

Planning Commission Staff Report

Project Type: Amended Sign Package

Meeting Date: February 12, 2018

From: Cassie Harashe, AICP, Project Planner

Location: North side of North Outer 40 Road and west of Timberlake Manor

Description: **One Chesterfield Place, Amended Sign Package:** A request to amend a Sign Package for One Chesterfield Place, a 6.44 acre tract of land located on the north side of North Outer 40 Road and west of Timberlake Manor.

SUMMARY

Tracey Diehl, with Expedite the Diehl, has submitted a request to amend the Sign Package for One Chesterfield Place, which is 6.44 acres in size. In accordance with the Unified Development Code (UDC), if approved, the proposed Amended Sign Package would serve as the site specific sign regulations for the development. The Department of Planning and Development Services has reviewed the request and submits the following report.



Figure 1: Aerial of Subject Site

HISTORY OF SUBJECT SITE

The subject site was zoned “PC” Planned Commercial by City of Chesterfield [Ordinance 1660](#) in 2000. A requirement of [Ordinance 1660](#) is that a signage package be utilized for all signage for the development. The current Sign Package was approved in May 2003. The current sign package allows for a seventy-five (75) square foot monument sign and one attached wall sign not to exceed five (5) percent of the façade area or a maximum 300 square feet.

SUBMITTAL OVERVIEW

The Sign Package addresses two (2) sign types: monument signs and attached wall signs. These sign types are addressed below.

Monument Sign: An existing monument sign was approved as a part of the original sign package. The governing ordinance has restrictions regarding the size, height, and location of the monument sign. The monument for this development cannot exceed 75 square feet in outline area, 10 feet in height, and must be 15 feet from the North Outer 40 Road Right-of-Way. While a sign package can be utilized to ask for larger monument signs than would be permitted by the Unified Development Code, the specific requirements of the governing ordinance cannot be exceeded through a sign request as permitted in the UDC. The governing ordinance also includes a requirement for landscaping at the base of the monument sign that is compatible with the overall landscaping plan for the site. This sign is in compliance with the governing ordinance and current Sign Package. No changes are requested to the monument sign or approved landscaping at this time.

Wall Signs: The current sign package allows for **one** attached wall sign not to exceed five (5) percent of the building area or 300 square feet (whichever is greater). The proposed amendment is to allow an additional attached wall sign on the front façade.

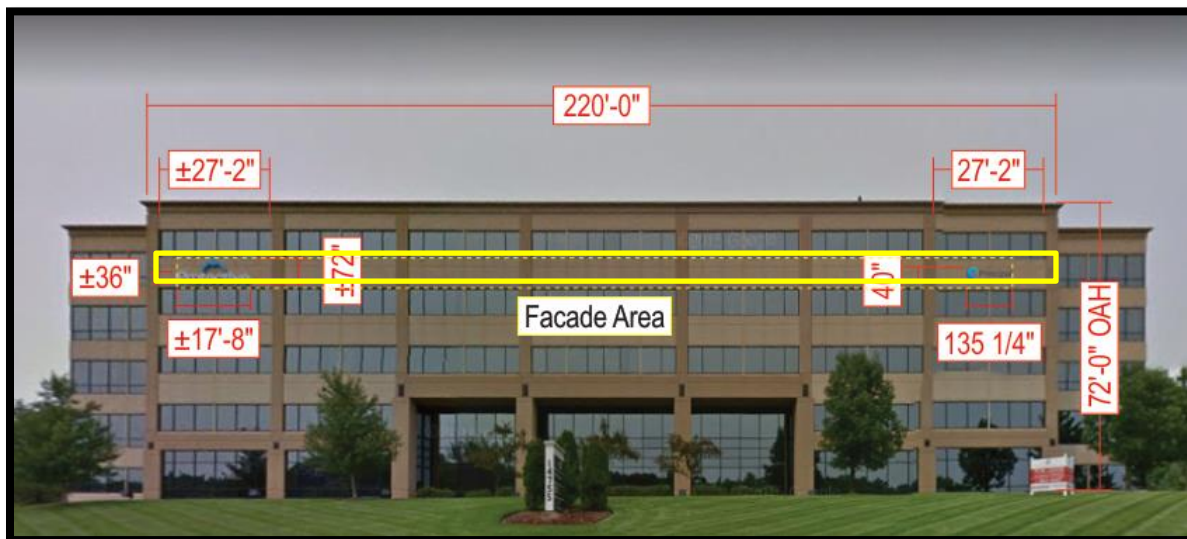


Figure 2: Front Building Façade

Specifically, the request is to permit two wall signs that shall not exceed five (5) percent of the front façade or a maximum of 300 square feet. The signs shall be placed in the sign band (outlined in yellow in Figure 2) between the 4th and 5th floors and shall be centered between brick masonry pilaster columns on the far left and far right window banks. Neither sign shall individually exceed 150 square feet.

