

T-O VENTURES, L.L.C., THE OWNER(S) UNDER CONTRACT OF THE PROPERTY (NAME OF OWNER(S)) SHOWN ON THIS PLAN FOR AND IN CONSIDERATION OF BEING GRANTED A PERMIT TO DEVELOP PROPERTY UNDER THE PROVISIONS OF CHAPTER _____ OF THE CITY OF CHESTERFIELD (APPLICABLE SUBSECTION) (PRESENT ZONING)

ORDINANCE NO. _____ DO HEREBY AGREE AND DECLARE THAT SAID PROPERTY FROM THE DATE OF RECORDING THIS PLAN SHALL BE DEVELOPED ONLY AS SHOWN THEREON, UNLESS SAID PLAN IS AMENDED BY THE PLANNING COMMISSION, OR VOIDED OR VACATED BY ORDER OF THE CITY OF CHESTERFIELD COUNCIL.

(SIGNATURE): _____ (NAME TYPED): _____

STATE OF MISSOURI } SS. COUNTY OF ST. LOUIS } ON THIS _____ DAY OF _____, A.D., 2011, BEFORE ME PERSONALLY APPEARED

(OFFICER OF CORPORATION) TO ME KNOWN, WHO, BEING BY ME DULY SWORN IN, DID SAY THAT SAY HE/SHE IS THE _____ OF _____ (TITLE) (NAME OF CORPORATION) A CORPORATION IN THE STATE OF DELAWARE, AND THAT THE SEAL AFFIXED TO THE FOREGOING INSTRUMENTS IS THE CORRECT SEAL OF SAID CORPORATION, AND THAT SAID INSTRUMENT WAS SIGNED ON BEHALF OF SAID CORPORATION BY AUTHORITY OF ITS BOARD OF DIRECTORS, AND THE SAID (OFFICER OF CORPORATION) ACKNOWLEDGED SAID INSTRUMENT TO BE THE FREE ACT AND DEED OF SAID CORPORATION.

IN WITNESS WHEREOF, I HAVE SIGNED AND SEALED THE FOREGOING THE DAY AND YEAR FIRST ABOVE WRITTEN.

NOTARY PUBLIC _____ PRINT NAME

MY COMMISSION EXPIRES: _____ THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE CITY OF CHESTERFIELD PLANNING COMMISSION AND DULY VERIFIED ON THE _____ DAY OF _____, 2012, BY THE CHAIRPERSON OF SAID COMMISSION, AUTHORIZING THE RECORDING OF THIS SITE DEVELOPMENT SECTION PLAN PURSUANT TO CHESTERFIELD ORDINANCE NUMBER 200, AS ATTESTED TO BY THE PLANNING AND DEVELOPMENT SERVICES DIRECTOR.

AMEE E. NASSIF, AICP PLANNING AND DEVELOPMENT SERVICES DIRECTOR CITY OF CHESTERFIELD, MISSOURI

JUDITH NAGGAR, CITY CLERK CITY OF CHESTERFIELD, MISSOURI

SURVEYOR'S CERTIFICATION

THIS IS TO CERTIFY THAT STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC. HAS PREPARED THIS SITE DEVELOPMENT PLAN FROM AN ACTUAL SURVEY. THE INFORMATION SHOWN IS A CORRECT REPRESENTATION OF ALL EXISTING AND PROPOSED LAND DIVISIONS.

STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC. L.S. NO. 222-D

DANIEL EHLMANN, MISSOURI L.S. NO. 2215

GENERAL NOTES

- BOUNDARY AND TOPOGRAPHIC SURVEY BY STOCK & ASSOCIATES CONSULTING ENGINEERS, INC.
- ALL UTILITIES SHOWN HAVE BEEN LOCATED BY THE ENGINEER FROM AVAILABLE RECORDS. THEIR LOCATION SHOULD BE CONFIRMED APPROXIMATELY. THE CONTRACTOR HAS THE RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES, PRIOR TO CONSTRUCTION, TO HAVE EXISTING UTILITIES FIELD LOCATED.
- NO GRADE SHALL EXCEED 3:1 SLOPE.
- GRAVING AND STORM WATER PER M.S.D., MODOT, ST. LOUIS COUNTY, THE CITY OF CHESTERFIELD AND THE MONARCH CHESTERFIELD LEVEE DISTRICT.
- STORMWATER SHALL BE DISCHARGED AT ADEQUATE NATURAL DISCHARGE POINT. SINKHOLES ARE NOT ADEQUATE DISCHARGE POINTS. SITE DRAINS TO MASTER DRAINAGE CHANNEL @ S.E. CORNER OF PROPERTY
- NO STEP ALLOWED AT ACCESSIBLE ENTRANCE DOORS.
- ALL UTILITIES WILL BE INSTALLED UNDERGROUND.
- APPROVAL OF SIGN LOCATIONS DOES NOT CONSTITUTE SIGN APPROVAL. SIGN APPROVAL WILL BE THROUGH A SEPARATE SIGN PACKAGE APPLICATION.
- SETBACK PER ORD. 2682
- BUILDING OR STRUCTURE, OTHER THAN FREESTANDING PROJECT I.D. SIGNS, LIGHT STANDARDS OR FLAG POLES.
 - 75 FEET FROM SOUTH LOT LINE
 - 25 FEET FROM NORTH, EAST AND WEST LOT LINES
- PARKING SETBACK:
 - 30 FEET FROM THE NORTH, SOUTH AND WEST LOT LINES
 - 0 FEET FROM THE EAST LOT LINE
- PROPOSED SITE DEVELOPMENT INFORMATION:
 - OVERALL LOT AREA = 48,625 Acres ± (2,118,148 s.f.)
 - PROPOSED BUILDING FOOTPRINT = 472,282 GROSS FLOOR AREA
 - F.A.R. (ORD. 2682 MAX FLOOR = 472,282 s.f. BLDG. / 2,118,148 s.f. SITE = 0.223 AREA = 500,000 ±)
- OPEN SPACE CALCULATIONS:
 - OVERALL AREA = 48,625 Acres ± (2,118,148 s.f.) = 100 %
 - TOTAL BUILDING AREA = 10,842 Acres ± (472,282 s.f.) = 22.3 %
 - TOTAL PAVED PARKING AREA = 21,505 Acres ± (936,758 s.f.) = 44.2 %
 - TOTAL OPEN SPACE = 16,278 Acres ± (709,108 s.f.) = 33.5 %
- NOTE: 30% OPEN SPACE IS REQUIRED FOR THIS DEVELOPMENT BY CITY OF CHESTERFIELD ORDINANCE 2682 B.3.a. THE PROPOSED STORM WATER IMPROVEMENTS COMPLY WITH THIS REQUIREMENT.
- PARKING CALCULATIONS:
 - REQUIRED PARKING: 4.75 SPACES PER 1,000 s.f. OF GROSS FLOOR AREA
 - 472,282 s.f. AT 4.75/1000 = 2,244 SPACES REQUIRED
- REDUCTION PER CITY LETTER "CHESTERFIELD OUTLETS - REQUEST FOR MODIFICATION TO PARKING REQUIREMENTS" DATED JANUARY 26, 2012 PER THE CITY OF CHESTERFIELD A 6.6 % REDUCTION TO THE PARKING REQUIREMENT SPECIFIED IN SECTION 1003.165, 4.E.(6) FOR THE PROPOSED CHESTERFIELD OUTLETS DEVELOPMENT IS APPROVED IN ACCORDANCE WITH SECTION 1003.165, 9.D.(1). ADDITIONAL CHANGES TO THE DEVELOPMENT SIZE, RESTAURANT USE THAT EXCEEDS THE GROSS LEASABLE AREA OF THE DEVELOPMENT, OR THE ADDITION OF A THEATER IN THE DEVELOPMENT WILL REQUIRE A NEW MODIFICATION TO BE SUBMITTED AND REVIEWED.
- REQUIRED PARKING WITH 6.6% REDUCTION: = ((472,282/1,000) x 4.75) x 0.934 = 2,095 SPACES REQUIRED
- PARKING PROVIDED: = 2,183 SPACES (* INCLUDES 34 H.C. SPACES)
- * H.C. PARKING PROVIDED PER CODE: 20 PLUS ONE FOR EACH 100 OR FRACTION THEREOF. OVER 1,000.
 - 20 + 12 (1183/100) = 32 H.C. REQUIRED
- LOADING CALCULATIONS:
 - REQUIRED LOADING: PROVIDE TWO 10'x25' LOADING SPACES AND ONE 10'x40' LOADING SPACE FOR CENTERS HAVING 25,000-100,000 s.f.
 - PROVIDE 1 ADDITIONAL 10'x40' SPACE FOR EVERY ADDITIONAL 100,000 s.f. OF BUILDING AREA
 - 472,282 s.f. (GROSS FLOOR AREA) REQUIRES THE FOLLOWING:
 - 2 - 10'x25' LOADING SPACES
 - 5 - 10'x40' LOADING SPACES
 - PROVIDED LOADING: 6 - 12' x 100' LOADING AREAS
 - 2 - 10' x 180' LOADING AREAS
 - 1 - 10' x 350' LOADING AREA
 - 1 - 10' x 335' LOADING AREA

GEOTECHNICAL NOTE:

IT IS THE CONTRACTORS RESPONSIBILITY TO REVIEW AND FOLLOW ALL RECOMMENDATIONS AS OUTLINED IN THE REVISED GEOTECHNICAL REPORT AND REVISED UNDERSEEPAGE ANALYSIS AS PREPARED BY MIDWEST TESTING:

"REVISED GEOTECHNICAL EXPLORATION" (MT JOB NO. 12652) PREPARED FOR: T-O VENTURES, L.L.C. DATED NOVEMBER 11, 2011
 "REVISED UNDERSEEPAGE ANALYSIS" (MT JOB NO. 12746) PREPARED FOR: T-O VENTURES, L.L.C. DATED NOVEMBER 11, 2011

PREPARED BY: MIDWEST TESTING 8606 PACE AVENUE ST. LOUIS, MO 63114 Phone: 314.739.2727 Fax: 314.739.5429 www.mwtesting.com

CHESTERFIELD OUTLETS

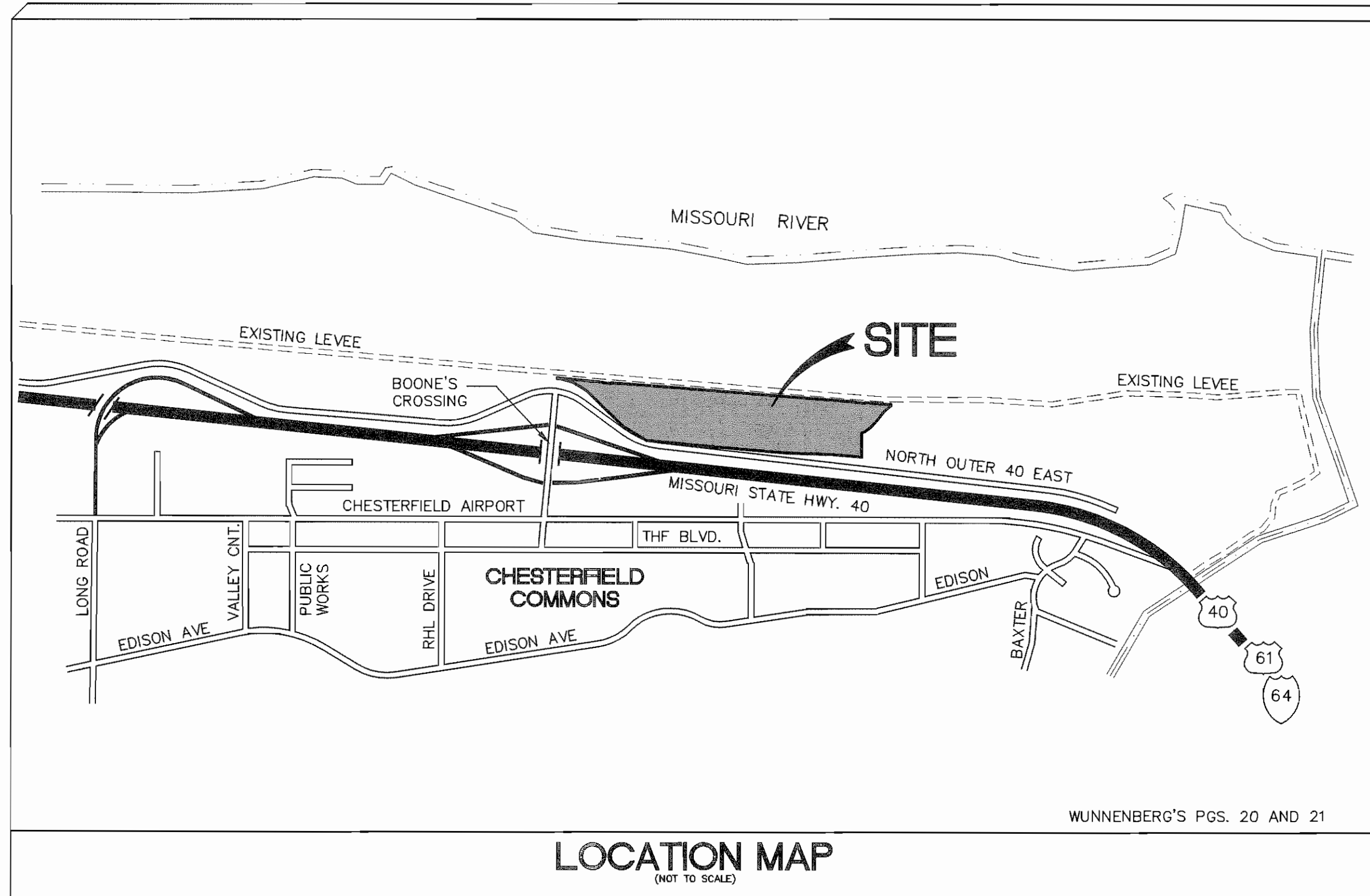
NORTH OUTER 40

CHESTERFIELD, MISSOURI 63005

A TRACT OF LAND BEING PART OF MONARCH-CHESTERFIELD LEVEE DISTRICT TRACT LOCATED IN U.S. SURVEY 2031, TOWNSHIP 45 NORTH, RANGE 4 EAST OF THE 5TH PRINCIPAL MERIDIAN, CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI

ZONED: "PC" PLANNED COMMERCIAL DISTRICT ORDINANCE NO. 2682

SITE DEVELOPMENT PLAN



SHEET INDEX

- SDP-C1 TITLE SHEET
- SDP-C2 OVERALL SITE DEVELOPMENT PLAN, KEY MAP, DETAILS AND TYP SECTIONS
- SDP-C3 SITE DEVELOPMENT PLAN
- SDP-C4 SITE DEVELOPMENT PLAN
- SDP-C5 SITE DEVELOPMENT PLAN
- SDP-C6 SITE DEVELOPMENT PLAN
- SDP-C7 SITE DEVELOPMENT PLAN
- SDP-C8 SEWER PROFILES AND SITE DETAILS
- SDP-C9 SITE SECTIONS
- SDP-C10 EXISTING EASEMENTS
- SDP-C11 PROPOSED EASEMENTS AND R.O.W.
- SDP-C12 ORDINANCE NO. 2682
- A2.01 BUILDING A-B ELEVATIONS
- A2.02 BUILDING C-D-E ELEVATIONS
- A2.03 BUILDING F-G-H ELEVATIONS
- A2.04 BUILDING J-K ELEVATIONS
- A2.05 BUILDING L-M ELEVATIONS
- A2.06 BUILDING N-P ELEVATIONS

- L-1 PLANTING PLAN
- L-2 PLANTING PLAN
- L-3 PLANTING PLAN
- L-4 PLANTING PLAN
- L-5 PLANTING PLAN
- L-6 PLANTING PLAN
- LT-01 OVERALL LIGHTING PLAN
- LT-02 LIGHTING AT TYPICAL ENTRIES
- LT-03 LIGHTING AT TYPICAL CONCOURSE
- LT-04 LIGHTING AT CENTRAL AREA
- LT-05 LIGHTING AT END BUILDINGS

- (LDC-Chesterfield- Fixture Cuts - LED submittal for city.pdf)
- LS-01 SITE LIGHTING
- LS-02 SITE LIGHTING
- LS-03 SITE LIGHTING
- LS-04 SITE LIGHTING

PROPERTY DESCRIPTION

A tract of land being part of Adjusted Lot 1 of Hayes Boundary Adjustment Plat, according to a tract of land as conveyed to Summit Ice Center Investors, L.L.C., by instrument recorded in Book 14970, page 648 of the St. Louis County records, thence westerly along last said north right-of-way line the following courses and distances: North 84 degrees 06 minutes 54 seconds West, 367.97 feet; North 87 degrees 28 minutes 53 seconds West, 510.88 feet; North 84 degrees 08 minutes 54 seconds West, 830.00 feet and North 83 degrees 59 minutes 14 seconds West, 926.50 feet to the eastern edge of pavement of North Outer 40, variable width, said point also being located on a curve to the right having a radius of 777.67 feet, thence along the eastern, northeastern and northern edge of said pavement the following courses and distances: thence along said curve with an arc length of 24.04 feet and a chord which bears North 65 degrees 13 minutes 16 seconds West, 24.04 feet to a curve to the right having a radius of 663.52 feet, an arc length of 52.62 feet and a chord which bears North 62 degrees 03 minutes 50 seconds West, 52.60 feet; North 58 degrees 15 minutes 42 seconds West, 51.58 feet; North 54 degrees 28 minutes 05 seconds West, 53.91 feet; North 49 degrees 50' 75" West, 50.75 feet; North 46 degrees 03 minutes 48 seconds West, 50.51 feet; North 44 degrees 27 minutes 48 seconds West, 55.05 feet; North 44 degrees 51 minutes 59 seconds West, 56.04 feet; North 44 degrees 14 minutes 23 seconds West, 55.29 feet; North 44 degrees 28 minutes 33 seconds West, 103.72 feet; North 44 degrees 45 minutes 34 seconds West, East, 104.77 feet; North 44 degrees 36 minutes 56 seconds West, 105.89 feet; North 45 degrees 23 minutes 29 seconds West, 57.85 feet to a curve to the left having a radius of 730.85 feet, along said curve an arc length of 129.08 feet and a chord which bears North 52 degrees 17 minutes 04 seconds West, 128.91 feet to a curve to the left having a radius of 761.27 feet and along said curve an arc length of 299.14 feet and a chord which bears North 67 degrees 45 minutes 54 seconds West, 297.22 feet; thence along the west line of a tract of land as conveyed to the Missouri Highway and Transportation Commission by instrument recorded in Book 12097, Page 830 of above said records said point also being located on the west line of above said Lot 6; thence along said west line North 00 degrees 21 minutes 46 seconds East, 21.56 feet, thence departing last said west line the following courses and distances: South 84 degrees 50 minutes 26 seconds East, 75.65 feet; South 83 degrees 33 minutes 04 seconds East, 203.31 feet; South 83 degrees 57 minutes 15 seconds East, 198.86 feet; South 83 degrees 08 minutes 30 seconds East, 70.08 feet; South 04 degrees 51 minutes 30 seconds West, 9.00 feet; South 85 degrees 32 minutes 19 seconds East, 98.85 feet; North 05 degrees 25 minutes 52 seconds East, 9.00 feet; South 84 degrees 34 minutes 08 seconds East, 220.75 feet; South 84 degrees 13 minutes 54 seconds East, 799.19 feet; South 84 degrees 35 minutes 06 seconds East, 699.37 feet; South 84 degrees 39 minutes 13 seconds East, 1103.32 feet; South 84 degrees 23 minutes 27 seconds East, 81.27 feet; South 05 degrees 36 minutes 33 seconds West, 6.80 feet and South 84 degrees 35 minutes 22 seconds East, 57.27 feet to the south line of a Permanent Bike Trail Easement according to instrument recorded in Book 17311, Page 138 of above said records, thence along said south line the following courses and distances: North 84 degrees 38 minutes 09 seconds East, 92.10 feet; North 05 degrees 17 minutes 33 seconds East, 8.00 feet; South 84 degrees 42 minutes 27 seconds East, 95.20 feet; South 84 degrees 12 minutes 35 seconds East, 98.58 feet; South 87 degrees 39 minutes 27 seconds East, 14.76 feet to above said Adjusted Lot 1; thence along the east and southeastern lines of said Adjusted Lot 1 the following courses and distances: South 07 degrees 30 minutes 12 seconds West, 22.65 feet; South 130.29 feet; South 43 degrees 35 minutes 48 seconds West, 119.08 feet; South 52 degrees 55 minutes 22 seconds West, 83.69 feet; South 66 degrees 52 minutes 22 seconds West, 42.59 feet and South 01 degrees 38 minutes 15 seconds West, 288.83 feet to the point of Beginning and containing 2,118,148 square feet or 48,625 acres more or less according to calculations performed by Stock & Associates Consulting Engineers, Inc. on July 22, 2011.

SITE INFORMATION:

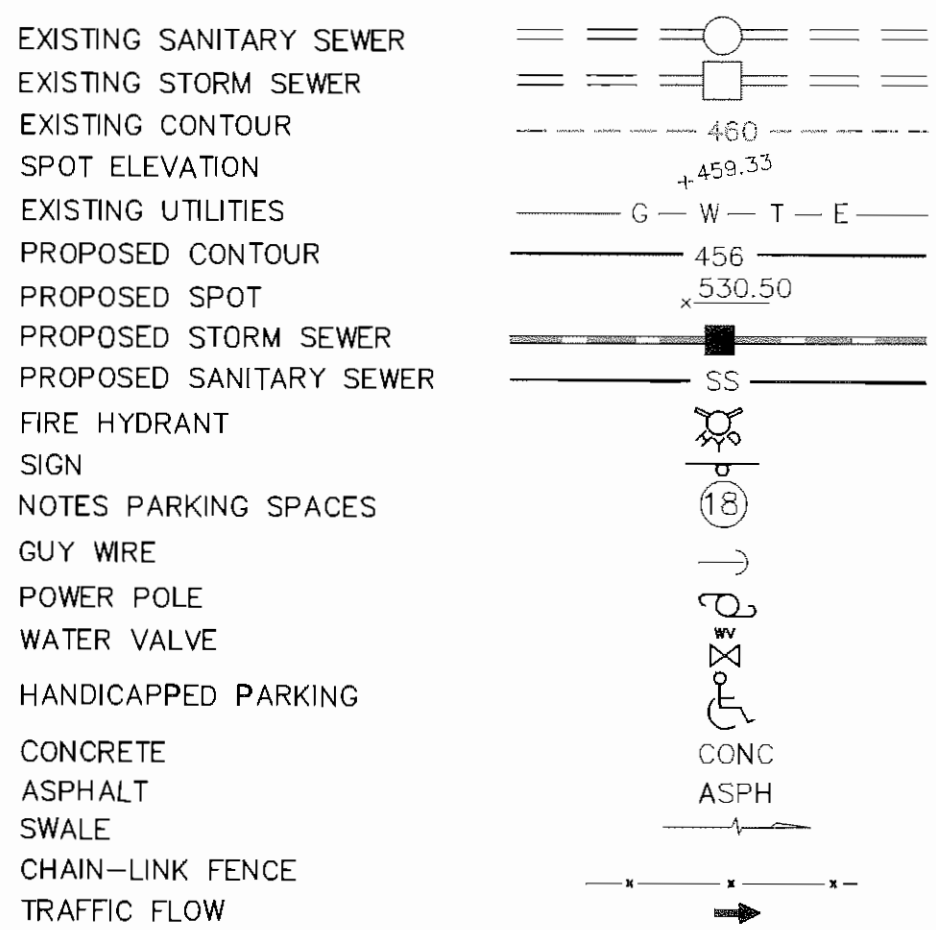
PROPOSED SITE AREA: = 48,625 Acres ±
 ZONING = "PC" PLANNED COMMERCIAL (ORD. #2682)
 CITY: CHESTERFIELD, MISSOURI
 SITE ZIP CODE: 63005
 SITE ADDRESS INFO: = 16995 NORTH OUTER 40 ROAD
 OWNER: = T-O VENTURES L.L.C. (UNDER CONTRACT)
 WUNNENBERG'S = PGS. 20 AND 21
 SEWER DISTRICT = METROPOLITAN ST. LOUIS SEWER DISTRICT
 WATER SHED = CAULK'S CREEK, MISSOURI RIVER
 FLOOD MAP PANEL = FIRM 29189C014014, LOMR 4/17/00
 LOMR = PENDING
 FIRE DISTRICT = MONARCH FIRE PROTECTION DIST. 13725 OLIVE BLVD. CHESTERFIELD, MO 63017
 WATER DISTRICT = MISSOURI AMERICAN WATER COMPANY

UTILITY / FIRE CONTACTS:

AMEREN UE 280 OLD STATE ROAD ELLISVILLE, MO 63021
 ATTN: MIKE TREACY
 PHONE: 314.992.8914
 EMAIL: mtreacy@ameren.com
 WUNNENBERG'S CHARTER COMMUNICATION 941 CHARTER COMMONS TOWN & COUNTRY, MO 63017
 ATTN: STEVE GERREIN
 PHONE: 636.387.6641
 EMAIL: steve.gerrein@chartercom.com
 AT&T TELEPHONE COMPANY 402 N. 3RD STREET, 1ST FLOOR ST. CHARLES, MO 63301
 ATTN: KURT MASTERS
 PHONE: 636.949.1313
 EMAIL: km0993@att.com
 MO. AMERICAN WATER COMPANY 6400 GRAHAM ROAD BERKELEY, MO 63134
 ATTN: CLARENCE HANKS
 PHONE: 314.575.4787
 EMAIL: chanks@acladegas.com
 LACLEDE GAS COMPANY 6400 GRAHAM ROAD BERKELEY, MO 63134
 ATTN: ROGER HERIN (FIRE MARSHALL)
 PHONE: 314.514.0900 (EXT. 313)
 EMAIL: herin_r@monarchfd.org
 MONARCH FIRE PROTECTION DIST. 13725 OLIVE BLVD. CHESTERFIELD, MO 63017
 ATTN: ROGER HERIN (FIRE MARSHALL)
 PHONE: 314.514.0900 (EXT. 313)
 EMAIL: herin_r@monarchfd.org

NOTE PER ST. LOUIS COUNTY: ST. LOUIS COUNTY ("COUNTY") INTENDS TO CONSTRUCT AN EXTENSION OF BAXTER ROAD NORTHWARDLY TO A CONNECTION WITH THE NORTH OUTER ROAD, SUCH EXTENSION MAY RESULT IN INCREASED TRAFFIC COUNTS THAT WILL, IN TURN, REQUIRE FUTURE IMPROVEMENTS TO THE ROADS AND ENTRANCES DESIGNATED ON THIS PLAN. OWNER AND/OR DEVELOPER ("DEVELOPER") SHALL BE RESPONSIBLE FOR SUCH ENTRANCE IMPROVEMENTS ASSOCIATED WITH ENTRANCES #2 AND #3 AND RELATED ROAD IMPROVEMENTS. AS REASONABLY DETERMINED BY COUNTY, PUBLIC RIGHTS-OF-WAY AND COUNTY ASSESSMENT DEVELOPER SHALL ENTER INTO AN ESCROW AGREEMENT WITH COUNTY, WHICH AGREEMENT SHALL PROVIDE THAT DEVELOPER SHALL DEPOSIT CASH OR AN APPROVED LETTER OF CREDIT WITH COUNTY IN AN AMOUNT NOT TO EXCEED \$30,000.00 TO GUARANTEE ALL COSTS RELATING TO SUCH IMPROVEMENTS, INCLUDING INCREASED COSTS DO TO INFLATION. SUCH ESCROW AGREEMENT SHALL PROVIDE THAT COUNTY USE SUCH CASH OR LETTER OF CREDIT TO PROVIDE FOR THE DESIGN AND CONSTRUCTION, EITHER BY COUNTY OR COUNTY'S AGENT OR CONTRACTOR, WHEN COUNTY REASONABLY DETERMINES THE CHANGES IN TRAFFIC COUNTS REQUIRE SUCH IMPROVEMENTS. THE ESCROW AGREEMENT SHALL HAVE A TERM OF FIFTEEN YEARS, BE BINDING ON DEVELOPER'S SUCCESSORS AND ASSIGNS, AND BE IN FORCE PRIOR TO DEVELOPER REQUESTING ANY PERMITS, INCLUDING SPECIAL USE PERMITS FROM COUNTY.

