



690 Chesterfield Pkwy W • Chesterfield MO 63017-0760
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Planning Commission Staff Report

Project Type Site Development Plan

Meeting Date: February 12, 2018

From: Mike Knight, Project Planner

Location: North side of Wild Horse Creek Road

Description: **16915 Wild Horse Creek Road (Fienup Farms):** A Site Development Plan, Landscape Plan, Tree Preservation Plan, and Tree Stand Delineation for 223 acres zoned “PUD” Planned Unit Development located on the north side of Wild Horse Creek Road approximately 3,250 feet east of its intersection with Kehrs Mill Road and 4,400 feet west of its intersection with Baxter Road (18U640049, 18U630028, 18U330454, 17U310093, 17U320070, & 17T110201).

SUMMARY

Wild Horse Residential, LLC has submitted a Site Development Plan, Landscape Plan, Tree Preservation Plan, and Tree Stand Delineation for 223 acres zoned “PUD” Planned Unit Development located on the north side of Wild Horse Creek Road approximately 3,250 feet east of its intersection with Kehrs Mill Road and 4,400 feet west of its intersection with Baxter Road. The plans would permit the development of 223 single-family detached homes. The development has 2 entrances and contains various amenities including boat docks, fishing docks, pickle ball courts, and community gardens. The site has one large lake on the western side of the site and a few smaller bodies of water located throughout the site. Landscape buffers are provided along the entire perimeter with roughly 71% tree preservation.

SITE HISTORY

The subject property was zoned “NU” Non-Urban District and “FPNU” Flood Plain Non-Urban District by St. Louis County prior to the incorporation of the City of Chesterfield.

On August 21, 2017, the City of Chesterfield approved Ordinances 2970 and 2971, which zoned the subject site from an “NU” Non-Urban District to an “E-1 AC” Estate District and “PUD” Planned Unit Development, respectively, as part of a two-step zoning process in order to obtain entitlements to develop this tract of land as a single-family residential subdivision. In conjunction with the “PUD”

Planned Unit Development zoning request, a Preliminary Plan was prepared and approved during the zoning process. The proposed Site Development Plan is found to substantially conform to the approved Preliminary Plan.



Figure 1 Subject Site Aerial

SURROUNDING LAND USES

The land uses and zoning for the properties surrounding this parcel are as follows:

Direction	Surrounding Land Use and Zoning
North	The subject site is bordered by the Missouri Pacific Rail Road and Bonhomme Creek to the north. The site overlooks Chesterfield Valley and, more specifically the Chesterfield Commons commercial development which is zoned "C-8" Planned Commercial District.
South	Across Wild Horse Creek Road to the south are several single-family residential subdivisions, including Bentley Place ("R-1" & "R-1A" with a PEU), Westchester Manor "E-3", Chesterfield Estates ("R-1", "FPR-1", "R-1A" & "FPR-1A" with a PEU), and Eagle Crest Estates ("R-1", "FPR-1" with a PEU).
East	Properties east of the site are zoned "FPNU" and "NU" and the Wildhorse Springs single family residential subdivision is zoned "R-2" Residence District with a PEU.
West	To the west is the First Baptist Church which is zoned "NU".

STAFF ANALYSIS

The subject site is located within Ward 4 of the City of Chesterfield. The City of Chesterfield's Comprehensive Land Use Plan indicates that the subject site is within the Residential Single-Family district, in which 1 acre or larger development should be encouraged. This PUD conforms to the 1 acre requirement with 223 lots over 223 acres. The site is surrounded by Residential Single Family in all directions, except to the north in which the area is designated Parks/Recreation.

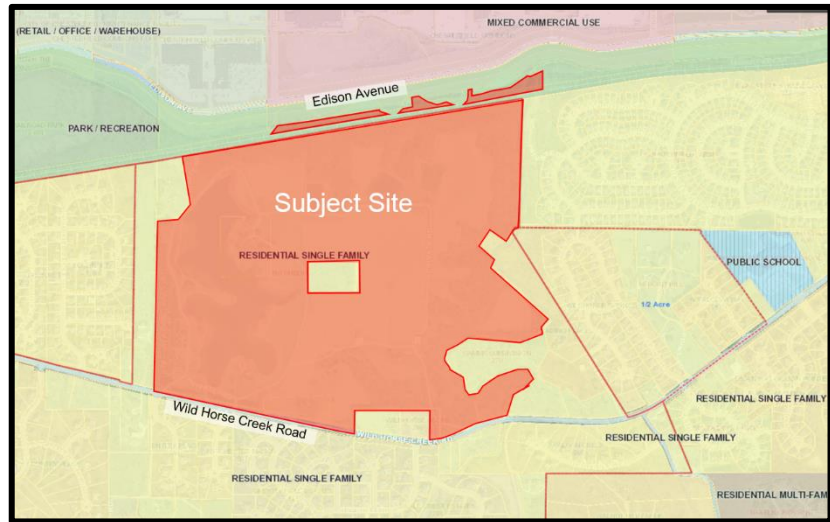


Figure 2: Comprehensive Land Use Plan

Comprehensive Plan Policies

In addition to complying with the Residential Single-Family land use designation, a proposed development should be in general compliance with the Residential Development Policies. These policies are meant to assist residents in creating and preserving neighborhoods. The following is a list of relevant policies within the Comprehensive Plan and how the Site Development Plan (SDP) relates to those policies:

Provide Buffer for Existing Residential Development: Policy 2.1.5

New higher density residential development and non-residential development adjacent to existing residential subdivisions should provide for a substantial landscape buffer and landscaped area between the uses, so as not to minimize the impact on existing residential neighborhoods. The Landscape Buffer requirements for the PUD are defined in the governing ordinance which states that a 30 foot Landscape Buffer shall be required along the perimeters of the PUD as identified on the Preliminary Plan. Staff identified that along almost the entire perimeter of the PUD within the Site Development Plan the landscape buffer is at least 50ft, which far exceeds the requirement.

Reinforce Existing Residential Development Pattern: Policy 2.1.6

New residential development should reinforce existing residential neighborhood patterns by continuing to enforce high quality site and subdivision design, layout, and planning practices. This residential pattern is consistent with the newer subdivisions along Wild Horse Creek Road and designed to incorporate the existing natural features including the large existing lake.

Encourage Planned Residential Development: Policy 2.1.9

Planned residential developments that allow for innovative and flexible site planning, preservation of open space, and a variety of housing opportunities should be encouraged. This is a planned residential

development that capitalizes on the existing features to exceed the open space requirement and provides additional amenities that contribute to the site design.

Residential Subdivision Access: Policy 2.1.12

Residential developments should have more than one (1) access route into and out of the development site or subdivision in order to provide adequate service ability to emergency vehicles. ‘Cut-through’ of non-residential traffic should be discouraged. This development has two access points to enter and exit the development, both along Wild Horse Creek Road.

Homes in West Sub-Area: Policy 2.3

New residential development west of Wilson Road generally should consist of single-family homes. The Site Development Plan consists of 223 single family homes.

Development Standards

As previously mentioned, the subject site is zoned “PUD” Planned Unit Development and is governed by Ordinance 2971. The SDP proposes to build the maximum number of single family units contained in the development criteria of the site-specific ordinance by providing 223 single family detached homes. The proposed lots vary between the established minimum of 9,400 square feet and maximum of 42,209 square feet in size, consistent with the governing ordinance. All structure setbacks are noted in the ordinance and the SDP calls out typical lot configurations that reflect those setbacks.

Traffic Access/ Access Management

Access to the development is restricted to two (2) entrances off of Wild Horse Creek Road. This portion of Wild Horse Creek Road is maintained by St. Louis County and the internal streets will be publicly maintained by the City of Chesterfield. One gated emergency access point 600 feet west of the western entrance is also allowed per Ordinance 2971. Private access to 17095 Wild Horse Creek Road will remain in place. A new 12’ drive will be provided for 17095 Wild Horse Creek Road with a 20’ easement. The center of the site is 17041 Wild Horse Creek Road for which access will be maintained throughout the duration of construction. Finally, right of way is dedicated for the realignment of the easternmost access point to align with Riverdale Drive at such time 16931 and 16939 Wild Horse Creek Road develops as directed by the City of Chesterfield. Figure 3 below calls out the approximate location of each access point.

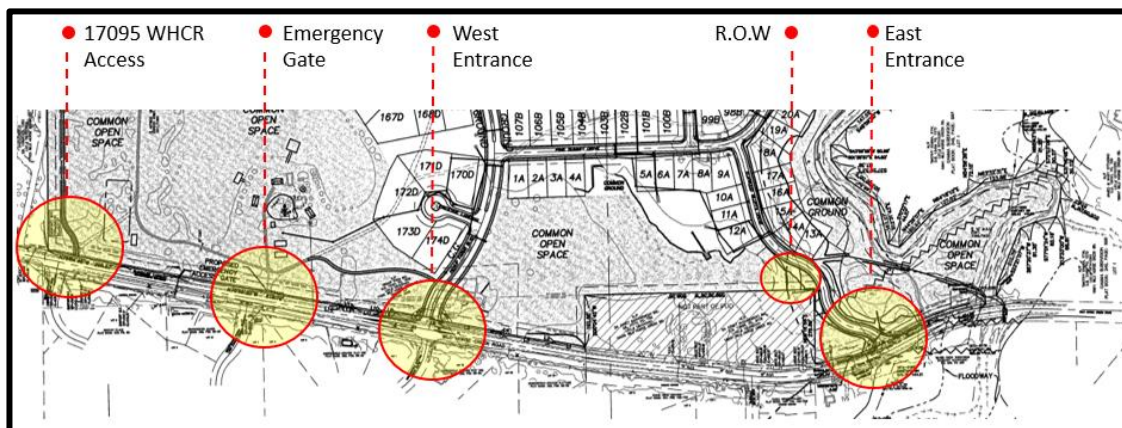


Figure 3: Traffic Access

To address the concern of how this development will impact the level of service of Wild Horse Creek Road, the applicant contracted CBB to conduct a traffic impact study. The purpose of the traffic impact study was to determine the number of trips that would be generated by the proposed residential development; determine the ability of motorists to safely enter and exit the site; and recommend appropriate access locations. High level conclusions of the traffic impact study can be found below:

- Currently, the studied intersections operate at a highly desirable level of service (LOS C or better) during the AM and PM peak hours.
- The proposed development is expected to generate 165 new trips during the AM peak hour and 215 new trips during the PM peak hour.
- The traffic generated will have minimal impact on the studied intersections and continue to operate at highly desirable to acceptable levels during the AM and PM peak hours.
- A westbound right-turn lane is warranted at the proposed east driveway and an eastbound left-turn lane is warranted at the proposed west driveway.
- A signal is not warranted at Wild Horse Creek Road at the proposed west driveway.

The Site Development Plan conforms to all of the recommendations brought forward in the traffic impact study. Images of both entrances from the Site Development Plan can be seen below. The Site Development Plan has a dedicated left turn lane on the West Entrance and a dedicated right turn lane on the East Entrance. The East Entrance also is limited to right in and right out movements, controlled by a center median.

