

## Planning Commission Public Hearing Report

- Meeting Date:** February 12, 2018
- From:** Cassie Harashe, Project Planner
- Location:** Southern corner of the intersection of Clarkson Road and Clarkson Woods Drive
- Petition:** **P.Z. 22-2017 Clarkson Center (2264 Clarkson Road)**: A request for a zoning map amendment from a “R2” Residence District (15,000 square foot minimum) and “C-8” Planned Commercial to a “PC” Planned Commercial District for 0.9 acres located on the southern corner of the intersection of Clarkson Road and Clarkson Woods Drive. (20T610716).
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### Summary

Douglas Steven Pernikoff is requesting a zoning map amendment from the City of Chesterfield to change the zoning of a tract of land currently zoned “R2” Residence District (15,000 square foot minimum) to a “PC” Planned Commercial District. The new “PC” Planned Commercial District would allow for development of an office building and define development criteria for the site.



Figure 1: Subject Site Aerial

## Site History

In 1972 the subject property, the Clarkson Wilson center to the south, and the Clarkson Woods Subdivision were all zoned simultaneously at the request of the property owner through a series of three zoning petitions. First, the 143 combined acres were zoned “R2” Residence District by St. Louis County Ordinance 6226. Secondly, St. Louis County Ordinance 6227 zoned the Clarkson Wilson Center to “C-8” Planned Commercial District. Finally, St. Louis County Ordinance 6228 approved a Planned Environmental Unit; however, Clarkson Woods was never developed under the Planned Environmental Unit permit—essentially abandoning ordinance 6228—and was instead developed under St. Louis County’s *Density Development Procedure*, leaving the subdivision and subject property with the “R-2” zoning designation and Clarkson Wilson Center with the “C-8” designation. However, during platting, the subject site was omitted and therefore never became a part of the Clarkson Woods Subdivision, resulting in the additional small area of ground which is located between the Clarkson Woods subdivision and Clarkson Wilson Center commercial development. Eventually, the larger Clarkson Center lot was platted to create two separate legal lots. An excerpt from that plat is shown below, with the subject site now being known as Lot 2, shown with the label Future Development Proposed, of the Clarkson Centre Subdivision in Figure 2.

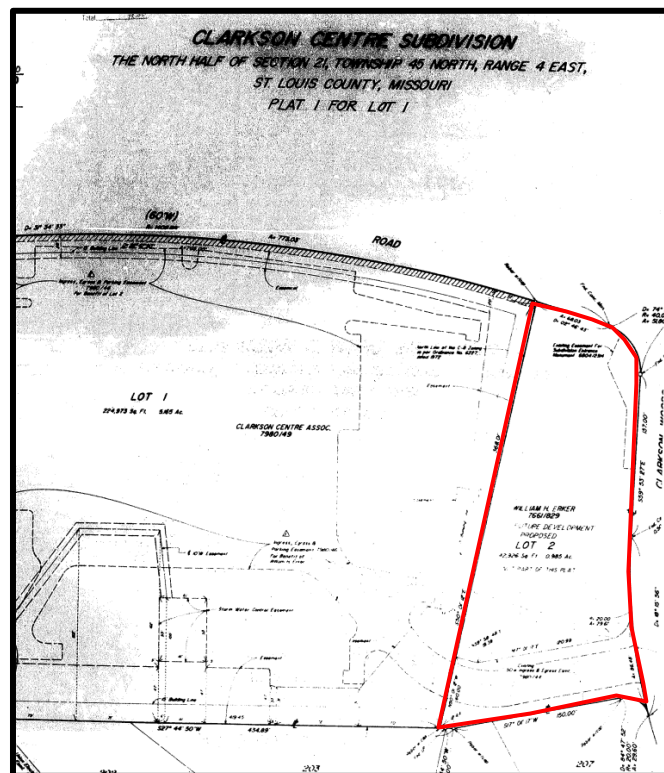


Figure 2: Clarkson Center Plat

Finally, it should be noted that there is an offset between the subject property’s boundary lines and the zoning designation limits which were established via legal description in 1972. As a result, the split between the original commercial and residential zoning bisects the subject property, rather than lining

up with the parcel boundaries. As discussed further in this report, the subject property is within the Comprehensive Plan’s Single Family Residential land use designation.

In 2001, a Zoning Map Amendment Petition was filed to change the zoning from the “R2” Residence District to a “PC” Planned Commercial District, however no action was ever taken on the request and the subject site remains vacant.

**Surrounding Land Uses**

The land use and zoning for the properties surrounding this parcel are as follows:

Direction	Zoning	Land Use
North & East	“R2” Residence District (15,000 sq. ft.)	Detached single family residences within the Clarkson Woods Subdivision
South	“PC” Planned Commercial District	Clarkson Wilson Shopping and Retail Center
West	“R1” Residence District	Bucholz Mortuary

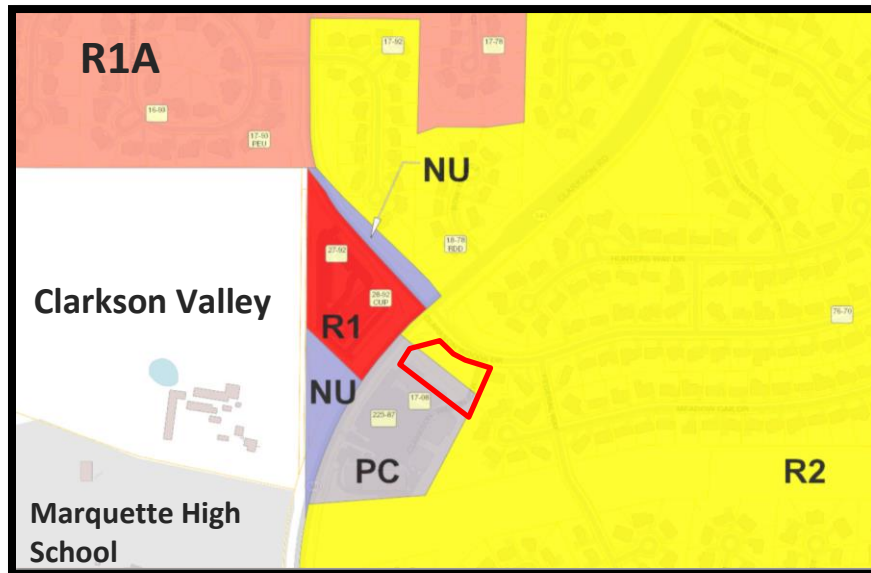
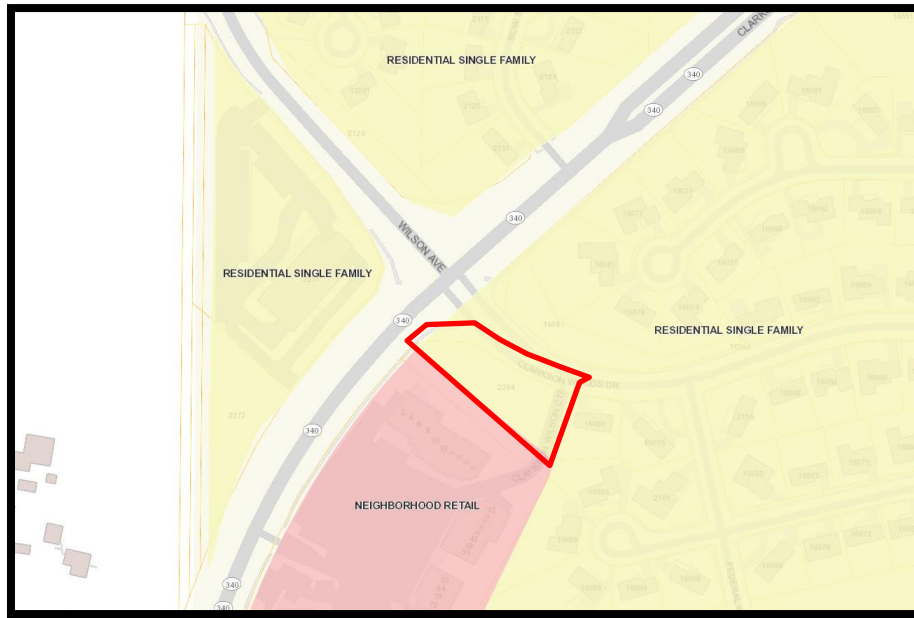