LEGEND



ABBREVIATIONS

W - WATER
 E - ELECTRIC
 OE - OVERHEAD ELECTRIC
 UE - UNDERGROUND ELECTRIC
 G - GAS
 T - TELEPHONE CABLE
 T.B.R. - TO BE REMOVED
 T.B.R.&R. - TO BE REMOVED AND REPLACED
 U.I.P. - USE IN PLACE
 T.B.A. - TO BE ADJUSTED
 B.C. - BACK OF CURB
 F.C. - FACE OF CURB
 TW - TOP OF WALL
 BW - BOTTOM OF WALL
 P.V.M.T. - FINISHED FLOOR
 ASPH - ASPHALT
 CONC - CONCRETE
 GRD - GROUND
 FNS - FINISHED GRADE
 CONC. T.B.D. - CONCRETE T.B.D.
 LL - LOWER LEVEL
 TYP - TYPICAL
 P.S.D.E. - PERMANENT SIGHT DISTANCE ESM.T.
 DB. - DEED BOOK
 PB. - PLAT BOOK
 PAGE - PAGE
 (W) - RIGHT-OF-WAY WIDTH
 (REC) - RECORD INFORMATION
 FT - FEET
 N/O - NOW OR FORMERLY
 FND. - FOUND
 SO. - SQUARE
 C.O. - CLEANOUT
 M.H. - MANHOLE
 A.I. - AREA INLET
 C.I. - CURB INLET
 G.I. - GRATE INLET
 Y.D. - YARD DRAIN
 P.V.C. - POLYVINYL CHLORIDE PIPE
 R.C.P. - REINFORCED CONCRETE PIPE
 V.C.P. - VITRIFIED CLAY PIPE
 FL - FLOWLINE
 TS - TAILSTAKE
 ELEV - ELEVATION
 PROP. - PROPOSED
 EXIST - EXISTING
 EX - EXISTING

BENCHMARK



MISSOURI ONE-CALL 1-800-344-7483

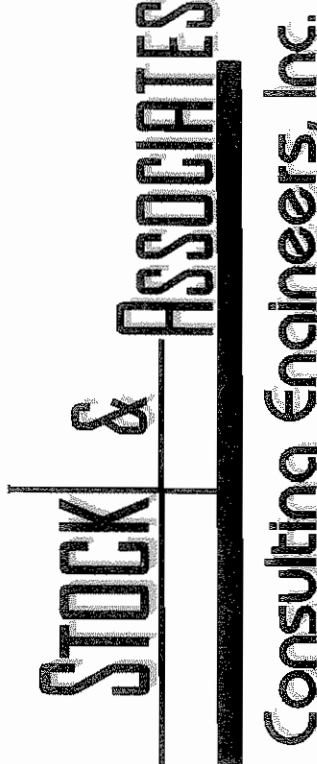
UTILITY NOTE:

UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS, RECORDS AND INFORMATION, AND, THEREFORE, DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NON-EXISTENCE, SIZE, TYPE, NUMBER OR LOCATION OF SUCH FACILITIES, STRUCTURES AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS. THE UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319 RSMO.

STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC. AND THE UNDERSIGNED ENGINEER HAVE NO RESPONSIBILITY FOR SERVICES PROVIDED BY OTHERS TO IMPLEMENT THE IMPROVEMENTS SHOWN ON THIS PLAN AND ALL OTHER DRAWINGS WHERE THE UNDERSIGNED ENGINEER'S SEAL APPEARS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS. THE UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319 RSMO.

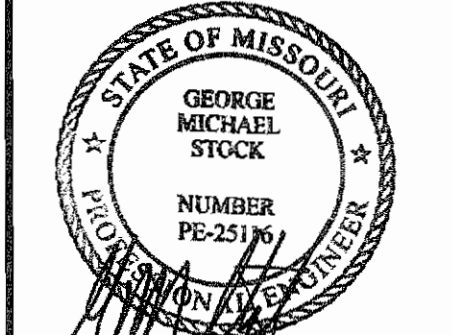
257 Chesterfield Business Parkway St. Louis, MO 63005
 Phone: (636) 530-9170
 Fax: (636) 530-9170
 e-mail: coper@stockandassoc.com
 Web: www.stockandassoc.com

PREPARED BY:



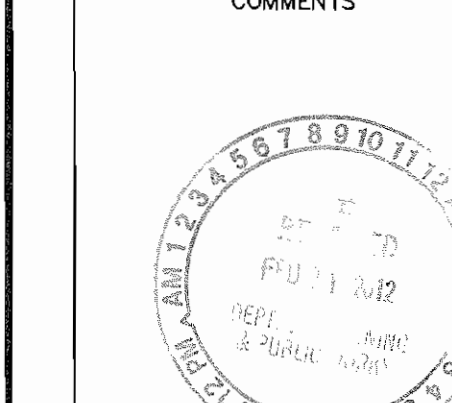
SITE DEVELOPMENT PLAN FOR:

CHESTERFIELD OUTLETS



2/15/2012
 GEORGE M. STOCK E-25118
 CIVIL ENGINEER
 CERTIFICATE OF AUTHORITY NUMBER: 000986

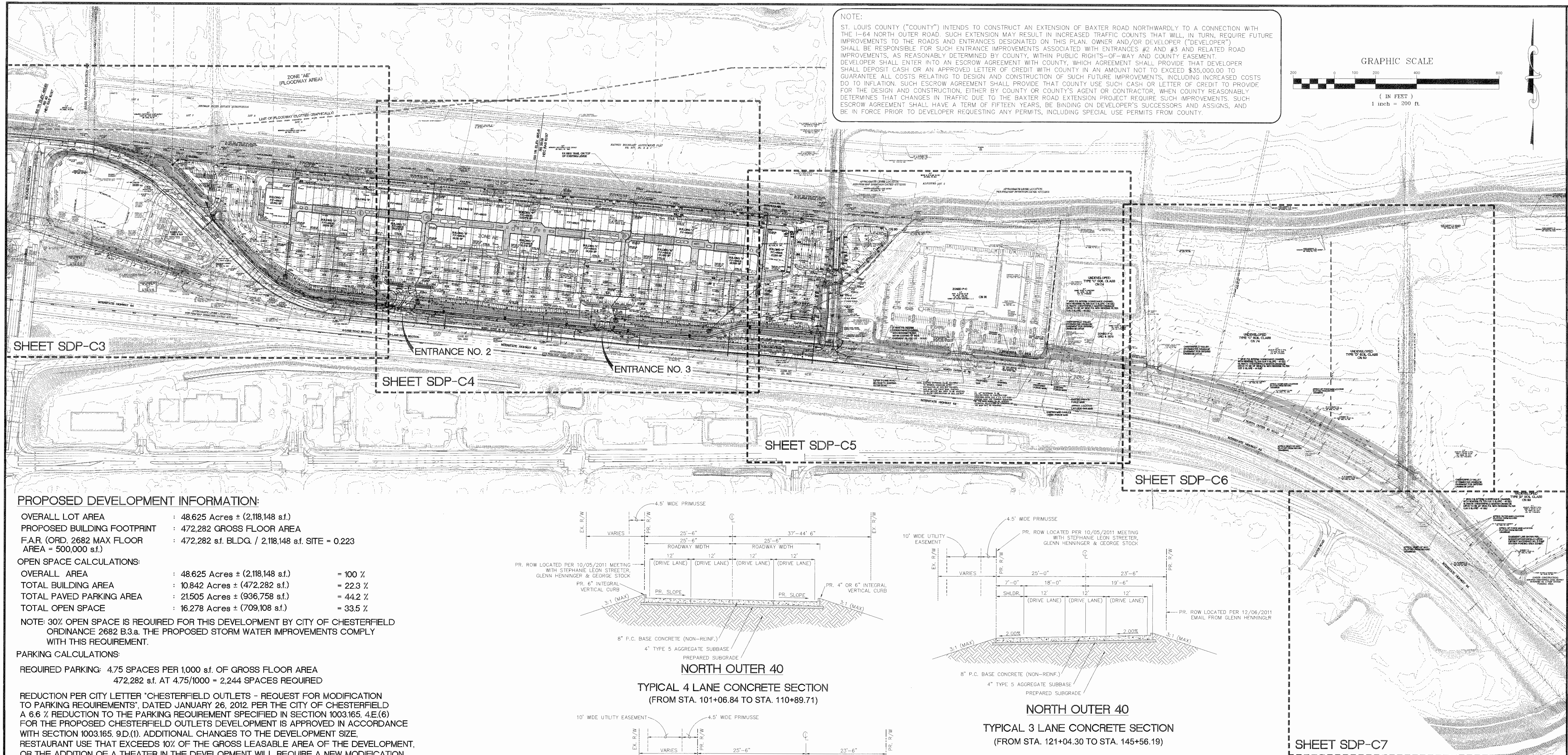
REVISIONS:
 1 1/20/2012 REV. PER REVIEW COMMENTS
 2 2/15/2012 REV. PER REVIEW COMMENTS



DRAWN BY: T.P.S. CHECKED BY: G.M.S.
 DATE: 12/20/2011 JOB NO: 211-4742
 MSD P. NO: BASE MAP:
 P-29391-00 17U,17T
 SHEET TITLE:

TITLE SHEET

SHEET NO.: SDP-C1



PROPOSED DEVELOPMENT INFORMATION:

OVERALL LOT AREA : 48.625 Acres ± (2,118,148 sf.)
 PROPOSED BUILDING FOOTPRINT : 472,282 GROSS FLOOR AREA
 F.A.R. (ORD. 2682 MAX FLOOR AREA = 500,000 s.f.) : 472,282 s.f. BLDG. / 2,118,148 s.f. SITE = 0.223

OPEN SPACE CALCULATIONS:

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 TOTAL OPEN SPACE : 16,278 Acres ± (709,108 sf.) = 33.5 %

NOTE: 30% OPEN SPACE IS REQUIRED FOR THIS DEVELOPMENT BY CITY OF CHESTERFIELD ORDINANCE 2682 B.3.a. THE PROPOSED STORM WATER IMPROVEMENTS COMPLY WITH THIS REQUIREMENT.

PARKING CALCULATIONS:

REQUIRED PARKING: 4.75 SPACES PER 1,000 sf. OF GROSS FLOOR AREA
 472,282 sf. AT 4.75/1000 = 2,244 SPACES REQUIRED

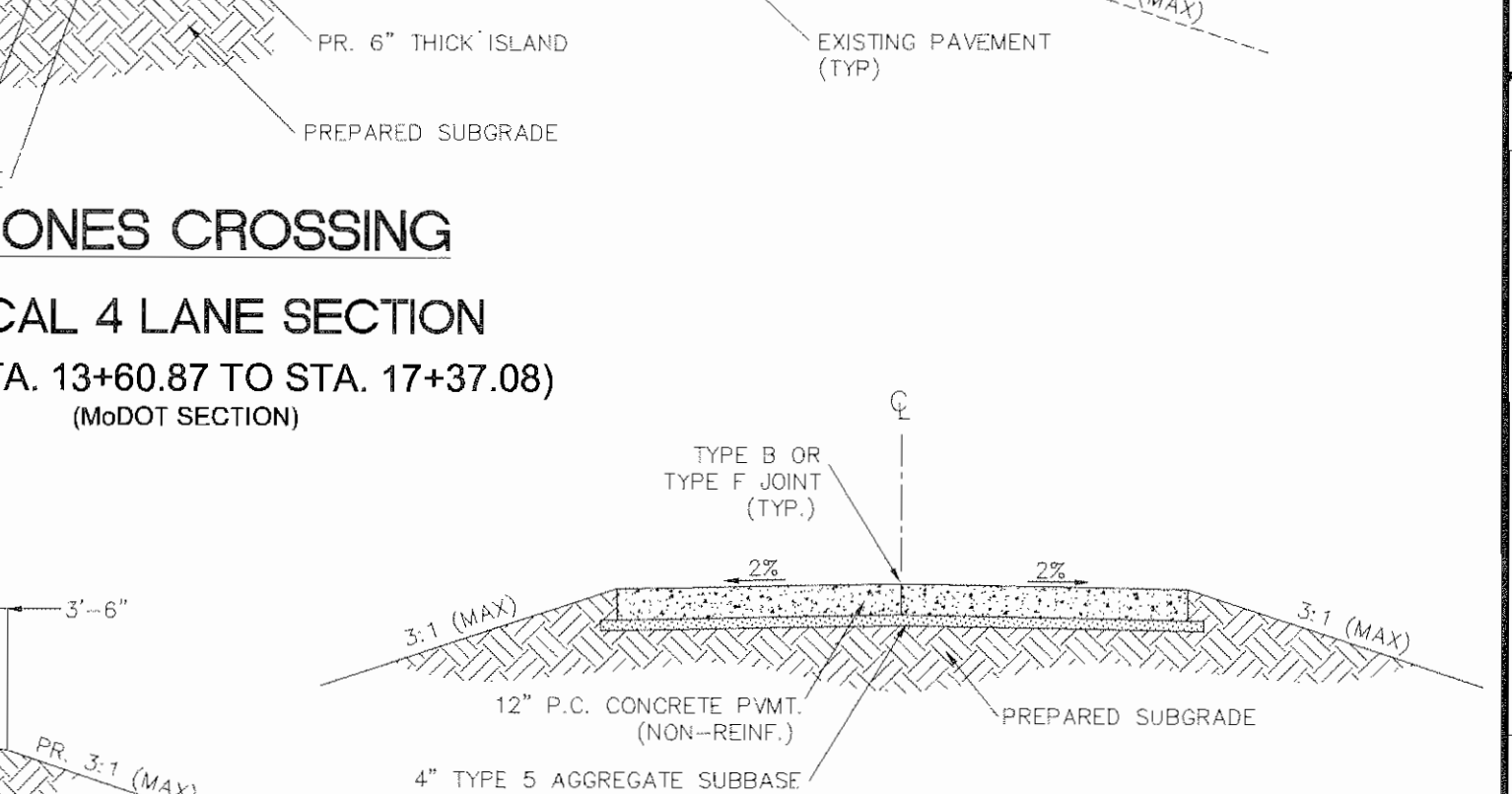
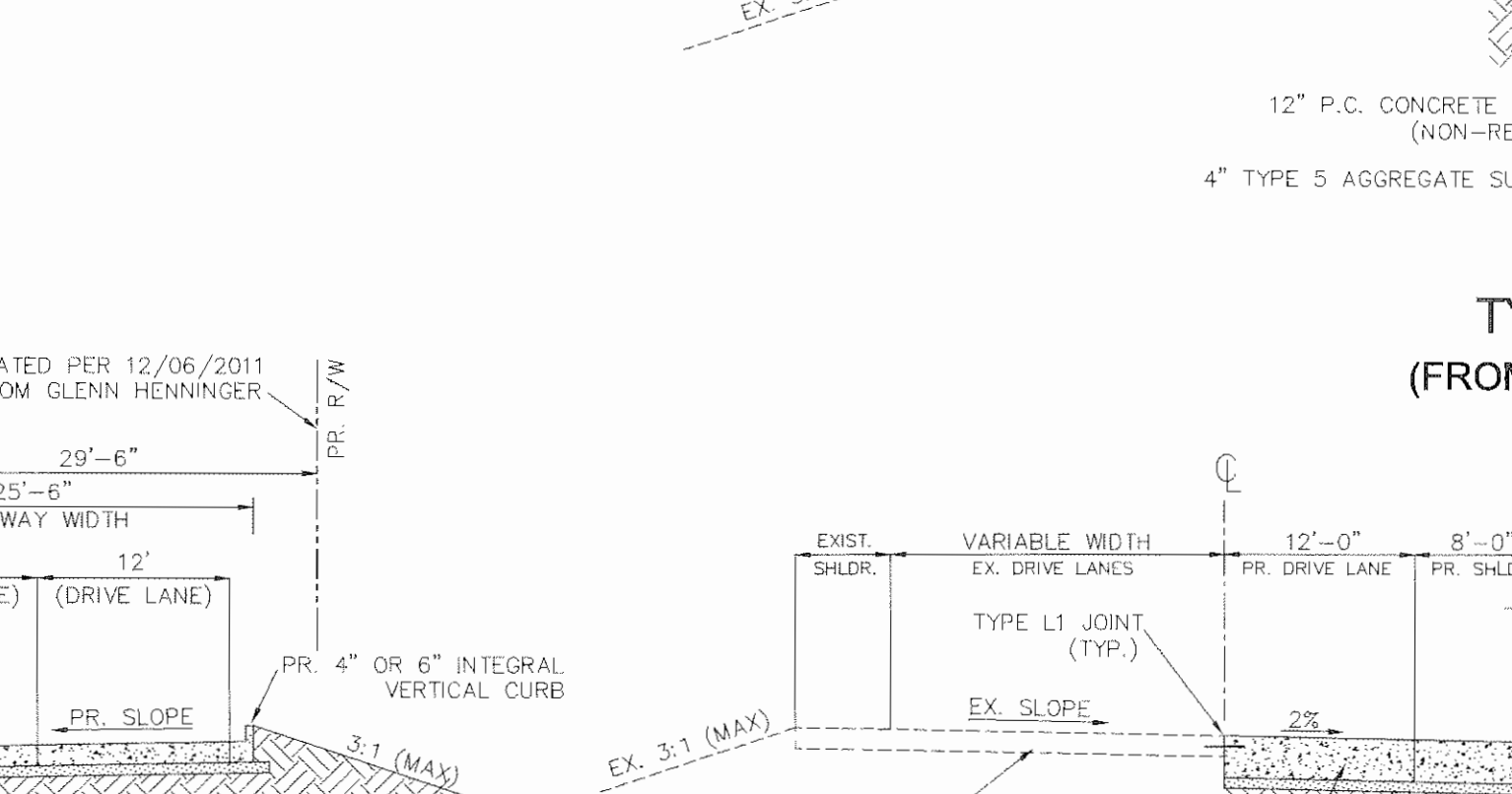
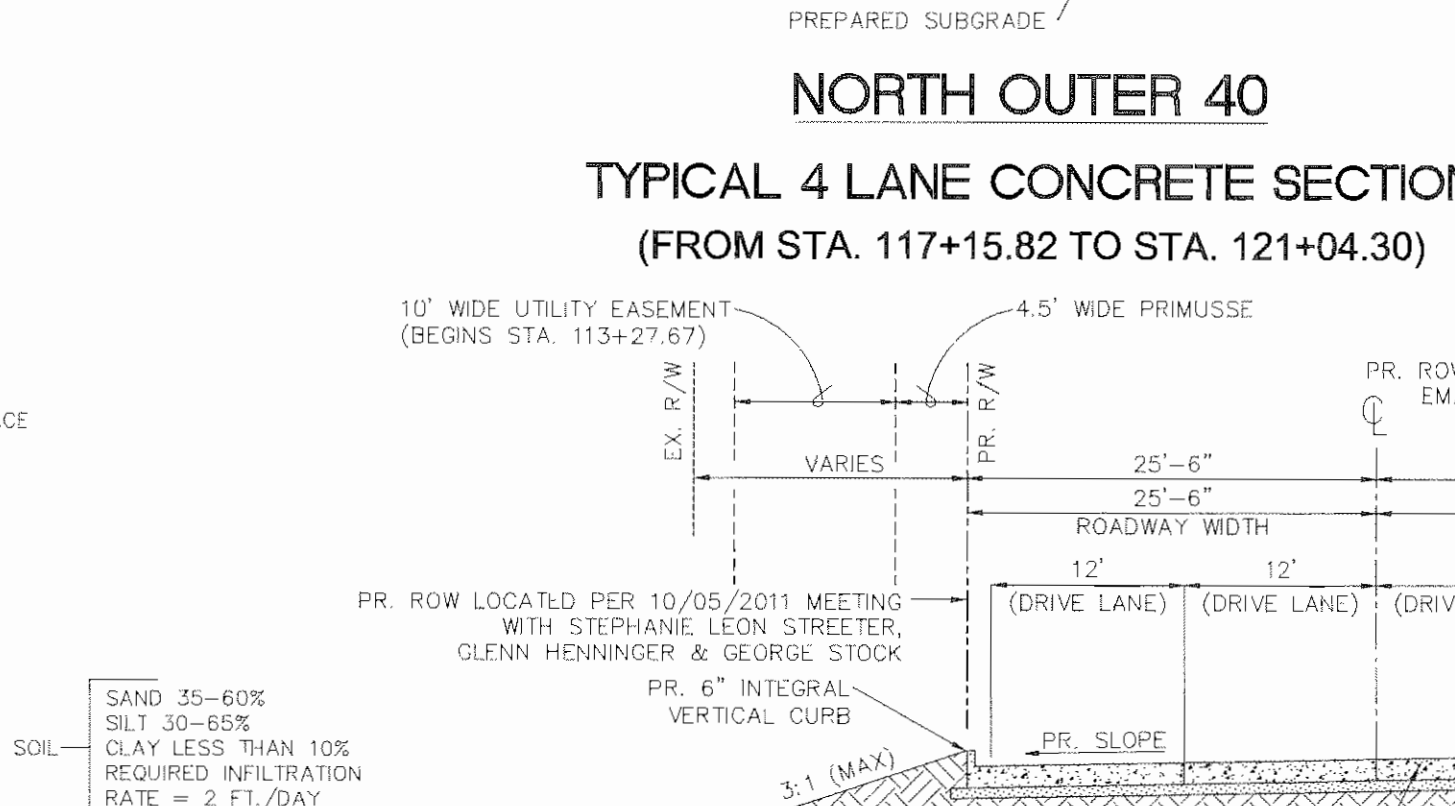
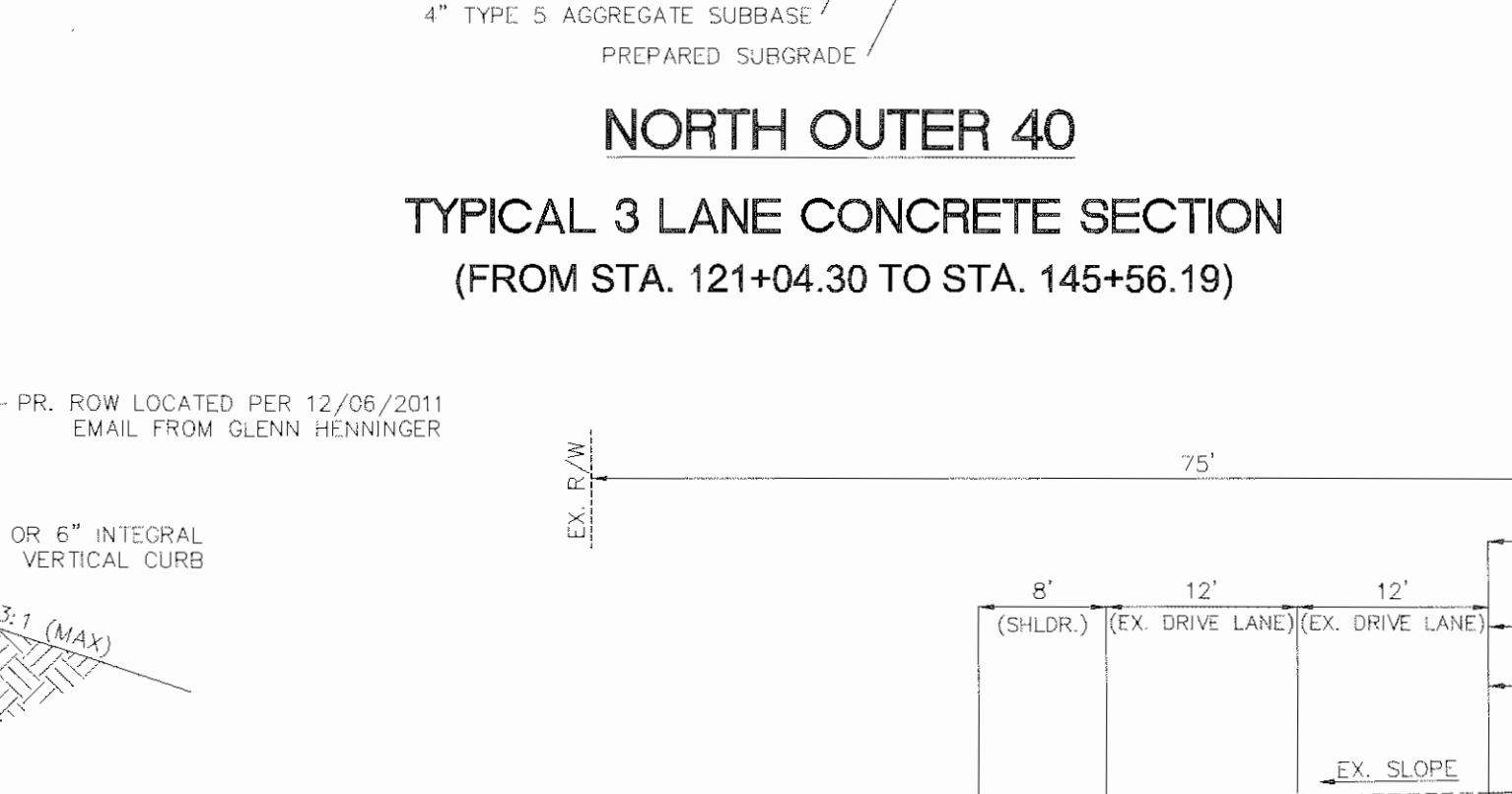
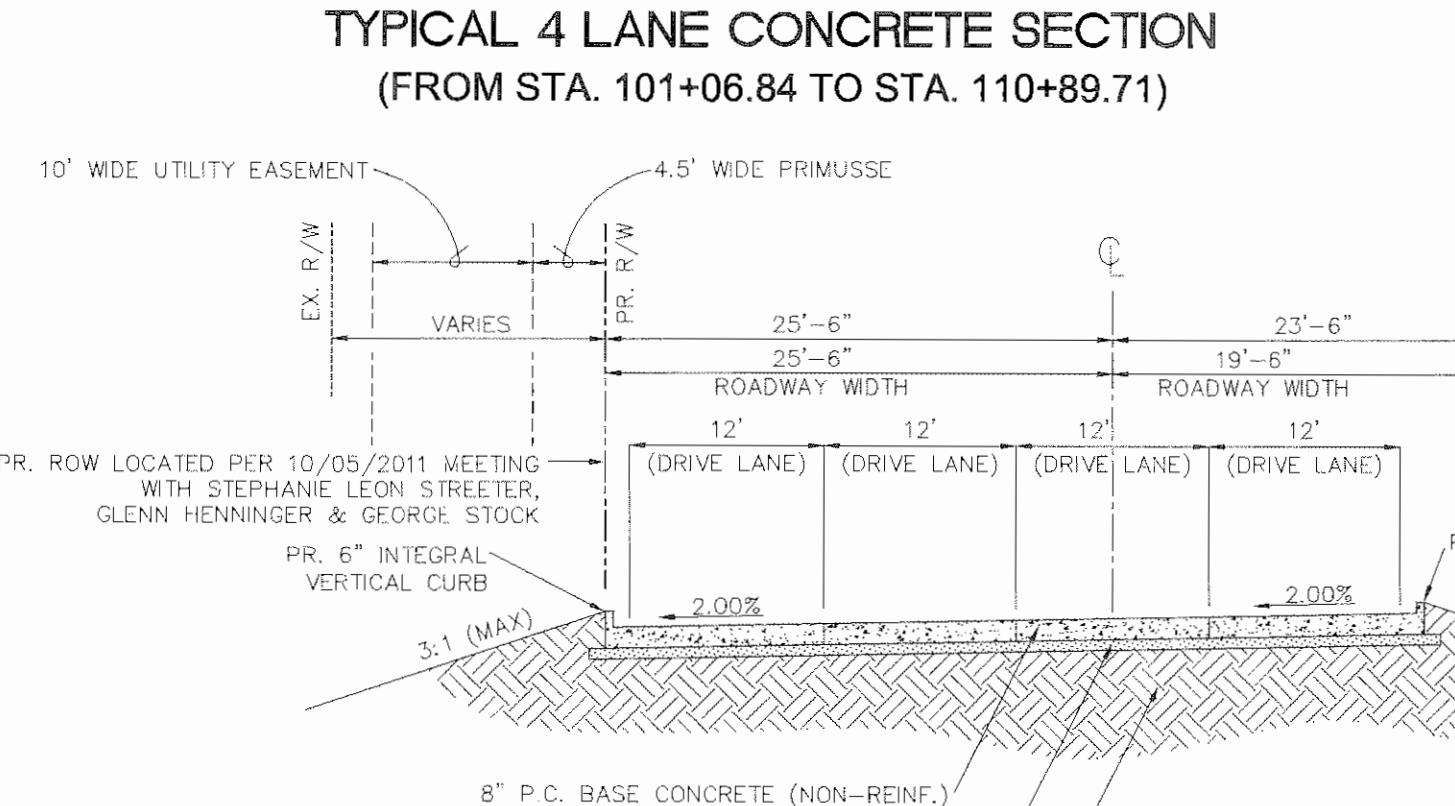
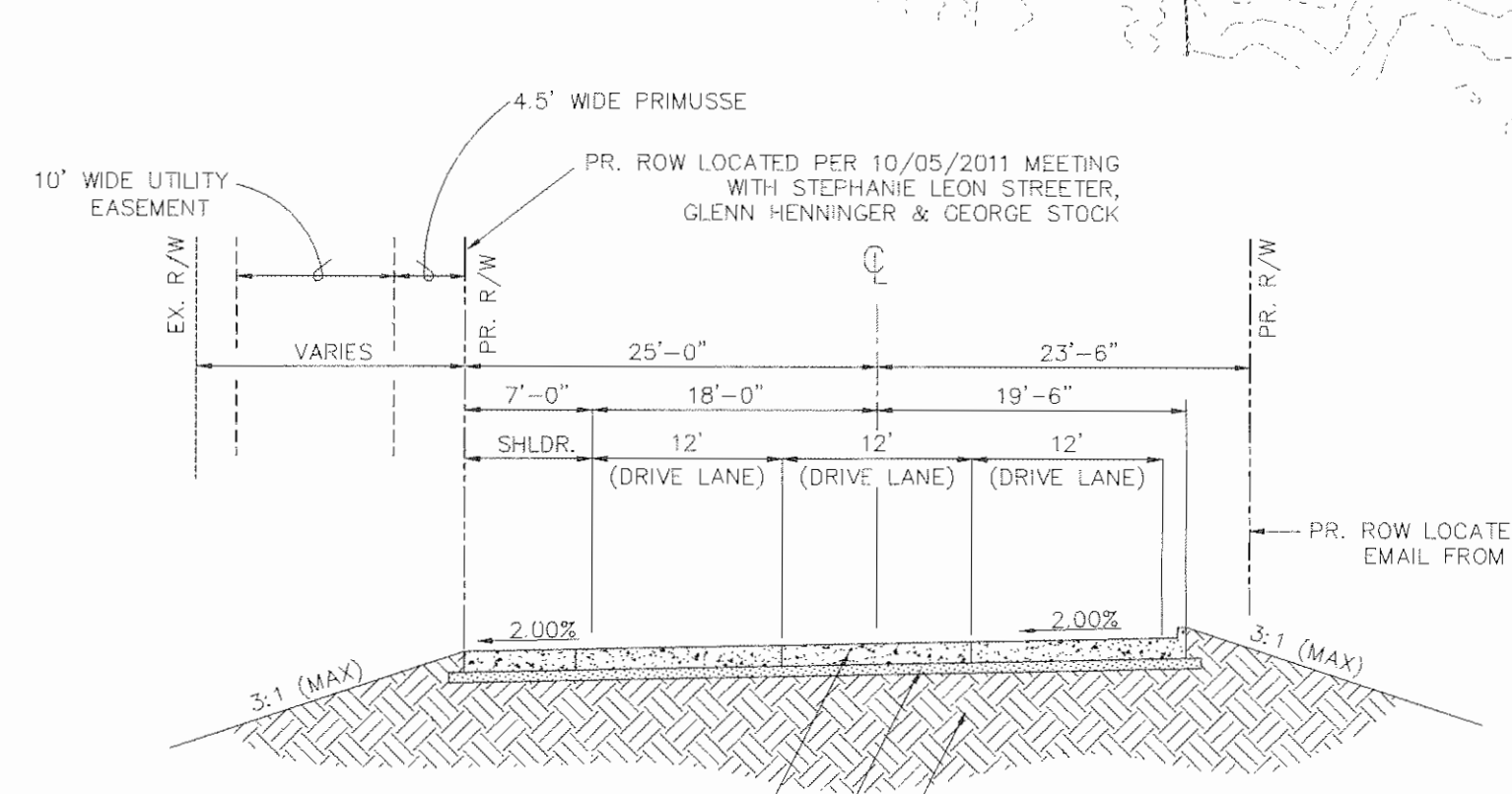
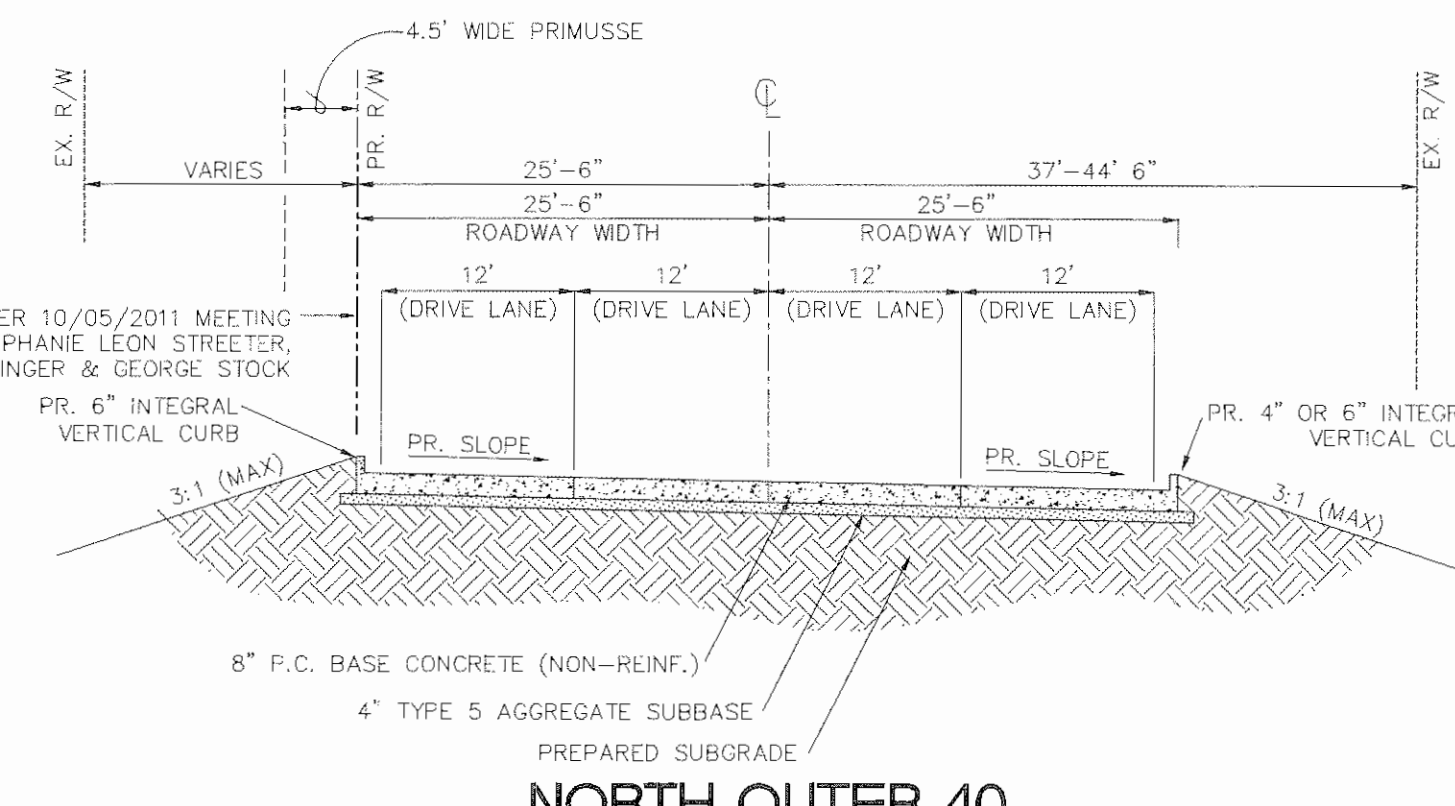
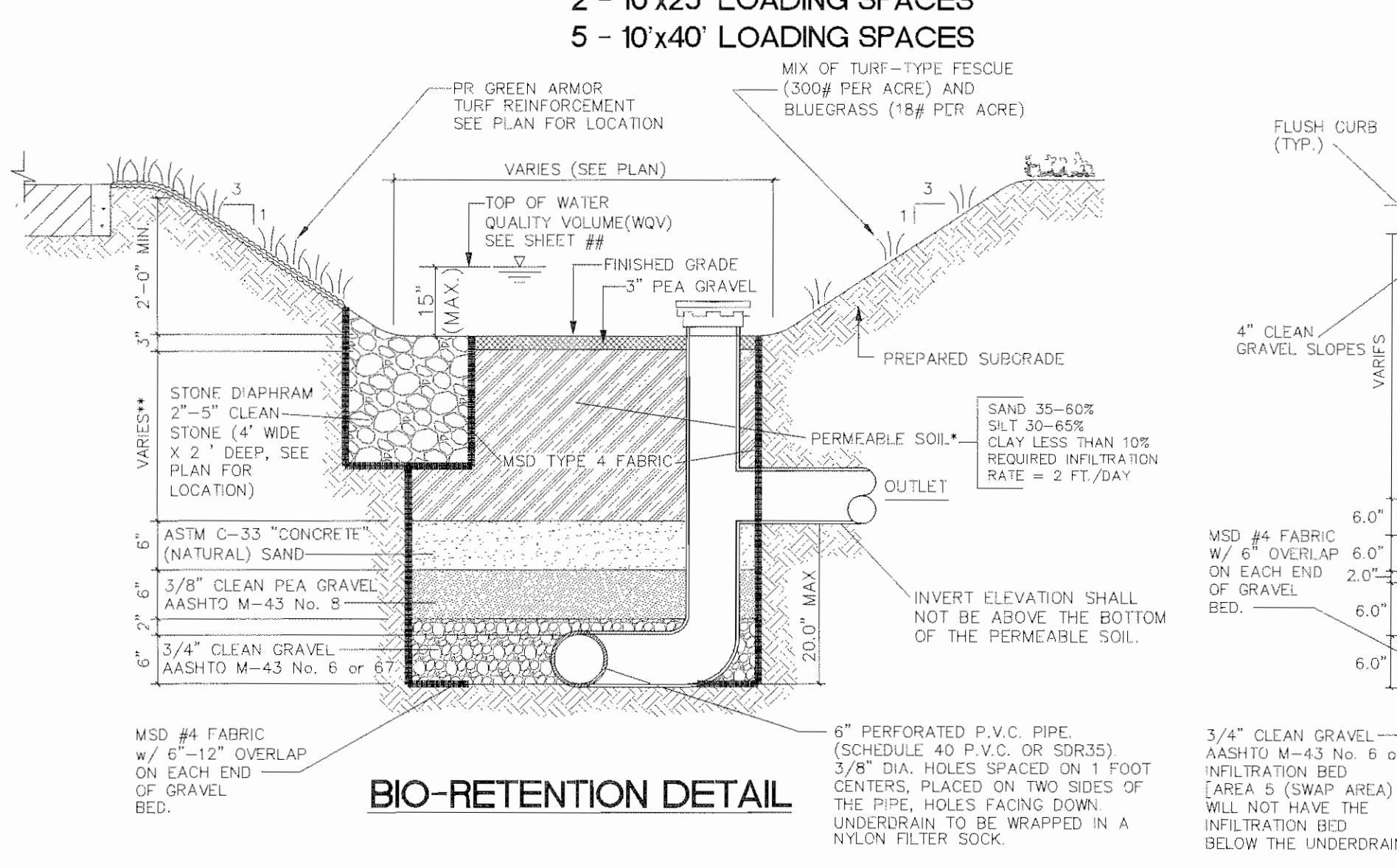
REDUCTION PER CITY LETTER "CHESTERFIELD OUTLETS - REQUEST FOR MODIFICATION TO PARKING REQUIREMENTS", DATED JANUARY 26, 2012. PER THE CITY OF CHESTERFIELD A 6.6% REDUCTION TO THE PARKING REQUIREMENT SPECIFIED IN SECTION 1003.165, 4.E.(6) FOR THE PROPOSED CHESTERFIELD OUTLETS DEVELOPMENT IS APPROVED IN ACCORDANCE WITH SECTION 1003.165, 9.D.(1). ADDITIONAL CHANGES TO THE DEVELOPMENT SIZE, RESTAURANT USE THAT EXCEEDS 10% OF THE GROSS LEASABLE AREA OF THE DEVELOPMENT, OR THE ADDITION OF A THEATER IN THE DEVELOPMENT WILL REQUIRE A NEW MODIFICATION TO BE SUBMITTED AND REVIEWED.

REQUIRED PARKING WITH 6.6% REDUCTION: = ((472,282/1000) x 4.75) x 0.934 = 2,095 SPACES REQUIRED
 PARKING PROVIDED: = 2,183 SPACES (+ INCLUDES 34 H.C. SPACES)
 * H.C. PARKING PROVIDED PER CODE: 20 PLUS ONE FOR EACH 100 OR FRACTION THEREOF, OVER 10,000.
 20 + 12 (1183/100) = 32 H.C. REQUIRED

LOADING CALCULATIONS:

REQUIRED LOADING:
 TWO 10'x25' LOADING SPACES AND ONE 10'x40' LOADING SPACE FOR CENTERS HAVING 25,001-100,000 sf.
 ONE ADDITIONAL 10'x40' SPACE FOR EVERY ADDITIONAL 100,000 sf. OF BUILDING AREA.
 472,282 sf. (GROSS FLOOR AREA) REQUIRES THE FOLLOWING:
 2 - 10'x25' LOADING SPACES
 5 - 10'x40' LOADING SPACES

PROVIDED LOADING:
 6 - 12' x 100' LOADING AREAS
 2 - 10' x 180' LOADING AREAS
 1 - 10' x 350' LOADING AREA
 1 - 10' x 335' LOADING AREA



FIRM 29189C01014
 LOMR 4/17/00 (465.00)

100 YR. H.W. ELEV. - MO RIVER: 465.71 (466.00) - HEC RAS MODEL 10/97
500 YR. H.W. ELEV. - MO RIVER: 468.00 (MILE 40) - FROM UPPER MISSISSIPPI (FLOW FREQUENCY STUDY - BY THE U.S. ARMY CORP. OF ENGINEERS, DATED MARCH 2004)

REVISIONS:

1	1/20/2012	REV. PER REVIEW COMMENTS
2	2/15/2012	REV. PER REVIEW COMMENTS

DRAWN BY: T.P.S. **CHECKED BY:** G.M.S.

DATE: 12/20/2011 **JOB NO.:** 211-4742

MSD P. NO.: P-29391-00 **BASE MAP:** 17U,17T

SHEET TITLE: OVERALL SITE DEVELOPMENT PLAN KEY MAP

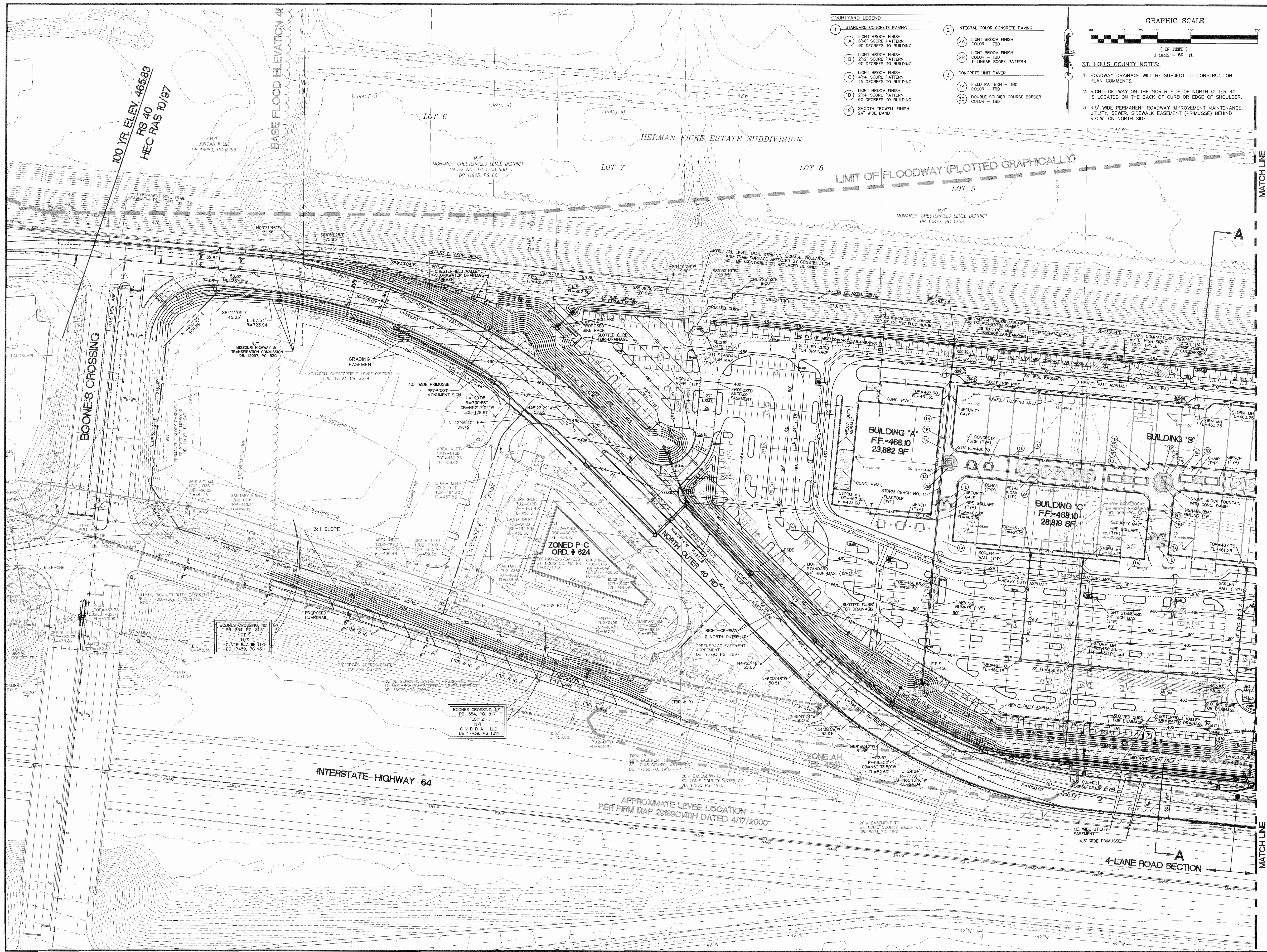
SHEET NO.: SDP-C2

PREPARED BY: **STOCK & ASSOCIATES** Consulting Engineers, Inc.

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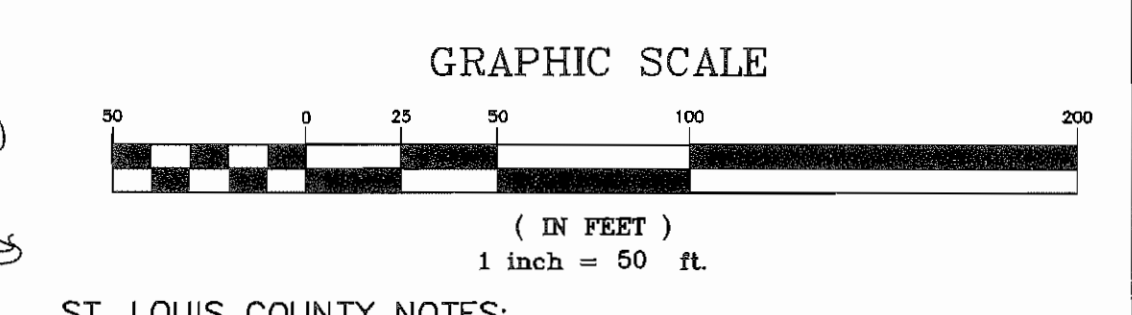
SITE DEVELOPMENT FOR:
CHESTERFIELD OUTLETS
 NORTH OUTER 40
 CHESTERFIELD, MISSOURI 63005

STATE OF MISSOURI
 GEORGE MICHAEL STOCK
 CIVIL ENGINEER
 NUMBER PE-25116
 2/15/2012
 E-25116
 NUMBER OF AUTHORITY: 000995



COURTYARD LEGEND

1	STANDARD CONCRETE PAVING	2	INTEGRAL COLOR CONCRETE PAVING
1A	LIGHT BROOM FINISH 6"X6" SCORE PATTERN 90 DEGREES TO BUILDING	2A	LIGHT BROOM FINISH COLOR - TBD
1B	LIGHT BROOM FINISH 2"X2" SCORE PATTERN 90 DEGREES TO BUILDING	2B	LIGHT BROOM FINISH COLOR - TBD 1" LINEAR SCORE PATTERN
1C	LIGHT BROOM FINISH 4"X4" SCORE PATTERN 45 DEGREES TO BUILDING	3	CONCRETE UNIT PAVER
1D	LIGHT BROOM FINISH 2"X4" SCORE PATTERN 90 DEGREES TO BUILDING	3A	FIELD PATTERN - TBD COLOR - TBD
1E	SMOOTH TROWEL FINISH 24" WIDE BAND	3B	DOUBLE SOLDIER COURSE BORDER COLOR - TBD



- ST. LOUIS COUNTY NOTES:**
- ROADWAY DRAINAGE WILL BE SUBJECT TO CONSTRUCTION PLAN COMMENTS.
 - RIGHT-OF-WAY ON THE NORTH SIDE OF NORTH OUTER 40 IS LOCATED ON THE BACK OF CURB OR EDGE OF SHOULDER.
 - 4.5' WIDE PERMANENT ROADWAY IMPROVEMENT MAINTENANCE, UTILITY, SEWER, SIDEWALK EASEMENT (PRIMUSSE) BEHIND R.O.W. ON NORTH SIDE.