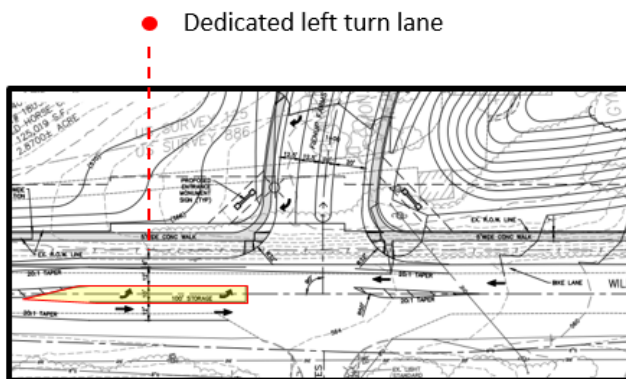


Figure 4: West Entrance

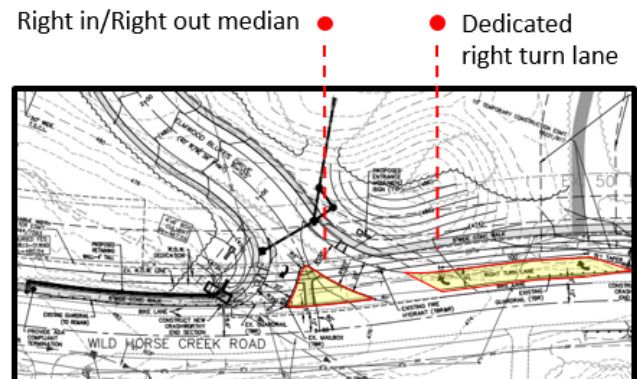


Figure 5: East Entrance

Circulation

Vehicular circulation can be seen through the center of the site with ten (10) internal cul-de-sacs. Pedestrian circulation is present with an internal sidewalk along every roadway and a sidewalk along Wild Horse Creek Road with additional room for a bike lane. Each amenity has pedestrian connections

through some sort of trail allowing a pedestrian guided access. There is no connection present on the Site Development Plan for an internal connection within the site to the future trail alignment. One would most likely access via the sidewalk along Wild Horse Creek Road.

Future Trail Alignment

The City of Chesterfield desires a connection from the top of the bluff to the levee trail. The City's goal with a future trail will be to minimize necessary grading, retaining wall and bridge construction, and tree clearing, similar to the approach for the existing Riparian Trail south of Lydia Hill Drive. However, since alternative trail alignments haven't been vetted, the City prefers more flexibility to determine the final trail location in the future.

The plan shows a reserve area for the future pedestrian trail from the eastern property boundary to, in most areas, 50' off of the proposed rear property lines. The 50' buffer from the lots is necessary to meet MSD's water quality requirements. Figure 5 calls out the approximate area dedicated for future trail alignment in red. This can be seen in detail within the Site Development Plan on pages 3.2 and 3.3. Again the City desires to minimize any impact to construct the trail, and the proposed reserve offers the most flexibility on where the trail can most efficiently be constructed.

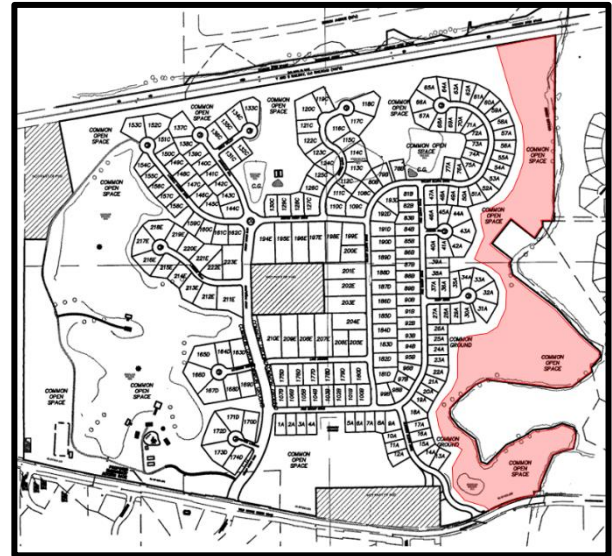


Figure 5: Future Trail

Landscaping

A Landscape Plan has been submitted showing the proposed street trees, landscape buffers, and landscape islands to be installed throughout the site. The site specific PUD ordinance for this site requires a 30 ft. landscape buffer along the perimeter of the PUD. The landscape buffer exceeds 50 ft. around most of the perimeter of the PUD.

There is also a provision in the PUD of thirty (30) percent Common Open Space to be displaced throughout the site and not concentrated in one (1) area or contain only that portion of the site that would be considered undevelopable. The Petitioner is proposing to provide 117.6 acres of Common Open Space, which represents just over 52% of the site; this significantly exceeds the 30% minimum requirement for Common Open Space. The Common Open Space areas are dispersed throughout the site.

The SDP features plantings located throughout the centralized common ground area, cul-de-sacs, and entrance median. The street trees provided along the internal road and Wild Horse Creek Road are all approved street tree species and appropriate growth rate guided by the City of Chesterfield Tree List. The Landscape Plan displays an additional 2,225 plantings added to the site.

Tree and Natural Area Preservation

The site specific PUD ordinance for this site requires a minimum of 60% tree preservation. The proposed site has about 53 of 75 acres of tree canopy to remain for roughly 71% tree preservation.

Lighting

The plan proposes street lights along the internal drives and within cul-de-sacs as required by City Code. The proposed street lights are the Early American style Ameren UE approved light fixture which meets all City Code requirements. The light will not be less than 16’ above grade. Dusk-to-dawn street lights are proposed to be mounted on existing utility poles along Wild Horse Creek Road. These fixtures are also Ameren UE approved.

Amenities

The governing ordinance of the PUD specifically states that community amenities, including but not limited to boat docks, fishing docks, pickle ball courts, community gardens, playgrounds, fire pit circles with seating, pavilions, and tot lots shall be provided for this development. Below is Figure 6 locating all of the amenities on the Site Development Plan. All of the amenities can be found in four areas, which are labeled A-D and further description can be found in the corresponding table.

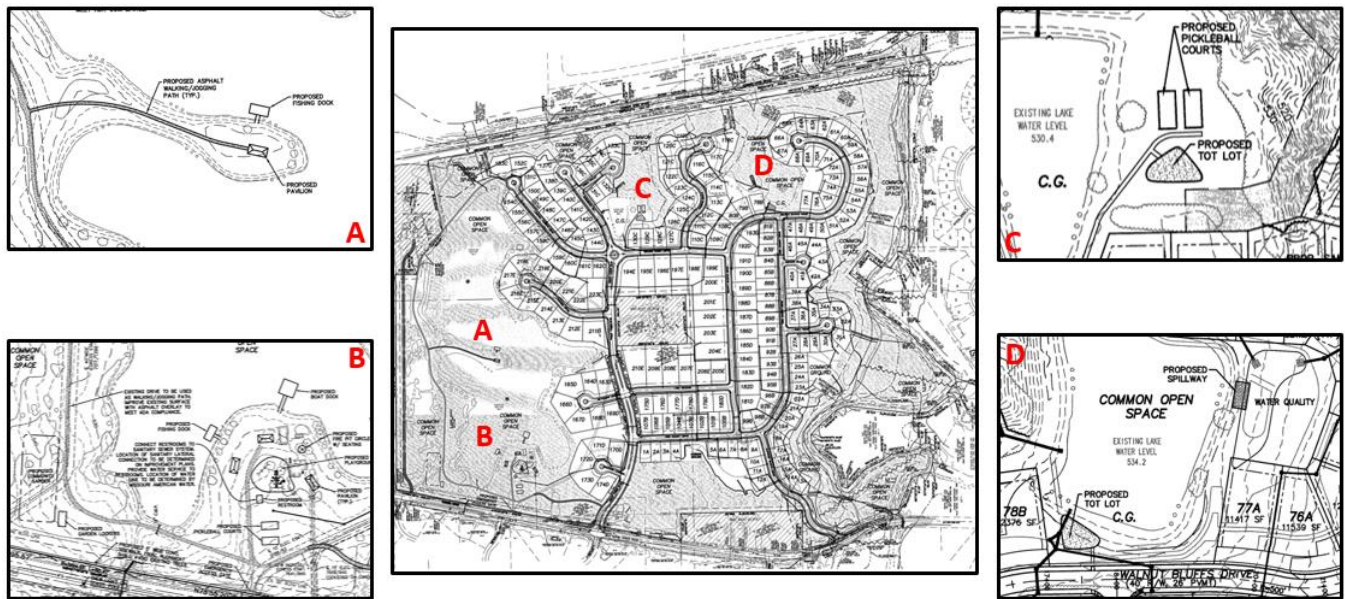


Figure 6: Amenity Location

Location	Amenity Description
A	Jogging path, fishing dock, and pavilion
B	Community garden, pickle ball courts, fishing dock, boat dock, fire pit with seating, pavilion, playground, and restroom, and jogging path
C	Pickleball courts and tot lot
D	Tot lot

Architectural Elevations

Multiple developers will be constructing homes within the Fienup Farms development. Staff will review architectural elevations when they are submitted with the Municipal Zoning Approval application as defined by the UDC. The governing ordinance for the PUD states that the development shall adhere to the architectural review standards of the City of Chesterfield code. This includes items such as:

- Use architectural elements and materials matching the front facade on the sides and rear of the structure where the facade is visible from streets external to the subdivision.
- Avoid long uninterrupted building surfaces and materials or designs that cause glare.
- Primary building material shall be extended and installed so that no more than twelve (12) inches of concrete foundation wall is exposed.

Also within the governing ordinance it states that the exterior building materials for this development shall consist of brick, stone, and/or hardie board siding, and architectural shingles.

Landscape Buffer Request

A small modification to the 30' landscape buffer was requested by the applicant. The request was approved by the Director of Planning and Development Services. The request was due to the limited area between the common property line and the existing pond that the project is attempting to not impact near the eastern driveway access. As shown on Figure 7; the 30' landscape buffer is only impacted for a small portion of the 223 acre site.

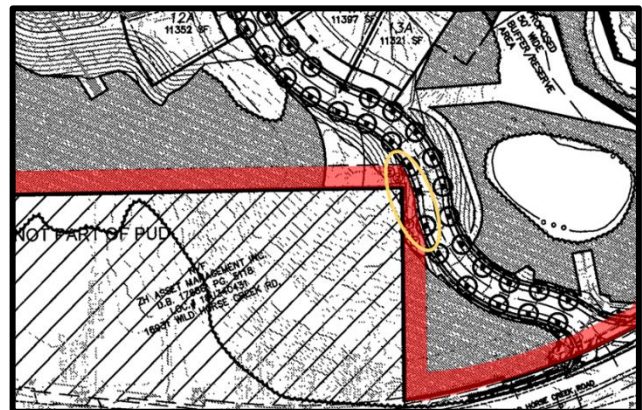


Figure 7: Buffer Request

DEPARTMENT INPUT

Staff has reviewed the Site Development Plan, Landscape Plan, Tree Preservation Plan, and Tree Stand Delineation, and has found the proposal to be in compliance with the site specific ordinance, the Comprehensive Plan, and all City Code requirements. Staff recommends approval of the proposal as presented.