The UDC provides a method of calculating the outline area of a sign, which requires all signs to be placed in one box to calculate the size of allowable signs. The applicant is requesting that the signs be calculated in two separate boxes to total five (5) percent or a maximum of 300 square feet.

The applicant has also indicated that all other signage not specifically identified in the sign package would be prohibited. This is more restrictive than the governing ordinance, which explicitly prohibits advertising signs, temporary signs, portable signs, off-site signs, and attention getting devices.

STAFF ANALYSIS

The City of Chesterfield does not regulate the content of signage. An applicant is permitted to place signs near each other in order to comply with the five (5) percent regulation in the Unified Development Code, such as in the example shown in Figure 3 below of the Rose International Building, located at 16401 Swingley Ridge Road.

The applicant’s request is similar to previously approved requests for large office buildings, such as the Timberlake Corporate Center. The Timberlake Corporate Center sign package dictates the size and location of wall signage, allowing multiple smaller signs to be spaced equally across the buildings rather than clustered into one rectangle that meets the 300 square foot maximum sign allowance criteria.

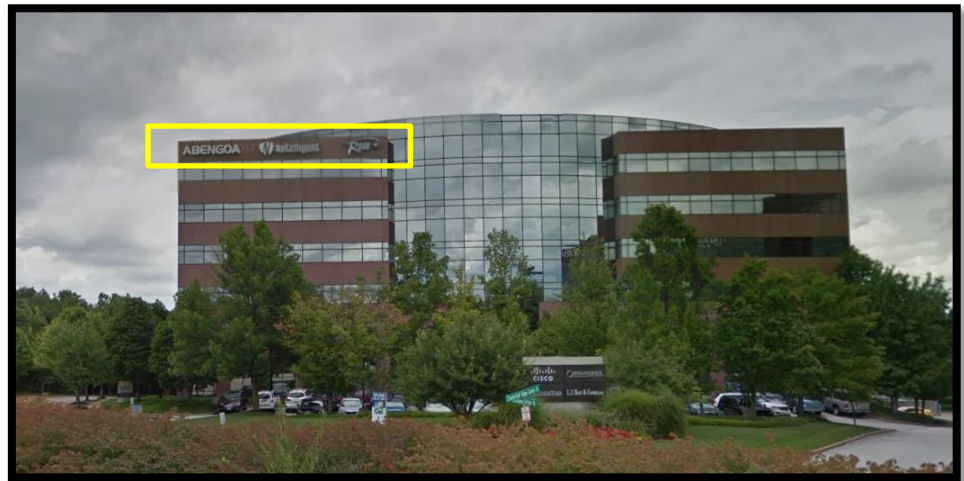


Figure 3: Rose International Building at 16401 Swingley Ridge Road

This sign package complies with all signage requirements outlined in the governing ordinance, including lighting.

Comprehensive Plan

There are two specific Plan Policies that have been adopted as part of the Comprehensive Plan. The Plan Policy is identified in italics below, followed by Staff analyses.

Plan Policy 3.4 Signage Considerations: Signage along the I-64/US 40 corridor and State Highways should be evaluated in terms of height, size and location while recognizing individual users’ need for identity and visibility.

The proposed wall signs fit well into the building design and are consistent with the wall signs on the adjacent parcel to the west, the Highland on Conway development. The centering of the signs between

two brick masonry pilaster columns on the brick masonry band between the 4th and 5th floors of the building limits the maximum height of any sign to 6 feet tall and provides a clear frame for the proposed signs.

Plan Policy 3.4.1 Preserve Aesthetics and Public Safety: To preserve the high aesthetic quality and public safety interests along the corridor and other major highways/roads, signs of ever-increasing size, brightness and garishness should be prohibited.