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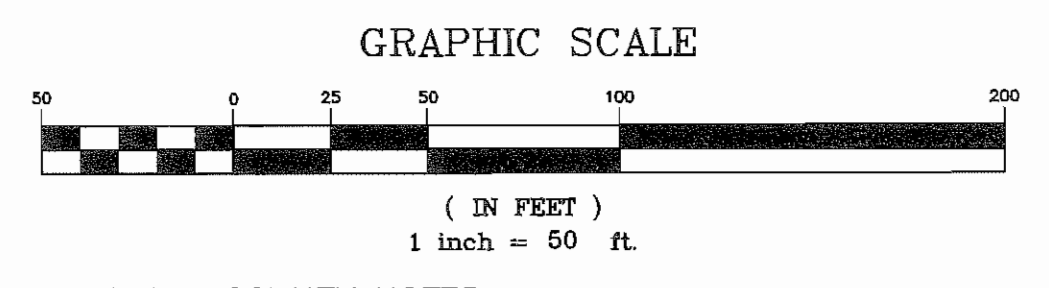
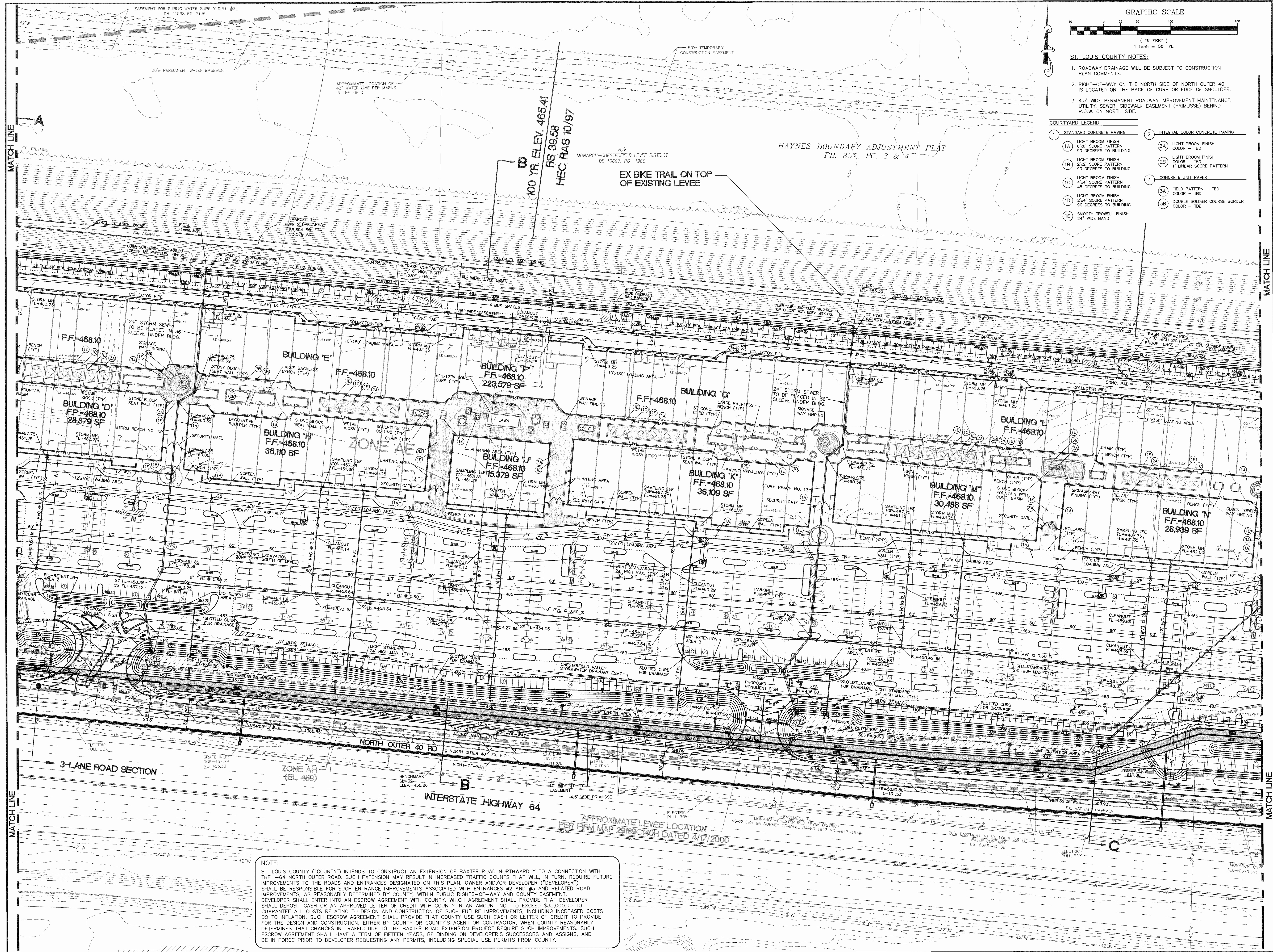
SITE DEVELOPMENT PLAN FOR:
CHESTERFIELD OUTLETS
 NORTH OUTER 40
 CHESTERFIELD, MISSOURI 63005

STATE OF MISSOURI
 GEORGE MICHAEL STOCK
 CIVIL ENGINEER
 NUMBER: PE-25119
 2/15/2012

REVISIONS:

1	1/20/2012	REV. PER REVIEW COMMENTS
2	2/15/2012	REV. PER REVIEW COMMENTS

DRAWN BY: T.P.S. CHECKED BY: G.M.S.
 DATE: 12/20/2011 JOB NO: 211-4742
 MSP P. NO: BASE MAP: P-29391-00 17U,17T
 SHEET TITLE: **SITE DEVELOPMENT PLAN**
 SHEET NO.: **SDP-C3**



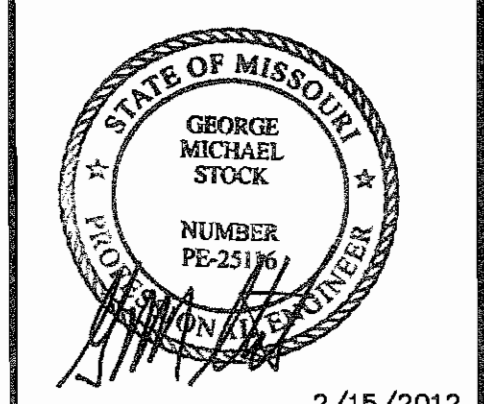
- ST. LOUIS COUNTY NOTES:
- ROADWAY DRAINAGE WILL BE SUBJECT TO CONSTRUCTION PLAN COMMENTS.
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 - 4.5' WIDE PERMANENT ROADWAY IMPROVEMENT MAINTENANCE, UTILITY, SEWER, SIDEWALK EASEMENT (PRIMUSSE) BEHIND R.O.W. ON NORTH SIDE.

- COURTYARD LEGEND
- | | |
|--|---|
| 1 STANDARD CONCRETE PAVING | 2 INTEGRAL COLOR CONCRETE PAVING |
| 1A LIGHT BROOM FINISH 6"x6" SCORE PATTERN 90 DEGREES TO BUILDING | 2A LIGHT BROOM FINISH COLOR - TBD |
| 1B LIGHT BROOM FINISH 2"x2" SCORE PATTERN 60 DEGREES TO BUILDING | 2B LIGHT BROOM FINISH 1" LINEAR SCORE PATTERN |
| 1C LIGHT BROOM FINISH 4"x4" SCORE PATTERN 45 DEGREES TO BUILDING | 3 CONCRETE UNIT PAVEMENT |
| 1D LIGHT BROOM FINISH 2"x4" SCORE PATTERN 90 DEGREES TO BUILDING | 3A FIELD PATTERN - TBD COLOR - TBD |
| 1E SMOOTH TROWEL FINISH 24" WIDE BAND | 3B DOUBLE SOLDIER COURSE BORDER COLOR - TBD |

PREPARED BY:
STOCK & ASSOCIATES
 Consulting Engineers, Inc.

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DEVELOPMENT PLAN FOR:
CHESTERFIELD OUTLETS
 NORTH OUTER 40
 CHESTERFIELD, MISSOURI 63005



2/15/2012
 GEORGE M. STOCK
 CIVIL ENGINEER
 CERTIFICATE OF AUTHORITY
 NUMBER: 000996

- REVISIONS:
- 1/20/2012 REV. PER REVIEW COMMENTS
 - 2/15/2012 REV. PER REVIEW COMMENTS

DRAWN BY: T.P.S. CHECKED BY: G.M.S.
 DATE: 12/20/2011 JOB NO: 211-4742
 MSD P. NO: BASE MAP: P-29391-00 17U,17T
 SHEET TITLE:

SITE DEVELOPMENT PLAN
 SHEET NO.: **SDP-C4**

NOTE:
 ST. LOUIS COUNTY ("COUNTY") INTENDS TO CONSTRUCT AN EXTENSION OF BAXTER ROAD NORTHWARDLY TO A CONNECTION WITH THE I-64 NORTH OUTER ROAD. SUCH EXTENSION MAY RESULT IN INCREASED TRAFFIC COUNTS THAT WILL, IN TURN, REQUIRE FUTURE IMPROVEMENTS TO THE ROADS AND ENTRANCES DESIGNATED ON THIS PLAN. OWNER AND/OR DEVELOPER ("DEVELOPER") SHALL BE RESPONSIBLE FOR SUCH ENTRANCE IMPROVEMENTS ASSOCIATED WITH ENTRANCES #2 AND #3 AND RELATED ROAD IMPROVEMENTS, AS REASONABLY DETERMINED BY COUNTY, WITHIN PUBLIC RIGHTS-OF-WAY AND COUNTY EASEMENT. DEVELOPER SHALL ENTER INTO AN ESCROW AGREEMENT WITH COUNTY, WHICH AGREEMENT SHALL PROVIDE THAT DEVELOPER SHALL DEPOSIT CASH OR AN APPROVED LETTER OF CREDIT WITH COUNTY IN AN AMOUNT NOT TO EXCEED \$35,000.00 TO GUARANTEE ALL COSTS RELATING TO DESIGN AND CONSTRUCTION OF SUCH FUTURE IMPROVEMENTS, INCLUDING INCREASED COSTS DO TO INFLATION. SUCH ESCROW AGREEMENT SHALL PROVIDE THAT COUNTY USE SUCH CASH OR LETTER OF CREDIT TO PROVIDE FOR THE DESIGN AND CONSTRUCTION, EITHER BY COUNTY OR COUNTY'S AGENT OR CONTRACTOR, WHEN COUNTY REASONABLY DETERMINES THAT CHANGES IN TRAFFIC DUE TO THE BAXTER ROAD EXTENSION PROJECT REQUIRE SUCH IMPROVEMENTS. SUCH ESCROW AGREEMENT SHALL HAVE A TERM OF FIFTEEN YEARS, BE BINDING ON DEVELOPER'S SUCCESSORS AND ASSIGNS, AND BE IN FORCE PRIOR TO DEVELOPER REQUESTING ANY PERMITS, INCLUDING SPECIAL USE PERMITS FROM COUNTY.

40' W ACCESS EASEMENT TO WAYNE D. & RUTHANN E. HAYNES DB 17434, PG. 243

N/F WAYNE & RUTHANN HAYNES DB 9054, PG. 2041

APPROXIMATE LEVEL LOCATION PER FIRM MAP 29189C140H DATED 4/17/2000

ADJUSTED LOT 2

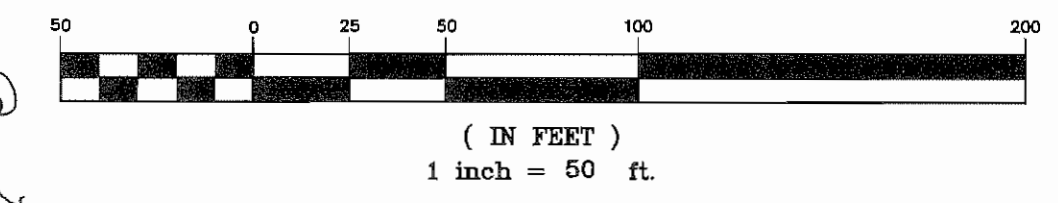
APPROXIMATE LEVEL LOCATION PER FIRM MAP 29189C140H DATED 4/17/2000

COURTYARD LEGEND

- 1 STANDARD CONCRETE PAVING
- 1A LIGHT BROOM FINISH 6" W/ SCORE PATTERN 90 DEGREES TO BUILDING
- 1B LIGHT BROOM FINISH 2" X 2" SCORE PATTERN 90 DEGREES TO BUILDING
- 1C LIGHT BROOM FINISH 4" X 4" SCORE PATTERN 45 DEGREES TO BUILDING
- 1D LIGHT BROOM FINISH 2" X 4" SCORE PATTERN 90 DEGREES TO BUILDING
- 1E SMOOTH TROWEL FINISH 24" WIDE BAND

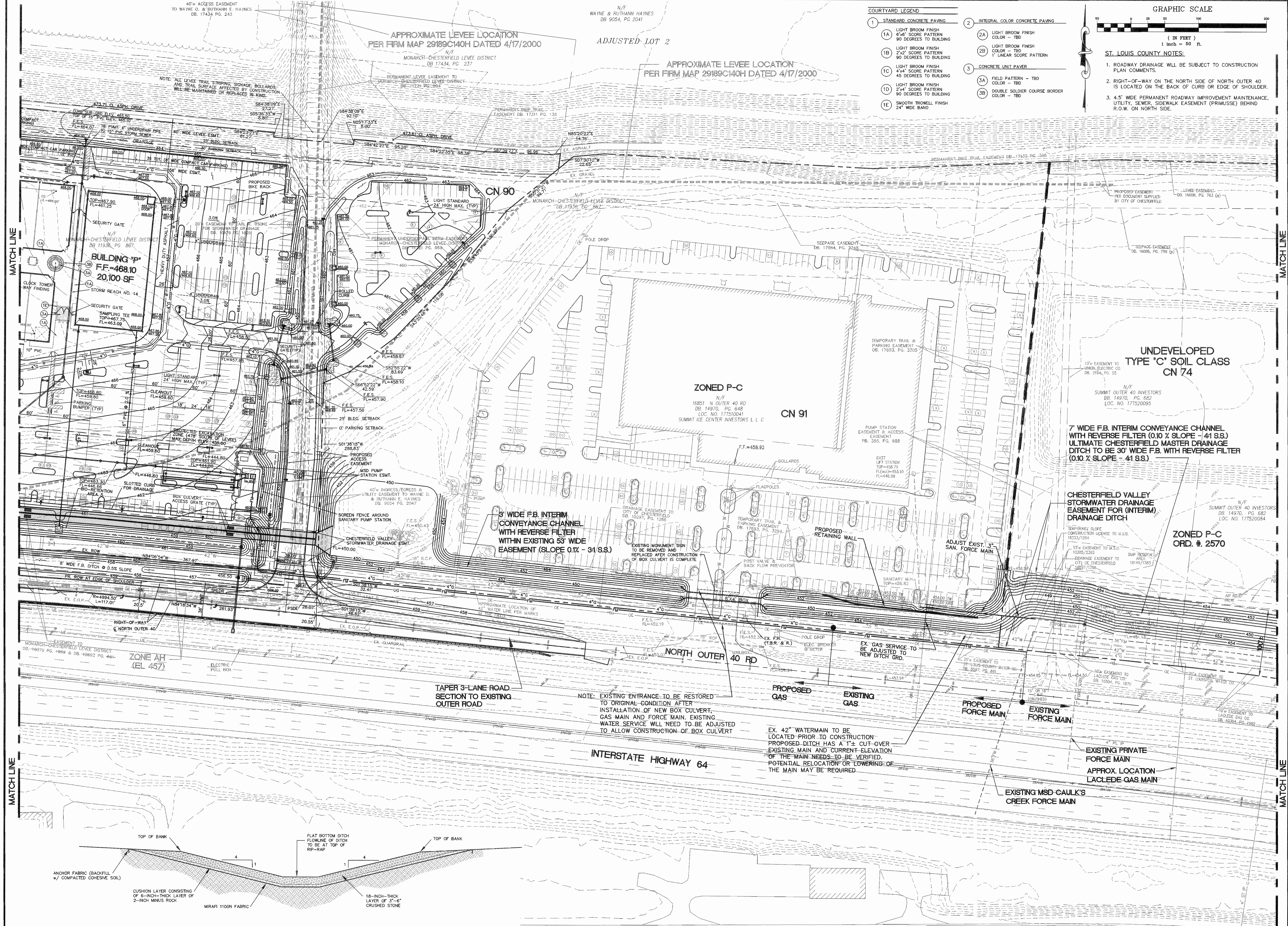
- 2 INTEGRAL COLOR CONCRETE PAVING
- 2A LIGHT BROOM FINISH COLOR - TBD
- 2B LIGHT BROOM FINISH COLOR - TBD 1" LINEAR SCORE PATTERN
- 3 CONCRETE UNIT PAVES
- 3A FIELD PATTERN - TBD COLOR - TBD
- 3B DOUBLE SOLDIER COURSE BORDER COLOR - TBD

GRAPHIC SCALE



ST. LOUIS COUNTY NOTES:

1. ROADWAY DRAINAGE WILL BE SUBJECT TO CONSTRUCTION PLAN COMMENTS.
2. RIGHT-OF-WAY ON THE NORTH SIDE OF NORTH OUTER 40 IS LOCATED ON THE BACK OF CURB OR EDGE OF SHOULDER.
3. 4.5' WIDE PERMANENT ROADWAY IMPROVEMENT MAINTENANCE, UTILITY, SEWER, SIDEWALK EASEMENT (PRIMUSSE) BEHIND R.O.W. ON NORTH SIDE.

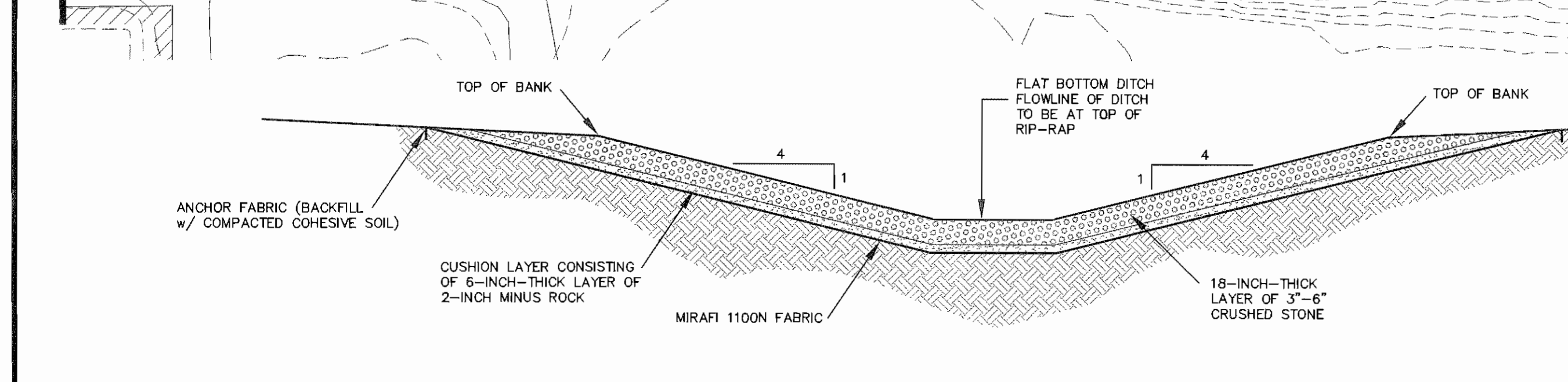


MATCH LINE

MATCH LINE

MATCH LINE

MATCH LINE



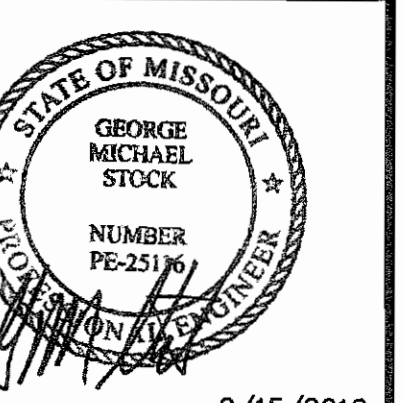
REVERSE FILTER CROSS-SECTION

PREPARED BY: STOCK & ASSOCIATES Consulting Engineers, Inc.

SITE DEVELOPMENT PLAN FOR:

CHESTERFIELD OUTLETS

NORTH OUTER 40
CHESTERFIELD, MISSOURI 63005



2/15/2012
GEORGE M. STOCK E-25116
CIVIL ENGINEER
CERTIFICATE OF AUTHORITY NUMBER: 000696

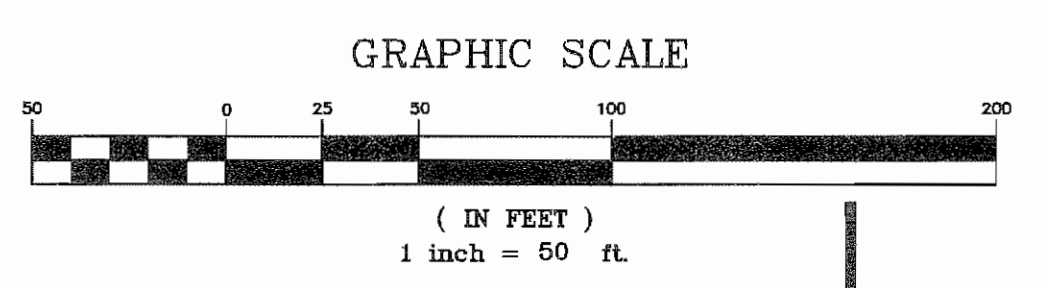
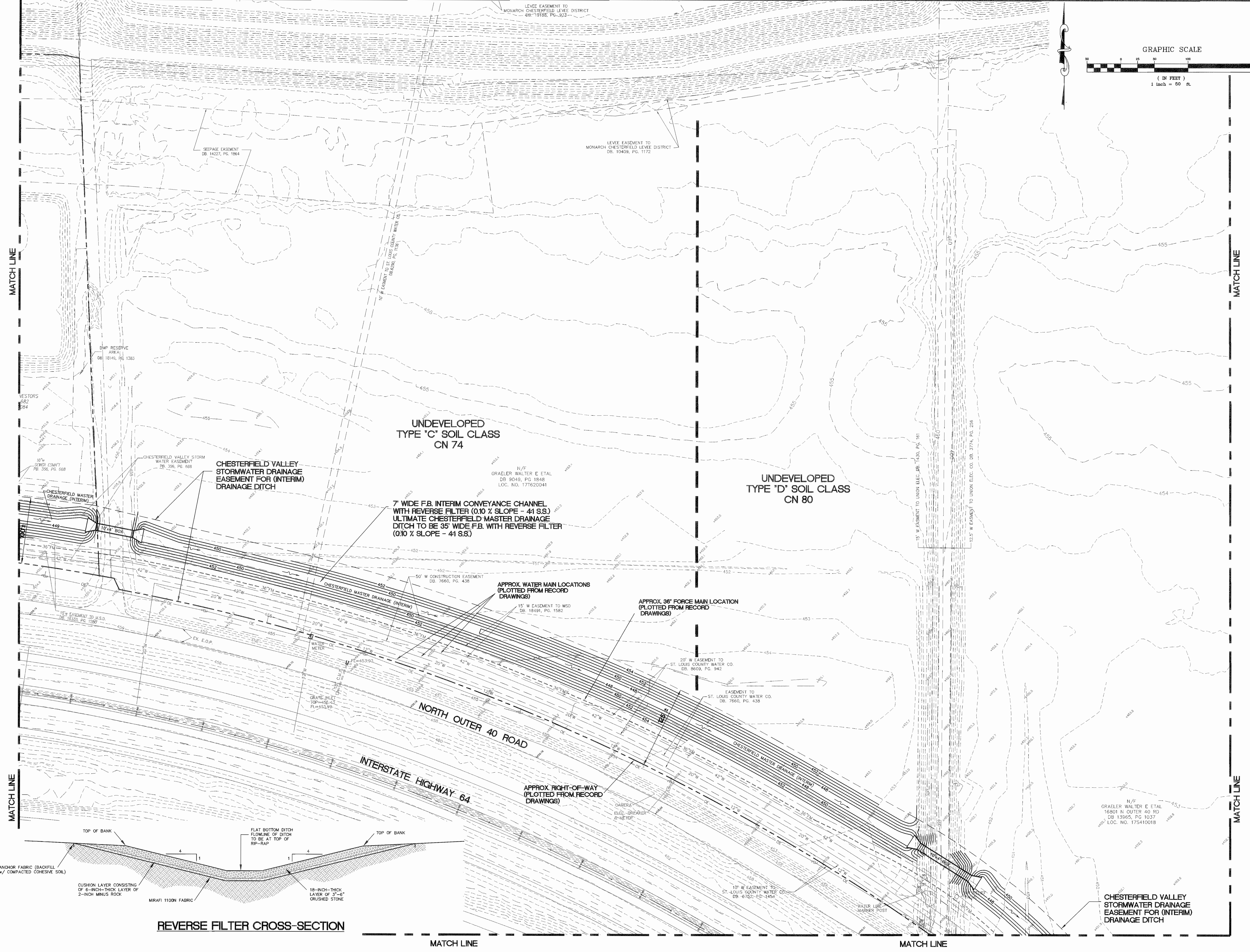
REVISIONS:

1	1/20/2012	REV. PER REVIEW COMMENTS
2	2/15/2012	REV. PER REVIEW COMMENTS

DRAWN BY:	CHECKED BY:
T.P.S.	G.M.S.
DATE:	JOB NO.:
12/20/2011	211-4742
MSD P. NO.:	BASE MAP:
P-29391-00	17U,17T

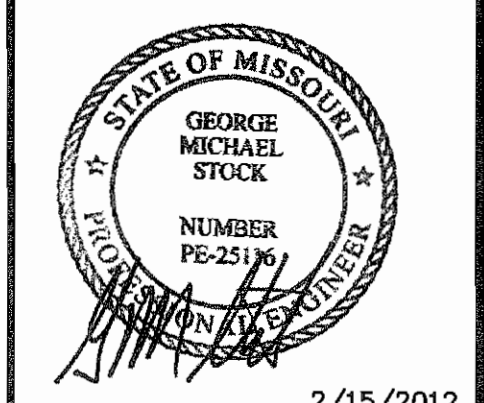
SITE DEVELOPMENT PLAN

SHEET NO.: SDP-C5



PREPARED BY:
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SITE DEVELOPMENT PLAN FOR:
CHESTERFIELD OUTLETS
 NORTH OUTER 40
 CHESTERFIELD, MISSOURI 63005



2/15/2012
 GEORGE M. STOCK E-25116
 CIVIL ENGINEER
 CERTIFICATE OF AUTHORITY
 NUMBER: 000996

REVISIONS:

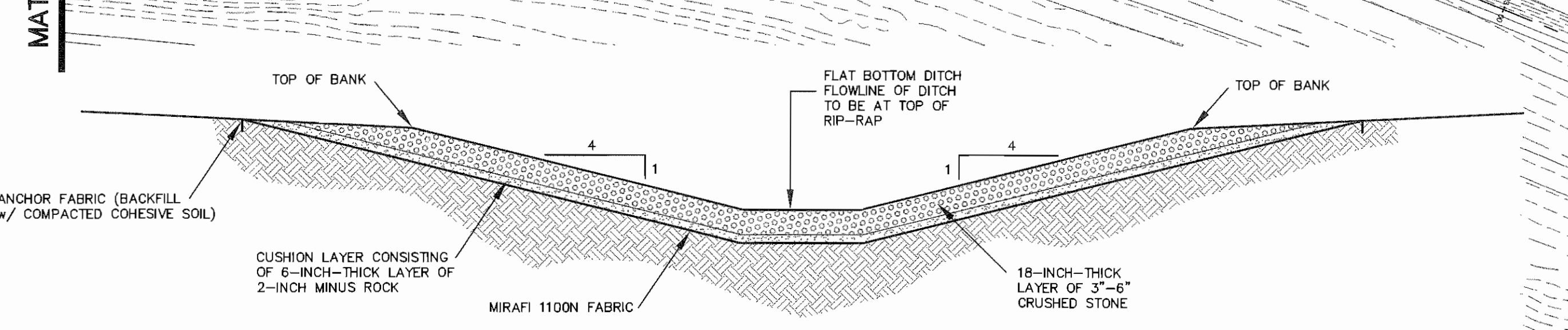
1	1/20/2012	REV. PER REVIEW COMMENTS
2	2/15/2012	REV. PER REVIEW COMMENTS

DRAWN BY:	CHECKED BY:
T.P.S.	G.M.S.
DATE:	JOB NO.:
12/20/2011	211-4742
MSD P. NO.:	BASE MAP:
P-29391-00	17J,17T

SHEET TITLE:
SITE DEVELOPMENT PLAN

SHEET NO.:
SDP-C6

REVERSE FILTER CROSS-SECTION



MATCH LINE

UNDEVELOPED
TYPE 'D' SOIL CLASS
CN 80

7' WIDE F.B. INTERIM CONVEYANCE CHANNEL
WITH REVERSE FILTER (0.10 % SLOPE - 41 S.S.)
ULTIMATE CHESTERFIELD MASTER DRAINAGE
DITCH TO BE 40' WIDE F.B. WITH REVERSE FILTER
(0.10 % SLOPE - 41 S.S.)