Figure 3: Surrounding Zoning

**Comprehensive Plan Analysis**

The subject site is located within Ward 4 of the City of Chesterfield. The City of Chesterfield Land Use Plan places this parcel within the Residential Single Family land use category. Accordingly, the Petitioner’s request to establish a Planned Commercial District is in conflict with the Comprehensive Plan’s land use designation. The Petitioner is aware of this conflict and is amenable to restrictions within the site specific ordinance to develop the subject site in a manner that is compatible with the adjacent residential subdivision and preserves the neighborhood character. For example, a limited number of low intensity uses are being requested, and these uses would be subject to restricted hours of operation. Additionally, the architectural character of the building would feature residential design and materials, serving as a transition between the single-family homes to the north and retail strip center to the south.



**Figure 4: Comprehensive Land Use Plan**

### **Preliminary Plan**

A zoning map amendment to a planned zoning district, such as “PC” Planned Commercial District, requires a Preliminary Development Plan which has been included in the Planning Commission’s packet. Notable features of the proposal include, but are not limited to:

- Development of one single story building along the southern property line of the site with parking areas around three sides of the building.
- Request a reduction in the landscape buffer requirement along Clarkson Road from the required thirty feet (30’) to fifteen feet (15’).
- Utilization of an existing drive aisle for access in and out of the site, so no new access points are required.

### **Request**

A public hearing further addressing the request will be held at the February 12, 2018 City of Chesterfield Planning Commission meeting. The purpose of the Public Hearing is for Planning Commission, members of the public who are in attendance, and the Petitioner to discuss the request. Members of the public who wish to speak will be provided the opportunity to do so.

The Petitioner will be present at the Public Hearing to present their request in detail and to answer any questions that the Planning Commission may pose.

The Planning Commission will discuss the proposal and provide direction to Staff on areas that need further clarification, additional information, or where concerns exist. No vote will be taken on this project at the February 12<sup>th</sup> meeting. Once Staff’s review has concluded and any direction received from the Planning

Commission has been addressed, the request will be placed on a Planning Commission agenda in order for the Planning Commission to make a formal recommendation on the zoning map amendment and planned district ordinance.

Attached please find a copy of the Public Hearing Notice and the Preliminary Development Plan.

Attachments

1. Public Hearing Notice
2. Project Narrative
3. Preliminary Development Plan
4. Emails from Public

cc: Justin Wyse, Director of Planning and Development Services



# NOTICE OF PUBLIC HEARING CITY OF CHESTERFIELD PLANNING COMMISSION

NOTICE IS HEREBY GIVEN that the Planning Commission of the City of Chesterfield will hold a Public Hearing on Monday, February 12, 2018 at 7:00 pm, in the Council Chambers at the City Hall, 690 Chesterfield Parkway West, Chesterfield, Missouri 63017. Said Hearings will be as follows:

P.Z. 22-2017 Clarkson Center (2264 Clarkson Road): A request for a zoning map amendment from a "R2" Residence District (15,000 square foot minimum) to a "PC" Planned Commercial District for 0.9 acres located on the southern corner of the intersection of Clayton Road and Clarkson Woods Drive. (20T610716).

### Description of Property

A TRACT OF LAND IN THE NORTH 1/2 OF SECTION 21, TOWNSHIP 45 NORTH, RANGE 4 EAST, CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI, AND CONTAINING 0.9 ACRES MORE OR LESS

For a list of the requested uses, contact the project planner.



City of Chesterfield  
690 Chesterfield Parkway West  
Chesterfield, MO 63017



Information on these Public Hearings may be found on the City's website at <http://www.chesterfield.mo.us/public-notice.html> or by contacting Project Planner Cassie Harashe at 636.537.4745 or via e-mail at [charashe@chesterfield.mo.us](mailto:charashe@chesterfield.mo.us). All interested parties will be given an opportunity to be heard at the Public Hearing.

CITY OF CHESTERFIELD: Department of Planning and Development Services  
CHANGE OF ZONING OR SPECIAL PROCEDURE APPLICATION.

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**IX. Required Materials. Item 10. Narrative to include.**

**a. Project general description.**

The development of 2264 Clarkson Road will result in the construction of a professional building (ie. General professional offices, medical health offices, veterinary health office, as example), as permitted under a PC District City definition. The ingress/egress path lies along an existing easement road that lies along the easternmost border of the parcel of interest. All planning and design will address the formal City guidelines/ordinances and specifically accommodate concerns of the Clarkson Woods residential neighborhood lying directly east of the development parcel.

**b. List of all requested uses directly from the proposed zoning district regulations.**

Per the Zoning District Regulations, the developer requests the following uses for this project development. (BOLD categories are prioritized)

\*veterinary clinic  
\*office-dental  
\*office-general  
\*office-medical

**[Alternative potential uses]**

\*administrative offices  
\*kindergarten or nursery school  
\*art gallery & studio  
\*retail sales-neighborhood/community  
\*laboratory-professional/scientific  
\*kindergarten/nursery school

**c. Proposed land uses & development standards, density & height limitation, yard requirements, as compatible to neighboring uses as is intent of the Comprehensive Plan.**

These issues are addressed within the scope of multiple site plan inclusions presented herein.

**d. List of permitted uses for each tract within the PC district.**

Refer to those permitted uses for PC district listed above in ITEM b.