MOTION

The following options are provided to the Planning Commission for consideration relative to this application:

- 1) "I move to approve (or deny) the Site Development Plan, Landscape Plan, Tree Preservation Plan, and Tree Stand Delineation for the Fienup Farms subdivision.
- 2) "I move to approve the Site Development Plan, Landscape Plan, Tree Preservation Plan, and Tree Stand Delineation for the Fienup Farms subdivision, with the following conditions..." (Conditions may be added, eliminated, altered or modified)

Respectfully submitted,



Joseph Knight
Project Planner

Attachments

1. Site Development Plan
2. Landscape Plan
3. Tree Stand Delineation
4. Tree Preservation Plan

GENERAL NOTES:

- THIS SITE IS IN THE FOLLOWING DISTRICTS:
METROPOLITAN ST. LOUIS SEWER DISTRICT
MONARCH FIRE PROTECTION DISTRICT
ROCKWOOD R-6 SCHOOL DISTRICT
- THIS SITE IS IN THE FOLLOWING UTILITY SERVICE AREAS:
MISSOURI AMERICAN WATER COMPANY
AMREN UE
ATA&T
LACLEDE GAS COMPANY
CHARTER COMMUNICATIONS
- SANITARY SEWER CONSTRUCTION AND CONNECTIONS SHALL BE AS APPROVED BY THE METROPOLITAN ST. LOUIS SEWER DISTRICT AND IN ACCORDANCE WITH THE STANDARD CONSTRUCTION SPECIFICATIONS FOR SEWERS AND DRAINAGE FACILITIES.
- STORM WATER SYSTEM SHALL BE DESIGNED PURSUANT TO THE CITY OF CHESTERFIELD AND METROPOLITAN ST. LOUIS SEWER DISTRICT REQUIREMENTS AND DISCHARGE AT AN ADEQUATE NATURAL DISCHARGE POINT. SINKHOLES ARE NOT ADEQUATE DISCHARGE POINTS.
- NO SLOPES SHALL EXCEED 3 (HORIZONTAL) TO 1 (VERTICAL), UNLESS JUSTIFIED BY GEOTECHNICAL REPORT WHICH HAS BEEN ACCEPTED/APPROVED BY THE CITY OF CHESTERFIELD. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE APPROVAL OF SLOPES IN EXCESS OF 3:1. STEEP SLOPES ARE SUBJECT TO THE REVIEW AND APPROVAL OF THE CITY OF CHESTERFIELD. REVIEW OF THE PROPOSED STEEP SLOPE WILL BE CONCURRENT WITH THE REVIEW OF THE GRADING PERMIT OR IMPROVEMENT PLANS FOR THE PROJECT.
- THE LOCATION OF STORM AND SANITARY SEWER IMPROVEMENTS ARE APPROXIMATE ONLY. ACTUAL LOCATION SHALL BE DETERMINED BY FIELD CONDITIONS AND SHALL BE INDICATED ON THE IMPROVEMENT PLANS.
- GRADING SHALL BE PER CITY OF CHESTERFIELD STANDARDS. SOURCE OF TOPOGRAPHY FIELD SURVEY AND AERIAL SURVEY DATA.
- STREET TREES AND STREET LIGHTS (UNLESS OTHERWISE DEPICTED) SHALL BE PER CITY OF CHESTERFIELD STANDARDS.
- NEAREST MAJOR INTERSECTION IS WILD HORSE CREEK ROAD AND LONG ROAD.
- ALL SIDEWALKS SHALL BE CONSTRUCTED TO ADA AND THE CITY OF CHESTERFIELD STANDARDS.
- EXISTING OWNERS:
FIENUP FARM, INC.
17047 WILD HORSE CREEK ROAD
CHESTERFIELD, MISSOURI 63005

WILBUR G. FIENUP REVOCABLE TRUST
17047 WILD HORSE CREEK ROAD
CHESTERFIELD, MISSOURI 63005

HELEN FIENUP UNIFIED CREDIT TRUST
17047 WILD HORSE CREEK ROAD
CHESTERFIELD, MISSOURI 63005
- SITE TO CONFORM TO THE CITY OF CHESTERFIELD TREE REQUIREMENTS.
- MAXIMUM HEIGHT OF THE RESIDENCES WILL NOT EXCEED 50 FEET.
- SITE PLAN WILL MEET ALL APPLICABLE CITY OF CHESTERFIELD REQUIREMENTS.
- LANDSCAPE EASEMENTS ARE ESTABLISHED AS A PROTECTED AREA FOR VEGETATIVE LANDSCAPING ONLY. STRUCTURES OF ANY SIZE, WHETHER TEMPORARY OR PERMANENT, ARE NOT PERMITTED WITHIN LANDSCAPE EASEMENTS. TRAILS SHALL BE ALLOWED WITHIN THE LANDSCAPE EASEMENTS. LANDSCAPING AS APPROVED BY THE CITY OF CHESTERFIELD DURING SITE PLAN REVIEW IS REQUIRED TO BE MAINTAINED AND PRESERVED INDEFINITELY BY THE HOME OWNERS ASSOCIATION. FAILURE TO MAINTAIN OR PRESERVE LANDSCAPE EASEMENTS MAY RESULT IN INSPECTION AND ISSUANCE OF FINES BY THE CITY OF CHESTERFIELD. THIS LANGUAGE SHALL BE INCLUDED ON ALL PLANS, PLATS, ORDINANCES, SUBDIVISION INDENTURES, AND OTHER APPROPRIATE (WRITTEN) DOCUMENTS FOR THIS DEVELOPMENT.
- ALL PROPOSED UTILITIES SHALL BE INSTALLED UNDERGROUND.
- ANY MONUMENT SIGNS PROPOSED FOR THE DEVELOPMENT REQUIRES A SEPARATE APPROVAL PROCESS THRU THE CITY.
- STREETS SHALL BE PUBLIC 40' W. R.O.W. WITH 26' W. P.W.I.T. EXCEPT FOR FIENUP FARMS BLVD. WHICH WILL BE PARTIALLY A 70' WIDE R.O.W., PARTIALLY A 60' WIDE R.O.W., AND BUILT TO THE CITY OF CHESTERFIELD STANDARDS.
- A MINIMUM OF THIRTY PERCENT (30.0%) COMMON OPEN SPACE SHALL BE REQUIRED FOR THIS PUD.
- A MINIMUM OF SIXTY PERCENT (60.0%) TREE PRESERVATION SHALL BE REQUIRED FOR THIS PUD.
- THE EXISTING PRIVATE DRIVEWAY ENTRANCE THAT SERVES 17041 WILD HORSE CREEK ROAD MAY REMAIN IN PLACE AND SHALL CONNECT TO FIENUP FARMS BLVD. AS SHOWN ON THE PRELIMINARY PLAN. CONTINUOUS ACCESS TO THIS PROPERTY SHALL BE PROVIDED THROUGHOUT THE DURATION OF CONSTRUCTION UNLESS OTHERWISE APPROVED BY THE RESIDENT/OWNER AND THE CITY OF CHESTERFIELD.
- ALL PROPOSED IMPROVEMENTS WITHIN WILD HORSE CREEK ROAD RIGHT-OF-WAY SHALL BE CONSTRUCTED TO ST. LOUIS COUNTY STANDARDS.
- ALL PROPOSED ACCESS TO ST. LOUIS COUNTY ROADS SHALL MEET MINIMUM ST. LOUIS COUNTY SIGHT DISTANCE REQUIREMENTS.
- ALL SIDEWALKS AND ASSOCIATED ACCESSIBILITY IMPROVEMENTS WITHIN WILD HORSE CREEK ROAD RIGHT-OF-WAY AND IN EASEMENT DIRECTLY ADJACENT TO WILD HORSE CREEK ROAD RIGHT-OF-WAY SHALL BE CONSTRUCTED TO ST. LOUIS COUNTY ADA STANDARDS.
- IF EXISTING SIDEWALK/PATH IS PRESENT, A SIGNED/SEALED NOTE SHALL BE ADDED TO THE CONSTRUCTION PLANS INDICATING THAT THE UNIMPROVED EXISTING SIDEWALK/PEDESTRIAN PATH ALONG THE PROJECT FRONTAGE MEETS CURRENT ST. LOUIS COUNTY ADA STANDARDS.
- ALL GRADING AND DRAINAGE WITHIN WILD HORSE CREEK ROAD RIGHT-OF-WAY SHALL BE IN CONFORMANCE WITH ST. LOUIS COUNTY AND MSD STANDARDS.
- ALL HYDRANTS, POWER POLES OR OTHER POTENTIAL OBSTRUCTIONS WITHIN THE ST. LOUIS COUNTY ROAD RIGHT-OF-WAY SHALL HAVE A MINIMUM TWO (2) FOOT SETBACK FROM FACE OF CURB OR EDGE OF PAVEMENT, AS DIRECTED BY THE ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC.
- ANY ENTITY THAT PERFORMS WORK ON ST. LOUIS COUNTY MAINTAINED PROPERTY SHALL PROVIDE THE COUNTY WITH A CERTIFICATE OF INSURANCE EVIDENCING GENERAL LIABILITY COVERAGE (BODILY INJURY AND PROPERTY DAMAGE) IN THE AMOUNTS SPECIFIED AS THE LIMITS OF LIABILITY SET BY THE STATE FOR PUBLIC ENTITIES. SUCH CERTIFICATE SHALL INCLUDE ST. LOUIS COUNTY AS AN ADDITIONAL INSURED AND SHALL BE PROVIDED PRIOR TO THE ISSUANCE OF ANY PERMIT. CERTIFICATE SHALL PROVIDE FOR A 30 DAY POLICY CANCELLATION NOTICE TO ST. LOUIS COUNTY. UPON REQUEST, THE COUNTY WILL PROVIDE THE SPECIFIC AMOUNTS FOR BOTH PER PERSON AND PER OCCURRENCE LIMITS.
- PRIOR TO "SPECIAL USE PERMIT" ISSUANCE BY THE ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC, A SPECIAL CASH ESCROW OR A SPECIAL ESCROW SUPPORTED BY AN IRREVOCABLE LETTER OF CREDIT, MAY BE REQUIRED TO BE ESTABLISHED WITH THE ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC TO GUARANTEE COMPLETION OF THE REQUIRED ROADWAY IMPROVEMENTS.

Fienup Farms

TRACTS OF LAND BEING PART OF "TRACT A" OF A RESUBDIVISION OF LOT "A" OF FIENUP TRACT, A MINOR SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 227 PAGE 99 AND BEING PART OF U.S. SURVEY 125, 886 AND 2031 IN TOWNSHIP 45 NORTH, RANGE 4 EAST OF THE FIFTH PRINCIPAL MERIDIAN, CITY OF CHESTERFIELD, SAINT LOUIS COUNTY, MISSOURI

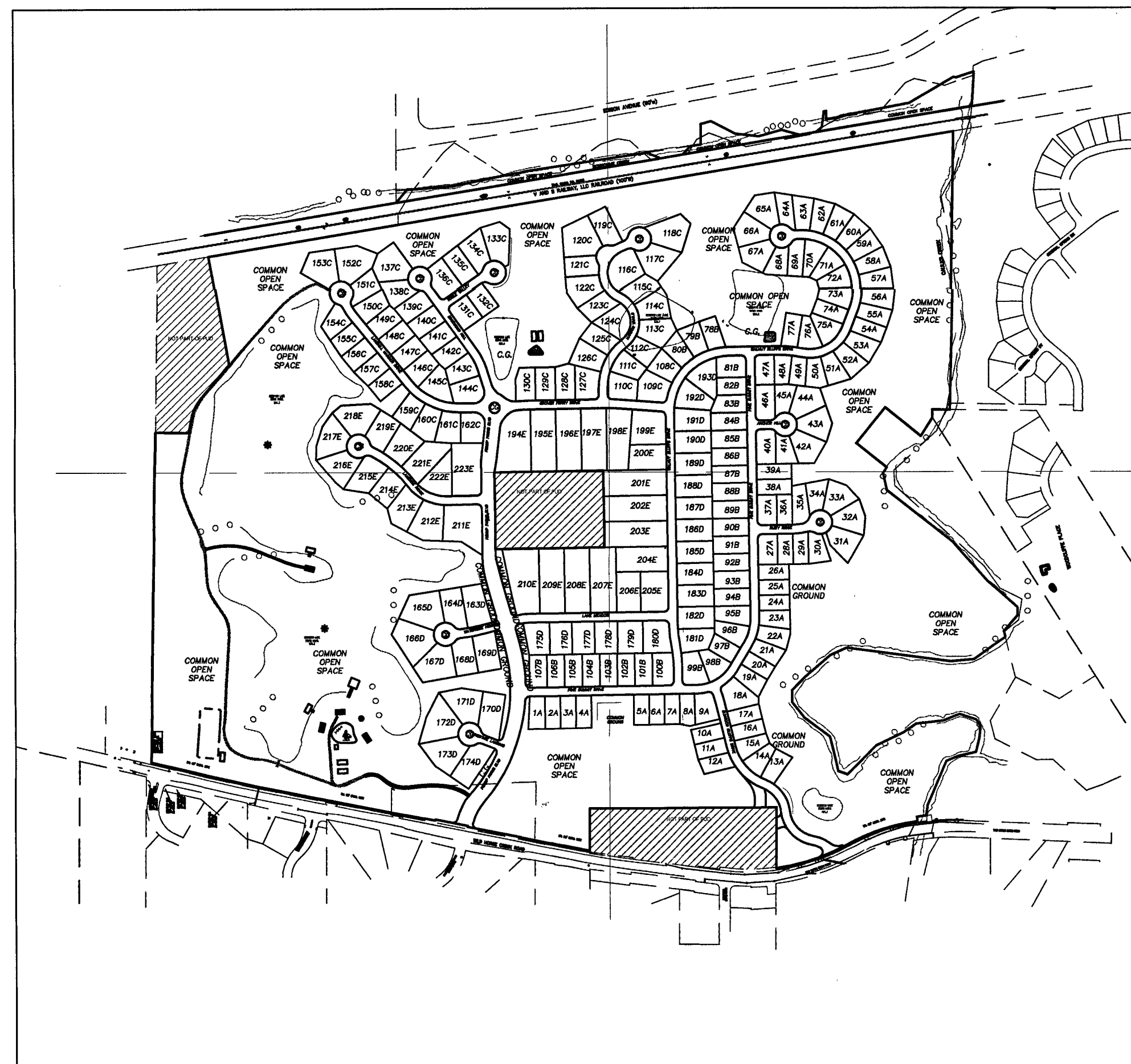
Site Development Plan



LOCATION MAP
N.T.S.