The combined size of the two requested wall signs does not exceed the UDC and governing ordinance size limitation of five (5) percent of the area of the façade (with no sign to exceed 300 square feet). Further, limiting the signs to the southern façade would ensure that the adjacent residential neighborhood situated to the north would not be impacted by signage in the future.

The stated purpose of a sign package is to provide comprehensive and complementary signage throughout a development. The Unified Development Code states that “in order to encourage superior design, quality and character, comprehensive sign packages allow for specialized review of signs and flexibility from standard signage requirements.” The proposed sign package seeks to comply with this requirement by requesting flexibility to permit two smaller wall signs in lieu of one large sign while maintaining compliance with the maximum outline area permitted by the governing ordinance. In addition to being smaller, the two signs are placed on the building façade in a manner that provides balance and works within the building’s architectural features and character, resulting in superior design.

The purpose listed above, along with the stated purpose of the sign regulations and policies of the Comprehensive Plan, creates the foundation of the review of the submittal. As listed in the UDC, the purpose of the sign requirements is as follows:

“The purpose of the sign regulations provided herein are to encourage excellence in design of signs, fostering economic viability of the community, and provide safe and concise directional information designed to facilitate traffic flow. Signs shall be designed so as to protect motorists, bicyclists, and pedestrians from distractions that may cause accidents or other detrimental impacts.

Signs shall not overload the public's capacity to receive information, or cause visual confusion by interfering with pedestrian or vehicular traffic. Signs shall conform to the character of the community, enhance the visual harmony of development, and preserve the public health, convenience, welfare and/or safety within the City of Chesterfield by maintaining the high aesthetic quality of the community.”

In summary, the applicant is requesting that the existing Sign Package be amended to permit a maximum of two wall signs totaling five (5) percent of wall façade or 300 square feet (whichever is less). The signs are to be placed on the brick masonry band located between the 4th and 5th floors and centered between masonry pilaster columns. The monument sign shall remain unchanged, as previously approved through the governing ordinance and the original sign package. All other signage would be prohibited.

STAFF RECOMMENDATION

Staff has reviewed the requested Sign Package for One Chesterfield Place and found that it meets the requirements to be presented to the Planning Commission for review, and staff recommends action. Please note, any future requests to amend the Sign Package would require review and approval by the Planning Commission.

MOTION

The following options are provided to the Planning Commission for consideration relative to this application:

- 1) "I move to approve (or deny) the sign package for One Chesterfield Place."
- 2) "I move to approve the Sign Package for One Chesterfield Place with the following conditions....." (Conditions may be added, eliminated, altered or modified).

Respectfully Submitted,

Cassie Harashe, AICP
Project Planner

Attachments: Proposed Sign Package

14755 North Outer Forty WB

Comprehensive Sign Package Amendment

All tenants, businesses, owners with the development shall receive a copy of the Comprehensive Sign Package from the owner at the time of lease/sale. All signage within the development shall be in conformance with the Comprehensive Sign Package. Any signage not specifically identified in the Comprehensive Sign Package is prohibited.

The sign standards, location, and quantity for the signs placed on the Subject Property shall be in substantial conformance with pages 1 through 7 of the Comprehensive Sign Exhibit attached prepared by Icon Identity Solutions, in amendment to the previously approved Comprehensive Sign Package for this property identified as 14755 North Outer Forty WB, Chesterfield, MO 63017, Record 18R110011. Approval of this application shall not relieve the applicant or the owners of the Subject Property, their successors, or parties developing the Subject Property, from the obligation to comply with and conform to the City of Chesterfield Unified Development Code Section 04-05, or applicable regulatory requirement not modified hereby. This approval applies only to the amendment of the Sign Package.

Sign Lighting: Shall conform with the governing ordinance 1660, in that only illumination of any sign shall be by an internal source only.

Sign Design: Signs proposed for the building shall be consistent with the current code allowed sign types and placed within the sign band between the 4th and 5th floor. The sign band area is 6' x 220'. The signs will be placed in this area and the total of all signs shall not exceed 5% of the front façade of the building, not to exceed 300 sq ft. Maximum number of signs shall not exceed a quantity of two, the square footage shall be divided evenly between the two signs. Signs shall be centered under the far right windows and far left window panes between the 4th and 5th floors. The signs are not required to be equal in size, however, they cannot exceed the maximum of 150 sq. ft. per sign.

