



IV. A

690 Chesterfield Pkwy W • Chesterfield MO 63017-0760
Phone: 636-537-4000 • Fax 636-537-4798 • www.chesterfield.mo.us

Department of Planning & Public Works Public Hearing Summary Report

P.Z. 02-2010 Spirit Trade Center, Lot 30 (JMD Investments, LLC):

A request for a change of zoning from a "M3" Planned Industrial District to a "PC" Planned Commercial District for a 1.22 acre tract of land located on the south side of Edison Avenue, east of the Edison Avenue and Spirit Drive intersection (17V320178).

Summary

JMD Investments, LLC, is requesting a zoning map amendment to change the zoning of a parcel of land from an "M3" Planned Industrial District to a "PC" Planned Commercial District to accommodate land uses that would permit a bicycle shop, while maintaining the office and warehouse land uses currently permitted. No modifications are being proposed to the development standards for this property and the petitioner at this time is not requesting to make any improvements to the already developed site.

The City of Chesterfield Comprehensive Plan Land Use Map delineates this property as Service Business Park.

A public hearing further addressing the request will be held at the March 8, 2010 City of Chesterfield Planning Commission meeting. Attached please find a copy of the Public Hearing Notice and the Preliminary Plan for the site.

Respectfully submitted,

Shawn Seymour, AICP
Project Planner

Respectfully submitted,

Annissa McCaskill – Clay, AICP
Lead Senior Planner

Cc: Michael Herring, City Administrator
Rob Heggie, City Attorney
Michael Geisel, Director of Planning and Public Works
Aimee Nassif, Planning and Development Services Director



NOTICE OF PUBLIC HEARING CITY OF CHESTERFIELD PLANNING COMMISSION

NOTICE IS HEREBY GIVEN that the Planning Commission of the City of Chesterfield will hold a Public Hearing on Monday, March 8, 2010, at 7:00 PM, in the Council Chambers at the City Hall, 690 Chesterfield Parkway West, Chesterfield, Missouri 63017.

Said hearing will be as follows:

P.Z. 02-2010 Spirit Trade Center, Lot 30 (JMD Investments, LLC): A request for a change of zoning from a "M3" Planned Industrial District to a "PC" Planned Commercial District for a 1.22 acre tract of land located on the south side of Edison Avenue, east of the Edison Avenue and Spirit Drive intersection (17V320178).

Proposed Land Uses:

- (71) Office, general;
- (86) Retail establishments, community; and
- (6) Warehouse, general.



City of Chesterfield
690 Chesterfield Parkway West
Chesterfield, MO 63017



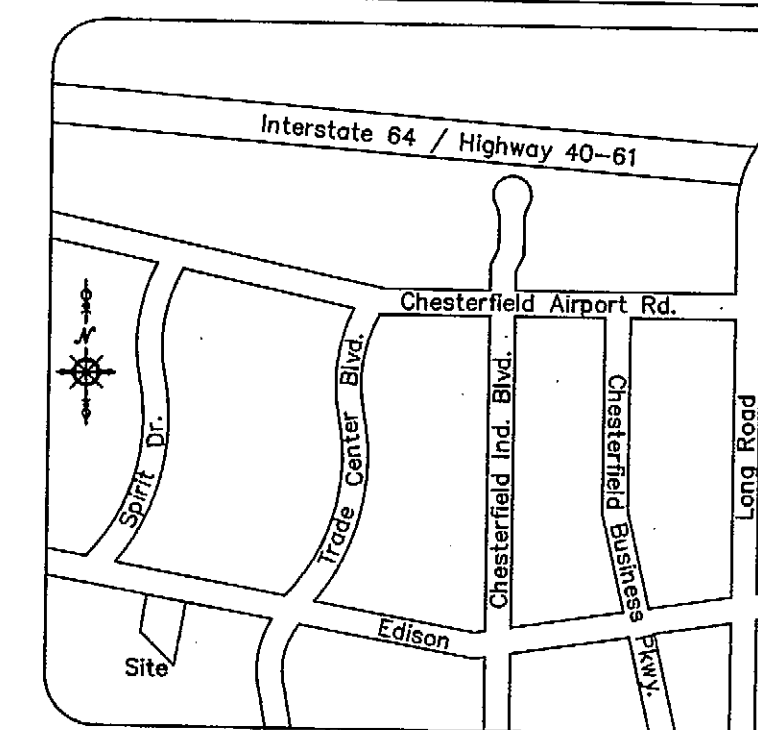
Information on this Public Hearing may be found on the City's website at <http://www.chesterfield.mo.us/public-notice.html> or by contacting Project Planner Shawn Seymour at 636.537.4741 or via e-mail at sseymour@chesterfield.mo.us. All interested parties will be given an opportunity to be heard at the Public Hearing.