PROJECT ZIP CODE 63005

EXISTING	LEGEND	PROPOSED
542	CONTOURS	642
X535	SPOT ELEVATIONS	535.0
---	CENTER LINE	---
---	BUILDINGS, ETC.	---
---	TREE LINE	---
X	FENCE	---
---	STORM SEWERS	---
---	SANITARY SEWERS	---
---	CATCH BASIN	---
---	AREA INLET	---
---	GRADED INLET	---
---	STORM MANHOLE	---
---	SANITARY MANHOLE	---
---	FLARED END SECTION	---
---	CLEANOUT	---
---	LATERAL CONNECTION	---
---	UTILITY OR POWER POLE	---
---	FIRE HYDRANT	---
---	TEST HOLE	---
---	PAVEMENT	---
---	GAS MAIN & SIZE	(2")
---	WATER MAIN & SIZE	(6")
---	TELEPHONE	(1)
E	ELECTRIC (U) UNDERGROUND	(E)
OW	ELECTRIC (O) OVERHEAD	(OW)
E	FLOW LINE	---
---	TO BE REMOVED	---
TC	TOP OF CURB	(TC)
---	SWALE	---
---	LIGHT STANDARD	---
P.S.	STREET SIGN	---
---	PARKING STALLS	---
---	YARD LIGHT	---



LOT TABLE

"A" 70' LOTS ~ 77
 "B" 80' LOTS ~ 30
 "C" 90' LOTS ~ 55
 "D" 100' LOTS ~ 31
 "E" 110' LOTS ~ 30

TOTAL LOTS ~ 223

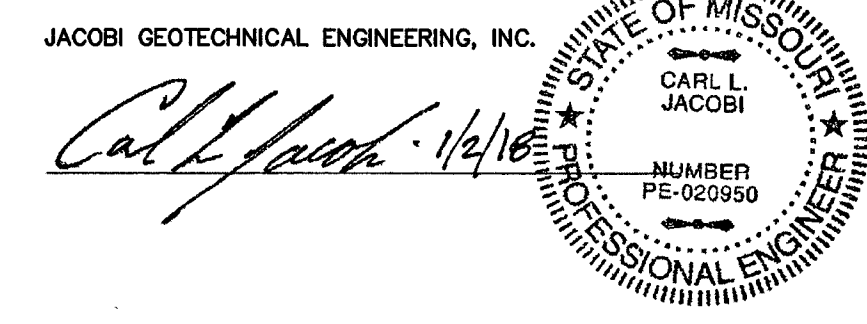
TREE INFORMATION
SEE TREE STAND DELINEATION

GEOTECHNICAL ENGINEER'S STATEMENT:

THESE PLANS HAVE BEEN REVIEWED BY JACOBI GEOTECHNICAL ENGINEERING, INC. FOR THEIR COMPLIANCE REGARDING GEOTECHNICAL RECOMMENDATIONS RELATIVE TO SITE DEVELOPMENT. BASED ON THIS REVIEW AND AVAILABLE SUBSURFACE INFORMATION, IT IS OUR OPINION THAT THE SITE MAY BE CONSTRUCTED IN ACCORDANCE WITH THE PLANS, GOOD CONSTRUCTION PRACTICES, AND THE RECOMMENDATIONS GIVEN IN THE GEOTECHNICAL REPORT PREPARED BY JACOBI GEOTECHNICAL ENGINEERING, INC. IN JANUARY OF 2017.

WE HAVE NOT PREPARED ANY PART OF THESE PLANS AND MY SEAL ON THESE PLANS IS INTENDED ONLY TO CONFIRM MY PERSONAL REVIEW AND APPROVAL TO THE SITE GRADING PLAN AS IT RELATES TO THE STABILITY OF THE EARTH SLOPES AND SINKHOLES.

JACOBI GEOTECHNICAL ENGINEERING, INC. MUST BE INVOLVED DURING THE CONSTRUCTION PHASE OF THIS PROJECT IN ORDER TO DETERMINE IF SUBSURFACE CONDITIONS RELATIVE TO SITE GRADING ARE IMPLEMENTED, AND THAT OTHER GEOTECHNICAL ASPECTS OF SITE DEVELOPMENT ARE IN ACCORDANCE WITH THESE PLANS.



SHEET INDEX

- 1.1 COVER SHEET
- 1.2 SITE DETAILS
- 2.1 OVERALL SITE PLAN
- 3.1-3.4 SITE DEVELOPMENT PLAN
- 4.1 NATURAL RESOURCES MAP
- L0-L6 LANDSCAPE PLAN
- TSD0-TSD5 TREE STAND DELINEATION
- TPP0-TPP5 TREE PRESERVATION PLAN

BENCHMARKS:

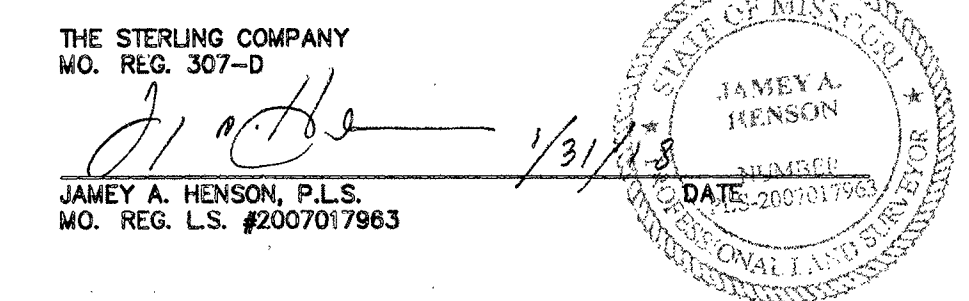
PROJECT BENCHMARK #1: - ST. LOUIS COUNTY BM 12269 ELEVATION = 546.88 (NAVD 88)
FOUND "SO" ON CURB AT CENTERLINE NORTH END OF MEDIAN ISLAND WITHIN THE ENTRANCE TO "WESTCHESTER MANOR" IN THE CENTERLINE OF WESTCHESTER MANOR LANE AND ROUGHLY 64' FEET SOUTH OF THE CENTERLINE OF WILD HORSE CREEK ROAD.

PROJECT BENCHMARK #2: - ST. LOUIS COUNTY BM 12272 ELEVATION = 472.24 (NAVD 88)
FOUND "L" ON THE TOP NORTHWEST CORNER OF THE NORTHEAST WINGWALL OF THE WILD HORSE CREEK ROAD BRIDGE OVER CAULKS CREEK; ROUGHLY 25 FEET NORTH OF CENTERLINE WILD HORSE CREEK ROAD AND 0.3 MILES MORE OR LESS WEST OF WILSON ROAD

SITE BENCHMARK #1: - ELEVATION = 564.85 (NAVD 88)
CUT "UP" ON END OF CONCRETE CURB TO THE WEST OF THE INTERSECTION OF WILD HORSE CREEK ROAD AND CHESTERFIELD ESTATES DRIVE, SOUTH OF THE PAVEMENT OF WILD HORSE CREEK ROAD 58.4 FEET EAST OF A UTILITY POLE, AND 25.7 FEET NORTH OF THE NORTHERN-MOST CORNER OF A SUBDIVISION ENTRANCE MONUMENT FOR CHESTERFIELD ESTATES

SURVEYOR'S CERTIFICATION:

THIS IS TO CERTIFY THAT WE HAVE, DURING THE MONTH OF SEPTEMBER, 2017, AT THE REQUEST OF WILD HORSE RESIDENTIAL, LLC, PREPARED A SITE DEVELOPMENT PLAN OF "FIENUP FARMS", TRACTS OF LAND BEING PART OF "TRACT A" OF A RESUBDIVISION OF LOT "A" OF FIENUP TRACT, A MINOR SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 227 PAGE 99 AND BEING PART OF U.S. SURVEY 125, 886 AND 2031 IN TOWNSHIP 45 NORTH, RANGE 4 EAST OF THE FIFTH PRINCIPAL MERIDIAN, CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI. THIS PLAN IS NOT A SURVEY AND DOES NOT MEET THE "MISSOURI MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS" IN EFFECT AT THE DATE OF THIS PLAN.



SITE INFORMATION:

LOCATOR NUMBERS: 18U640049, 18U630028, 18U330454, 17U310093, 17U320070, 17T110201

EXISTING ZONING: PUD (PLANNED UNIT DEVELOPMENT)

GROSS AREA OF SITE: 223.1 ACRES

DENSITY CALCULATIONS: 223.1 AC X 43,560 SQ.FT./AC. = 223 LOTS ALLOWED
(43,560 SQ.FT./LOT)

MINIMUM LOT SIZE: 9,400 S.F.

MAXIMUM LOT SIZE: 42,209 S.F.

MAXIMUM NUMBER OF UNITS ALLOWED: 223

NUMBER OF UNITS PROPOSED: 223

LOT DEVELOPMENT REQUIREMENTS: SEE SHEET 1.2

NUMBER OF PARKING SPACES REQUIRED: TWO PER UNIT = 446 SPACES

MINIMUM NUMBER OF PARKING SPACES PROVIDED: 446

RIGHT-OF-WAY AREA = 32.03 ACRES

COMMON GROUND = 125.75 ACRES WHICH EQUALS 56.3% OF THE SITE

COMMON OPEN SPACE = 117.63 ACRES WHICH EQUALS 52.7% OF THE SITE (117.63 ACRES IS A PORTION OF THE 125.75 ACRES OF COMMON GROUND)

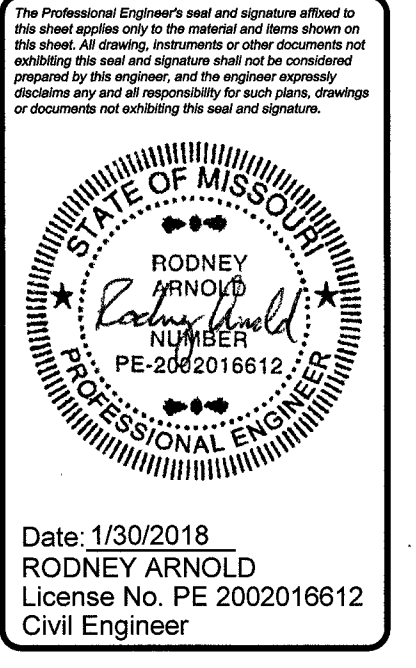
FLOOD MAP: FEMA PANEL 29189C0163K DATED: FEB. 4, 2015

ISSUE	REMARKS/DATE
1	9-20-2017 INITIAL SUBMITTAL
2	11-16-2017 CITY COMMENTS
3	12-19-2017 CITY COMMENTS
4	1-30-2018 SLC COMMENTS

Wild Horse Residential, LLC
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Fienup Farms
Chesterfield, Missouri
Site Development Plan
COVER SHEET