**e. Exceptions or variations from the requirement of the Zoning Ordinance, if requested.**

No exceptions or variations from the PC Zoning Ordinance are requested.

**f. Table showing the total acreage in the proposed development & % designations proposed.**

TOTAL ACREAGE	39200 S.F. (0.9 ACRE)
BUILDING AREA	7500 S.F. (0.19 maximum floor area proposed)

**g. Proposed dedication of land for public use, including streets and easements.**

The site plan and the survey both include representation for a sidewalk located at the northeast edge of the intersection of the property and the property road easement. An extension of such sidewalk addition to the Clarkson Road corner is expected and acceptable to my development plans. Further there are two three easements associated with the property. (1) Easement road along the eastern most aspect of the property to allow ingress & egress from the Clarkson Wilson Center; (2) Easement for MODOT, as presented on the Survey, that has no impact on the development now or in the future; & an (3) Easement allowed to the Clarkson Woods Entrance Monument, again, without imposition to the development plan.

**h. ~~Parking plans, access ways protecting adjacent areas from potential adverse effects.~~  
~~Parking plans, egress & ingress, and other relevant site plan engineering is included within the packet submission.~~**

**i. Phased construction intent**

Not relevant, as building construction will be completed in a single phase.

**j. Statement regarding landscaping & tree preservation.**

The landscape design plan is submitted within the packet. Please refer to IX, Item 6.

[see prior page,  
item 6]

TSD copy 1

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**TREE STUDY-SITE PLAN REVIEW**

PROPERTY LOCATION: Clarkson woods office center

**\*TREE/LANDSCAPE LOCATIONS SHALL BE INDICATED ON SITE SURVEY (SCALED) AND ATTACHED TO THIS STUDY SHEET**

List all significant trees (live, healthy trees, of a species suitable for the urban environment having a diameter of eight inches or greater) on premises, on abutting public rights-of-way, and on private property within five feet of all property lines.

KEY TO DRAWING	TREE SPECIES	DIAMETER	SAVE YES/NO IF NO, EXPLAIN IN NOTES	PROTECTION METHODS EXPLAIN IN NOTES, PROVIDE DRAWINGS	DOLLAR VALUE FROM GUIDE FOR TREE APPRAISAL	NOTES
A-1	honey locust	12"	no			TBR
B-1	"	12"	no			TBR
C-1	"	12"	no			TBR
D-1	"	12"	no			TBR
E-1	honey locust	14"	Yes	fencing	2450 <sup>00</sup>	protect
F-1	honey locust	12"	Yes	fencing	1800 <sup>00</sup>	protect
G-1	Linden	20"	Yes	fencing	4400 <sup>00</sup>	protect
H-1	honey locust	24"	Yes	fencing	5200 <sup>00</sup>	protect
I-1	white pine	20"	Yes	fencing	3500 <sup>00</sup>	protect
J-1	River Birch	10"	no			TBR

**\*NOTE: Public trees abutting the site shall not be removed and require tree protection fencing.\***

I hereby certify that I have viewed the premises and provide this professional opinion regarding the survivability of significant trees on the site and abutting the site and the appropriateness of proposed tree replacement and landscaping. Attached is a landscape plan prepared by me or under my direction.

Dennis A. Greene

Name/Signature/Certification/Date

FL-0414-A

\*\* Copy this form as needed for additional trees.



2

**TREE STUDY-SITE PLAN REVIEW**

PROPERTY LOCATION: Claudson Woods office center

**\*TREE/LANDSCAPE LOCATIONS SHALL BE INDICATED ON SITE SURVEY (SCALED) AND ATTACHED TO THIS STUDY SHEET**

List all significant trees (live, healthy trees, of a species suitable for the urban environment having a diameter of eight inches or greater) on premises, on abutting public rights-of-way, and on private property within five feet of all property lines.

KEY TO DRAWING	TREE SPECIES	DIAMETER	SAVE YES/NO IF NO, EXPLAIN IN NOTES	PROTECTION METHODS EXPLAIN IN NOTES, PROVIDE DRAWINGS	DOLLAR VALUE FROM GUIDE FOR TREE APPRAISAL	NOTES
A-2	River birch	20"	no			TBR
B-2	cedar	5"	no			TBR
C-2	Pine oak	24"	yes	fencing	6000.00	Protect
D-2	White pine	12"	yes	fencing	2100.00	Protect
E-2	White pine	12"	yes	fencing	2100.00	Protect
F						
G						
H						
I						
J						

**\*NOTE: Public trees abutting the site shall not be removed and require tree protection fencing.\***

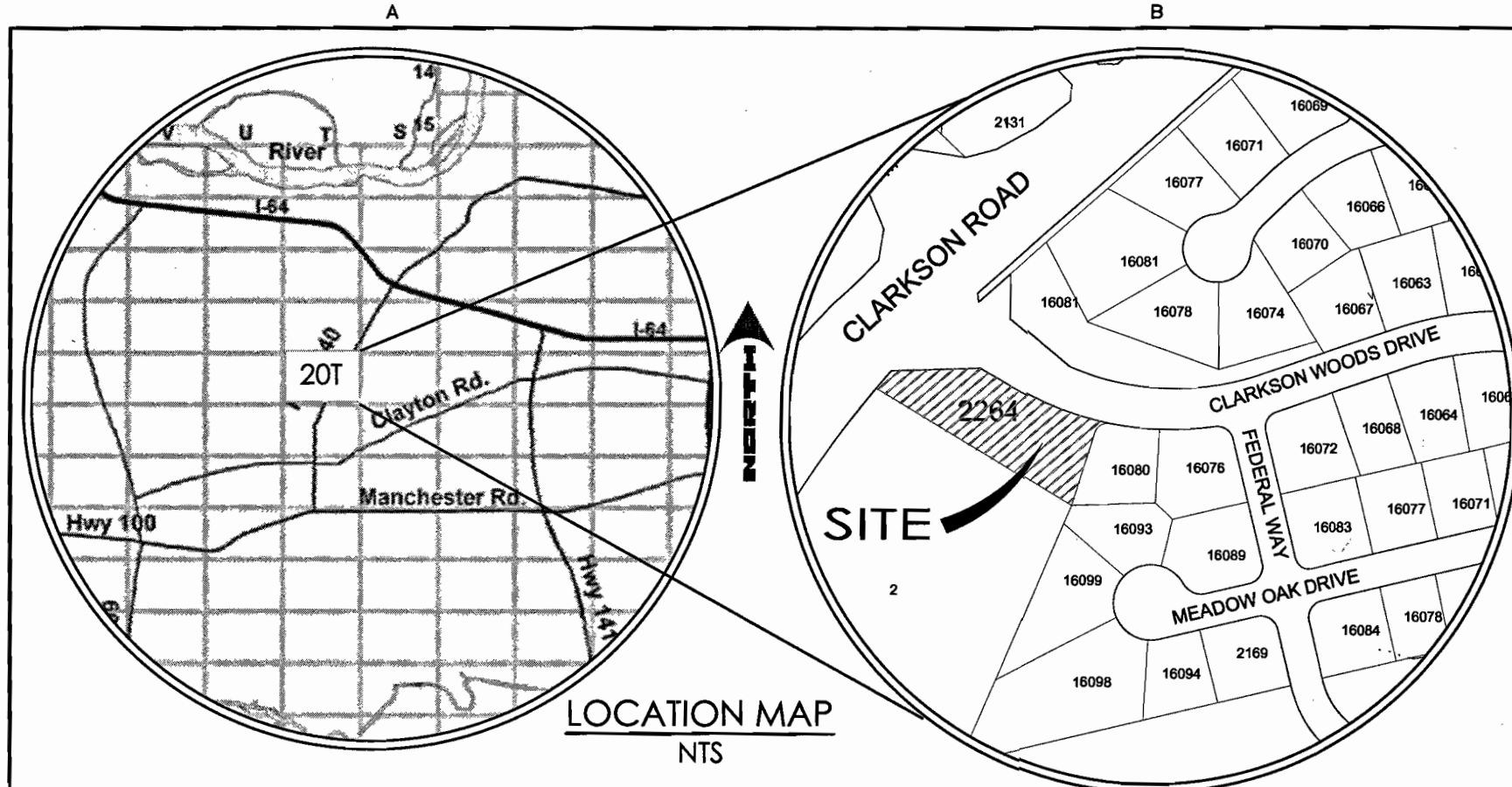
I hereby certify that I have viewed the premises and provide this professional opinion regarding the survivability of significant trees on the site and abutting the site and the appropriateness of proposed tree replacement and landscaping. Attached is a landscape plan prepared by me or under my direction.