LEGEND

EXISTING CONTOURS	— 433 —	TO BE REMOVED & RELOCATED	T.B.R. & R.
PROPOSED CONTOURS	— 433 —	TO BE USED IN PLACE	U.I.P.
EXISTING STORM SEWER	—	TO BE ADJUSTED	T.B.A.
PROPOSED STORM SEWER	—	BACK OF CURB	B.C.
EXISTING SANITARY SEWER	—	FACE OF CURB	F.C.
PROPOSED SANITARY SEWER	—		
RIGHT-OF-WAY	—		
EASEMENT	—		
CENTERLINE	—		
EXISTING TREE	⊗ 433.28		
EXISTING SPOT ELEVATION	433.28		
PROPOSED SPOT ELEVATION	433.28		
SWALE/DRAINAGE PATH	—		
TO BE REMOVED	—		

PRELIMINARY DEVELOPMENT PLAN

A TRACT OF LAND IN US SURVEY 419, TOWNSHIP 45 NORTH, RANGE 3 & 4 EAST BEING LOT 30 OF SPIRIT TRADE CENTER PLAT 3 AS RECORDED IN PLAT BOOK 348 PAGES 514 AND 515 OF THE ST. LOUIS COUNTY LAND RECORDS, CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI.



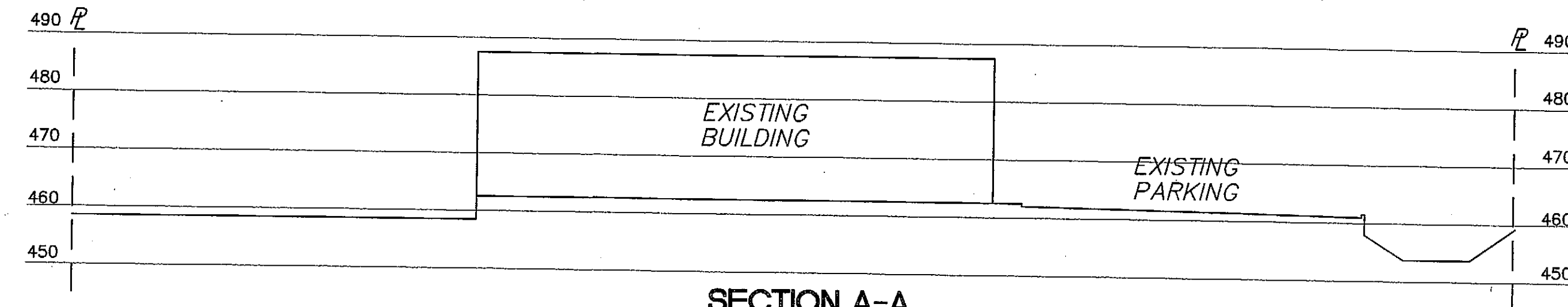
LOCATION MAP
NOT TO SCALE

PROPERTY DATA

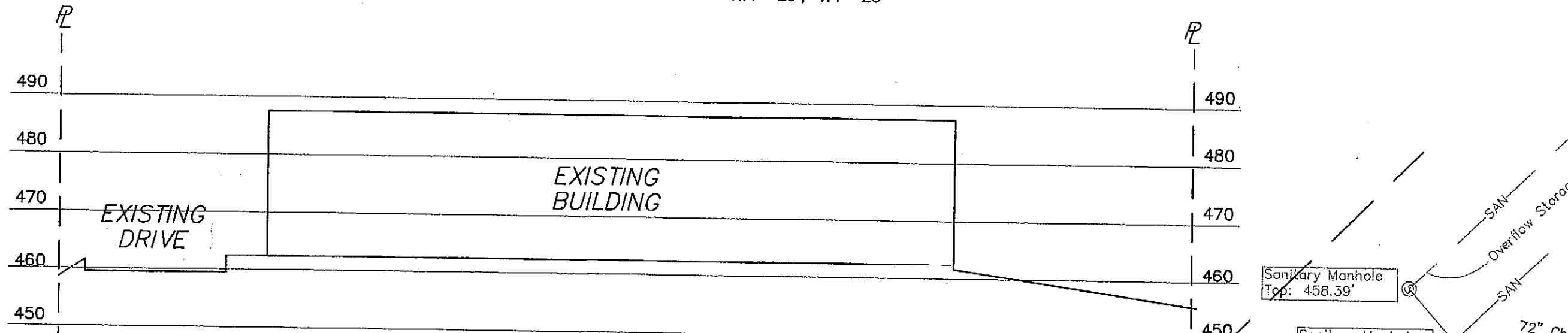
OWNER	= JMD INVESTMENTS, LLC
ADDRESS	= 17826 EDISON AVENUE
LOCATOR NO.	= 17V320178
ACREAGE	= 1.22 Ac.±
EXISTING ZONING ORDINANCE	= M-3
EXISTING ZONING	= 656
FIRE DISTRICT	= P.C. PLANNED COMMERCIAL
SCHOOL DISTRICT	= MONARCH FIRE PROTECTION DISTRICT
SEWER DISTRICT	= ROCKWOOD
WATER SHED	= METRO. ST. LOUIS SEWER DISTRICT
FEMA MAP	= MISSOURI RIVER
ELECTRIC COMPANY	= 29189C0120H, LOMR APRIL 17, 2000
GAS COMPANY	= AMERENUE
PHONE COMPANY	= LA CLEDE GAS COMPANY
WATER COMPANY	= SOUTHWESTERN BELL TELEPHONE
	= MISSOURI AMERICAN WATER COMPANY