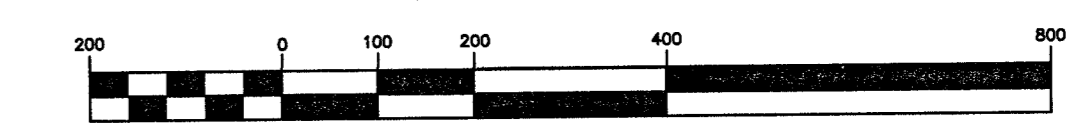


Date: 1/30/2018
Rodney Arnold
License No. PE 2002016612
Civil Engineer

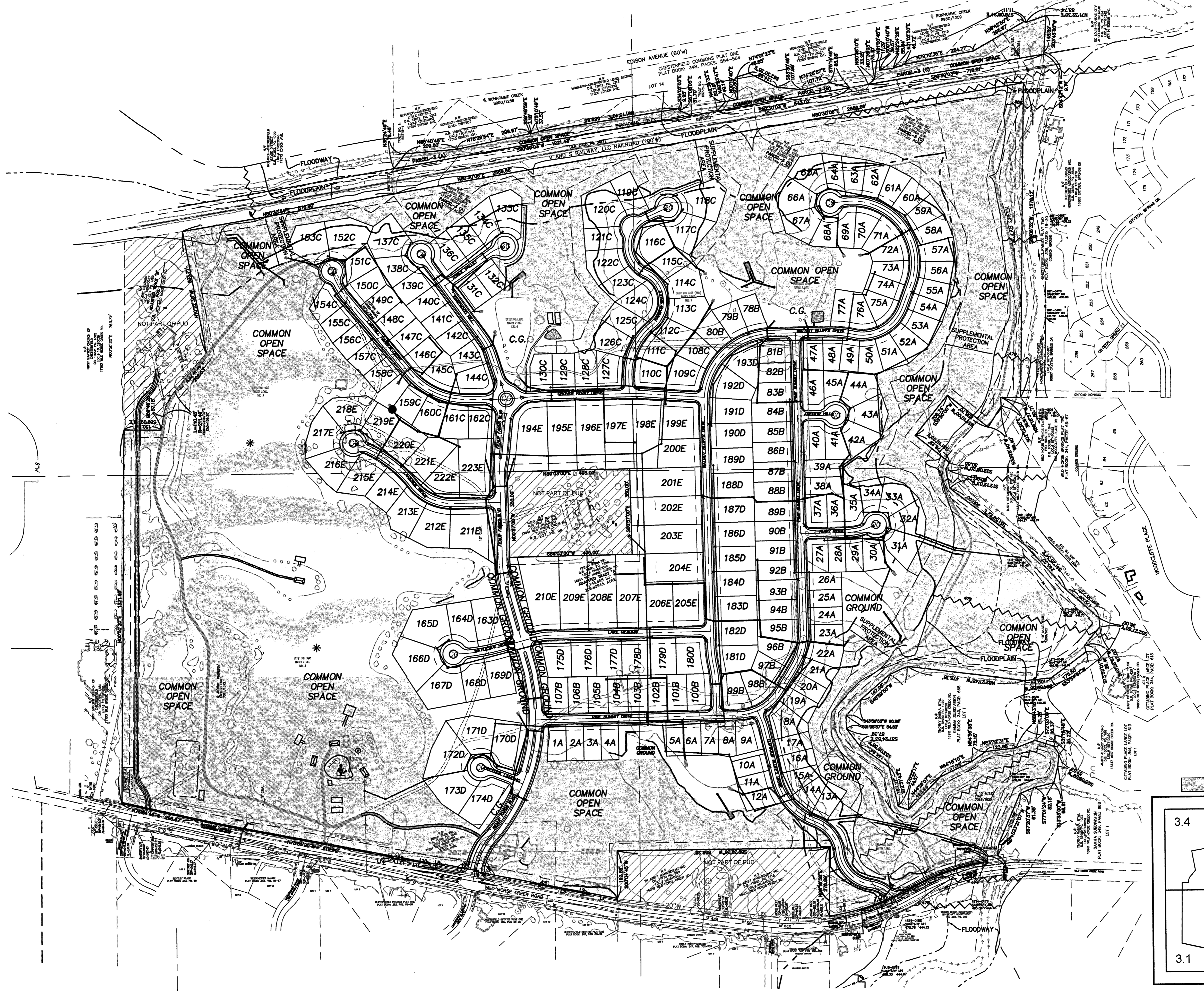
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Date: 1/30/2018
Designed: RLA Sheet
Drawn: BDM
Checked: RLA
D.P.#: 1.1
SDP

D Base Map 18U
D.P.#
highway & Traffic # 3531

GRAPHIC SCALE

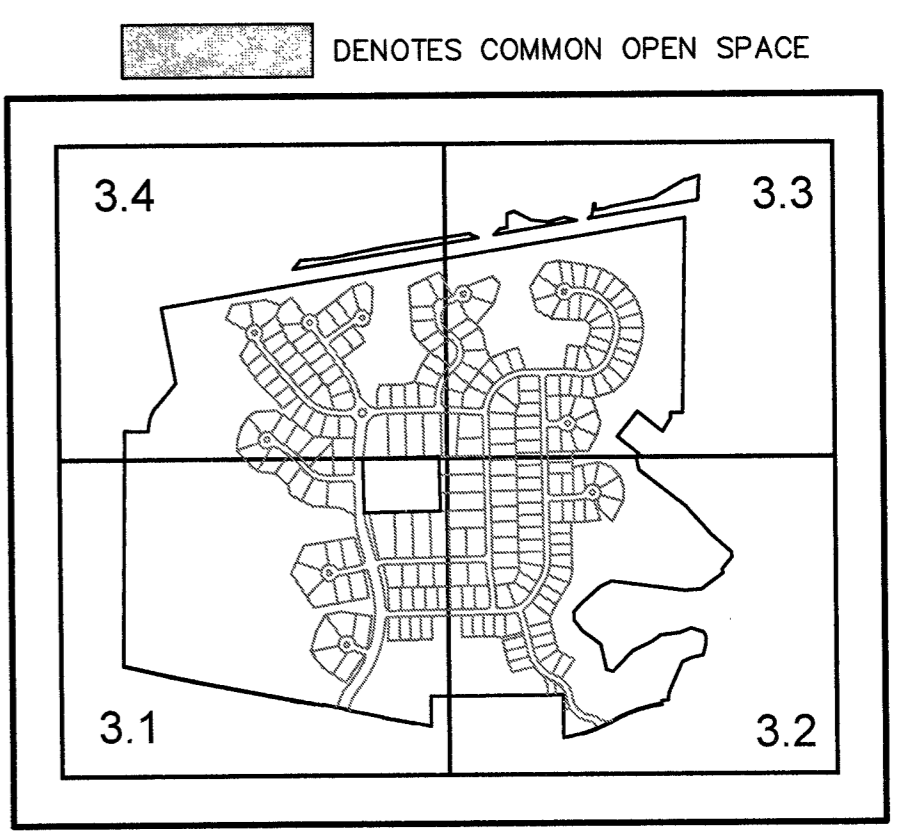


(IN FEET)
1 inch = 200 ft.



LINE TABLE

L1	N 78°55'20" W, 120.54'
L2	S 11°04'40" W, 5.00'
L3	N 78°55'20" W, 200.00'
L4	N 11°04'40" E, 5.00'
L5	N 78°55'20" W, 250.00'
L6	N 11°04'40" E, 5.00'
L7	N 78°55'20" W, 150.00'
L8	S 11°04'40" W, 5.00'
L9	N 78°55'20" W, 50.00'
L10	S 11°04'40" W, 5.00'
L11	N 78°55'20" W, 100.00'
L12	S 11°04'40" W, 5.00'
L13	N 78°55'20" W, 55.58'
L14	N 00°48'25" E, 6.08'



KEY MAP

MSD Base Map 18U
MSD P #
Highway & Traffic # 3531

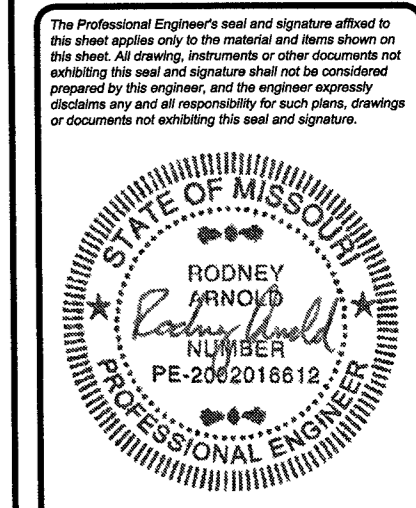
ISSUE REMARKS/DATE

1	9-20-2017 INITIAL SUBMITTAL
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Wild Horse Residential, LLC
16091 Swingley Ridge Road, Suite 300
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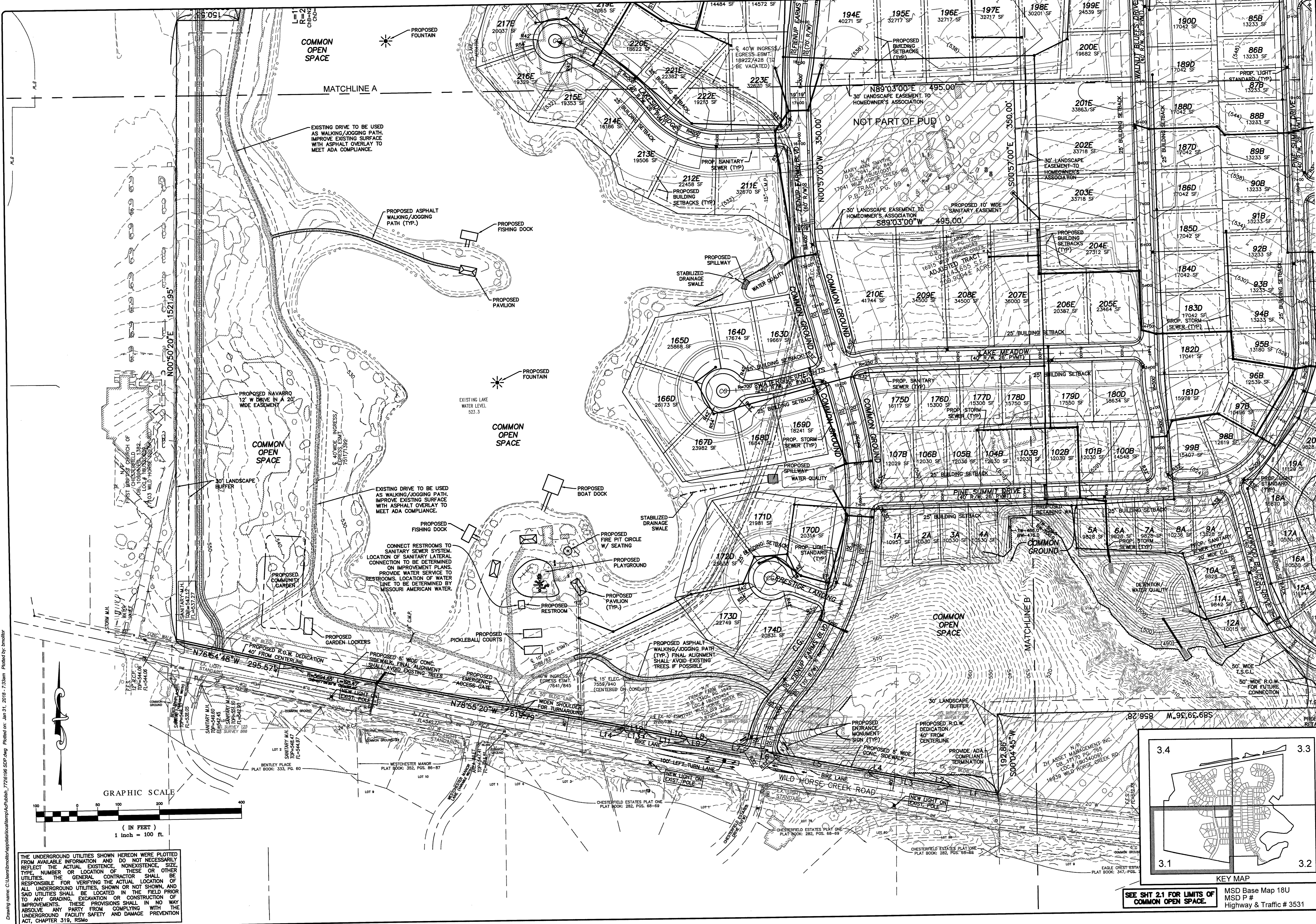
THE STERLING CO.
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Ph. 314-467-0440 Fax 314-467-8944
Corporate Certificate of Authority #001348

