faxline

JOB NO.	1000
DATE	1-24-12
DRAWN	TRG
CHECKED	TRG

REVISIONS	

SHEET
A-10