All other existing approved sign types shall remain unchanged. Any additional signage outside of the approved 75 sq. ft. monument sign and the attached wall signs as described above will require an amendment to the Comprehensive Sign Package.

Current Proposal:

The proposed amendment to the Comprehensive Sign Package is consistent with the developments architectural theme and the existing signage that is in place. The proposed change is to include a sign on the southeast corner of the building that reads "Principal" which is the same sign design type and color scheme as the current sign on the southwest corner of the building that reads "Protective".

The existing sign that reads "Protective" is an internally illuminated channel letter set that is blue and gray. This sign is located on the southwest corner of the building between the 4th and 5th floor windows. The letterset is 106 sq. ft.

The proposed sign that reads "Principal" is an internally illuminated channel letterset that is blue and gray. The drawings are attached labeled Sign 1 page 5 dated 11/17/17. The letterset is 37.57 sq. ft. to be placed on the southeast corner of the building between the 4th and 5th floor windows.



Loc#: 0118

14755 North Outer Forty WB
Chesterfield, MO 15733



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Places & Spaces



Drawing prepared by: **SITE PLAN**

Location: 14755 North Outer Forty WB
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 File Path: Active\ACCOUNTS\PI\Principal\Project 4605\Locations\4605_0118_Chesterfield_MO_EXT-CL_R5.cdr

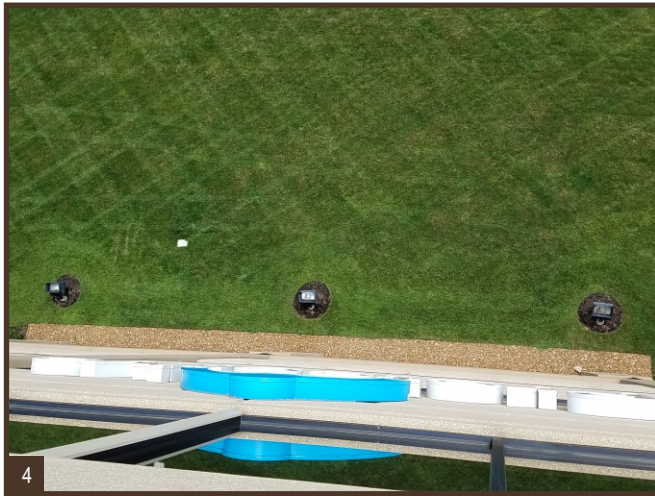
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Rev 1	258595	09/19/17	NW	BV	Revise per request	Rev 8	000000	00/00/00	XXX	XXX
Rev 2	261923	11/08/17	NW	CR	Added SQ FT estimates for existing & proposed (Pg. 6)	Rev 9	000000	00/00/00	XXX	XXX
Rev 3	262499	11/17/17	NW	ABP	Revise per request	Rev 10	000000	00/00/00	XXX	XXX
Rev 4	264496	12/21/17	NW	ABP	Revise per request					
Rev 5	264988	01/05/18	NW	CR	Added additional SQ FT estimates (Pg. 7)					
Rev 6	000000	00/00/00	XXX	XXX						

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OVERVIEW PHOTOS

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Rev 4	264496	12/21/17	NW	ABP	Revise per request					
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Rev 6	000000	00/00/00	XXX	XXX						