Fienup Farms
Chesterfield, Missouri
Site Development Plan
OVERALL SITE PLAN



Date: 1/30/2018
RODNEY ARNOLD
License No. PE 2002016612
Civil Engineer

Job Number
14-06-196
Date
1/30/2018
Designed: RLA Sheet
Drawn: BDM **2.1**
Checked: RLA **SDP**



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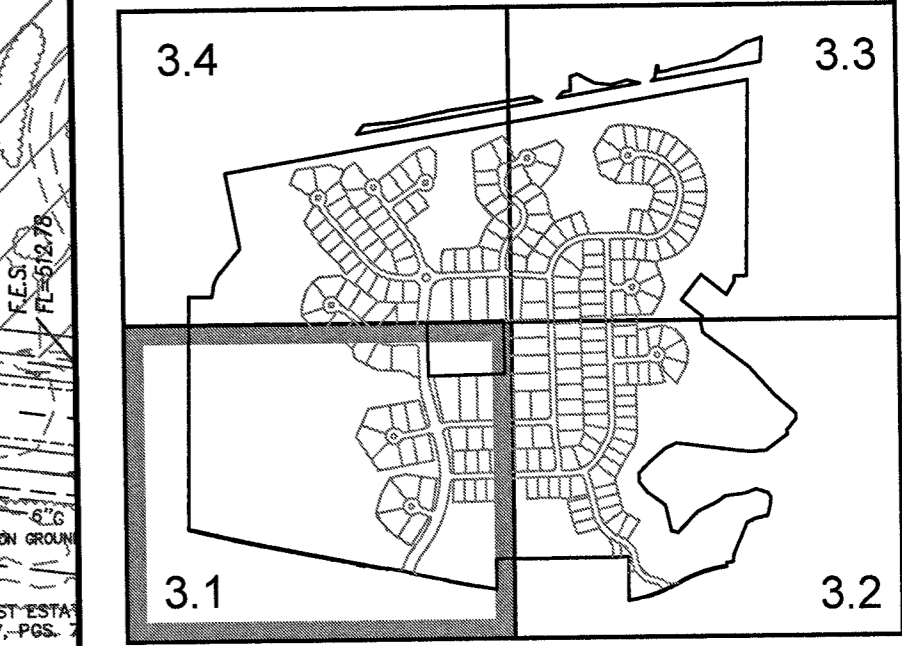
Fienup Farms
 Chesterfield, Missouri
 Site Development Plan

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RODNEY ARNOLD
 License No. PE 2002016612
 Civil Engineer

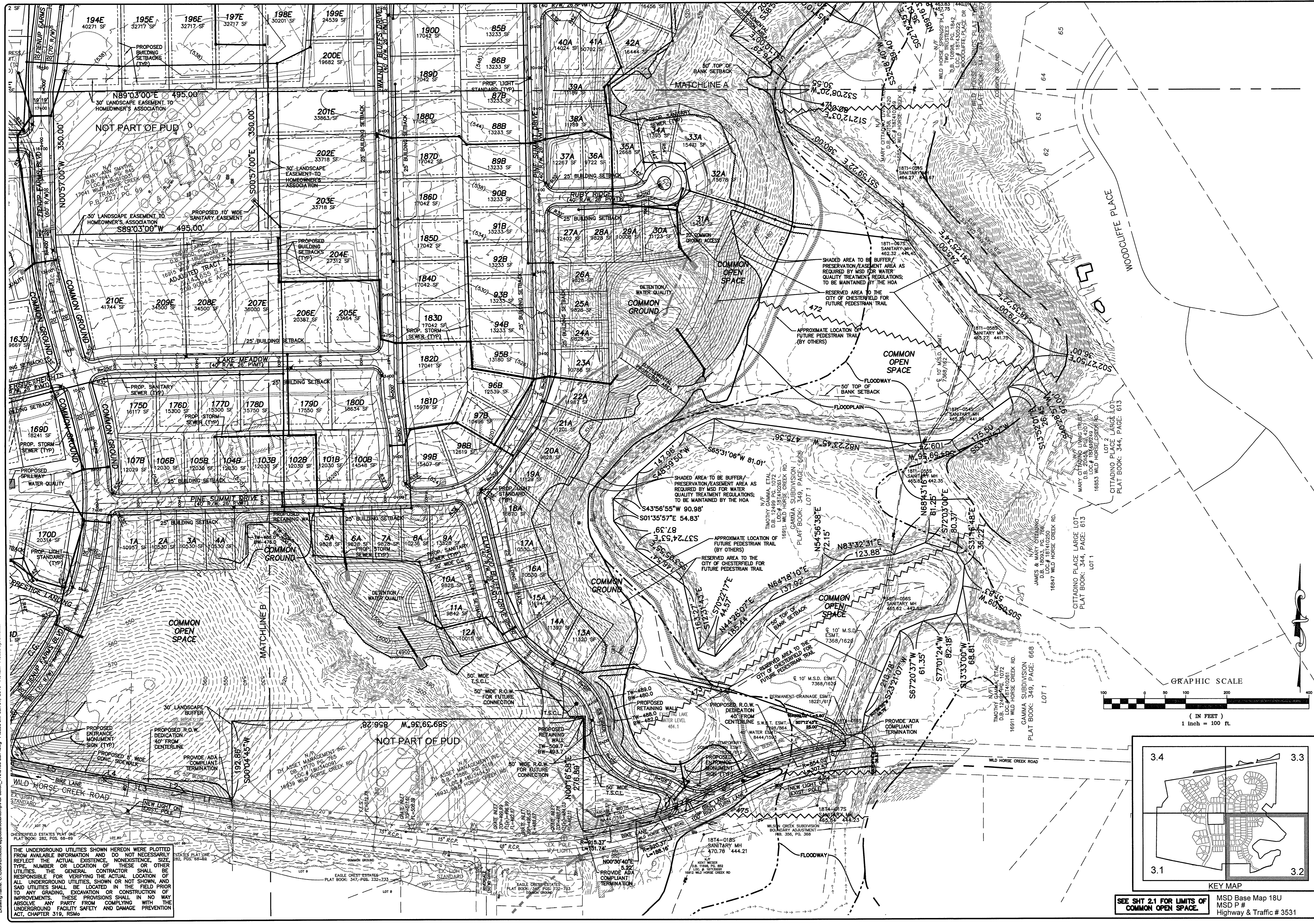
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 License No. PE 2002016612
 Civil Engineer

Job Number: 14-06-196
 Date: 1/30/2018
 Designed: RLA
 Drawn: BDM
 Checked: RLA
 Sheet: 3.1
 SDP



SEE SHT 21 FOR LIMITS OF COMMON OPEN SPACE.

MSD Base Map 18U
 MSD P #
 Highway & Traffic # 3531

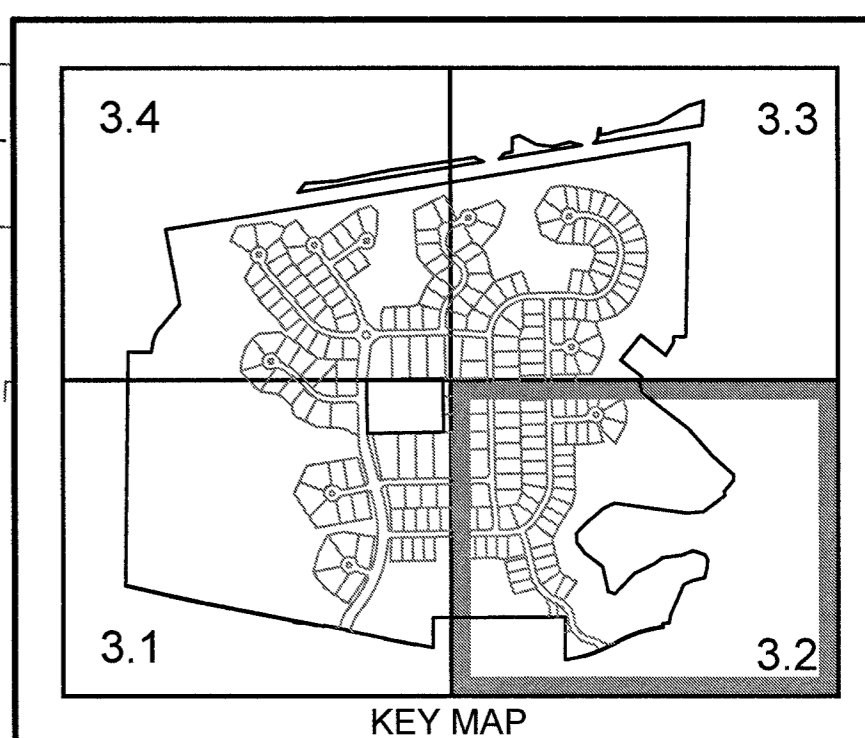
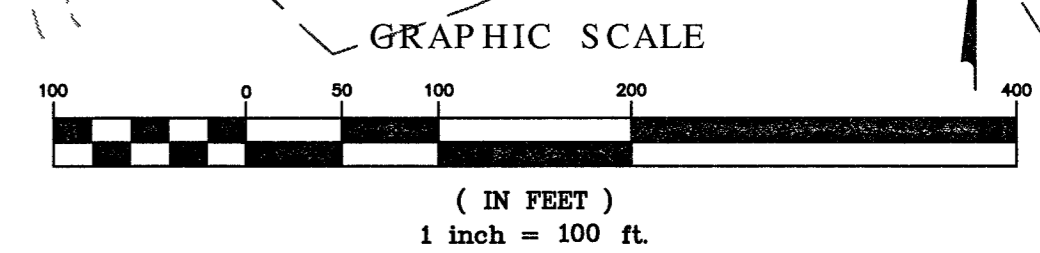


ISSUE	REMARKS/DRAWING
1	9-20-2017 INITIAL SUBMITTAL
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 Site Development Plan

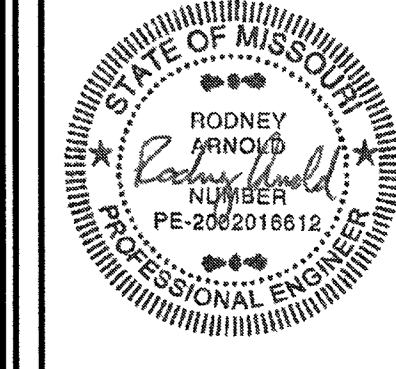


SEE SHIT 2.1 FOR LIMITS OF COMMON OPEN SPACE. MSD Base Map 18U MSD P # Highway & Traffic # 3531