Donald A. Greene  
Name/Signature/Certification/Date

IL-0414-A

\*\* Copy this form as needed for additional trees.





# PRELIMINARY SITE DEVELOPMENT PLANS

FOR A

## NEW OFFICE BUILDING

PROPOSED AT

# 2264 CLARKSON ROAD

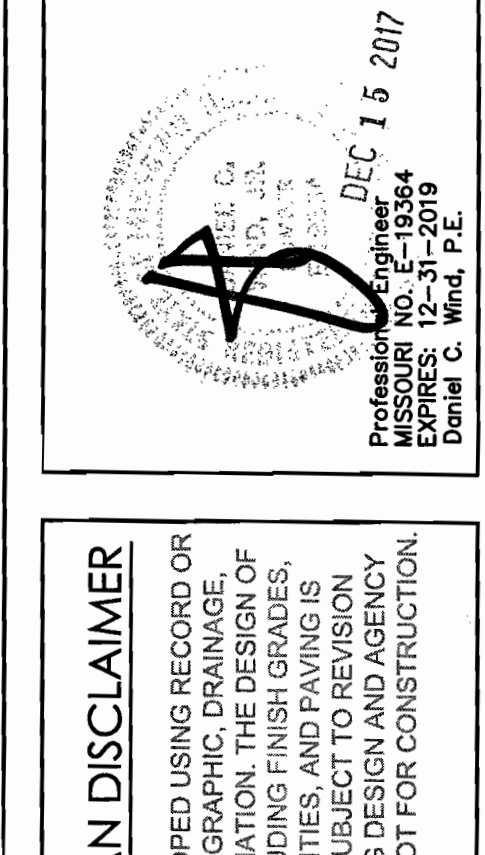
CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MO  
63017

### PERTINENT DATA

TOTAL AREA OF TRACT : 0.95 AC  
 LOCATOR NUMBER : 207610716  
 SITE ADDRESS : 2264 CLARKSON RD  
 ZIP CODE : 63017  
 WUNNENBERG : FF21-32  
 FIRE DISTRICT : MONARCH  
 SCHOOL DISTRICT : ROCKWOOD  
 MUNICIPALITY : CHESTERFIELD  
 SEWER DISTRICT : MSD  
 RECORD OWNERS OF TRACT : T PROPERTIES LP  
 WATERSHED : CAULKS CREEK  
 PRESENT ZONING : R-2  
 PROPOSED ZONING : PC, PLANNED COMMERCIAL

### INDEX OF SHEETS

SERIES	DESCRIPTION
PDP1	TITLE SHEET
PDP2	EXISTING CONDITIONS
PDP3	FLAT+GEOMETRIC PLAN
PDP4	OMITTED
PDP5	SECTIONS



### LEGAL DESCRIPTION

A TRACT OF LAND IN NORTH 1/2 OF SECTION 21, TOWNSHIP 45 NORTH, RANGE 4 EAST, ST. LOUIS COUNTY, MISSOURI

### SOURCE OF BOUNDARY AND TOPOGRAPHIC INFORMATION

BOUNDARY AND PARTIAL TOPOGRAPHIC/IMPROVEMENT INFORMATION BY CARDINAL SURVEYING AND MAPPING, WILLIAM JACOB CLARK PLS 2002014101, DATED 9/8/17.

ADDITIONAL TOPOGRAPHIC INFORMATION PROVIDED BY WIND ENGINEERING COMPANY, AVAILABLE RECORDS, AND SITE RECONNAISSANCE.

### BENCHMARK

PROJECT BENCHMARK: MSD 12-52 ELEV 644.02  
 "SQ" ON NORTHWEST BASE OF SOUTH TRANSMISSION TOWER, 50' EAST OF CENTERLINE OF CLARKSON ROAD AND 300' SOUTH OF INTERSECTION OF CLARKSON ROAD AND WILSON ROAD.