N/E
GRAELER, WALTER E. ETAL
16703 N OUTER 40 RD
DB 13965, PG 1037
LOC. NO. 175410018

APPROX. WATER MAIN LOCATIONS
(PLOTTED FROM RECORD
DRAWINGS)

50' W CONSTRUCTION EASEMENT
DB 7680, PG. 438

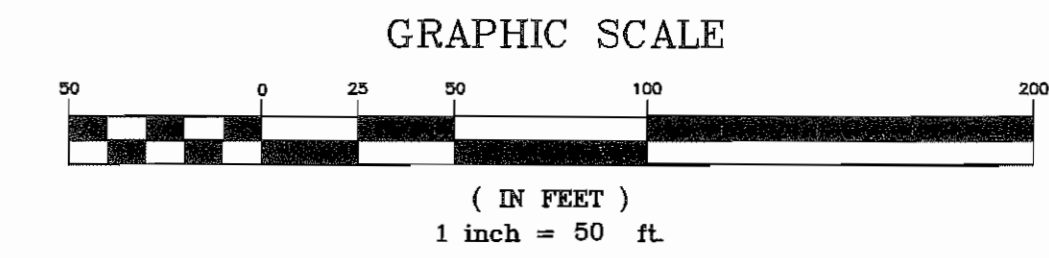
APPROX. 36" FORCE MAIN LOCATION
(PLOTTED FROM RECORD
DRAWINGS)

EASEMENT LINE SHOWN PER
MONARCH-CHESTERFIELD LEVEE
DISTRICT WATERSHED NO. 5 PUMP
STATION PONDING AREA EXHIBIT.

EASEMENT TO
ST. LOUIS COUNTY WATER CO.
DB: 7650, PG. 438

(UNDER CONSTRUCTION)
MONARCH-CHESTERFIELD LEVEE DISTRICT
WATERSHED NO. 5 PUMP STATION
PONDING AREA

N/E
GRAELER, WALTER E. ETAL
16703 N OUTER 40 RD
DB 13965, PG 1037
LOC. NO. 175410018



PREPARED BY:

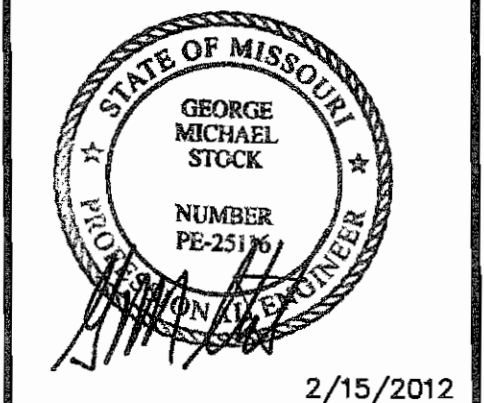
STOCK & ASSOCIATES
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E-Mail: gerald@stockeng.com
Web: www.stockeng.com

SITE DEVELOPMENT PLAN FOR:

CHESTERFIELD OUTLETS

NORTH OUTER 40
CHESTERFIELD, MISSOURI 63005



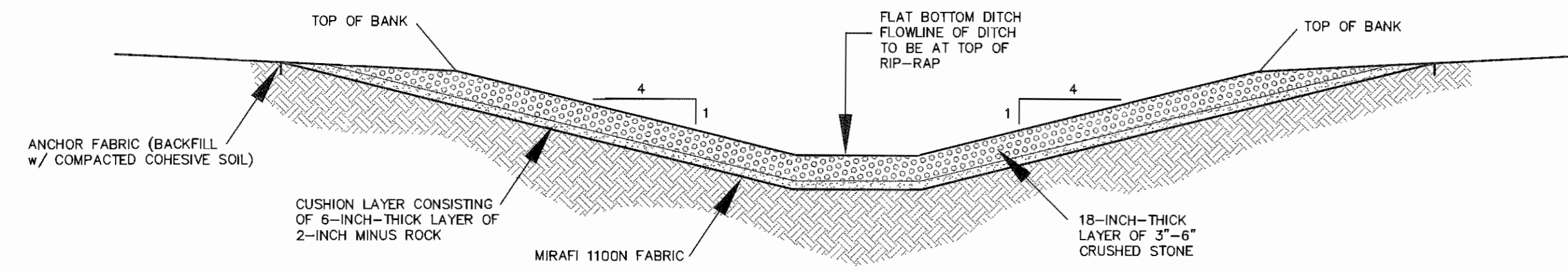
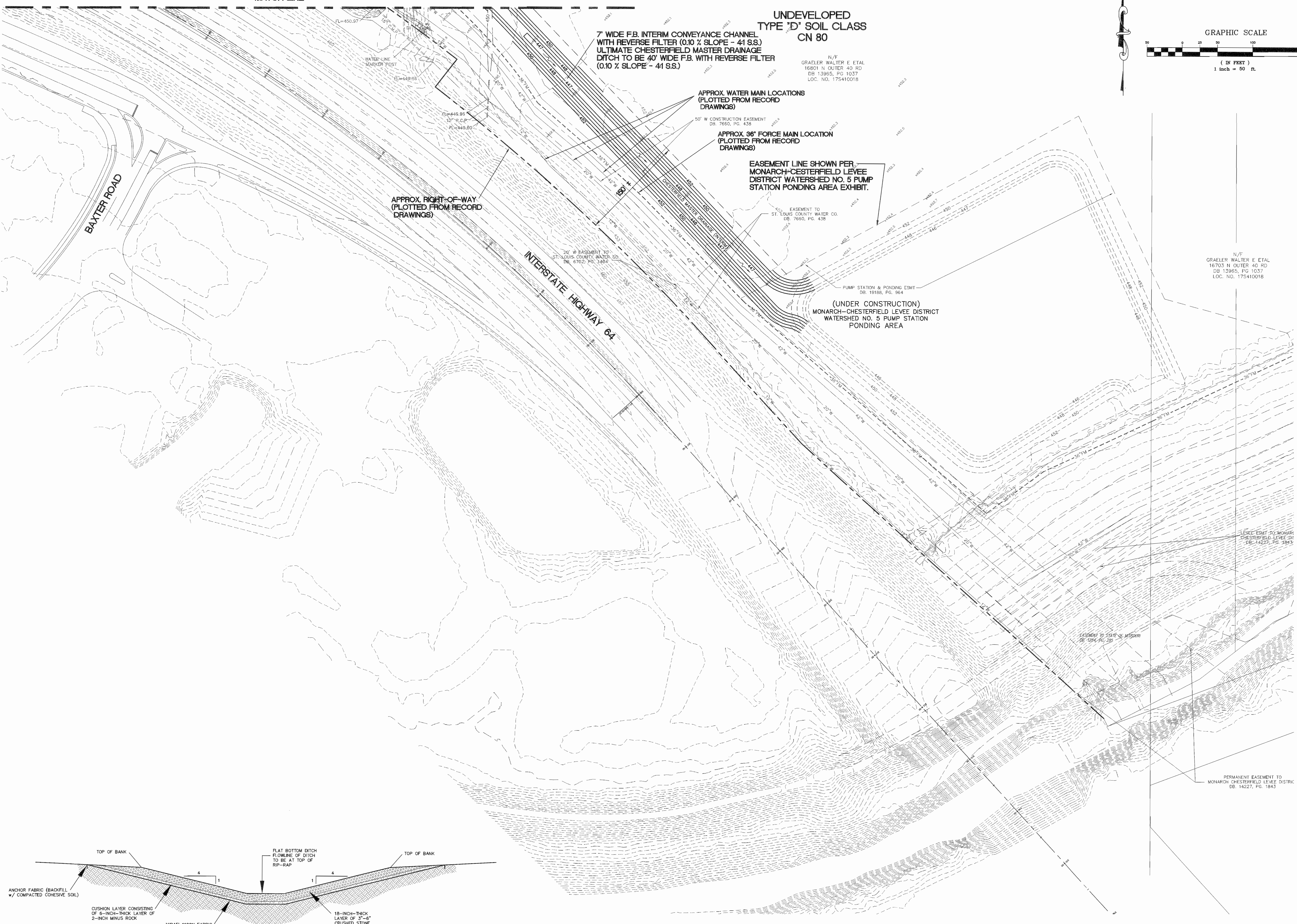
2/15/2012
GEORGE M. STOCK E-25116
CIVIL ENGINEER
CERTIFICATE OF AUTHORITY
NUMBER: 000996

REVISIONS:	
1	1/20/2012 REV. PER REVIEW COMMENTS
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DRAWN BY:	CHECKED BY:
T.P.S.	G.M.S.
DATE:	JOB NO.:
12/20/2011	211-4742
MSD P. NO.:	BASE MAP:
P-29391-00	17U,17T

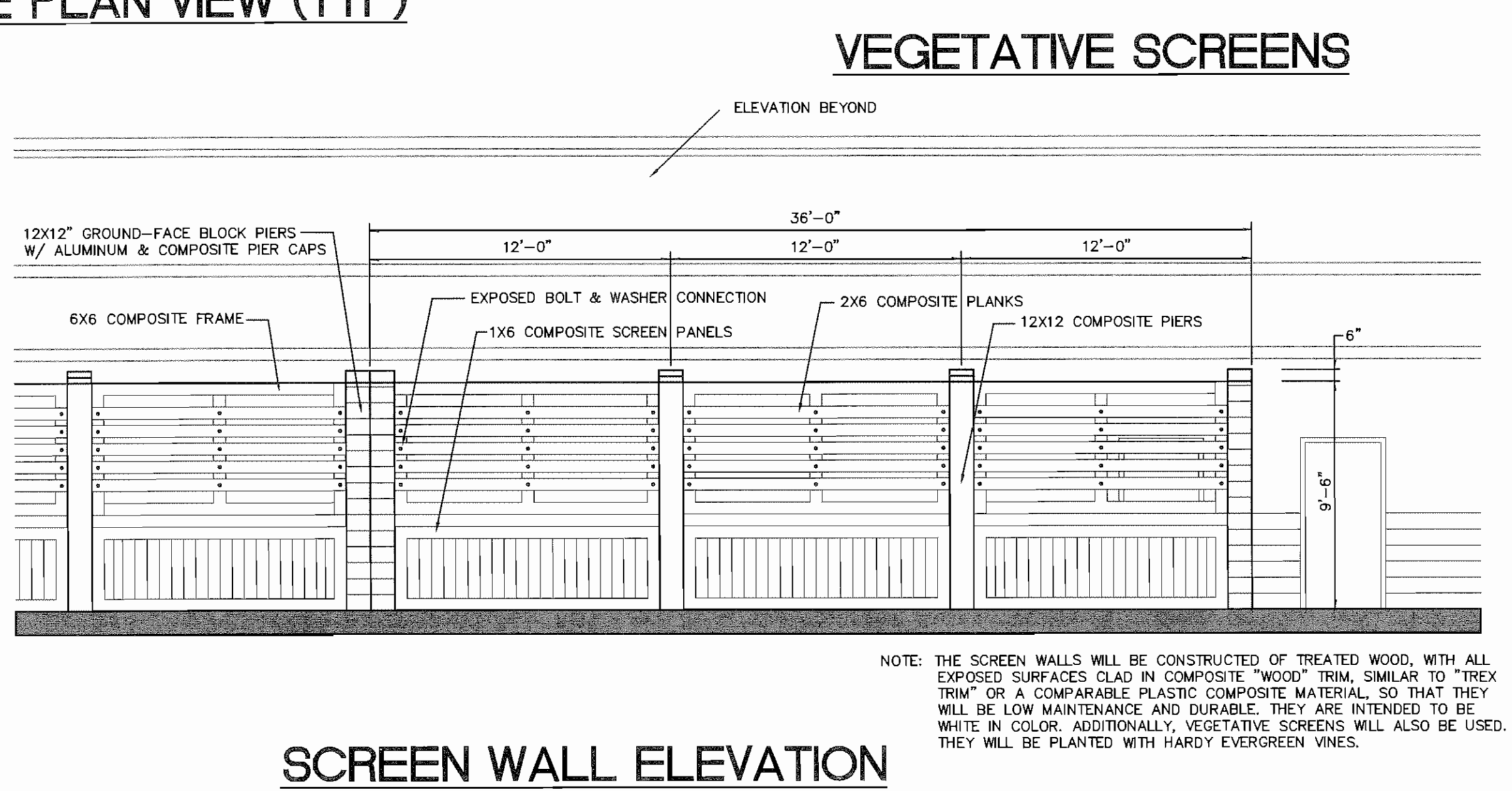
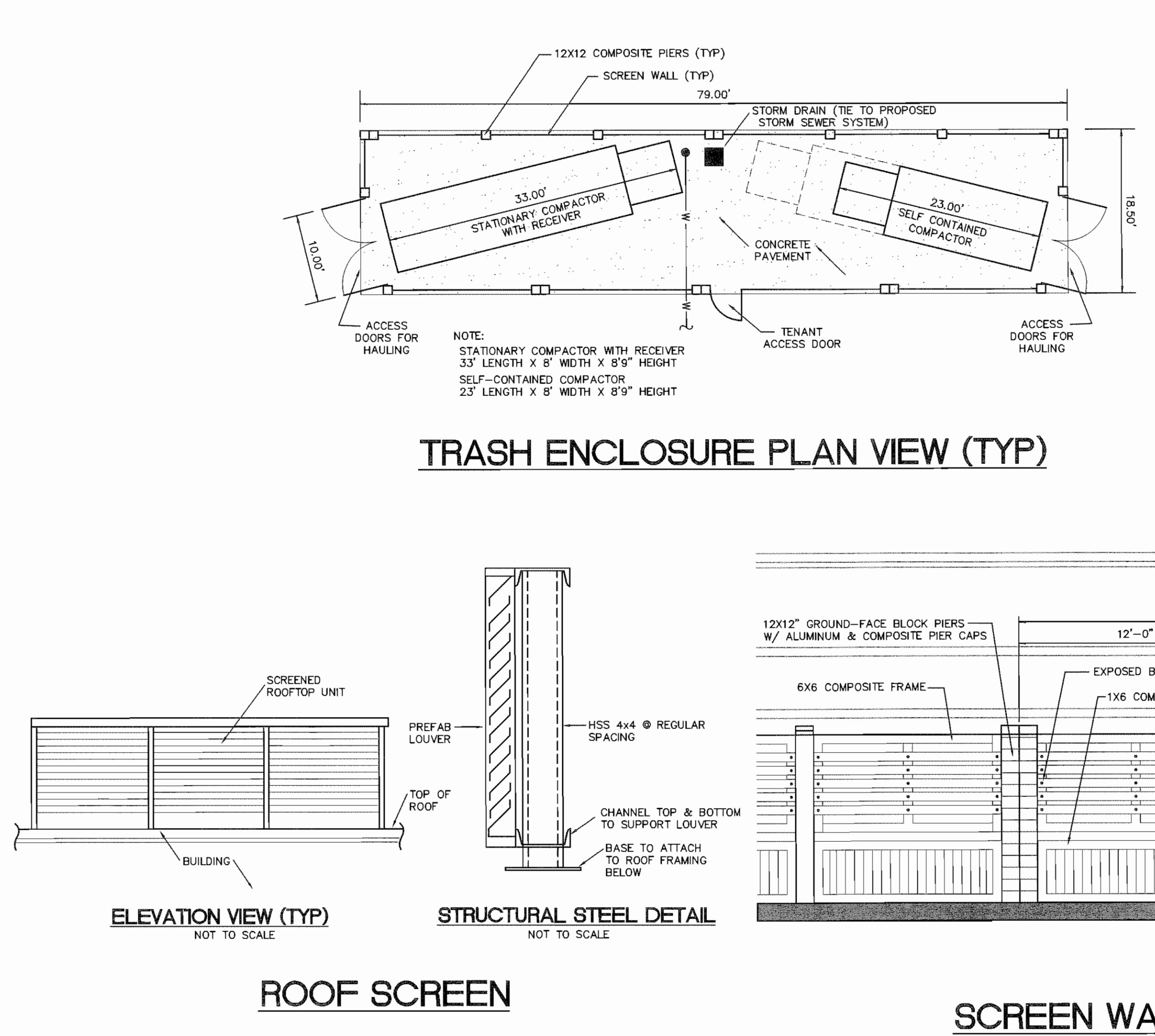
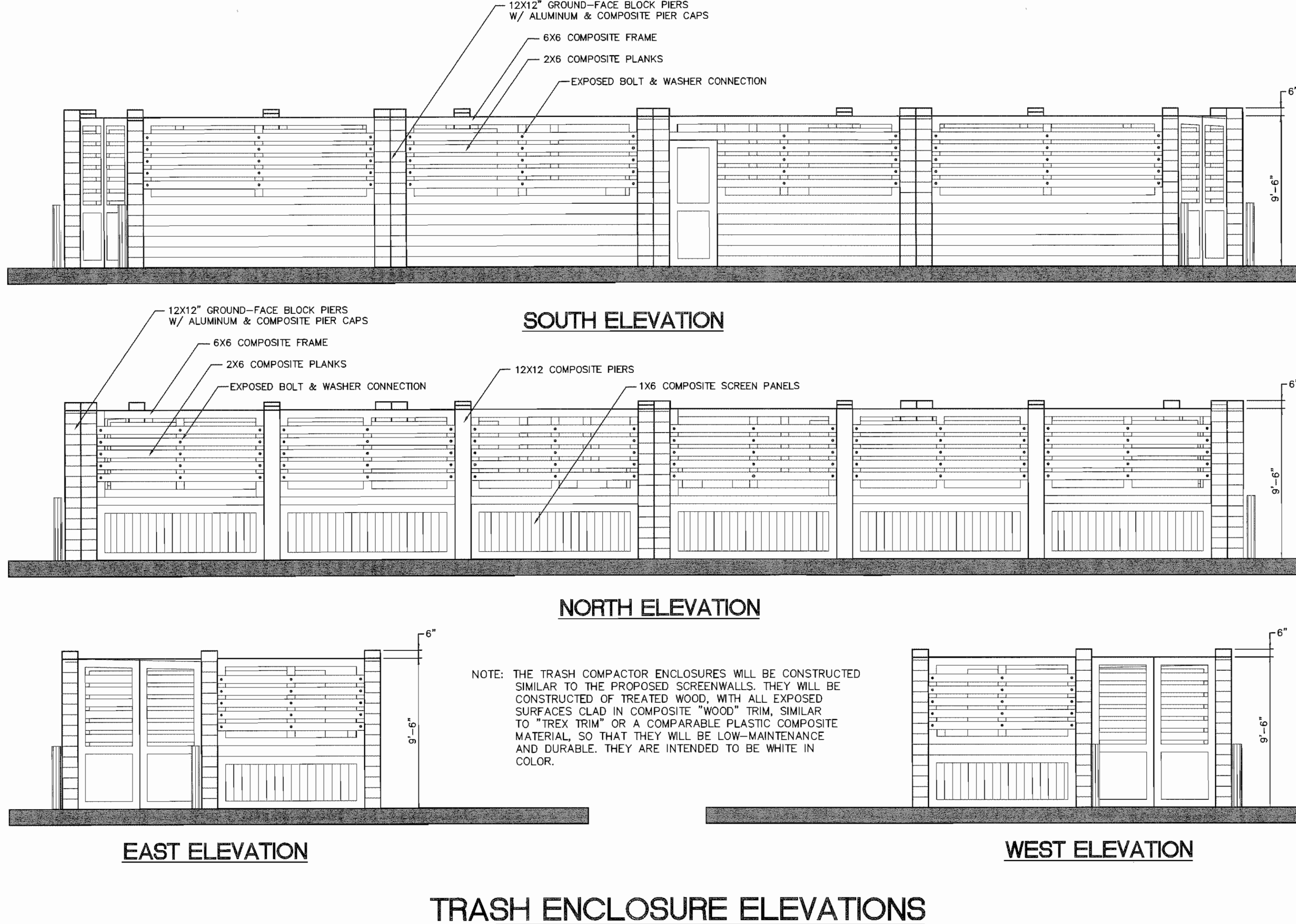
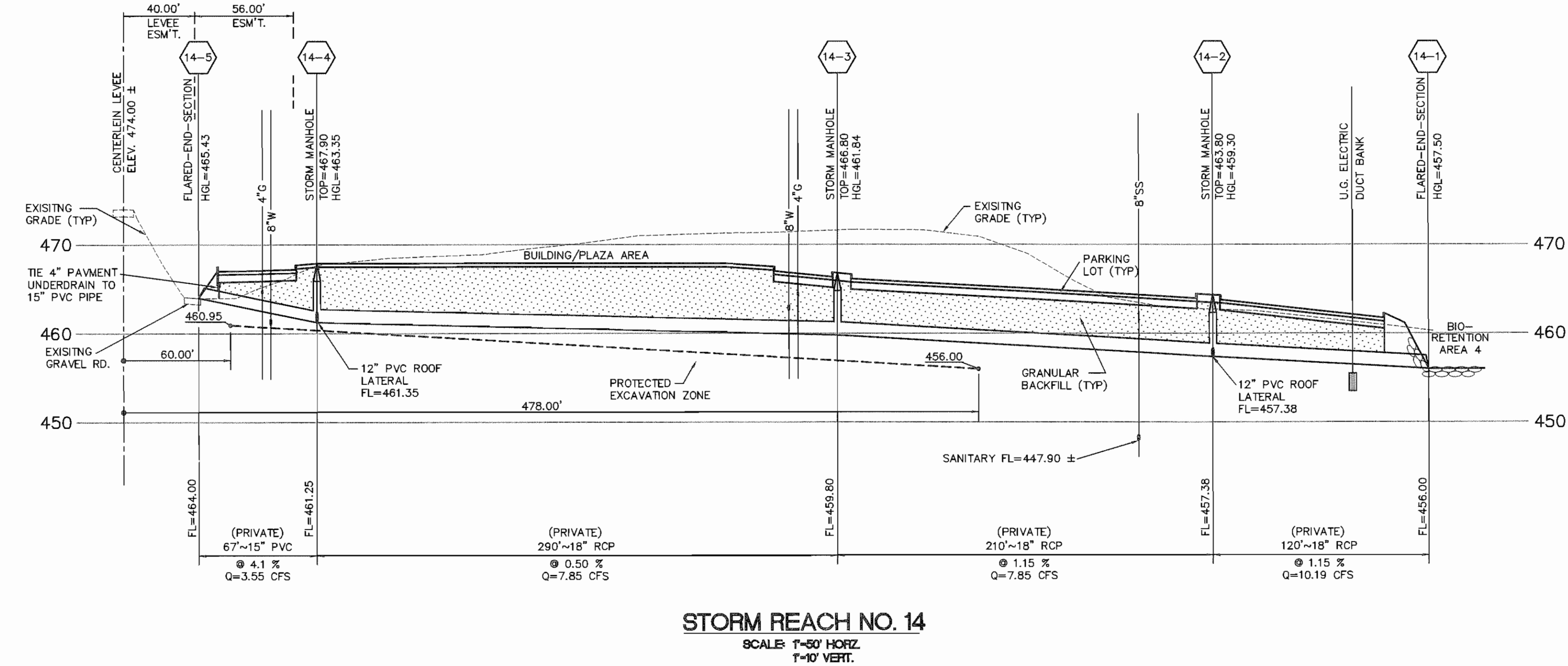
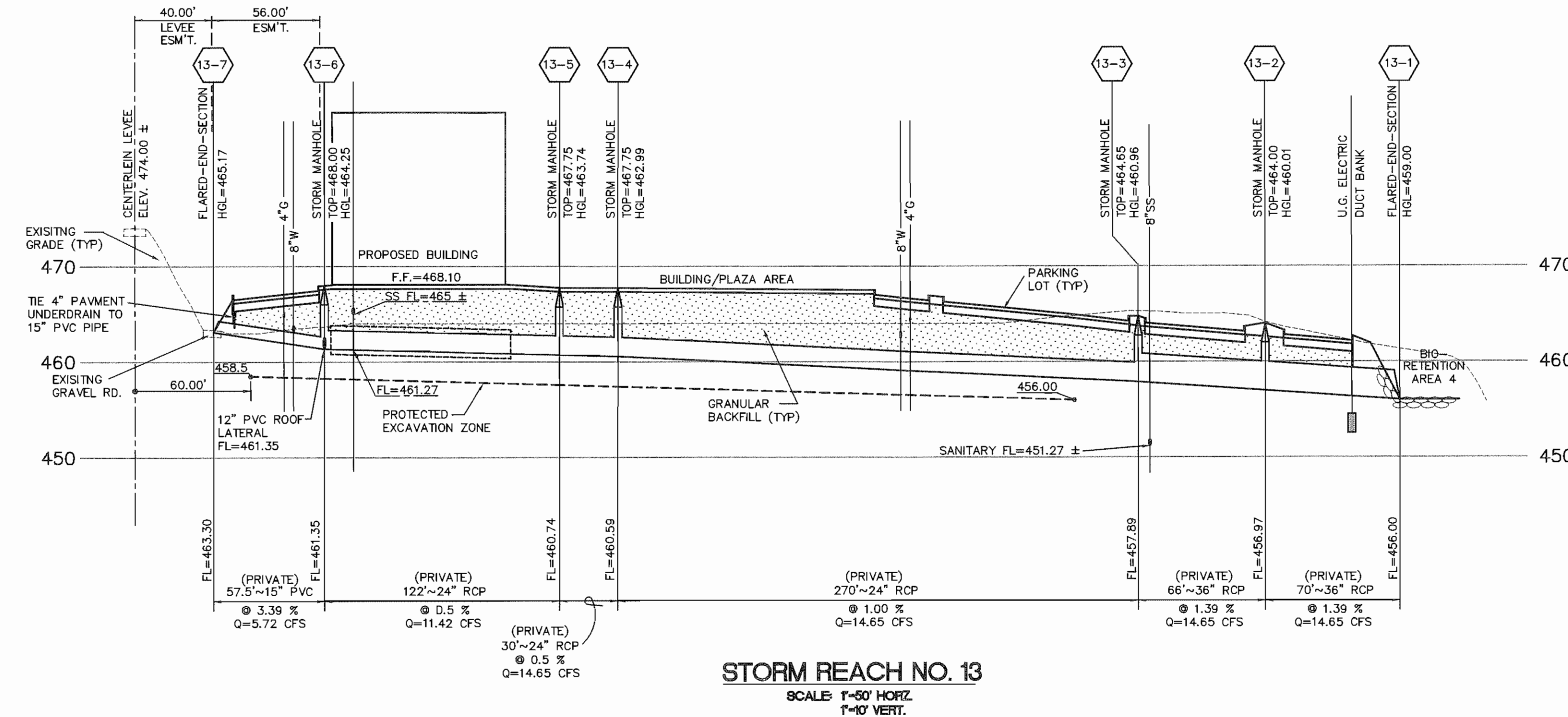
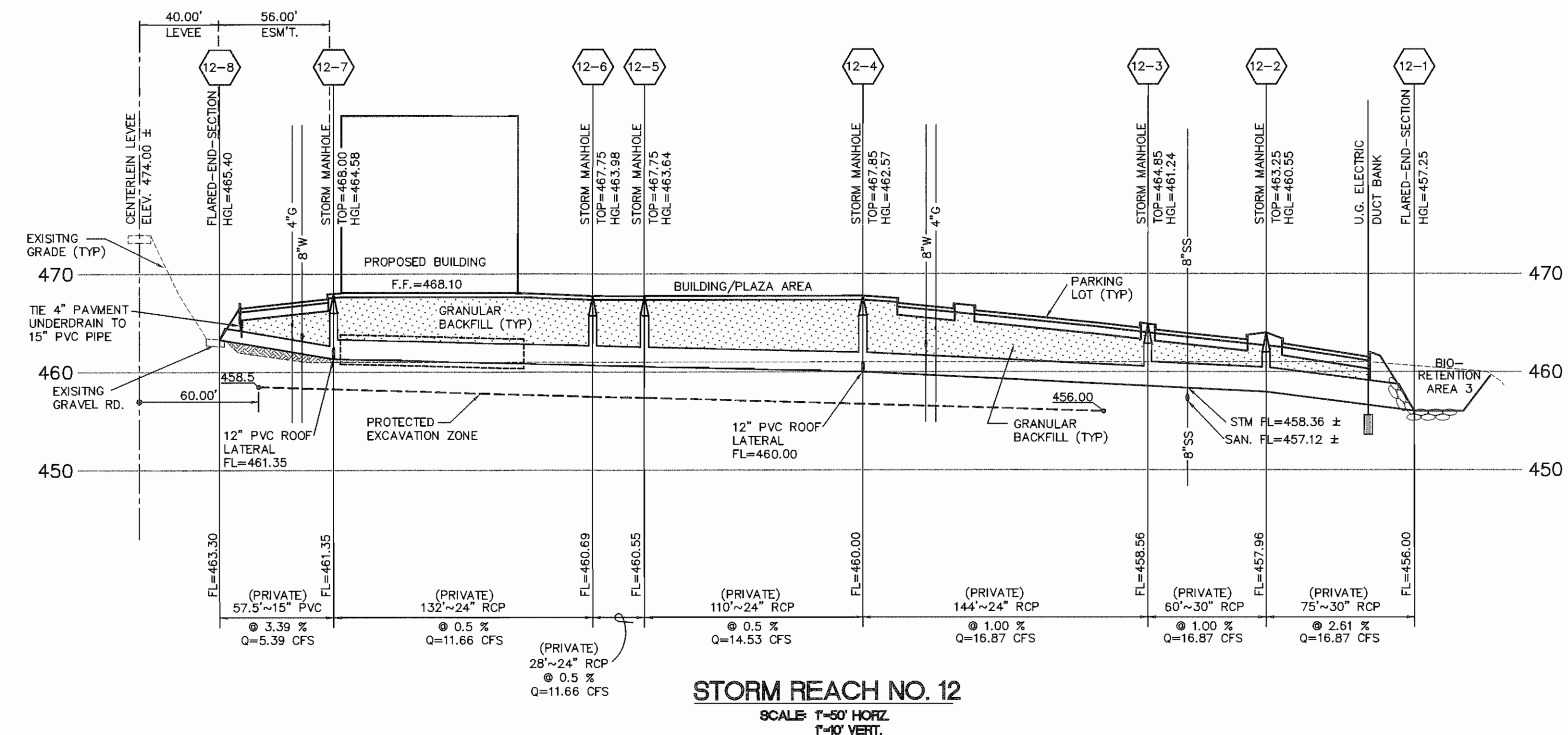
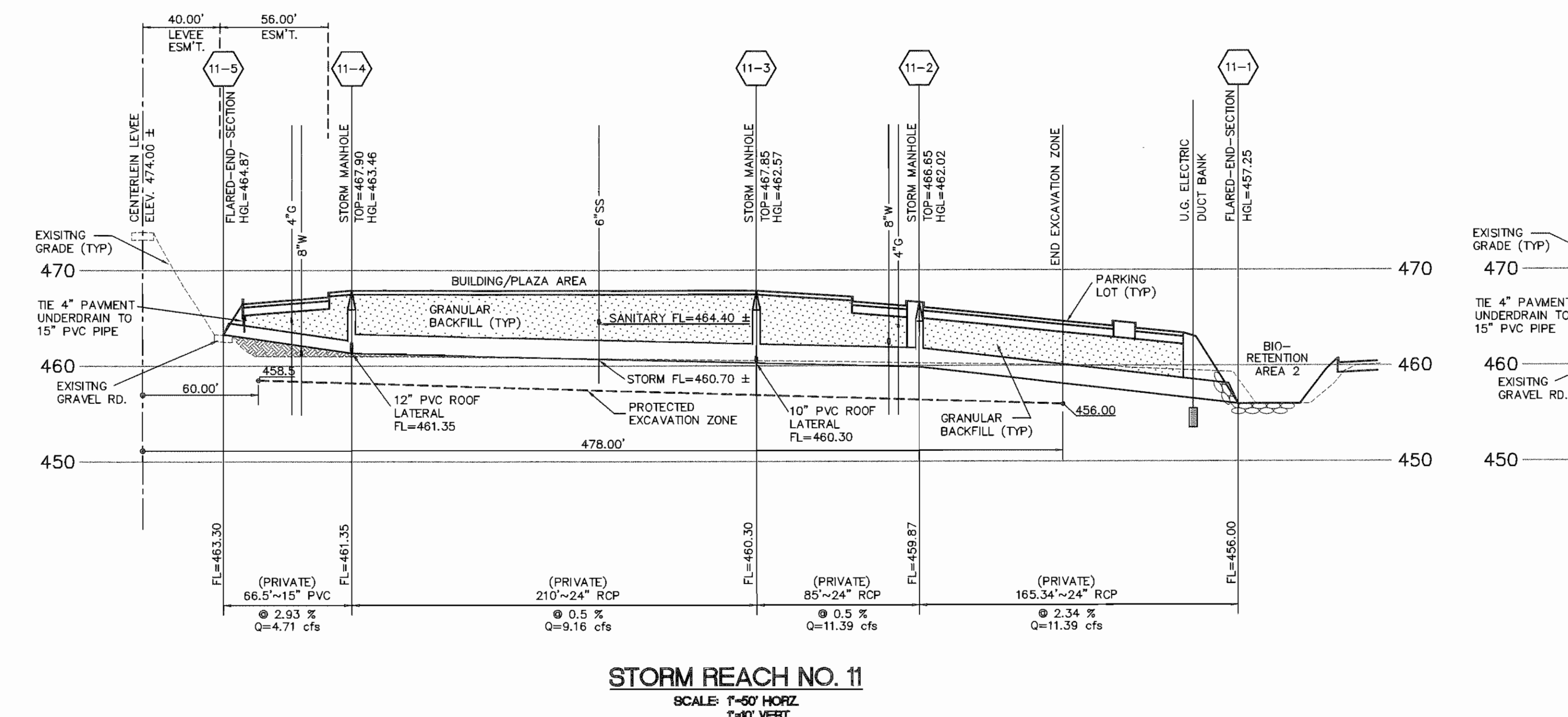
SHEET TITLE:
SITE DEVELOPMENT PLAN