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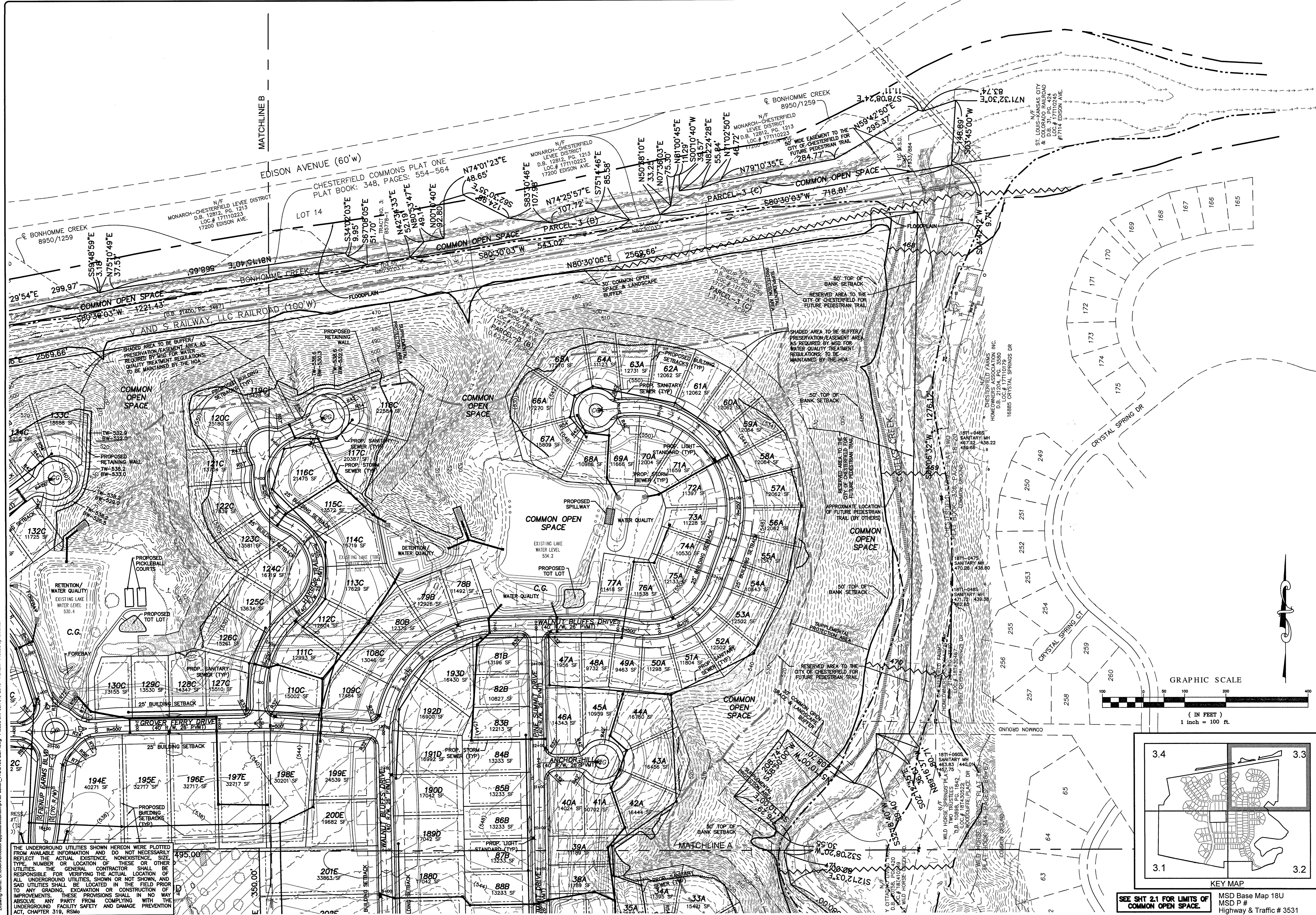
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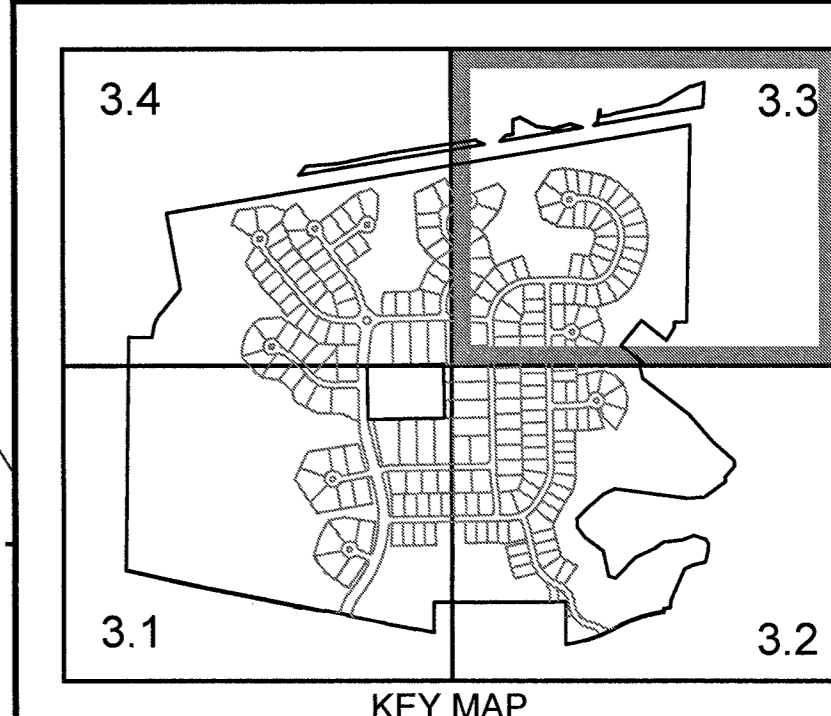
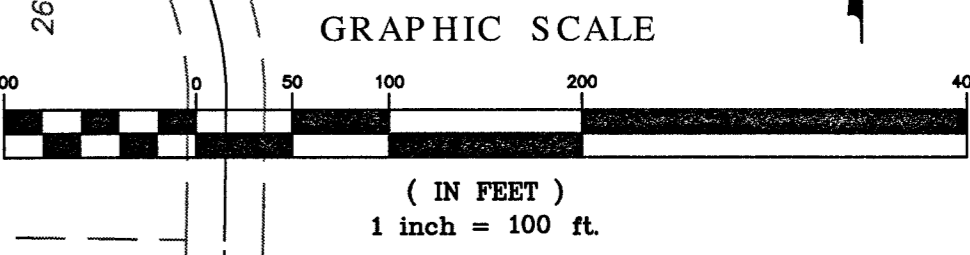
Date: 1/30/2018
 RODNEY ARNOLD
 License No. PE 2020216612
 Civil Engineer

Job Number: 14-06-196
 Date: 1/30/2018
 Designed: RLA Sheet
 Drawn: BDM 3.2
 Checked: RLA SDP



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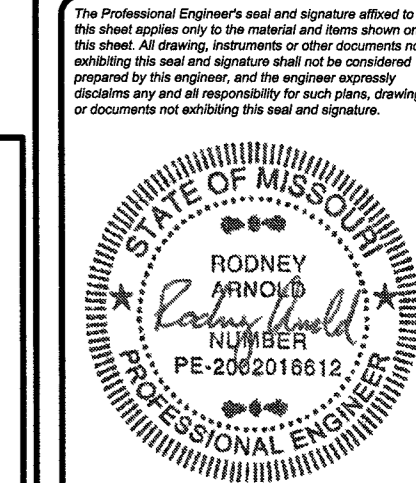
SEE SHT 2.1 FOR LIMITS OF COMMON OPEN SPACE.
 MSD Base Map 18U
 MSD P # Highway & Traffic # 3531

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Fienup Farms
 Chesterfield, Missouri
 Site Development Plan



Date: 1/30/2018
 Rodney Arnold
 License No. PE 2002016612
 Civil Engineer

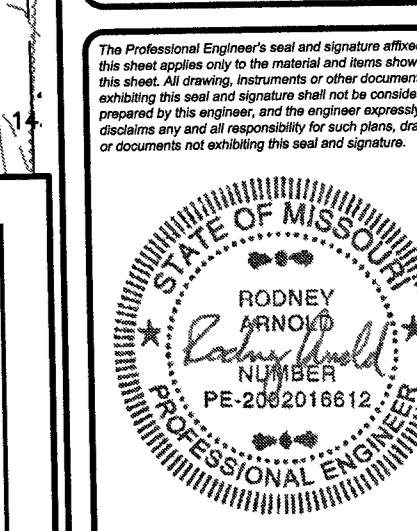
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 Date: 1/30/2018
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ISSUE	REMARKS/DATE
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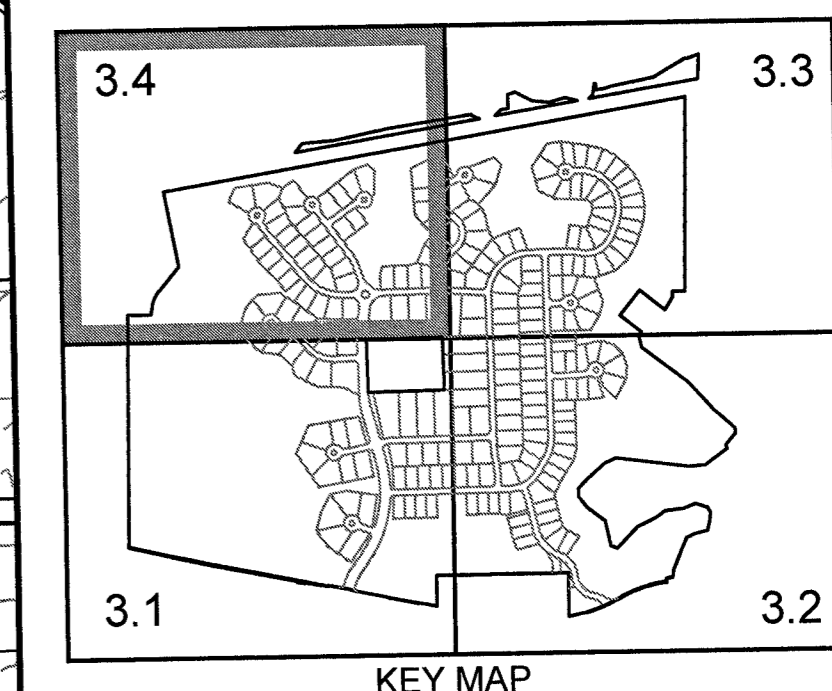
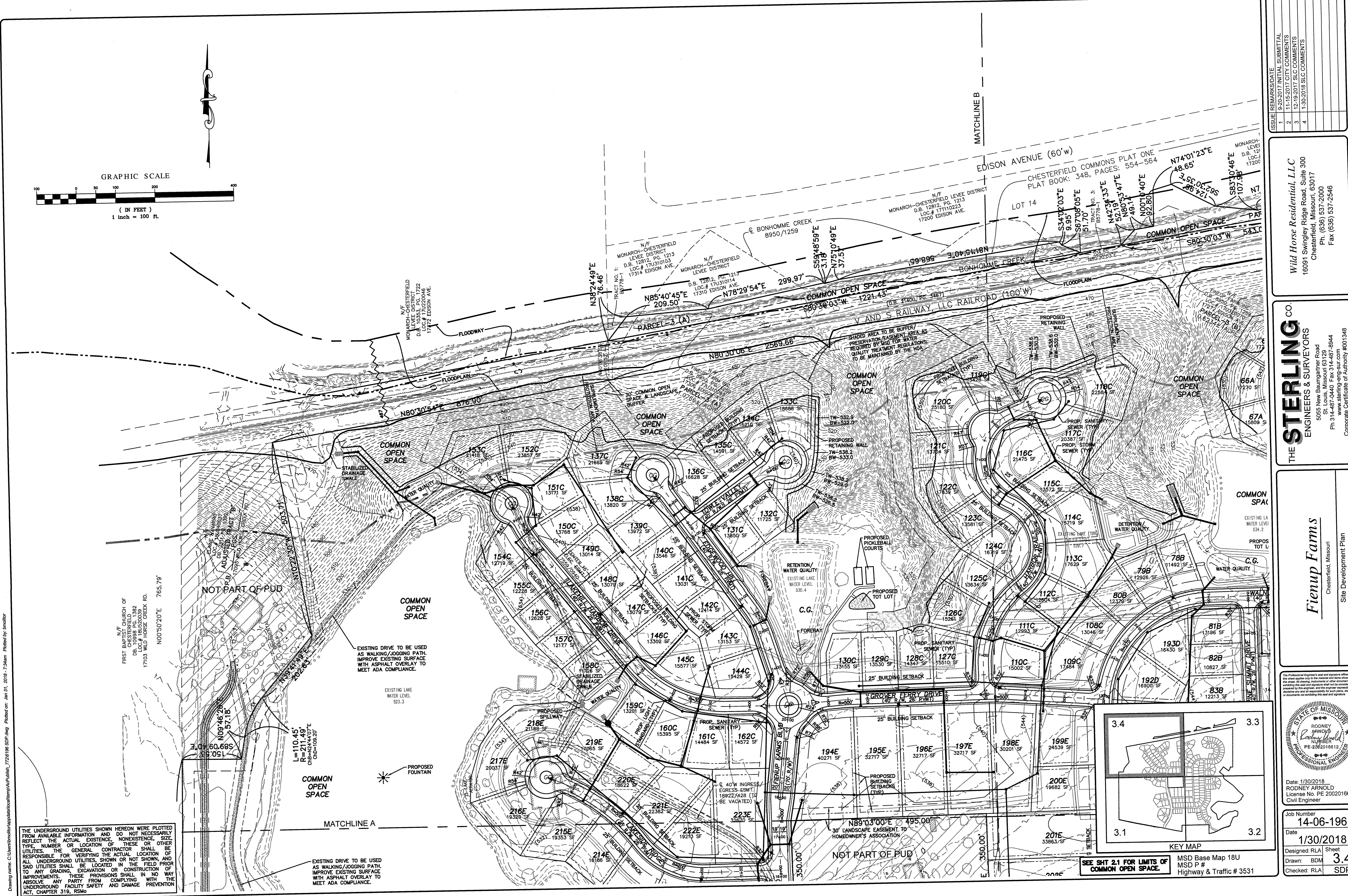
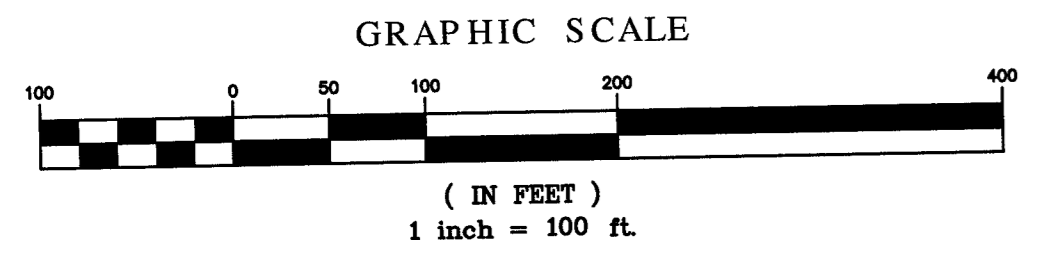
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EXISTING DRIVE TO BE USED AS WALKING/JOGGING PATH. IMPROVE EXISTING SURFACE WITH ASPHALT OVERLAY TO MEET ADA COMPLIANCE.