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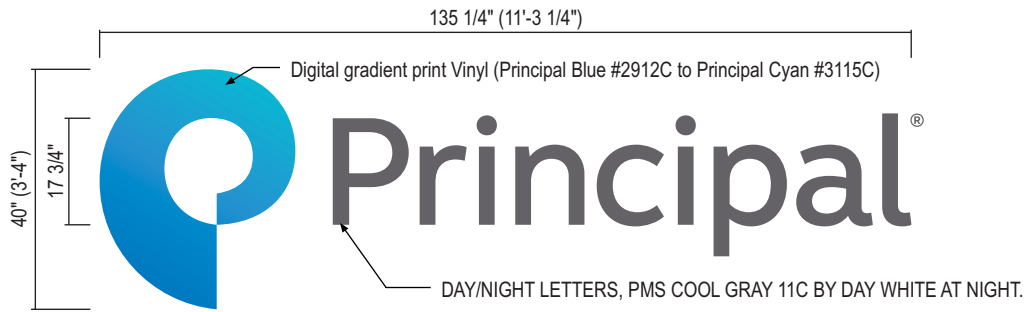
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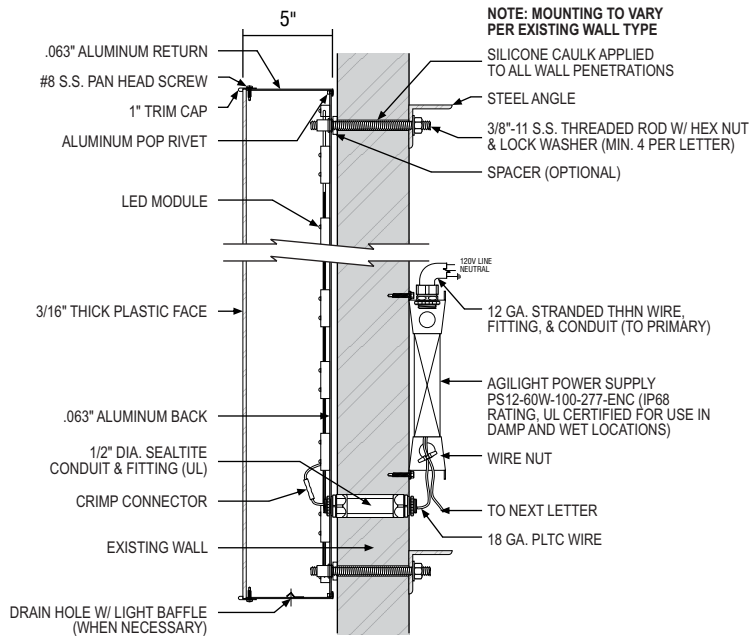
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Rev 5	264988	01/05/18	NW	CR	Added additional SQ FT estimates (Pg. 7)					
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ILLUMINATED CHANNEL LETTERS - (37.57 Sq. Ft.)

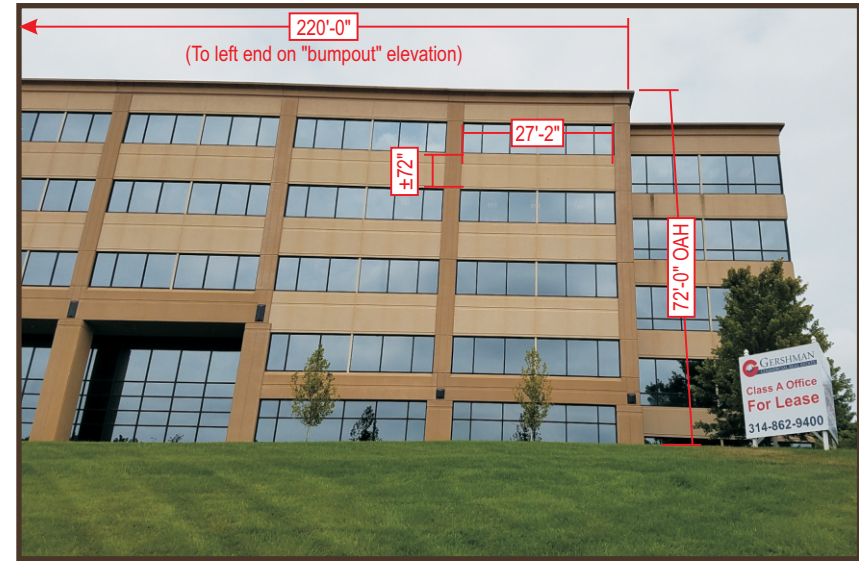
QTY: 1

SCALE: 3/8"=1'-0"



TYPICAL SECTION DETAIL

SCALE: N.T.S.