SHEET NO.:
SDP-C7



REVERSE FILTER CROSS-SECTION

C:\DRAWING\2012\14720\plan-janajpdr-drawings\SDP-C7.dwg, 2/15/2012 9:55:55 AM, RJP, ps3



PREPARED BY:
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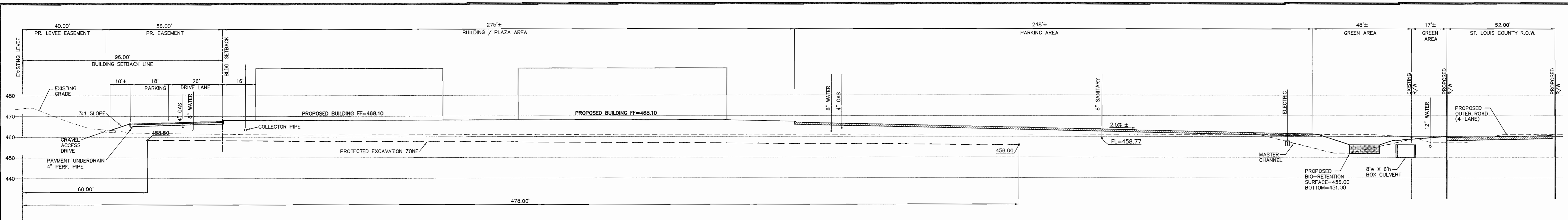
SITE DEVELOPMENT PLAN FOR:
CHESTERFIELD OUTLETS
NORTH OUTER 40
CHESTERFIELD, MISSOURI 63005

2/15/2012
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CERTIFICATE OF AUTHORITY
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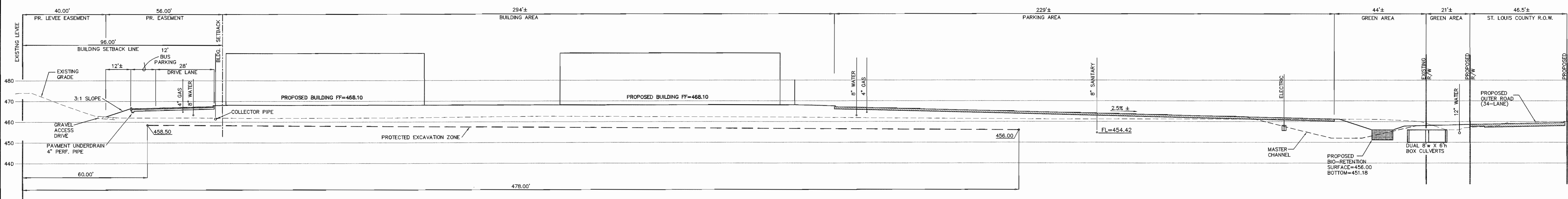
REVISIONS:

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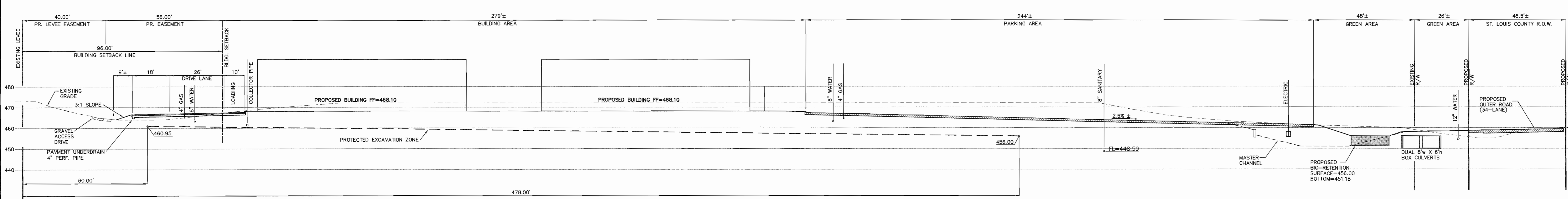
DRAWN BY: T.P.S. CHECKED BY: C.M.S.
DATE: 12/20/2011 JOB NO: 211-4742
MSD P. NO: P-29391-00 BASE MAP: 17U,17T
SHEET TITLE: SEWER PROFILES AND SITE DETAILS
SHEET NO.: SDP-C8



SITE SECTION A-A
SCALE: 1"=20'



SITE SECTION B-B
SCALE: 1"=20'



SITE SECTION C-C
SCALE: 1"=20'

NOTES:

- THE PROTECTED EXCAVATION ZONE IS AN AREA IN WHICH NO EXCAVATION OF ANY KIND BELOW THE ELEVATIONS INDICATED ON THE SITE SECTIONS IS ALLOWABLE.
- REQUIREMENTS FOR THE PROTECTED EASEMENT AREA NORTH OF THE BUILDING (FROM 56' TO 96' FROM THE CENTERLINE OF THE LEVEE):
 - ALL UTILITIES (INCLUDING WATER, SEWER, ELECTRICAL AND COMMUNICATIONS) AND OTHER EXCAVATIONS MUST BE ABOVE THE "PROTECTED EXCAVATION ZONE" ELEVATION INDICATED IN THE SITE SECTIONS.
 - NO PERMANENT EXCAVATION IS ALLOWED BELOW THE INDICATED SITE FINAL GRADE.
 - THE FIRE HYDRANT LEADS NORTH OF THE PROPOSED BUILDINGS, LANDWARD OF THE LEVEE, MUST BE ENCASED IN CONCRETE.
 - ANY SOIL TEST BORING OR CORE HOLE SHALL BE COMPLETELY BACKFILLED WITH A PORTLAND CEMENT-BENTONITE GROUT MIX.
 - ALL BARE EARTH AND DISTURBED GROUND SHALL BE SEEDED AND MULCHED WITH A GRASS MIXTURE SPECIFIED BY THE LEVEE DISTRICT, UNLESS OTHERWISE APPROVED BY THE LEVEE DISTRICT. THE SEED MIXES, RATES OF APPLICATION, MINIMUM PERCENT PURITY AND GERMINATION, AND MAXIMUM PERCENT WEED CONTROL SHALL BE AS SHOWN IN THE FOLLOWING TABLE:

KIND OF SEED	POUNDS PER ACRE	MINIMUM PURITY	MINIMUM GERMINATION	MAXIMUM WEED CONTENT
COMMON PERENNIAL RYE GRASS	50	98	85	0.5
KENTUCKY 31 TALL FESCUE	100	98	85	0.5

 - ADDITIONAL FILL MATERIAL MUST CONFORM TO THE LEVEE DISTRICT BACKFILL STANDARDS.
- REQUIREMENTS FOR WITHIN THE PROTECTED EXCAVATION AREA SOUTH OF THE PROTECTED EASEMENT AREA (FROM 96' TO 478' FROM THE CENTERLINE OF THE LEVEE):
 - ALL UTILITIES (INCLUDING WATER, SEWER, ELECTRICAL AND COMMUNICATIONS) AND OTHER EXCAVATIONS MUST BE ABOVE THE "PROTECTED EXCAVATION ZONE" ELEVATION INDICATED ON IN THE SITE SECTIONS.
 - ADDITIONAL SITE FILL MATERIAL AND ANY TRENCHES OR EXCAVATIONS CREATED DURING INSTALLATION SHALL BE EXCAVATED AND BACKFILLED PER LEVEE DISTRICT BACKFILL STANDARDS.
 - ANY SOIL TEST BORING OR CORE HOLE SHALL BE COMPLETELY BACKFILLED WITH A PORTLAND CEMENT-BENTONITE GROUT MIX.
 - ALL BARE EARTH AND DISTURBED GROUND SHALL BE SEEDED AND MULCHED WITH A GRASS MIXTURE SPECIFIED BY THE LEVEE DISTRICT.
 - ADDITIONAL FILL MATERIAL MUST CONFORM TO THE LEVEE DISTRICT BACKFILL STANDARDS.
- ALL SITE FILL REQUIREMENTS, INCLUDING, BUT NOT LIMITED TO, BACKFILL FOR THE PUMP STATION AND STORAGE TANK INSTALLATIONS AND REVERSE FILTER REQUIREMENTS FOR BIORETENTION MUST MEET THE REQUIREMENTS OUTLINED BELOW (THE "BACKFILL REQUIREMENTS").

SITE FILL MATERIAL ABOVE THE NOTED PROTECTED EXCAVATION ZONE SHALL BE OF PERVIOUS MATERIALS CLASSIFIED BY THE UNIFIED CLASSIFICATION SYSTEM (AS DETERMINED BY ASTM D 2487-06) AS SANDS (SW, SP, OR SM) OR GRAVELS (GW, GR, OR GM). THE PERVIOUS MATERIAL SHALL BE FREE OF UNSUITABLE AND FROZEN MATERIALS. UNSUITABLE MATERIAL FOR THIS SITE FILL IS DEFINED AS CLAYS (CL OR CH) OR SILTS (ML, MH, OR OH). MATERIALS UNSUITABLE FOR PERVIOUS MATERIAL ARE ALSO DEFINED AS PLANT GROWTH, ROOTS, HUMUS, DEBRIS, AND OTHER DELETERIOUS SUBSTANCES.

COMPACTION OF PERVIOUS MATERIAL SHALL BE ACCOMPLISHED WITH THE EQUIPMENT APPROVED BY THE LEVEE DISTRICT. EACH LAYER OF MATERIAL SHALL BE COMPACTED TO AN AVERAGE OF 70 PERCENT RELATIVE DENSITY WITH NO TEST LESS THAN 65 PERCENT, AS DETERMINED BY ASTM D 4254. THE AVERAGE OF 70 PERCENT RELATIVE DENSITY SHALL BE DETERMINED FROM THE LAST FIVE (5) IN-PLACE DENSITY TESTS COMPLETED BY THE CONTRACTOR. IT SHOULD BE NOTED THAT COARSER GRAINED SANDS REQUIRE MORE COMPACTIVE ENERGY THAN FINER GRAINED SANDS IN ORDER TO MEET THE SPECIFIED RELATIVE DENSITY. DETERMINATION OF IN-PLACE DENSITY SHALL BE IN ACCORDANCE WITH ASTM D 1556.
- ANY PROPOSED SOURCE(S) FOR BORROW MATERIAL SHALL BE SUBMITTED TO THE LEVEE DISTRICT FOR REVIEW AND APPROVAL PRIOR TO COMMENCEMENT OF FILL OPERATIONS.
- EXCAVATIONS AND OTHER PENETRATIONS (INCLUDING THE PROPOSED BIO-RETENTION AND BOX CULVERTS) OUTSIDE THE PROTECTED EXCAVATION ZONE (I.E., BEYOND 478' FROM THE CENTER LINE OF THE LEVEE) EXTENDING BELOW AN ELEVATION OF 450.00 SHALL BE BACKFILLED WITH A PORTLAND CEMENT-BENTONITE GROUT MIX, FLOWABLE FILL OR EXISTING IMPERVIOUS MATERIAL. THIS REQUIREMENT IS TO ENSURE THE IMPERVIOUS NATURE OF THE EXISTING CLAY BLANKET IS RESTORED, IF IMPERVIOUS MATERIAL IS USED IT SHALL BE COMPACTED AS FOLLOWS:

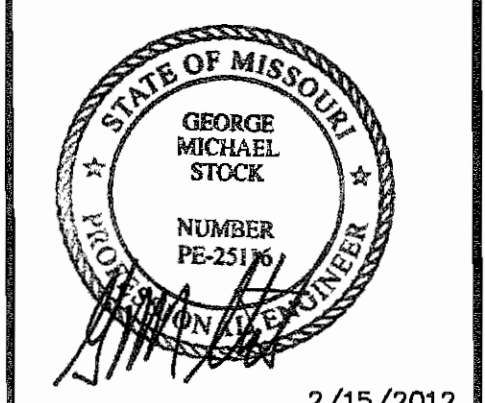
IMPERVIOUS MATERIAL SHALL BE MATERIALS CLASSIFIED BY THE UNIFIED CLASSIFICATION SYSTEMS AS CLAYS (CL OR CH) OR SILTS (ML OR MH) OBTAINED FROM THE BORROW AREAS AND/OR REQUIRED EXCAVATION. EACH LAYER OF MATERIAL SHALL BE COMPACTED TO AT LEAST 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 698-00 (STANDARD PROCTOR) PRIOR TO THE PLACEMENT OF THE NEXT SUCCESSIVE LAYER. THE CONTRACTOR SHALL CONTROL THE MOISTURE CONTENT OF THE MATERIAL PLACED WITHIN THE EXCAVATION SUCH THAT NO MATERIAL SHALL BE PLACED WITH A MOISTURE CONTENT MORE THAN 3 PERCENTAGE POINTS ABOVE OPTIMUM OR LESS THAN 3 PERCENTAGE POINTS BELOW OPTIMUM AS DETERMINED BY ASTM D 698-00. IN-PLACE DENSITY DETERMINATION TESTS SHALL BE MADE AT A FREQUENCY OF NOT LESS THAN ONE PER WORK AREA. A WORK AREA FOR COMPACTED IMPERVIOUS MATERIAL IS DEFINED AS A PORTION OF THE FILL NOT EXCEEDING 1 LIFT THICKNESS AND NOT EXCEEDING 500 CUBIC YARDS IN VOLUME. LOCATION OF EACH TEST SHALL BE DETERMINED AND RECORDED BY STATION, OFFSET, AND ELEVATION. ANY MATERIAL NOT MEETING SPECIFICATIONS SHALL BE REPLACED OR REWORKED AS DIRECTED BY THE DISTRICT ENGINEER.
- NO PLANTINGS ARE PERMITTED THAT COULD POTENTIALLY HAVE ROOT SYSTEMS THAT WOULD PENETRATE BELOW THE PROTECTIVE EXCAVATION ZONE INDICATED ON THE SITE SECTIONS.
- PROPOSED BUILDINGS MUST HAVE A LOW-PRESSURE WATER LINE WARNING SYSTEM. THERE WILL BE A 24 hr/7 day SYSTEM MONITORING AND THE LEVEE DISTRICT WILL BE INCLUDED ON THE AUTOMATED DIALING SYSTEM OF ANY PRESSURE DROP.