GENERAL NOTES

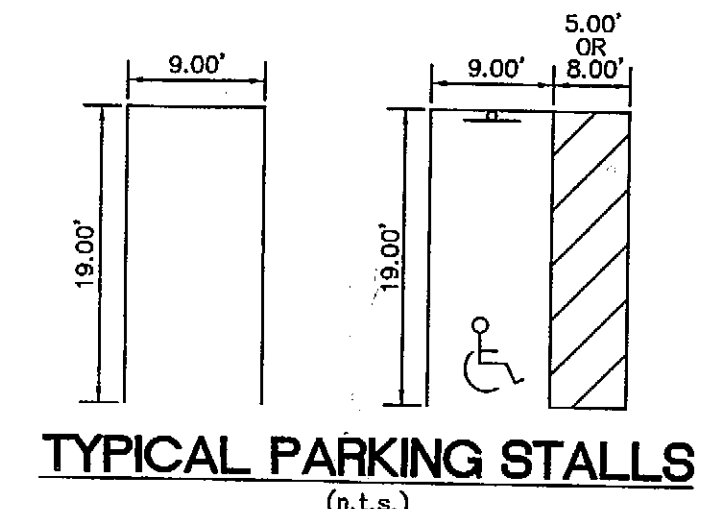
- ALL UTILITIES SHOWN HAVE BEEN LOCATED BY THE ENGINEER FROM AVAILABLE RECORDS. THEIR LOCATION SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR HAS THE RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES, PRIOR TO CONSTRUCTION, TO HAVE EXISTING UTILITIES FIELD LOCATED. THE CONTRACTOR SHALL BE ON RECORD WITH THE MISSOURI ONE CALL SYSTEM.
- ALL ELEVATIONS ARE BASED ON M.S.D. BENCHMARK
- BOUNDARY AND TOPOGRAPHIC SURVEY BY MARLER SURVEYING CO.
- ALL MATERIALS AND METHODS OF CONSTRUCTION TO MEET THE CURRENT STANDARDS AND SPECIFICATIONS OF THE DIRECTOR OF PUBLIC WORKS FOR THE CITY OF CHESTERFIELD.
- ALL GRADED AREAS SHALL BE PROTECTED FROM EROSION BY EROSION CONTROL DEVICES AND/OR SEEDING AND MULCHING AS REQUIRED BY THE CITY OF CHESTERFIELD.
- PRIOR TO BEGINNING ANY WORK ON THE SITE, THE CONTRACTOR SHALL CONTACT THE ENGINEER FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING OF WORK.
- GRADING CONTRACTOR SHALL INSTALL SILTATION CONTROL PRIOR TO STARTING THE GRADING. ADDITIONAL SILTATION CONTROL DEVICES SHALL BE INSTALLED AS DIRECTED BY THE CITY OF CHESTERFIELD.
- ALL FILLS AND BACKFILLS SHALL BE MADE OF SELECTED EARTH MATERIALS, FREE FROM BROKEN MASONRY, ROCK, FROZEN EARTH, RUBBISH, ORGANIC MATERIAL AND DEBRIS.
- GRADING CONTRACTOR SHALL KEEP EXISTING ROADWAYS CLEAN OF MUD AND DEBRIS AT ALL TIMES.
- PROPOSED CONTOURS SHOWN ARE FINISHED ELEVATIONS ON PAVED AREAS.
- GRADING & STORM WATER PER M.S.D. STANDARD SPECIFICATIONS AND THE CITY OF CHESTERFIELD STANDARDS.
- DRIVE ENTRANCES ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF CHESTERFIELD & ST. LOUIS COUNTY.
- SEEDING, SODDING, MULCHING AND PLANTINGS FOR ALL DISTURBED AREAS SHALL BE SPECIFIED ON THE LANDSCAPE PLAN.