EXISTING



PROPOSED

Drawing prepared by:

SIGN 1

Drawing prepared for:

Location: 14755 North Outer Forty WB
Chesterfield, MO 15733

Proj #: 4605

Loc #: 0118

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Rev 4	264496	12/21/17	NW	ABP	Revise per request	Rev 10	000000	00/00/00	XXX	XXX
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Rev 6	000000	00/00/00	XXX	XXX						

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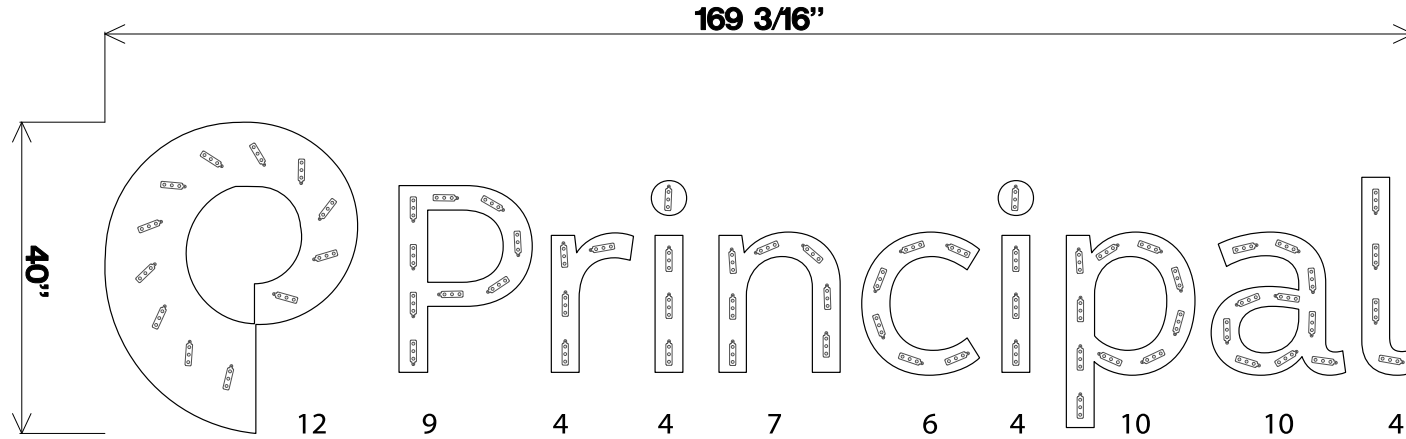
Pg. 5



- 1) **UNLESS OTHERWISE SPECIFIED:** All layouts are for a single face sign or a single set of letters and the depth of the application considered for the layout is 5 inches.
- 2) LED module placement is approximate. AgiLight® recommends the sign manufacturer verify the LED placement and quantity to ensure even illumination and brightness expectations are achieved.
- 3) Estimations are based off the quality of art work and information provided by the customer, this includes: font style, letter height, depth, face material, and any special instructions. Missing information may cause delays in the delivery of estimates, as well as effect product selection, accurate quantities, and brightness.
- 4) For installation instructions of AgiLight® LED systems please refer to www.AgiLight.com under the TOOLS & DOWNLOADS section or contact an AgiLight® Inside Sales Representative at: +1.866.482.0203

General Requirements

1. All letter sets require a UL label
2. Letters are designed to meet 2012 Internation Building Code ASCE 7-10 (115 mph Exposure C).
3. Letters to be installed according to NEC and/or applicable local codes.
4. The disconnect must be placed in direct view of the sign.
5. Use white silicone to conceal light leaks



35 feet LS-PRO160-65K-2B1 - 70 Modules
LIGHT OUTPUT: 93 lm/ module, 114 lm/foot, 372 lm/ meter (@6500K)
 1- PS12-60WSL-100-277V

Notes:
 Layout based off a 5" depth from face.

AREA/WEIGHT	ELECTRICAL		
SIGN SQUARE FOOTAGE			
37.57 SQ.FT.			
ESTIMATED SIGN WEIGHT			
187.85 LBS.			
AMPS:	1.2	AMPS	
V.A.:	120	VOLTS	WATTS: 144
CIRCUITS:	1-20 amp CIRCUIT		

Drawing prepared by:

PROPOSED ELEVATION

Drawing prepared for:

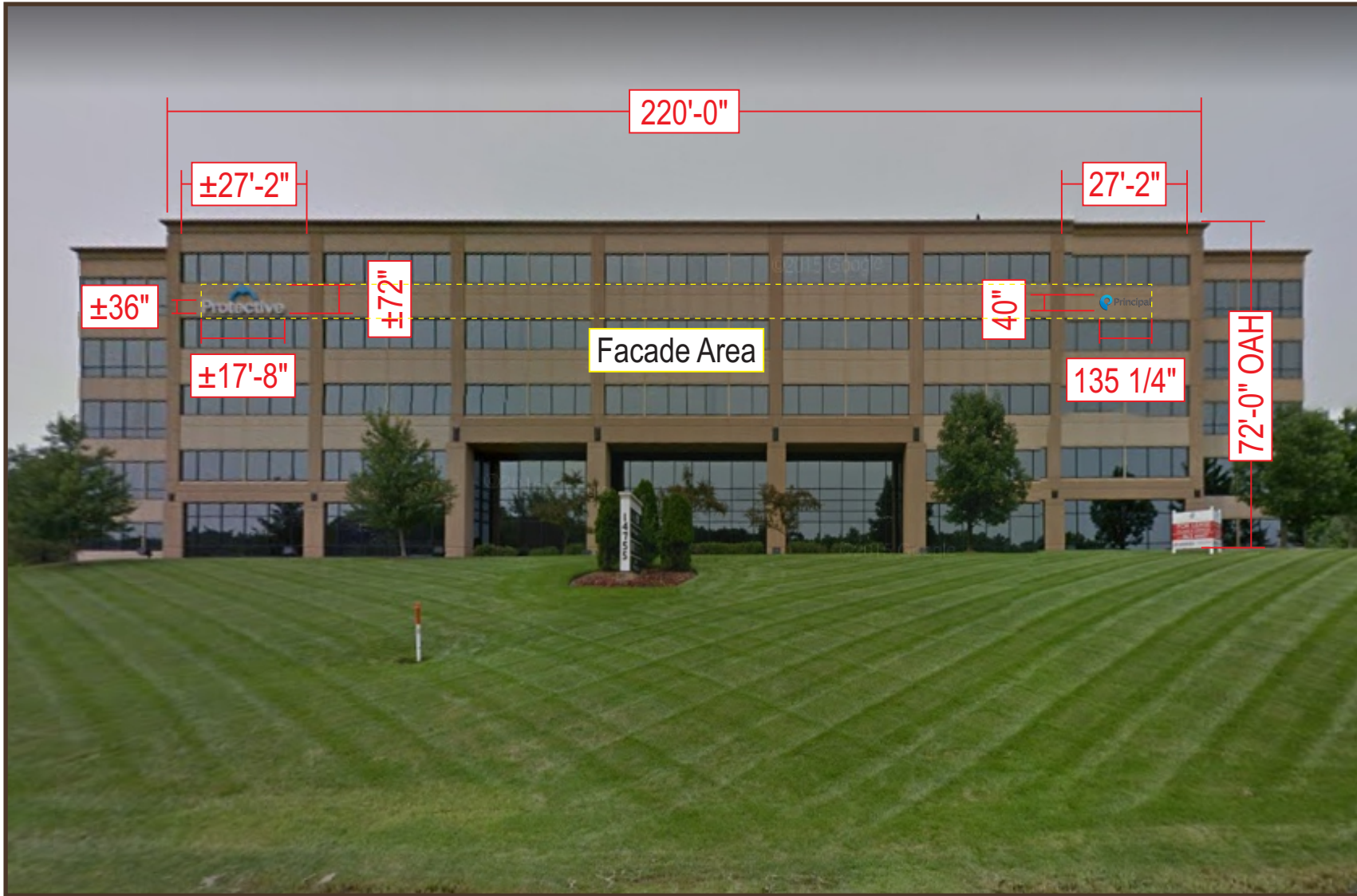


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Rev 5	264988	01/05/18	NW	CR	Added additional SQ FT estimates (Pg. 7)					
Rev 6	000000	00/00/00	XXX	XXX						Pg. 6



PROPOSED ELEVATION

PROTECTIVE LETTERSET = ±106 SQ FT
 PRINCIPAL LETTERSET = 37.5 SQ FT
 COMBINED TOTAL = ±143.5 SQ FT

FULL ELEVATION = ±15,840 SQ FT
 FACADE AREA (AS NOTED ABOVE) = ±1467.67 SQ FT

**PRINCIPAL SIGNAGE USES:
 APPROX. .2% OF FULL ELEVATION SQ FOOTAGE
 APPROX. 2.5% OF FACADE AREA SQ FOOTAGE**

Drawing prepared by:

PROPOSED ELEVATION

Drawing prepared for:



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