### UTILITIES/SERVICE PROVIDERS

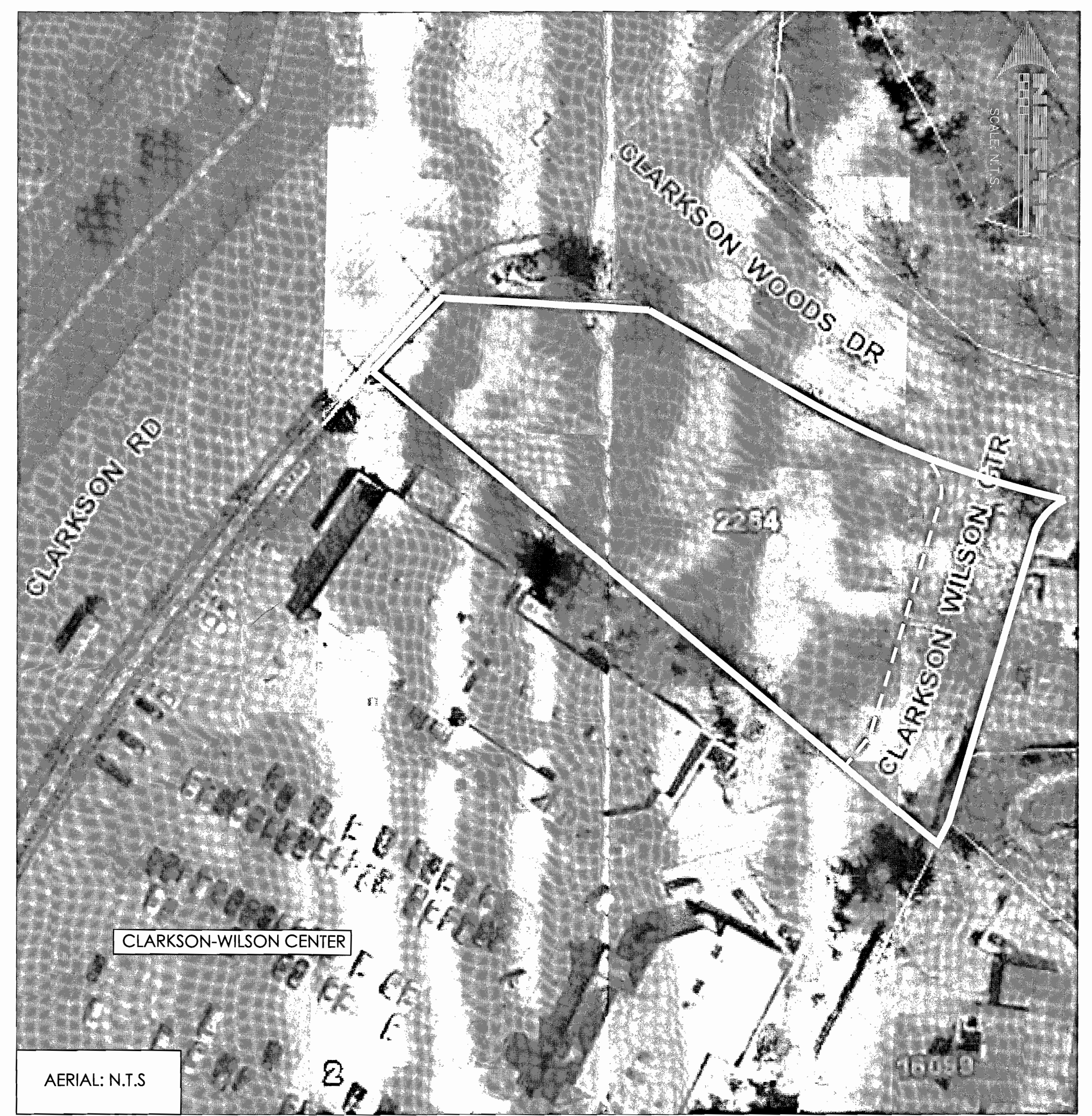
<b>CABLE TV</b> CHARTER COMMUNICATIONS 941 CHARTER COMMONS TOWN AND COUNTRY, MO 63017 PHONE: 636.220.2174	<b>TELEPHONE</b> AT&T TELEPHONE COMPANY 13075 MANCHESTER ROAD DES PERES, MO 63131 ATTN: MR. DOUG LAMPERT PHONE: 314.957.3748; (314) 963.3824
<b>ELECTRIC</b> AMEREN UE ONE AMEREN PLAZA 1901 CHOUTEAU AVENUE P.O. BOX 66149, MC 700 ST. LOUIS, MO 63166 PHONE: (314) 992.9721	<b>WATER</b> MISSOURI AMERICAN WATER 727 CRAIG ROAD ST. LOUIS, MO 63141 PHONE: 314.996.2396
<b>SEWER</b> MSD 2350 MARKET STREET ST. LOUIS, MO 63103 PHONE: 314.768.6260	<b>GAS</b> SPIRE ENERGY 720 OLIVE STREET ST. LOUIS, MO 63101 PHONE: 314.621.6960
<b>FIRE</b> MONARCH FIRE PROTECTION DISTRICT 13725 OLIVE BLVD. CHESTERFIELD, MO 63017 PHONE: 314.514.0900	

### AREA OF LAND DISTURBANCE

AREA OF LAND DISTURBANCE= 0.70 AC

### DIFFERENTIAL STORMWATER RUNOFF

DIFFERENTIAL STORMWATER RUNOFF 15YR/20MIN EVENT=1.01 CFS.



### LEGEND

EXISTING	DESCRIPTION	PROPOSED
528 APPROX	CONTOURS	528
x 528	SPOT(S)	+ 528
~	SLOPE DESIGNATOR	
G	GAS W/ VALVE	G
T	UNDERGROUND TELEPHONE	T
CATV	CABLE TV	CATV
Op	TRANSFORMER	
OP	PEDESTAL	
DVH	OVERHEAD LINES	DVH
PP	UTILITY POLE	PP
E	UNDERGROUND ELECTRIC	E
*	LIGHT STANDARD	*
W	WATER	W
WV	WATER VALVE	WV
WM	WATER METER/Vault	WM
ST	FIRE HYDRANT	ST
SS	STORM SEWER	SS
SS	BIO-SWALE UNDERDRAIN	SS
SS	SANITARY SEWER	SS
CI	CURB INLET	CI
AI	AREA INLET & OPEN SIDE (ALL IF NO ARROWS)	AI
GI	GRATED INLET	GI
MH	MANHOLE	MH
FE	FLARED END SECTION WITH HEADWALL	FE
SW	DRAINAGE SWALE / DIRECTION OF FLOW	SW
HE	HIGHWATER ELEVATION	HE
BB	BOTTOM OF BASIN	BB
FB	FOREBAY	FB
WQHWEL	WQHWEL	WQHWEL
15 YR. 20 MIN HGL	15 YR. 20 MIN HGL	15 YR. 20 MIN HGL
100 YR. 20 MIN HGL	100 YR. 20 MIN HGL	100 YR. 20 MIN HGL
MH XXXX-XXXX	SANITARY STRUCTURE	MH XXXX-XXXX
A/C I XXXX-XXXX	STORM STRUCTURE	A/C I XXXX-XXXX
DA	DRAINAGE AREA LIMITS	DA
CON	DRAINAGE AREA DESIGNATOR	CON
CON	CONCRETE	CON
ASP	ASPHALT PAVEMENT	ASP
RIP	RIP RAP	RIP
BM	BENCHMARK	BM
SG	SIGN (SINGLE POST)	SG
F	FENCE	F
LD	LAND DISTURBANCE	LD
SA	SAWCUT	SA
SF	SILT FENCE	SF