- SIDEWALKS ALONG THE ACCESSIBLE ROUTE SHALL NOT HAVE A SLOPE EXCEEDING 1"V:20" H. SLOPES GREATER THAN 1"V:20" H MUST BE DESIGNED AS A RAMP.
- SIDEWALKS, CURB RAMPS, RAMPS AND ACCESSIBLE PARKING SPACES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT APPROVED "AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES" (ADAAC) ALONG WITH THE REQUIRED GRADES, CONSTRUCTION MATERIALS, SPECIFICATIONS AND SIGNAGE. IF ANY CONFLICT OCCURS BETWEEN THE ADAAC GUIDELINES AND THE INFORMATION ON THE PLANS, THE ADAAC GUIDELINES SHALL TAKE PRECEDENCE AND THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER PRIOR TO ANY CONSTRUCTION.
- Subject property lies within Flood Zone "X" (areas of 500-year flood; areas of 100-year flood with average depths of less than one (1) foot, or with drainage areas less than one (1) square mile; and areas protected by levees from the 100-year flood), and Flood Zone "AH" (flood depths of 1 to 3 feet) (usually areas of ponding) base flood elevation determined (Elevation 458) according to the National Flood Insurance Program Flood Insurance Rate Map for St. Louis County, Missouri and Incorporated Areas. The map is identified as Map No. 29189C0120 H with an effective date of January 6, 1998 and revised to reflect LOMR dated April 17, 2000.
- NO ON-SITE ILLUMINATION SOURCE SHALL BE SO SITUATED THAT LIGHT IS CAST DIRECTLY ON ADJOINING PROPERTIES OR PUBLIC ROADWAYS. ILLUMINATION LEVELS SHALL COMPLY WITH THE PROVISIONS OF SECTION 1008.320 STREET AND PARKING AREA LIGHTING OF THE CITY OF CHESTERFIELD SUBDIVISION ORDINANCE.
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE APPROVAL OF SIGNAGE. SIGN APPROVAL IS A SEPARATE PROCESS.
- ALL PROPOSED UTILITIES SHALL BE PLACED UNDERGROUND
- ROOF TOP EQUIPMENT SHALL BE SCREENED



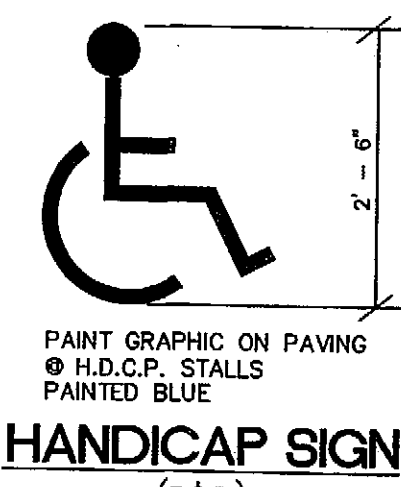
SECTION A-A
H:1"=20'; V:1"=20'