PREPARED BY:

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SITE DEVELOPMENT PLAN FOR:

CHESTERFIELD OUTLETS
NORTH OUTER 40
CHESTERFIELD, MISSOURI 63005



2/15/2012
GEORGE M. STOCK
CIVIL ENGINEER
CERTIFICATE OF AUTHORITY
NUMBER: 000996

REVISIONS:

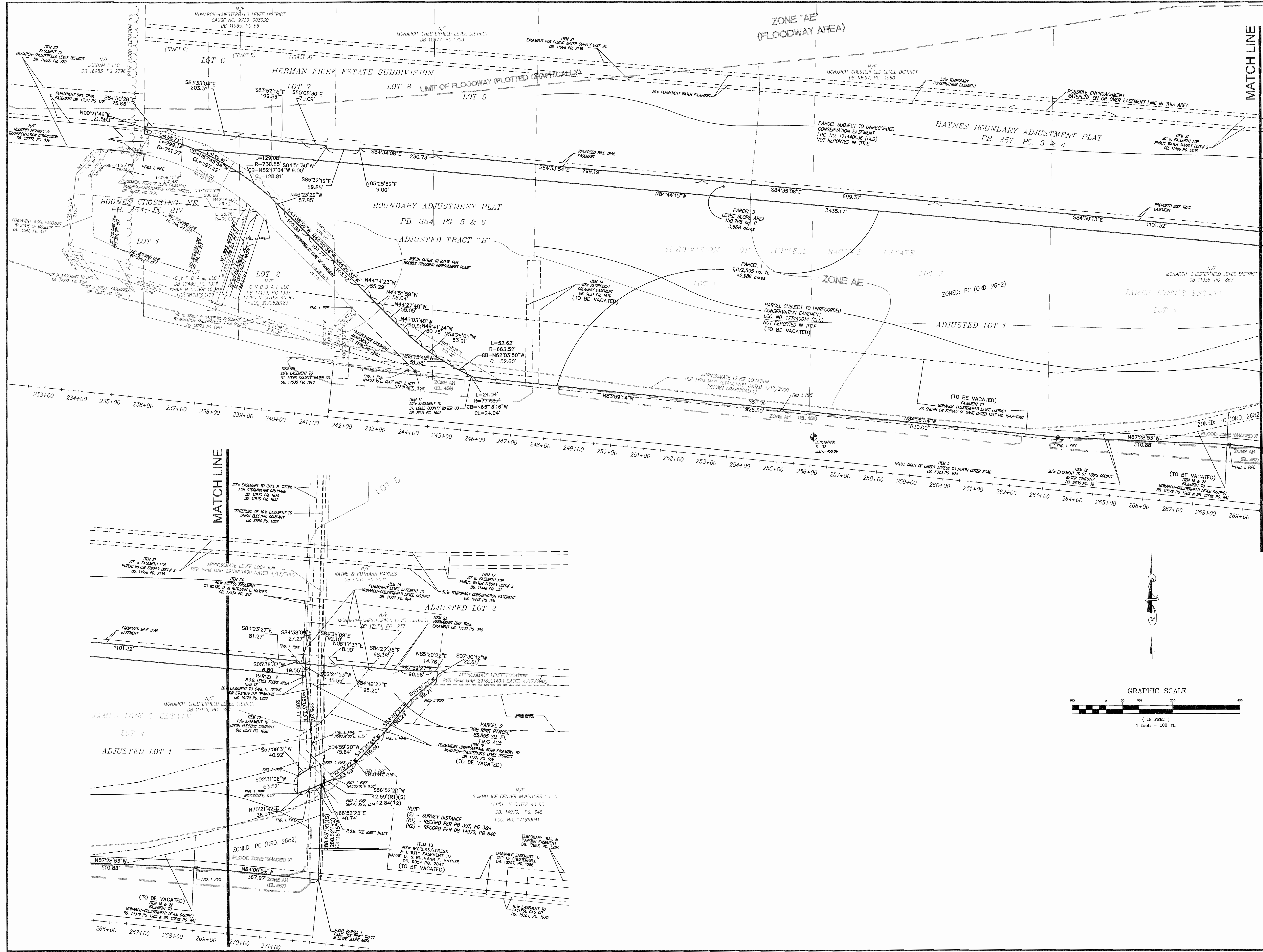
1	1/20/2012	REV. PER REVIEW COMMENTS
2	2/15/2012	REV. PER REVIEW COMMENTS

DRAWN BY:	T.P.S.	CHECKED BY:	G.M.S.
DATE:	12/20/2011	JOB NO.:	211-4742
MSD P. NO.:	P-29391-00	BASE MAP:	17U,17T

SHEET TITLE:
SITE SECTIONS

SHEET NO.:

SDP-C9



PREPARED BY:
STOCK & ASSOCIATES
 Consulting Engineers, Inc.

SITE DEVELOPMENT PLAN FOR:
CHESTERFIELD OUTLETS
 NORTH OUTER 40
 CHESTERFIELD, MISSOURI 63005

2/15/2012
 GEORGE M. STOCK - E-25116
 CIVIL ENGINEER
 CERTIFICATE OF AUTHORITY
 NUMBER: 000996

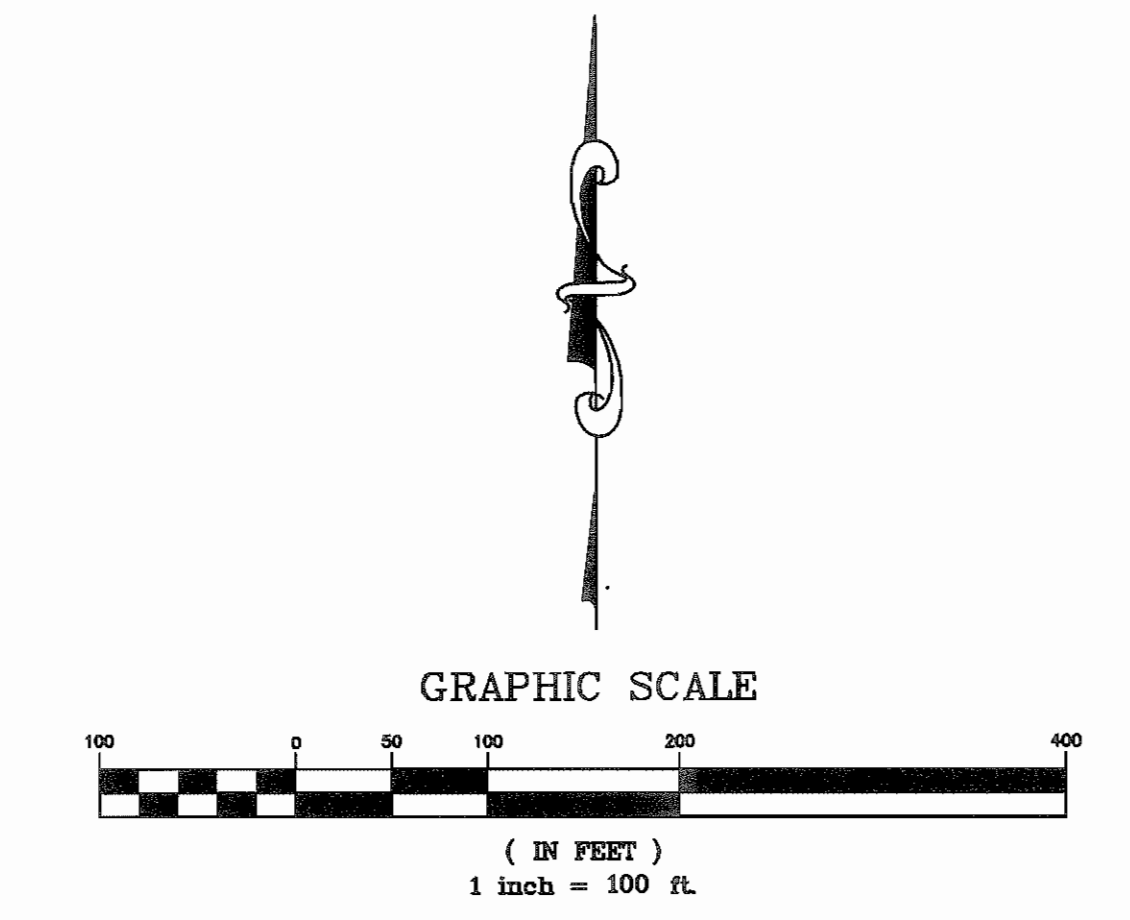
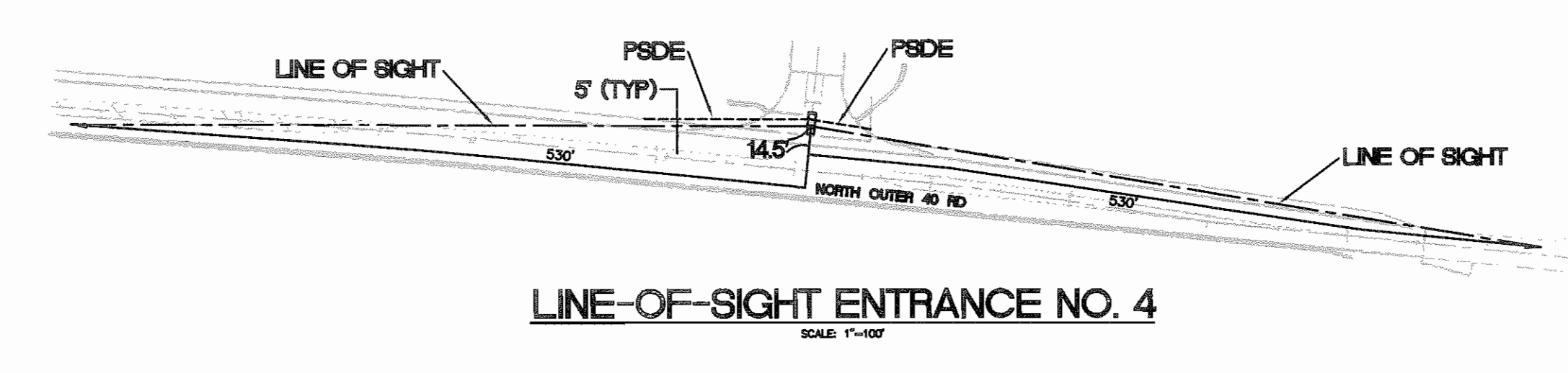
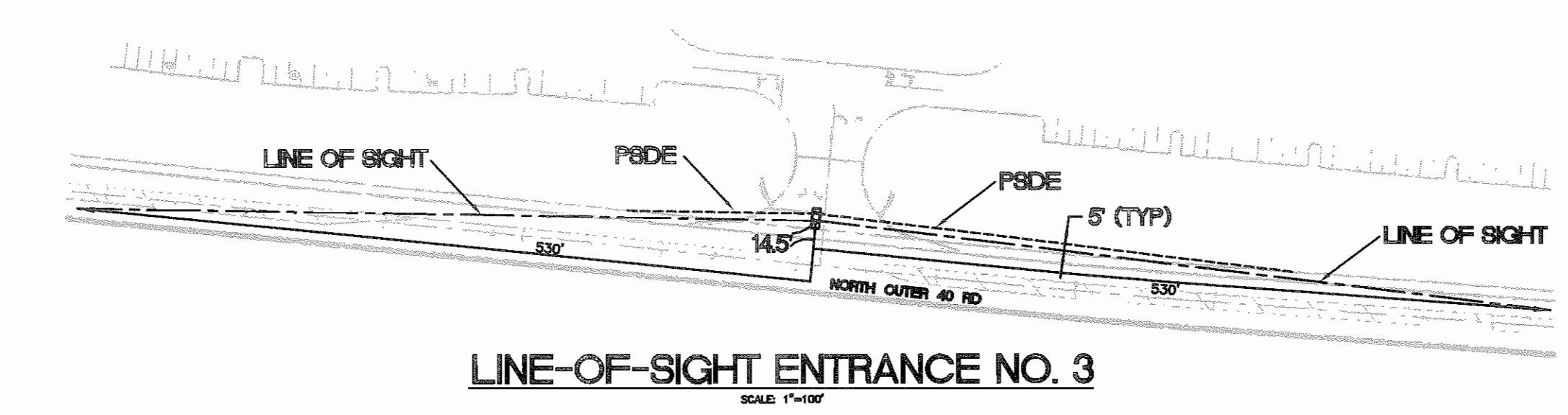
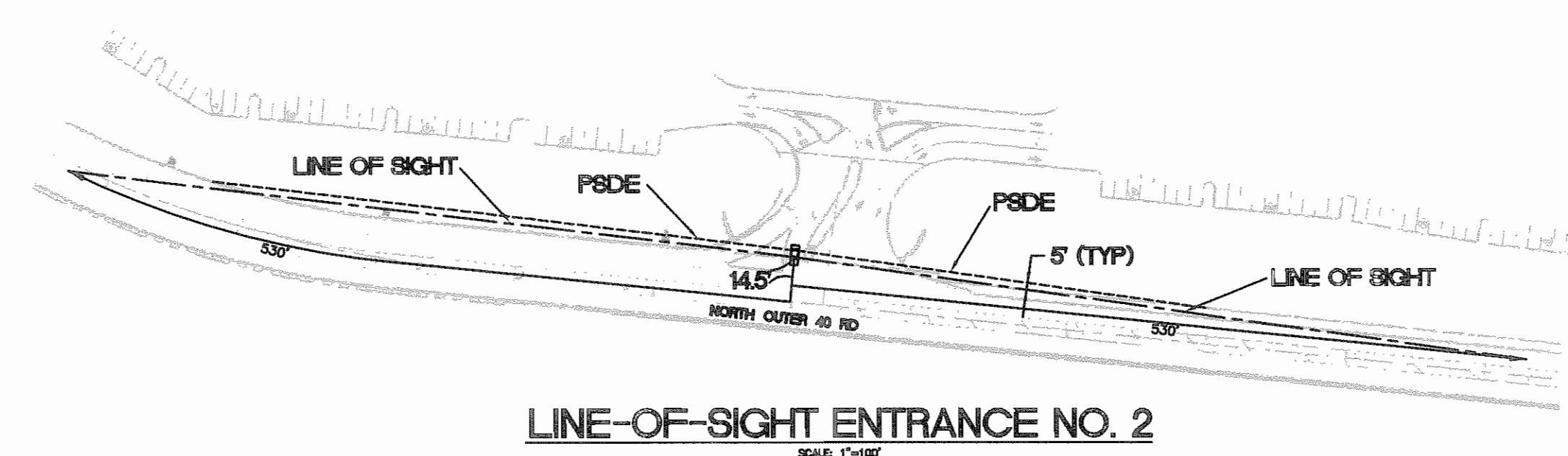
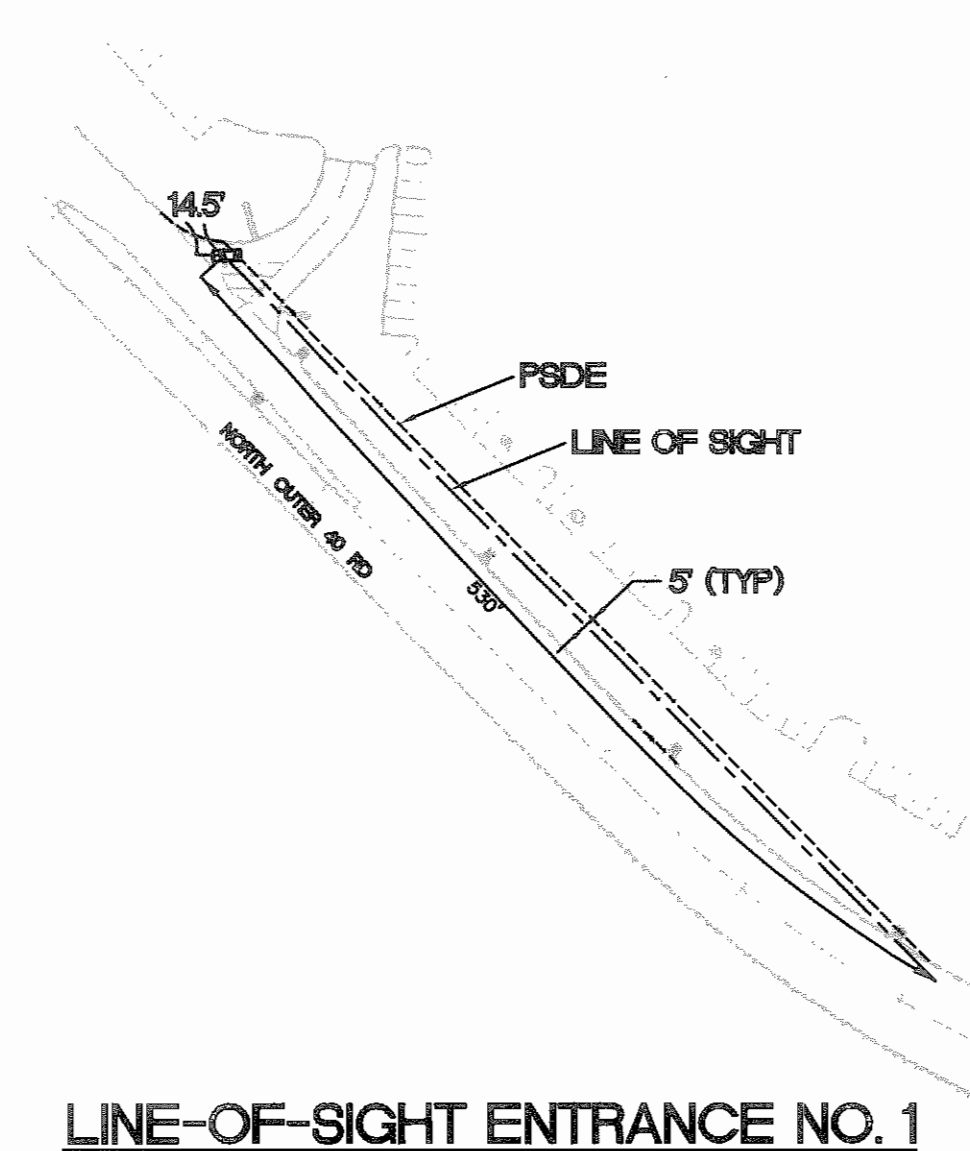
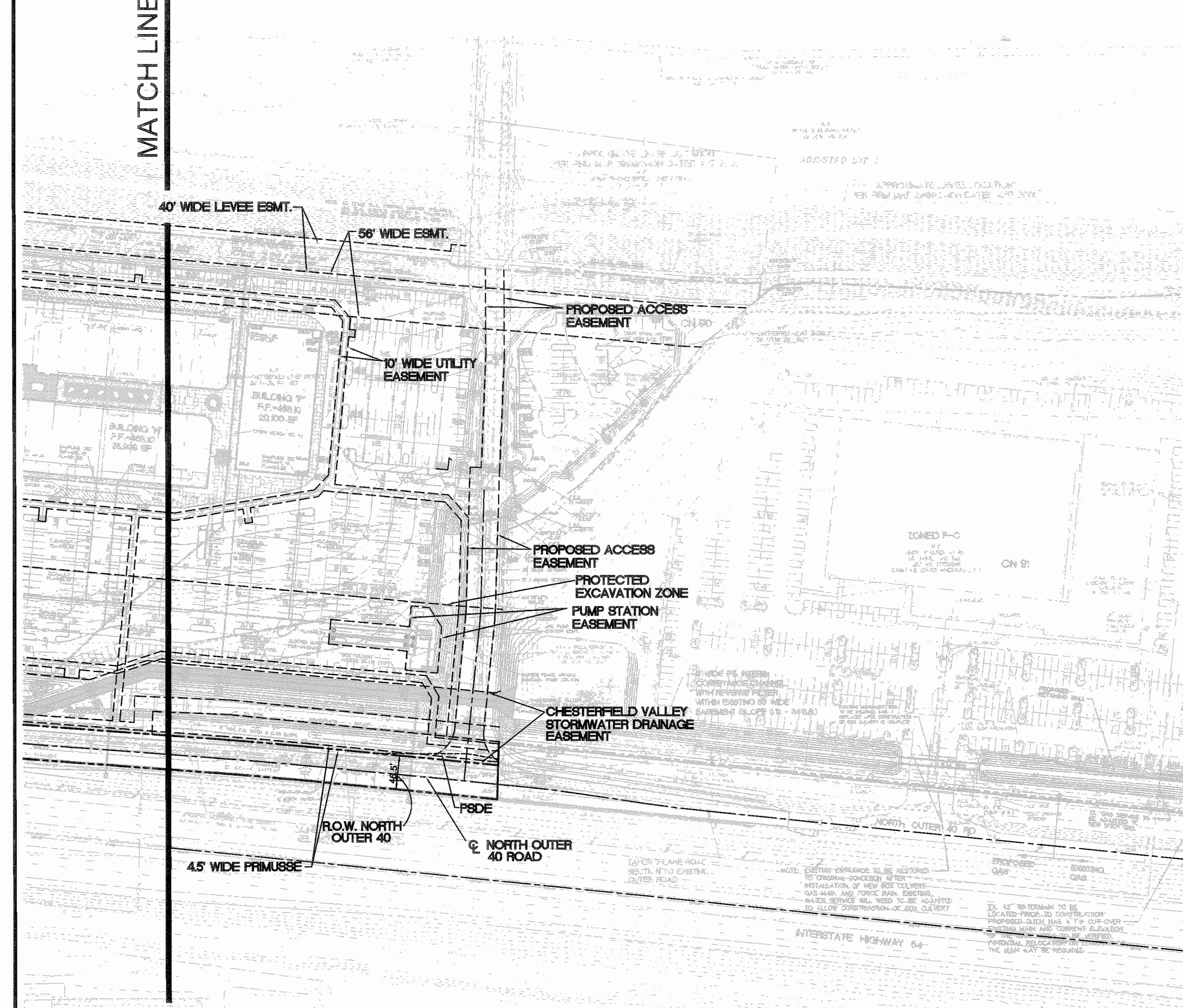
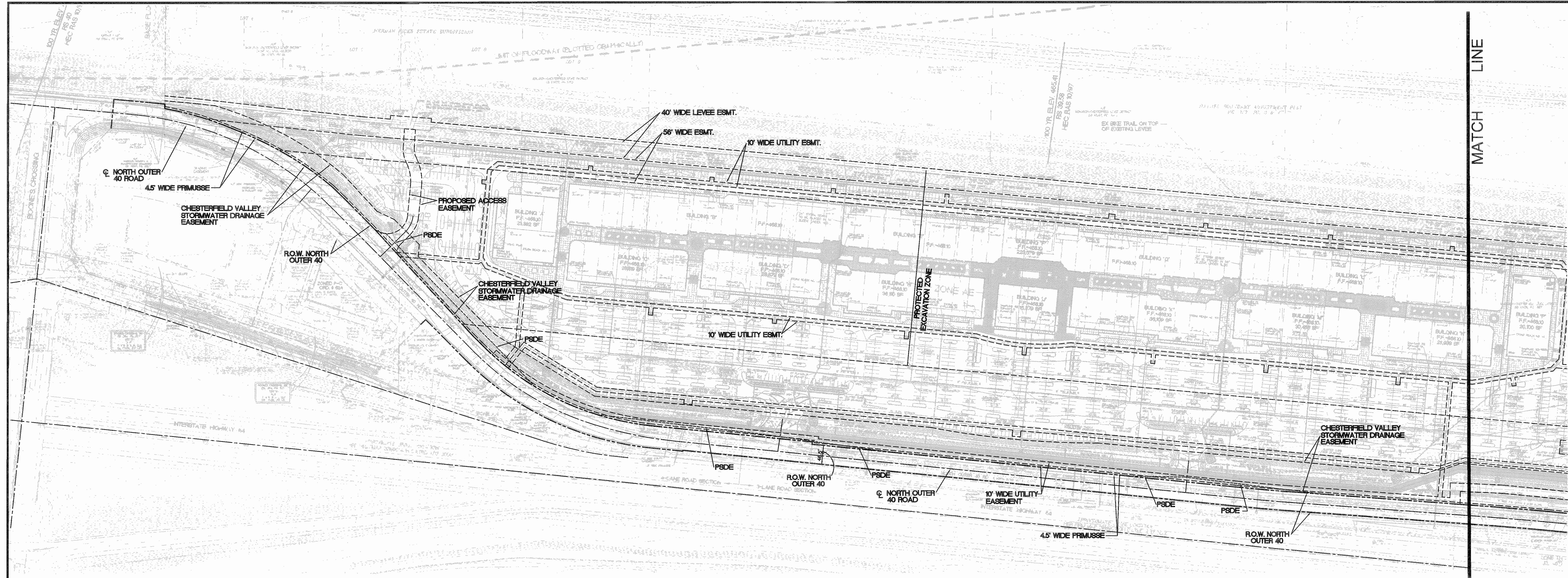
REVISIONS:

NO.	DATE	REVISION
1	1/20/2012	REV. PER REVIEW COMMENTS
2	2/15/2012	REV. PER REVIEW COMMENTS

DRAWN BY: T.P.S.
 CHECKED BY: G.M.S.
 DATE: 12/20/2011
 JOB NO: 211-4742
 MSD P NO: P-29391-00
 BASE MAP: 17U,17T
 SHEET TITLE:

EXISTING EASEMENTS
 SHEET NO.:
SDP-C10

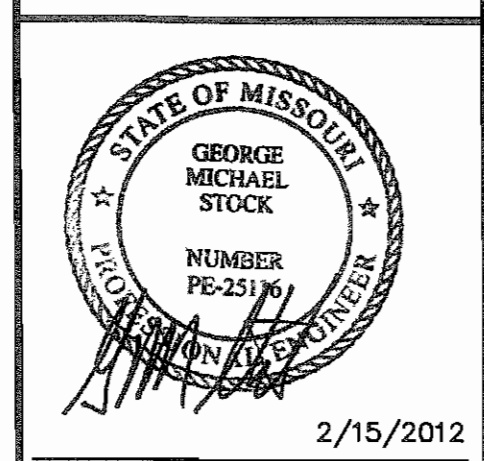
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NOTE:
ST. LOUIS COUNTY ("COUNTY") INTENDS TO CONSTRUCT AN EXTENSION OF BAXTER ROAD NORTHWARDLY TO A CONNECTION WITH THE I-64 NORTH OUTER ROAD. SUCH EXTENSION MAY RESULT IN INCREASED TRAFFIC COUNTS THAT WILL, IN TURN, REQUIRE FUTURE IMPROVEMENTS TO THE ROADS AND ENTRANCES DESIGNATED ON THIS PLAN. OWNER AND/OR DEVELOPER ("DEVELOPER") SHALL BE RESPONSIBLE FOR SUCH ENTRANCE IMPROVEMENTS ASSOCIATED WITH ENTRANCES #2 AND #3 AND RELATED ROAD IMPROVEMENTS, AS REASONABLY DETERMINED BY COUNTY, WITHIN PUBLIC RIGHTS-OF-WAY AND COUNTY EASEMENT. DEVELOPER SHALL ENTER INTO AN ESCROW AGREEMENT WITH COUNTY, WHICH AGREEMENT SHALL PROVIDE THAT DEVELOPER SHALL DEPOSIT CASH OR AN APPROVED LETTER OF CREDIT WITH COUNTY IN AN AMOUNT NOT TO EXCEED \$35,000.00 TO GUARANTEE ALL COSTS RELATING TO DESIGN AND CONSTRUCTION OF SUCH FUTURE IMPROVEMENTS, INCLUDING INCREASED COSTS DO TO INFLATION. SUCH ESCROW AGREEMENT SHALL PROVIDE THAT COUNTY USE SUCH CASH OR LETTER OF CREDIT TO PROVIDE FOR THE DESIGN AND CONSTRUCTION, EITHER BY COUNTY OR COUNTY'S AGENT OR CONTRACTOR, WHEN COUNTY REASONABLY DETERMINES THAT CHANGES IN TRAFFIC DUE TO THE BAXTER ROAD EXTENSION PROJECT REQUIRE SUCH IMPROVEMENTS. SUCH ESCROW AGREEMENT SHALL HAVE A TERM OF FIFTEEN YEARS, BE BINDING ON DEVELOPER'S SUCCESSORS AND ASSIGNS, AND BE IN FORCE PRIOR TO DEVELOPER REQUESTING ANY PERMITS, INCLUDING SPECIAL USE PERMITS FROM COUNTY.