### ABBREVIATIONS

AC	ACRE
ACI	AMERICAN CONCRETE INSTITUTE
AHJ	AUTHORITY HAVING JURISDICTION
ASP	ASPHALT
BF	BASEMENT FLOOR
BL	BUILDING LINE
CALC.	CALCULATED
C	CENTER LINE
CO	CLEANOUT
CONC.	CONCRETE
DB	DEED BOOK
DS	DOWNSPOUT
ESMT.	EASEMENT
ELEV.	ELEVATION
EOP	END OF PIPE
EP	EDGE OF PAVEMENT
EX	EXISTING
FT	FEET
FF	FINISHED FLOOR ELEVATION
FL	FLOWLINE
GHS	GRADE AT LOW SILL
HBW	HIGH BOTTOM WALL
HP	HIGH POINT
HORIZ.	HORIZONTAL
HWEL	HIGH WATER ELEVATION
LBW	LOW BOTTOM WALL
LP	LOW POINT
LS	LOW SILL
MH	MANHOLE
ME	MATCH EXISTING
MXEP	MAXIMUM EXISTING PRACTICABLE
MAX.	MAXIMUM
MIN.	MINIMUM
MSD	METROPOLITAN ST. LOUIS SEWER DISTRICT
N/F	NOW OR FORMERLY
PG	PAGE
PB	PLAT BOOK
#" PVC	POLYVINYL CHLORIDE
R	PROPERTY LINE
#" RCP	REINFORCED CONCRETE PIPE
R/W	RIGHT OF WAY
SAN.	SANITARY
SBM	SITE BENCHMARK
SF	SQUARE FEET
STA.	STATION
STM.	STORM
(TBA)	TO BE ABANDONED
(TBA&R)	TO BE ABANDONED & RELOCATED
(TBD)	TO BE DETERMINED
(TBR)	TO BE REMOVED
(TBR&R)	TO BE REMOVED & REPLACED
TF	TOP OF FOUNDATION
TW	TOP OF WALL
UNK	UNKNOWN
(UIP)	USE IN PLACE
#" VCP	VITRIFIED CLAY PIPE
VERT.	VERTICAL

### NOTICE TO CONTRACTOR

THE LOCATION OF ANY UNDERGROUND FACILITIES, STRUCTURES, UTILITIES, SEWERS AND DRAINAGE FACILITIES, PUBLIC OR PRIVATE, AS MAY BE SHOWN ON THESE DRAWINGS HAS BEEN APPROXIMATED FROM FACILITY MAPS PROVIDED TO OUR OFFICE BY UTILITY PROVIDERS, RECEIVED AS OF THE DATE OF THIS DRAWING; EXTRAPOLATION FROM SURFACE FEATURES AS MAY HAVE BEEN NOTED DURING FIELD RECONNAISSANCE OR FIELD SURVEYS, AND/OR LOCATES AS MAY HAVE BEEN MARKED ON THE SURFACE BY MO ONE CALL / DIG-RITE. THEIR LOCATION(S) MUST BE CONSIDERED STRICTLY APPROXIMATE, ARE INTENDED FOR GENERAL INFORMATION ONLY, AND SHOULD NOT BE RELIED UPON BY ANYONE HAVING ACCESS TO THIS DRAWING. IT IS THE RESPONSIBILITY OF ANY CONTRACTORS / SUBCONTRACTORS OR ANYONE PERFORMING EXCAVATIONS OR CONSTRUCTING IMPROVEMENTS ON THIS SITE TO VERIFY NOT JUST THE X-Y-Z LOCATION(S) OF UTILITIES AS MAY BE SHOWN, BUT ALSO THE EXISTENCE OF ANY FACILITIES AS MAY NOT BE SHOWN, INCLUDING SERVICE LINES, AND THE RELATIONSHIP / COMPATIBILITY BETWEEN ANY PROPOSED WORK AND SUCH EXISTING FACILITIES, STRUCTURES, UTILITIES, SEWERS AND DRAINAGE FACILITIES, TO VERIFY ADEQUATE CLEARANCE/COVER/STRUCTURAL CAPABILITIES OR INTEGRITY VERSUS ANY PROPOSED GRADING, SEWERS AND/OR DRAINAGE FACILITIES, FOOTINGS, IMPROVEMENTS, ETC. PRIOR TO CONSTRUCTION. REPRESENTATIVES OF UTILITY COMPANIES, SEWER AND/OR WATER AUTHORITIES, INCLUDING LOCAL MUNICIPAL AGENCIES AS MAY HAVE JURISDICTION OVER SAME, SHALL BE ON SITE DURING SUCH TIMES THAT ANY WORK IS TAKING PLACE OVER, UNDER OR IN THE VICINITY OF ANY FACILITIES AS MAY BE SHOWN ON THE DRAWINGS OR OTHERWISE FOUND TO EXIST, AND THE CONTRACTOR(S) SHALL GIVE ADVANCE NOTICE TO SUCH REPRESENTATIVES AS NEEDED TO COORDINATE THEIR EFFORTS IN THIS REGARD. ADDITIONALLY, CONTRACTORS/ SUBCONTRACTORS SHALL INVESTIGATE, ASCERTAIN AND CONFORM TO ANY AND ALL PERMIT REQUIREMENTS OF THE (ANY) VARIOUS AFFECTED UTILITY PROVIDERS AND/OR REGULATORY AGENCIES WITH REGARDS TO MAKING CONNECTIONS TO, OR CROSSINGS OF, THEIR FACILITIES; WORKING WITHIN THEIR RIGHTS-OF-WAY OR EASEMENTS; INSPECTIONS AND ASSOCIATED DOLLAR CHARGES; AND/OR SPECIAL BACKFILL OR RESTORATION REQUIREMENTS. SUCH INVESTIGATIONS TO INCLUDE BUT NOT BE LIMITED TO THE MAKING OF NECESSARY APPLICATIONS AND PAYMENT OF ANY AND ALL REQUIRED FEES.

### FAR

Lot Area	Building Size	Max FAR*	Proposed FAR
41,232 SF	12,000 SF	0.55	0.29

### SITE COVERAGE

Lot Area	Building	Paving*	Total	Coverage
41,232 SF	7,500 SF	19,293 SF	26,793 SF	65.0%

\* NON-PERMEABLE PAVEMENT

### PARKING CALCULATIONS

General Office	7,500 SF*
Reqd Parking Ratios	3.3 Spaces/1000 GFA
Total Required Parking	
Total Provided	
Reqd ADA Ratio	2 Sp/ 26-50 Sp
ADA Spaces Req'd	2 Sp
ADA Spaces Provided	2 Sp

\* DOES NOT INCLUDE LOWER LEVEL (MECHANICAL AND NON-OCCUPIED ANCILLARY SPACE)

### MSD NOTE

PRIOR TO OBTAINING A CONSTRUCTION PERMIT FROM THE METROPOLITAN ST. LOUIS SEWER DISTRICT, THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE THE DISTRICT WITH A COPY OF AN EXECUTED CERTIFICATE OF INSURANCE INDICATING THAT THE PERMITTEE HAS OBTAINED AND WILL CONTINUE TO CARRY COMMERCIAL GENERAL LIABILITY AND COMPREHENSIVE AUTO LIABILITY INSURANCE. THE REQUIREMENTS AND LIMITS SHALL BE AS STATED IN THE "RULES AND REGULATIONS AND ENGINEERING DESIGN REQUIREMENTS FOR SANITARY AND STORMWATER DRAINAGE FACILITY", SECTION 10.090 (ADDENDUM).