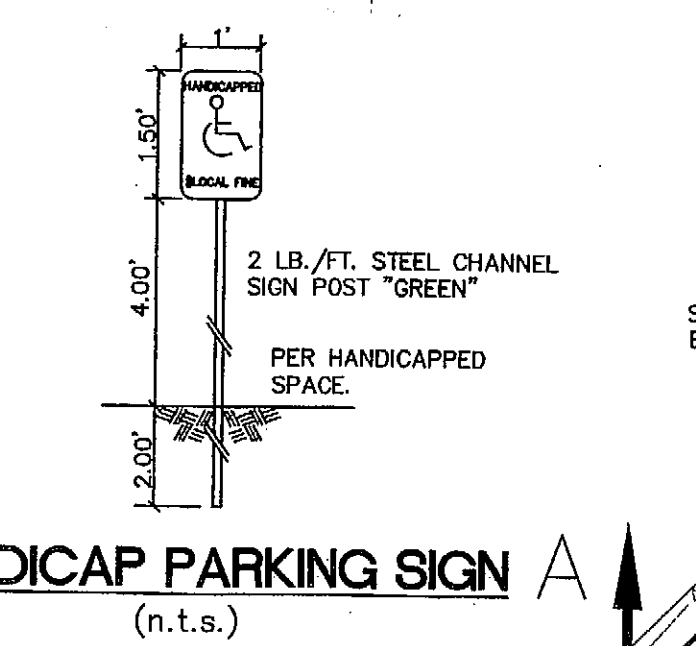
SECTION B-B
H:1"=20'; V:1"=20'



TYPICAL PARKING STALLS
(n.t.s.)



HANDICAP SIGN
(n.t.s.)



HANDICAP PARKING SIGN
(n.t.s.)

LEGAL DESCRIPTION

A TRACT OF LAND BEING LOT 30 OF SPIRIT TRADE CENTER PLAT 3 AS RECORDED IN PLAT BOOK 348 PAGES 514 AND 515 OF THE ST. LOUIS COUNTY LAND RECORDS OFFICE IN ST. LOUIS COUNTY MISSOURI AND ALSO BEING DESCRIBED AS FOLLOWS:

BEGINNING AT A FOUND IRON ROD AT THE NORTHEAST CORNER OF SAID LOT 30 AND THE SOUTHERN R-O-W LINE OF EDISON AVENUE (40' WIDE); THENCE SOUTH 32 DEGREES 40 MINUTES 01 SECONDS WEST A DISTANCE OF 369.14 FEET TO A POINT FROM WHICH A FOUND IRON PIPE (BENT) IS 0.09 FEET NORTH AND 0.27 FEET EAST; THENCE NORTH 12 DEGREES 00 MINUTES 28 SECONDS WEST A DISTANCE OF 281.80 FEET TO A FOUND IRON PIPE; THENCE NORTH 32 DEGREES 40 MINUTES 01 SECONDS EAST A DISTANCE OF 168.68 FEET TO A FOUND IRON PIPE, SAID PIPE ALSO BEING ON THE SOUTHERN R-O-W OF SAID EDISON AVENUE (40' WIDE); THENCE SOUTH 57 DEGREES 19 MINUTES 59 SECONDS EAST ALONG THE SAID SOUTHERN R-O-W OF EDISON AVENUE (40' WIDE) A DISTANCE OF 198.20 FEET TO THE POINT OF BEGINNING AND CONTAINING 53,297.51 SQUARE FEET OR 1.22 ACRES MORE OR LESS