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SITE DEVELOPMENT FOR:
CHESTERFIELD OUTLETS
NORTH OUTER 40
CHESTERFIELD, MISSOURI 63005



2/15/2012
GEORGE M. STOCK E-25176
CIVIL ENGINEER
CERTIFICATE OF AUTHORITY
NUMBER: 000996

REVISIONS:

1	1/20/2012	REV. PER REVIEW COMMENTS
2	2/06/2012	ADDED LINE OF SIGHT
3	2/10/2012	REVISED EASEMENTS
4	2/15/2012	REV. PER REVIEW COMMENTS

DRAWN BY: T.P.S.	CHECKED BY: G.M.S.
DATE: 12/20/2011	JOB NO: 211-4742
MSD P NO: P-29391-00	BASE MAP: 17U,17T

PROPOSED EASEMENTS AND RIGHT-OF-WAY

SHEET NO.:
SDP-C11

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AN ORDINANCE AMENDING THE ZONING ORDINANCE OF THE CITY OF CHESTERFIELD BY CHANGING THE BOUNDARIES OF A "RU" NON-URBAN DISTRICT WITH AN "FP" FLOOD PLAIN OVERLAY TO A "PC" PLANNED COMMERCIAL DISTRICT FOR A 48.625 ACRE AREA OF LAND LOCATED NORTH OF NORTH OUTER 40 ROAD AND EAST OF BOONER'S CROSSING

ATTACHMENT A

All provisions of the City of Chesterfield City Code shall apply to this development except as specifically modified herein.

I. SPECIFIC CRITERIA

A. PERMITTED USES

- 1. The uses allowed in this PC District shall be:
a. Administrative office for educational or religious facility
b. Art gallery
c. Art studio
d. Bakery
e. Bar
f. Barber or beauty shop
g. Bowling center
h. Brewpub
i. Coffee shop
j. Commercial service facility
k. Community center
l. Drug store and pharmacy
m. Dry cleaning establishment
n. Education facility-specialized private schools
o. Education facility-vocational school
p. Educational facility-college/university
q. Educational facility - kindergarten or nursery school
r. Film drop-off and pick-up station
s. Financial institution
t. Grocery-community
u. Grocery-neighborhood
v. Grocery-supercenter
w. Gymnasium
x. Hospital
y. Hotel and motel
z. Hotel and motel, extended stay
aa. Office, dental
ab. Office, general
ac. Office, medical
ad. Professional and technical service facility
ae. Recreation facility
af. Restaurant, fast food
ag. Restaurant, outdoor customer dining area

WHEREAS, Deoter Ulton, LLC, on behalf of T-O Ventures, LLC, has requested a change in zoning from a "RU" Non-Urban District with an "FP" Flood Plain Overlay to a "PC" Planned Commercial District for a 48.625 acre tract of land located north of North Outer 40 Road and east of Boone's Crossing, and;

WHEREAS, a Public Hearing was held before the Planning Commission on September 12, 2011, and;

WHEREAS, the Planning Commission, having considered said request, recommended approval of the change of zoning; and,

WHEREAS, the Planning and Public Works Committee, having considered said request, recommended approval of the change of zoning on October 20, 2011 with amendments to the Access/Access Management and Road Improvement requirements; and,

WHEREAS, the City Council, at its November 7, 2011 meeting, recommended the review of the permitted uses and hours of operation; and

WHEREAS, the City Council, having considered said request voted to approve the change of zoning request with the amendments to OpenSpace, Access/Access Management and Road Improvements, Permitted Uses, and Hours of Operation.

NOW THEREFORE BE IT OBTAINED BY THE CITY COUNCIL OF THE CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1. The City of Chesterfield Zoning Ordinance and the Official Zoning District Map, which are part thereof, are hereby amended by establishing a "PC" Planned Commercial District for a 48.625 acre tract of land with a new ordinance and the conditions of which are established in the attachment A, which is attached hereto and made a part hereof for Chesterfield Outlets and described as follows:

A tract of land being part of Adjusted Lot 1 of Hayes Boundary Adjustment Plat, according to the plat thereof recorded in Plat Book 357 page 3, part of the Adjusted Tract 1 of the Boundary Adjustment Plat of Lots 8 & 9 of Herman Picke Estate Subdivision,

according to the plat thereof recorded in Plat Book 354, Pages 5 & 6, both of the St. Louis County Records and part of Lots 6 & 7 of Herman Picke Estate Subdivision in U.S. Survey 2031, Township 45 North, Range 4 East of the Fifth Principal Meridian, City of Chesterfield, St. Louis County, Missouri.

Section 2. The preliminary approval, pursuant to the City of Chesterfield Zoning Ordinance is granted, subject to all of the restrictions, rules and regulations and the specific conditions as recommended by the Planning Commission and its recommendations to the City Council, which are set out in the Attachment "A" and preliminary plan, which are attached hereto and, made part of.

Section 3. The City Council, pursuant to the petition filed by Deoter Ulton, LLC in P.Z. 07-2011, requesting the amendment embodied in this ordinance, and pursuant to the recommendations of the City of Chesterfield Planning Commission that said petition be granted and after a public hearing, held by the Planning Commission on the 12th day of September, 2011, does hereby adopt this ordinance pursuant to the power granted to the City of Chesterfield under Chapter 89 of the Revised Statutes of the State of Missouri authorizing the City Council to exercise legislative power pertaining to planning and zoning.

Section 4. This ordinance and the requirements thereof are exempt from the warning and summons for violations as set out in Section 1003.410 of the Zoning Ordinance of the City of Chesterfield.

- nh. Restaurant, sit down
ni. Restaurant, take out
nj. Retail sales establishment, community
nk. Retail sales establishment, neighborhood
nl. Retail sales establishment, regional
nm. Retail sales establishment, neighborhood
nn. Tackle and bait shop
no. Theater, indoor

2. Accessory uses for this development shall include, but not be limited to:

- a. Cafeteria for employees and guests only
b. Day care center, child
c. Donation collection bin
d. Farmers market
e. Kennel, boarding
f. Newspaper stand
g. Parking area, including garages, for automobiles
h. Sales yard operated by a church, school, or other not for profit
i. Theater, outdoor
j. Veterinary clinic

3. The above uses in the PC District shall be restricted as follows:

- a. No single tenant shall occupy more than 75,000 square feet within this PC District.
b. Hours of operation for retail sales will be limited to 6 a.m. to midnight.

B. FLOOR AREA, HEIGHT, BUILDING AND PARKING STRUCTURE REQUIREMENTS

- 1. Floor Area
a. Total building floor area shall not exceed 500,000 square feet.

- 2. Height
a. The maximum height of the building, exclusive of rooftop mechanical equipment and screening, shall not exceed 45 feet; however, architectural features, including but not limited to towers, that do not add any usable floor area may be a maximum of 60 feet in height.

C. SETBACKS

- 1. Structure Setbacks
No building or structure, other than: freestanding project identification signs, sign standards, or flag poles will be located within the following setbacks:
a. 75 feet from the southern boundary of the PC District.
b. 25 feet from the north, east and west boundaries of the PC District.
2. Parking Setbacks
No parking stall, loading space, internal driveway, or roadway, except points of ingress or egress, will be located within the following setbacks:
a. 30 feet from the north, south, and west boundaries of the PC District.
b. 0 feet from the eastern boundary of the PC District.

D. PARKING AND LOADING REQUIREMENTS

- 1. Parking and loading spaces for this development will be as required in the City of Chesterfield Code.
2. Construction Parking
a. The streets surrounding this development and any street used for construction access thereto shall be cleared throughout the day. The developer shall keep the road clear of mud and debris at all times.
b. Provide adequate off-street stabilized parking areas for construction employees and a washdown station for construction vehicles entering and leaving the site in order to eliminate the condition whereby mud from construction and employee vehicles is tracked onto the pavement causing hazardous roadway and driving conditions.
3. Parking lots shall not be used as streets.

E. LANDSCAPE AND TREE REQUIREMENTS

The developer shall adhere to the Landscape and Tree Preservation Requirements of the City of Chesterfield Code.

F. SIGN REQUIREMENTS

- 1. Signs shall be permitted in accordance with the regulations of the City of Chesterfield Code or a Sign Package may be submitted for the planned district. Sign Packages shall adhere to the City Code and are reviewed and approved by the City of Chesterfield Planning Commission.
2. Ornamental Entrance Monument construction, if proposed, shall be reviewed by the City of Chesterfield, and/or the St. Louis County Department of Highways and Traffic (or MoDOT), for sight distance considerations prior to installation or construction.
3. The maximum height from grade of any wall sign shall not exceed 45 feet.

G. LIGHT REQUIREMENTS

- 1. Provide a lighting plan and cut sheet in accordance with the City of Chesterfield Code.

H. ARCHITECTURAL

- 1. The developer shall adhere to the Architectural Review Standards of the City of Chesterfield Code.
2. Trash enclosures: All exterior trash areas will be enclosed with a minimum six (6) foot high sight-proof enclosure complemented by adequate landscaping or as directed by the City of Chesterfield. The location, material, and elevation of any trash enclosures will be as approved by the City of Chesterfield on the Site Development Plan.

I. ACCESS/ACCESS MANAGEMENT

- 1. Ingress and egress must conform to the Missouri Department of Transportation's (MoDOT), St. Louis County Department of Highways and Traffic, and City of Chesterfield's Access Management Guidelines, as directed by the City. Ingress and egress must be reviewed and approved by MoDOT, St. Louis County, and the City of Chesterfield, as directed by the City.

- 2. Provide public access easements as needed along the eastern and western extents of the property such that access is provided from North Outer 40 Road to the adjoining property to the north. The easements shall be dedicated to the City of Chesterfield for public use. The conveyance or dedication of these easements will be a condition of the issuance of permits for retail sales, outdoor signage approval. The location, dimensions, and form of the conveyance or dedication shall be mutually agreed upon by the developer and the City of Chesterfield, and any such conveyance or dedication shall be subject to existing easements, if any.

J. ROAD IMPROVEMENTS

- 1. Construct improvements to North Outer 40 Road and Boone's Crossing as required by MoDOT, St. Louis County and the City of Chesterfield, as directed by the City, to support the proposed development.
K. TRAFFIC STUDY
1. Provide a traffic study as directed by the City of Chesterfield, St. Louis County and the Missouri Department of Transportation. The scope of the study shall include internal and external circulation and may be limited to site specific impacts, such as the need for additional lanes, entrance configuration, geometrics, sight distance, traffic signal modifications or other improvements required, as long as the density of the proposed development falls within the parameters of the City's traffic model. Studies that are more than the density assumed in the model, regional issues shall be addressed as directed by the City of Chesterfield.

L. MONARCH-CHESTERFIELD LEVEE DISTRICT/HOWARD BEND LEVEE DISTRICT

All set-backs, dedication of easements and/or other restrictions or limitations shall be established as directed by the Monarch-Chesterfield Levee District upon site plan review.

Improvements on the Site Development Plan and improvement plans. Maintenance of the required channel shall be the responsibility of the property owner.

- 3. All Chesterfield Valley Master Storm Water Plan on-site improvements shall be operational and positive drainage provided for the development prior to the paving of any driveways or parking areas.
4. The project is located in the Cauley Creek Impact area and subject to applicable fees.
5. Formal plan submittal and approval is required by the District prior to the issuance of permits.

O. GEOTECHNICAL REPORT

Prior to Site Development Plan approval, provide a geotechnical report, prepared by a registered professional engineer (licensed to practice in the State of Missouri, as directed by the Department of Planning and Public Works. The report shall verify the suitability of grading and proposed improvements with soil and geologic conditions and address the existence of any potential sinkholes, ponds, dams, septic fields, etc., and recommendations for treatment. A statement of compliance, signed and sealed by the geotechnical engineer preparing the report, shall be included on all Site Development Plans and Improvement Plans.

P. MISCELLANEOUS

- 1. All utilities will be installed underground.
2. An opportunity for recycling will be provided. All provisions of Chapter 25, Article VII, and Section 25-122 thru Section 25-126 of the City of Chesterfield, Missouri Code shall be required where applicable.

3. Prior to final release of subdivision construction deposits, the developer shall provide certification by a registered land surveyor that all monumentation depicted on the record plan has been installed and United States Public Land Survey Corners have not been disturbed during construction activities or that they have been reestablished and the appropriate documents filed with the Missouri Department of Natural Resources Land Survey Program.

II. TIME PERIOD FOR SUBMITTAL OF SITE DEVELOPMENT CONCEPT PLANS AND SITE DEVELOPMENT PLANS

- A. The developer shall submit a concept plan within eighteen (18) months of City Council approval of the change of zoning.

B. In lieu of submitting a Site Development Concept Plan and Site Development Section Plans, the petitioner may submit a Site Development Plan for the entire development, within eighteen (18) months of the date of approval of the change of zoning by the City.

C. Failure to comply with these submittal requirements will result in the expiration of the change of zoning and will require a new public hearing.

D. Said Plan shall be submitted in accordance with the combined requirements for Site Development Section and Concept Plans. The submission of Amended Site Development Plans by sections of this project to the Planning Commission shall be permitted if this option is utilized.

E. Where due cause is shown by the developer, this time interval for plan submittal may be extended through appeal to and approval by the Planning Commission.

III. COMMENCEMENT OF CONSTRUCTION

A. Substantial construction shall commence within two (2) years of approval of the Site Development Concept Plan or Site Development Plan, unless otherwise authorized by ordinance.

B. Where due cause is shown by the developer, the Commission may extend the period to commence construction for not more than one additional year.

IV. GENERAL CRITERIA

A. SITE DEVELOPMENT CONCEPT PLAN

- 1. Any Site Development Concept Plan shall show all information required on a preliminary plan as required in the City of Chesterfield Code.

2. Include a Conceptual Landscape Plan in accordance with the City of Chesterfield Code to indicate proposed landscaping along arterial and collector roadways.

3. Include a Lighting Plan in accordance with the City of Chesterfield Code to indicate proposed lighting along arterial collector roadways.

4. Provide comments/approvals from the appropriate Fire District, the St. Louis County Department of Highways and Traffic, Monarch Chesterfield Levee

significant natural features, such as wooded areas and rock formations, and other karst features that are to remain or be removed.

- 15. Depict all existing and proposed easements and rights-of-way within 150 feet of the site and all existing or proposed off-site easements and rights-of-way required for proposed improvements.

- 16. Indicate the location of the proposed storm sewers, detention basins, sanitary sewers and connections to the existing systems.
- 17. Depict existing and proposed contours at intervals of not more than one (1) foot, and extending 150 feet beyond the limits of the site as directed.
- 18. Address trees and landscaping in accordance with the City of Chesterfield Code.
- 19. Comply with all preliminary plan requirements of the City of Chesterfield Subdivision Regulations per the City of Chesterfield Code.
- 20. Signed and sealed in conformance with the State of Missouri Department of Economic Development, Division of Professional Registration, Missouri Board for Architects, Professional Engineers and Land Surveyors requirements.
- 21. Provide comments/approvals from the appropriate Fire District, Monarch Levee District, Spirit of St. Louis Airport and the Missouri Department of Transportation.
- 22. Compliance with Sky Exposure Plan.
- 23. Compliance with the current Metropolitan Sewer District Site Guidance as adopted by the City of Chesterfield.

C. SITE DEVELOPMENT SECTION PLAN SUBMITTAL REQUIREMENTS

The Site Development Section Plan shall adhere to the above criteria and to the following:

- 1. Location map, north arrow, and plan scale. The scale shall be no greater than one (1) inch equals one hundred (100) feet.

- 2. Parking calculations, including calculation for all off street parking spaces, required and proposed, and the number, size and location for handicap designed.

- 3. Provide open space percentage for overall development including separate percentage for each lot on the plan.

- 4. Provide Floor Area Ratio (F.A.R.).
- 5. A note indicating all utilities will be installed underground.
- 6. A note indicating signage approval is separate process.
- 7. Depict the location of all buildings, size, including height and distance from adjacent property lines and proposed use.
- 8. Specific structure and parking setbacks along all roadways and property lines.
- 9. Indicate location of all existing and proposed freestanding monument signs.
- 10. Zoning district lines, subdivision name, lot number, lot dimensions, lot area, and zoning of adjacent parcels where different than site.
- 11. Floodplain boundaries.
- 12. Depict existing and proposed improvements within 150 feet of the site as directed. Improvements include, but are not limited to, roadways, driveways and walkways adjacent to and across the street from the site, significant natural features, such as wooded areas and rock formations, and other karst features that are to remain or be removed.
- 13. Depict all existing and proposed easements and rights-of-way within 150 feet of the site and all existing or proposed off-site easements and rights-of-way required for proposed improvements.
- 14. Indicate the location of the proposed storm sewers, detention basins, sanitary sewers and connections to the existing systems.
- 15. Depict existing and proposed contours at intervals of not more than one (1) foot, and extending 150 feet beyond the limits of the site as directed.
- 16. Address trees and landscaping in accordance with the City of Chesterfield Code.
- 17. Comply with all preliminary plan requirements of the City of Chesterfield Subdivision Regulations per the City of Chesterfield Code.
- 18. Signed and sealed in conformance with the State of Missouri Department of Economic Development, Division of Professional Registration, Missouri Board for Architects, Professional Engineers and Land Surveyors requirements.
- 19. Provide comments/approvals from the appropriate Fire District, Monarch Levee District, Spirit of St. Louis Airport, St. Louis County Department of Highways and Traffic, and the Missouri Department of Transportation.
- 20. Compliance with Sky Exposure Plan.
- 21. Compliance with the current Metropolitan Sewer District Site Guidance as adopted by the City of Chesterfield.

V. TRUST FUND CONTRIBUTION

The developer shall be required to contribute to the Chesterfield Valley Trust Fund. Traffic generation assessment contributions shall be deposited with St. Louis County prior to the issuance of building permits. If development phasing is anticipated, the developer shall provide the traffic generation assessment contribution prior to issuance of building permits for each phase of development.

- 1. The developer shall contribute a Traffic Generation Assessment (TGA) to the Chesterfield Valley Trust Fund (No. 558). This contribution shall not exceed an amount established by multiplying the required parking spaces by the following rate schedule:

Table with 3 columns: Type of Development, TGA Category, Required Contribution. Rows include General Office (\$806.42), General Retail (\$1,819.37), and Loading Space (\$2,977.17).

(Parking spaces as required by the City of Chesterfield Code.)

If types of development proposed differ from those listed, rates shall be provided by the Saint Louis County Department of Highways and Traffic.

If a portion of the improvements required herein are needed to provide for the safety of the traveling public, their completion as a part of this development is mandatory.

Credits for roadway improvements will be as approved by the City of Chesterfield and/or St. Louis County Department of Highways and Traffic.

Any portion of the roadway improvement contribution that remains, following completion of road improvements required by the development, shall be retained in the appropriate Trust Fund. Sidewalk construction and utility relocation on other items, are not considered allowable credits.

- 2. As the development is located within a trust fund area established by Saint Louis County, any portion of the traffic generation assessment contribution which remains following completion of road improvements required by the development should be retained in the appropriate trust fund.

- 3. Traffic generation assessment contributions shall be deposited with Saint Louis County prior to the issuance of building permits. If development phasing is anticipated, the developer shall provide the traffic generation assessment contribution prior to issuance of building permits for each phase of development. Funds shall be payable to Treasurer, Saint Louis County.

Water Main

The primary water line contribution is based on gross acreage of the development land area. The contribution shall be a sum of \$731.73 per acre for the total area as approved on the Site Development Plan to be used solely to help defray the cost of constructing the primary water line serving the Chesterfield Valley area.

The primary water line contribution shall be deposited with the Saint Louis County Department of Highways and Traffic. The deposit shall be made before St. Louis County approval of the Site Development Plan unless otherwise directed by the Saint Louis County Department of Highways and Traffic. Funds shall be payable to the Treasurer, Saint Louis County.

Stormwater

The storm water contribution is based on gross acreage of the development land area. These funds are necessary to help defray the cost of engineering and construction improvements for the collection and disposal of storm water from the Chesterfield Valley in accordance with the Master Plan on file and jointly approved by Saint Louis County and the Metropolitan Saint Louis Sewer District. The amount of the storm water contribution will be computed based on \$2,321.64 per acre for the total area as approved on the Site Development Plan. The storm water contributions to the Trust Fund shall be deposited with the Saint Louis County Department of Highways and Traffic. The deposit shall be made before the issuance of a Special Use Permit (S.U.P.) by Saint Louis County Department of Highways and Traffic or before the issuance of building permits in the case where no Special Use Permit is required. Funds shall be payable to the Treasurer, Saint Louis County.

Sanitary Sewer

The sanitary sewer contribution is collected as the Cauley Creek Impact fee.

The sanitary sewer contribution within Chesterfield Valley area shall be deposited with the Metropolitan St. Louis Sewer District as required by the District.

The amount of these required contributions for the roadway, storm water and primary water line improvements, if not submitted by January 1, 2012, shall be adjusted on that date and on the first day of January in each succeeding year thereafter in accordance with the construction cost index as determined by the Saint Louis County Department of Highways and Traffic.

VI. RECORDING

Within 60 days of approval of any development plan by the City of Chesterfield, the approved Plan will be recorded with the St. Louis County Recorder of Deeds. Failure to do so will result in the expiration of approval of said plan and require reapproval of a plan by the Planning Commission.

VII. ENFORCEMENT

A. The City of Chesterfield, Missouri will enforce the conditions of this ordinance in accordance with the Plan approved by the City of Chesterfield and the terms of this Attachment A.

B. Failure to comply with any or all of the conditions of this ordinance will be cause for cessation of approvals/permits by reviewing Departments and Commissions.

C. Non-compliance with the specific requirements and conditions set forth in this Ordinance and its attached conditions or other Ordinances of the City of Chesterfield shall constitute an ordinance violation, subject, but not limited to, the penalty provisions as set forth in the City of Chesterfield Code.

D. Waiver of Notice of Violation per the City of Chesterfield Code.

E. This document shall be read as a whole and any inconsistency to be integrated to carry out the overall intent of this Attachment A.

Section 8. This ordinance shall be in full force and effect from and after its passage and approval.

Passed and approved this 25th day of NOVEMBER, 2011

Bruce King MAYOR

ATTEST:
Judy A. Maguire CITY CLERK

FIRST READING HRLD: 11/07/2011

- 3. Open Space
a. A minimum of 35% open space is required for this development. 30% open space shall be required if the required storm water improvements, per the current version of the Chesterfield Valley Master Storm Water Plan, along the southern portion of this District are enclosed.

C. SETBACKS

- 1. Structure Setbacks
No building or structure, other than: freestanding project identification signs, sign standards, or flag poles will be located within the following setbacks:
a. 75 feet from the southern boundary of the PC District.
b. 25 feet from the north, east and west boundaries of the PC District.
2. Parking Setbacks
No parking stall, loading space, internal driveway, or roadway, except points of ingress or egress, will be located within the following setbacks:
a. 30 feet from the north, south, and west boundaries of the PC District.
b. 0 feet from the eastern boundary of the PC District.

D. PARKING AND LOADING REQUIREMENTS

- 1. Parking and loading spaces for this development will be as required in the City of Chesterfield Code.
2. Construction Parking
a. The streets surrounding this development and any street used for construction access thereto shall be cleared throughout the day. The developer shall keep the road clear of mud and debris at all times.
b. Provide adequate off-street stabilized parking areas for construction employees and a washdown station for construction vehicles entering and leaving the site in order to eliminate the condition whereby mud from construction and employee vehicles is tracked onto the pavement causing hazardous roadway and driving conditions.
3. Parking lots shall not be used as streets.

M. POWER OF REVIEW

- 1. The City Council shall review and provide final approval of the Site Development Plan for the proposed development subsequent to Planning Commission review.

N. STORMWATER AND FLOOD PLAN

- 1. Construct the required on-site storm water improvements per the current version of the Chesterfield Valley Master Storm Water Plan. The developer shall be responsible for construction of the required on-site storm water improvements and for providing positive drainage for the development. In the event that the ultimate off-site required improvements are not constructed concurrently with this development, the developer shall provide interim drainage facilities. Interim facilities shall be sized to handle runoff from the on-site 100-year, 24-hour storm event as produced by the Master Storm Water Plan model. The interim facilities shall provide positive drainage for the development and handle existing off-site flows such that off-site properties are not negatively impacted.

The developer may elect to propose alternate geometry, size and/or type of storm water improvements that are functionally equivalent to the required improvements. Functional equivalence is said to be achieved when, as determined by the Public Works Director, the alternate proposal provides the same hydraulic function, connectivity, and system-wide benefits without adversely affecting any of the following: water surface profiles at any location outside the development; future capital expenditures; maintenance obligations; equipment needs; frequency of maintenance; and probability of malfunction. The City will consider but is not obligated to accept, the developer's alternate plans. If the Public Works Director determines that the developer's proposal may be functionally equivalent to the Chesterfield Valley Master Storm Water Plan improvements, the developer shall be required to perform a final determination of functional equivalence. The Director will consider the developer's proposal, but is not obligated to have the hydraulic analysis performed if any of the other criteria regarding