EXISTING DRIVE TO BE USED AS WALKING/JOGGING PATH. IMPROVE EXISTING SURFACE WITH ASPHALT OVERLAY TO MEET ADA COMPLIANCE.

EXISTING LAKE WATER LEVEL 523.3

PROPOSED FOUNTAIN

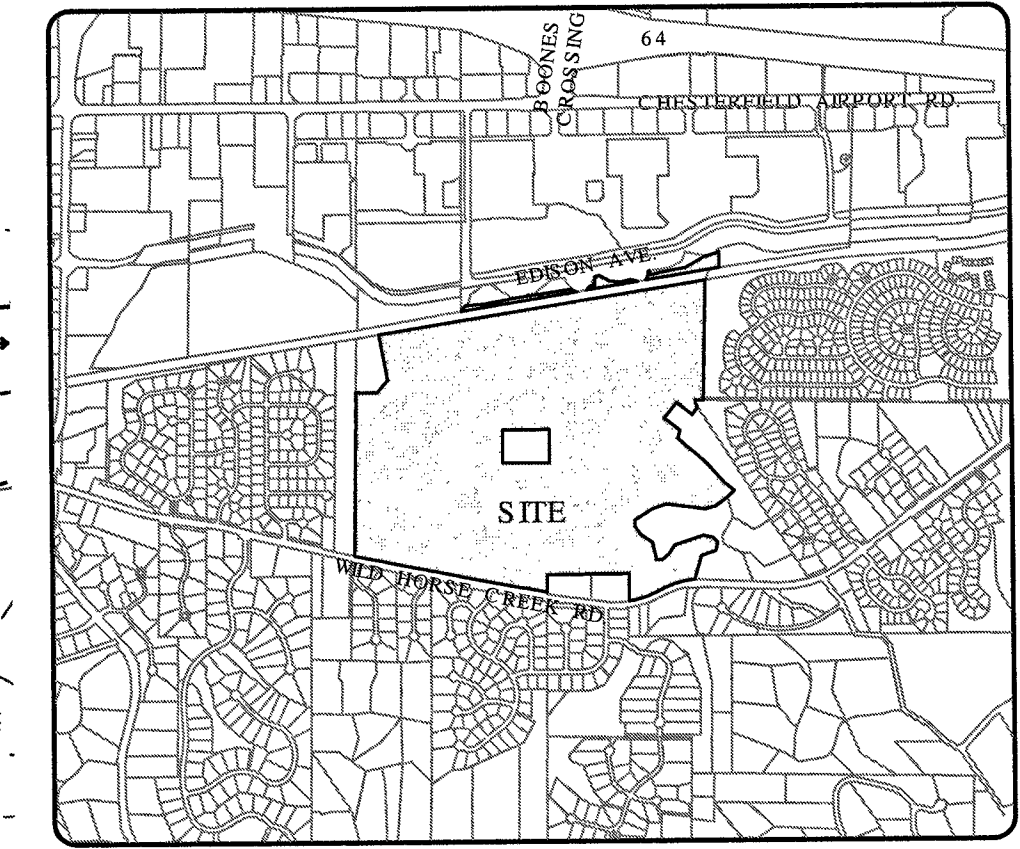
EXISTING DRIVE TO BE USED AS WALKING/JOGGING PATH. IMPROVE EXISTING SURFACE WITH ASPHALT OVERLAY TO MEET ADA COMPLIANCE.

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Fienup Farms

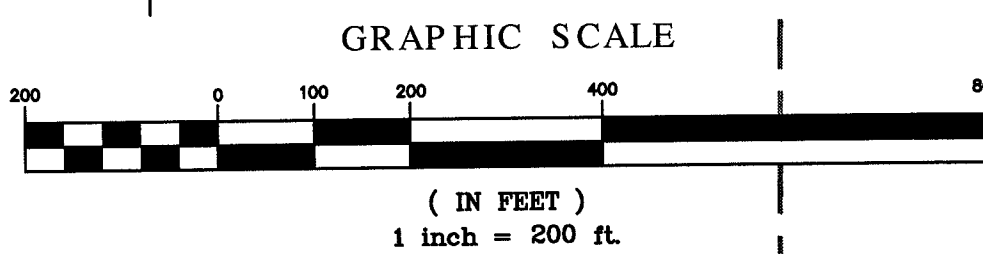
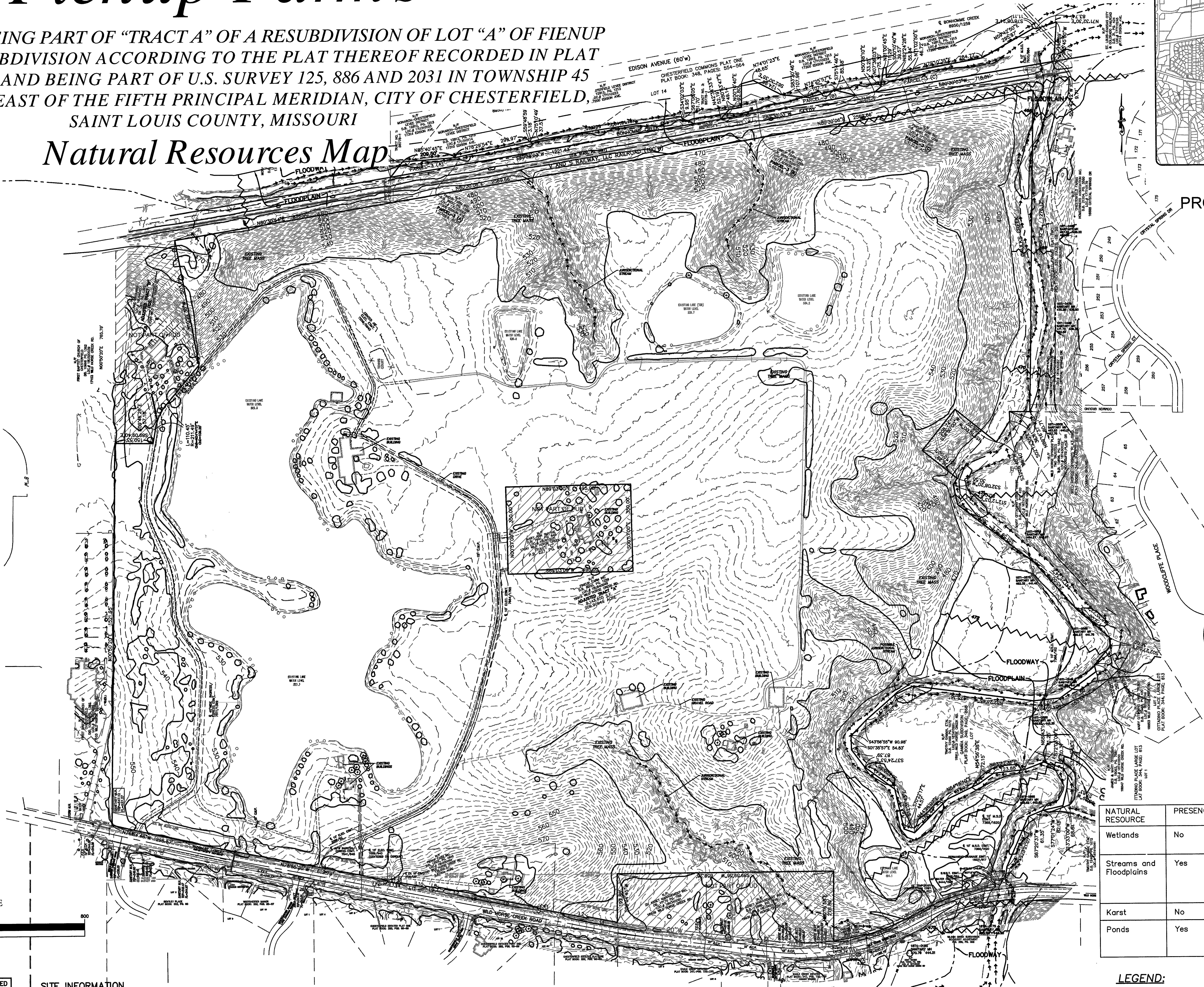
TRACTS OF LAND BEING PART OF "TRACT A" OF A RESUBDIVISION OF LOT "A" OF FIENUP TRACT, A MINOR SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 227 PAGE 99 AND BEING PART OF U.S. SURVEY 125, 886 AND 2031 IN TOWNSHIP 45 NORTH, RANGE 4 EAST OF THE FIFTH PRINCIPAL MERIDIAN, CITY OF CHESTERFIELD, SAINT LOUIS COUNTY, MISSOURI

Natural Resources Map



LOCATION MAP
N.T.S.

PROJECT ZIP CODE 63005



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 EXISTING ZONING: PUD (PLANNED UNIT DEVELOPMENT)
 GROSS AREA OF SITE: 223.1 ACRES
 FLOOD MAP: FEMA PANEL 29189C0165K DATED: FEB. 4, 2015

NATURAL RESOURCE	PRESENCE?	ADDITIONAL INFORMATION
Wetlands	No	None identified during site walk.
Streams and Floodplains	Yes	Floodplain exists along Caulks Creek and Bonhomme Creek per FEMA Map No. 29189c0165 K, Dated February 4, 2015. 5 Jurisdictional Streams were identified during site walk.
Karst	No	None identified during site walk.
Ponds	Yes	Five (5) identified during site walk.

LEGEND:

	Existing Tree Mass
	Hydrologic Group "C" Soils
	Regulated Waters
	MSD Base Map 18U MSD P # Highway & Traffic # 3531

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Fienup Farms
 Chesterfield, Missouri
 Site Development Plan
 NATURAL RESOURCE MAP

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Date: 1/30/2018
 RODNEY ARNOLD
 License No. PE 2002016612
 Civil Engineer

Job Number
14-06-196
 Date
1/30/2018
 Designed: RLA Sheet
 Drawn: BDM **4.1**
 Checked: RLA **SDP**