### RESERVED FOR AGENCY REVIEW

### PRELIMINARY PLAN DISCLAIMER

THIS PLAN HAS BEEN DEVELOPED USING RECORD OR AVAILABLE SURVEY, TOPOGRAPHIC, DRAINAGE, SEWER AND UTILITY INFORMATION. THE DESIGN OF SITE IMPROVEMENTS INCLUDING FINISH GRADES, SEWERS, DRAINAGE UTILITIES, AND PAVING IS STRICTLY PRELIMINARY, SUBJECT TO REVISION DURING CONSTRUCTION. THIS PLAN IS NOT FOR CONSTRUCTION.

### CLARKSON WOODS OFFICE CENTER

CITY OF CHESTERFIELD, MO 63017

Prepared By: WIND ENGINEERING COMPANY  
 122 N. Kirkwood Road  
 Kirkwood, MO 63122  
 Telephone: 314.966.7892  
 Fax: 314.966.7892  
 Email: info@windeng.com  
 C.O.A. #15-1807-D

### REVISIONS/STATUS

No.	Date	Description
1	12/15/2017	REVISED PER 12/04/2017 CITY LETTERS

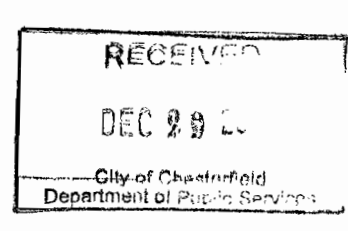
### WIND ENGINEERING COMPANY

COPYRIGHT © 2017  
 THESE DESIGNS AND DRAWINGS ARE COPYRIGHTED AND REMAIN THE PROPERTY OF WIND ENGINEERING. THEY MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT.

Date: 11/07/2017  
 Field Work: WC Field Checked: DW  
 Drawn By: PC C.S.O.: DW  
 Checked By: DW  
 Project Number: 01005  
 Sheet Number: PDP1  
 MSD P: BASEMAP : 207  
 H & T #:

BEFORE YOU DRILL - BLAST  
 1-800-344-7483  
 (TOLL FREE)  
 MISSOURI ONE CALL SYSTEM, INC.

\* ALLOWED UNDER PC, PLANNED COMMERCIAL ZONING.  
 NOTE: BUILDING SIZE INCLUDES LOWER LEVEL (MECHANICAL AND NON-OCCUPIED ANCILLARY SPACE)



LETTERS IN THE MARGINS AND UPPER MARGINS OF THIS SHEET, ARE FOR REFERENCE ONLY AND SHOULD NOT BE INTERPRETTED AS HAVING ANY SCALE WITH RESPECT TO THE DRAWING'S CONTENTS OR GEOMETRY.



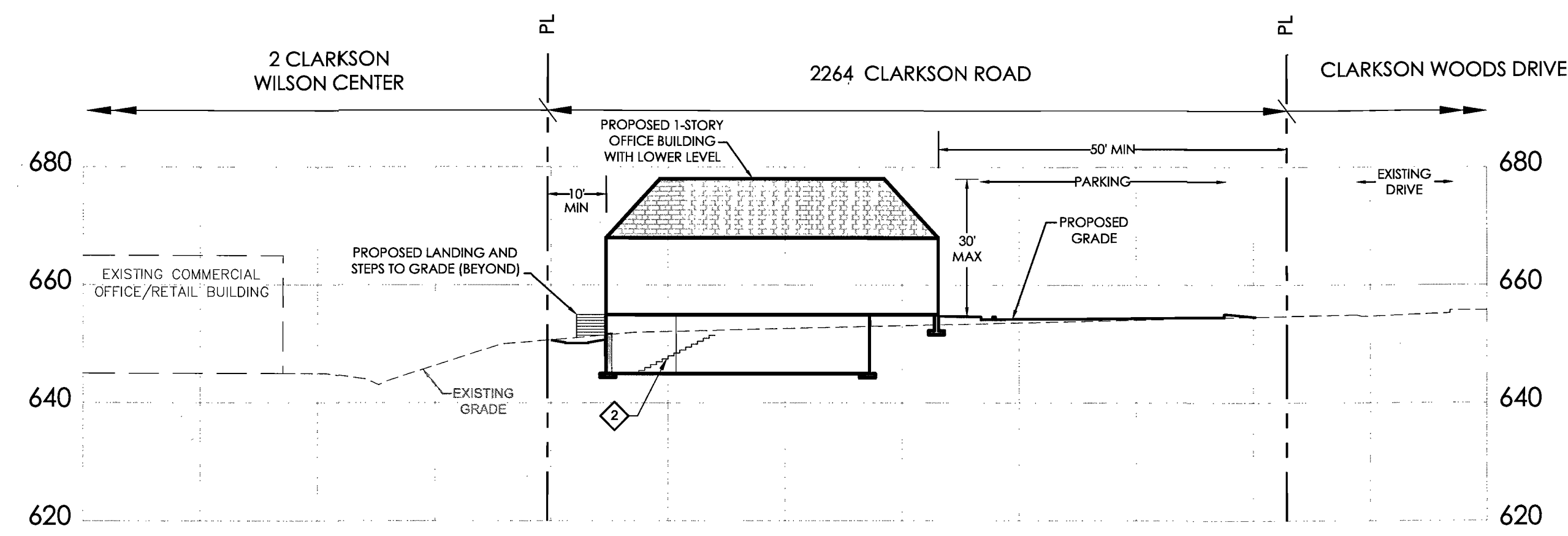
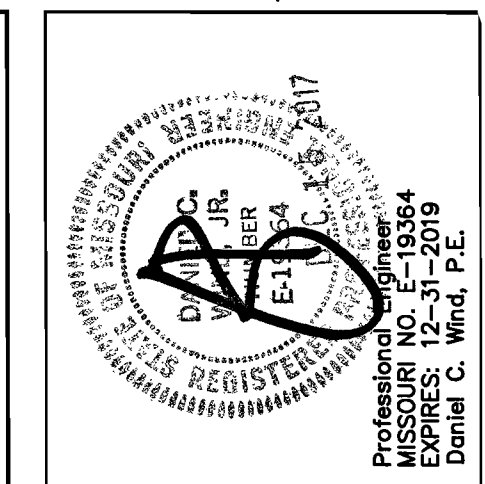