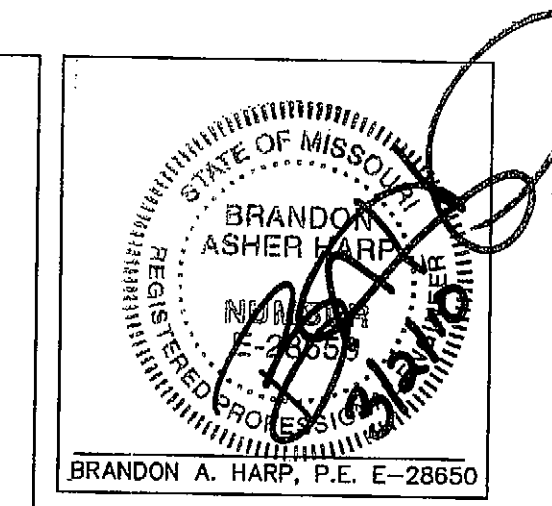
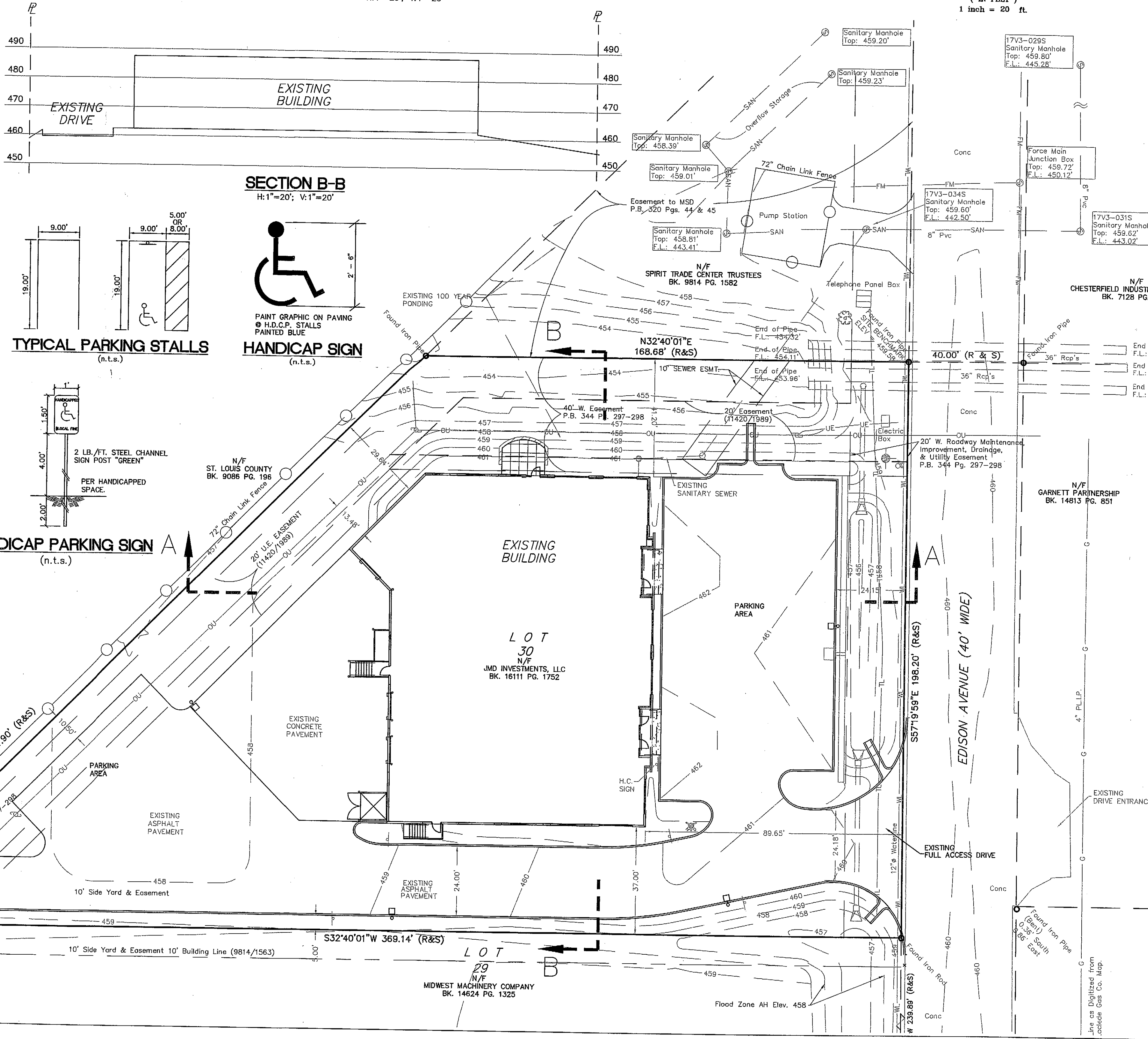
PROJECT BENCHMARK

MSD BENCHMARK 12-171 460.06'
"STANDARD ALUMINUM DISK" STAMPED SL-38, 1990.
DISK IS SET AT THE NORTHWEST CORNER OF CHESTERFIELD AIRPORT ROAD AND CAPRICE DRIVE.

SURVEYOR'S CERTIFICATION

This is to certify that the Plat is a correct representation of all existing and proposed land divisions.
Marler Surveying Company
By Marty L. Marler

Marty L. Marler, R.L.S.



CEDC
CIVIL ENGINEERING
DESIGN CONSULTANTS

11402 Greavois Road
Suite 100
St. Louis, Missouri 63126
314.720.0000
Fax: 314.729.1404
www.cedc.net

Preliminary Development Plan
Product Promotions
17826 Edison Avenue
Chesterfield, Missouri 63005

Proj. #	0993
No. Description	Date
To Client	02-04-10
To Client	03-02-10

PRELIMINARY DEVELOPMENT PLAN

C1

OF 1