KEYED NOTES

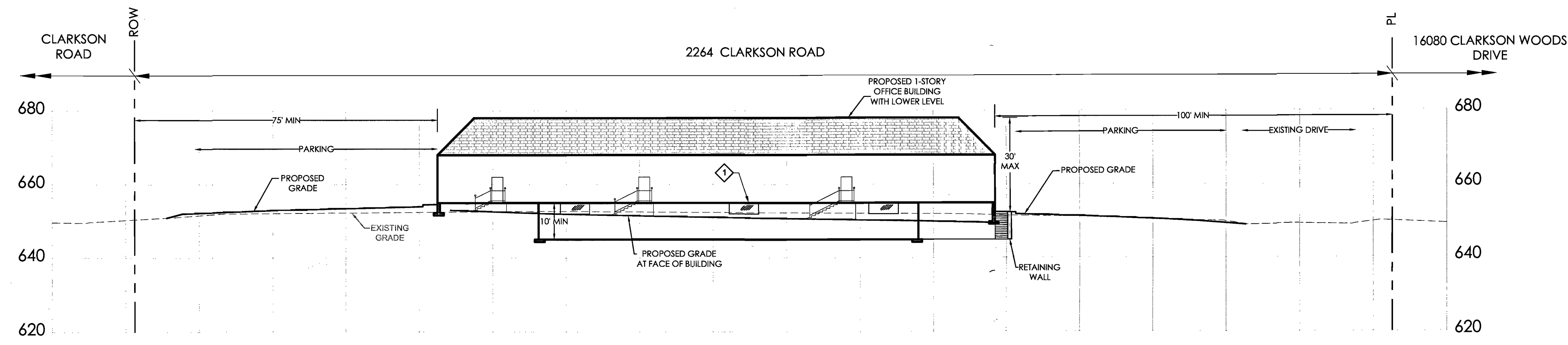


GENERAL: SEE NOTICES TO CONTRACTOR SHEET C1 AND KEYED NOTES OTHER SHEETS AS MAY BE APPLICABLE TO WORK DEPICTED ON THIS DRAWING.

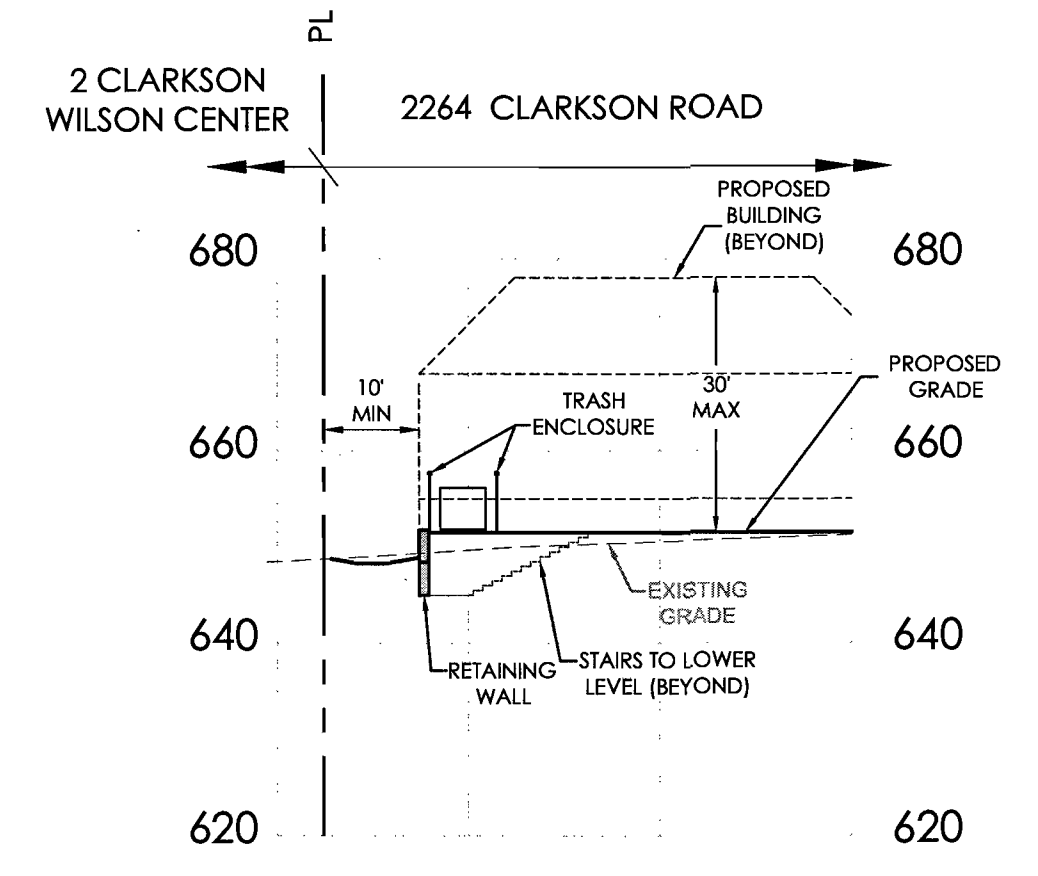
1. LOWER LEVEL WINDOWS (TYP.)
2. STAIRS AND ACCESS TO LOWER LEVEL AS SHOWN IS BEYOND SECTION CUT.



SECTION A-A  
SCALE: 1"=20'



SECTION B-B  
SCALE: 1"=20'



SECTION C-C  
SCALE: 1"=20'

**PRELIMINARY PLAN DISCLAIMER**  
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**CLARKSON WOODS OFFICE CENTER**  
CITY OF CHESTERFIELD, MO 63017

**SECTIONS**

Prepared For:  
BIR, PC PERINCE  
616 DOW CENTER  
32 CLARKSON WILSON CENTER  
CHESTERFIELD, MO 63017  
Stamatt@stamatt.com

Prepared By:  
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No.	Date	Revisions/Status
1	12/15/2017	REVISIONS PER 12/04/2017 CITY LETTER

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Date:	11/07/2017
Field Work:	WC Field Checked: DW
Drawn By:	PC C.S.O.: DW
Checked By:	DW
Project Number:	01005
Sheet Number:	PDP5
MSD P:	BASMAP: 201
H & T #:	

THE GRID, AS DEFINED BY THE NUMBERS AND LETTERS IN THE BOUNDING AND UPPER MARGINS OF THIS SHEET, ARE FOR REFERENCE ONLY AND SHOULD NOT BE INTERPRETED AS HAVING ANY SCALE WITH RESPECT TO THE DRAWING'S CONTENTS OR GEOMETRY.

Cassandra Harashe

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Subject: P.Z. 22-2017 Clarkson Center (2264 Clarkson Road):

From: Frances Babb [mailto:

Sent: Monday, January 29, 2018 12:01 AM

To: Cassandra Harashe <CHarashe@chesterfield.mo.us>

Subject: P.Z. 22-2017 Clarkson Center (2264 Clarkson Road):

I'm unable to attend the Feb 12 meeting on the above listed property. I wanted to tell you that it makes no sense for this parcel to be zoned residential, when all of the properties around it on Clarkson Road are zoned commercial.

Frances Babb

2001 Kehrsdale Ct.

Clarkson Valley, MO 63005

636-519-8201