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February 6, 2009

Architectural Review Board  
City of Chesterfield  
690 Chesterfield Parkway West  
Chesterfield, MO 63017

**Re: Chesterfield Valley Nursery:** A Site Plan, Architectural Elevations, and Architect's Statement of Design for a 10.4 acre tract of land zoned "AG" Agriculture District with a Conditional Use Permit located on North Outer 40 Road approximately 6,600 feet east of the intersection with Boones Crossing.

Dear Board Members:

Volz, Inc., has submitted, on behalf of Chesterfield Valley Nursery, a Site Development Plan, Architectural Elevations, and Architects Statement of Design for the above referenced project. The Department of Planning and Public Works has reviewed this request and submits the following report.

**Submittal Information**

The request is for a new 3,000 square foot building for utility and equipment storage and the expansion and conversion of the existing storage building into a salesroom. The exterior building materials will be comprised of siding. The roof is proposed to be a tin roof. Please see the attached checklist to review the project's compliance with the Architectural Review Board Guidelines.

**Departmental Input**

The submittal was reviewed for compliance with the Architectural Review Board Guidelines, the Conditional Use Permit for the site, the City of Chesterfield Tree Manual and the City of Chesterfield Lighting ordinance. Staff has no outstanding issues on the site.

**Actions Requested**

The Department of Planning and Public Works requests action by the Architectural Review Board on the information presented.

Respectfully submitted,

A handwritten signature in black ink, appearing to read "Mara M. Perry". The signature is fluid and cursive, with the first name "Mara" being the most prominent.

Mara M. Perry, AICP  
Senior Planner

Attachments

1. ARB Guidelines Review Checklist
2. Architectural Review Packet Submittal

**ARCHITECTURAL REVIEW BOARD  
Guidelines Review Checklist**

**Project Name:** Chesterfield Valley Nursery  
**Date of Review:** 2/6/2009

<b>Guideline Description</b>	<b>Addressed as Written</b>	<b>Addressed with Modification (1)</b>	<b>Comments and Reference (2)</b>
<b>Applicability and Compliance</b>			
<b>General Requirements for Site Design</b>			
A. Site Relationships	X		
B. Circulation System and Access	X		
C. Topography	X		
D. Retaining Walls	N/A		
<b>General Requirements for Building Design</b>			
A. Scale	X		
B. Design	X		
C. Materials and Color	X		
D. Landscape Design and Screening			No changes are being made to the landscaping at this time
E. Signage			No signage is being proposed
F. Lighting			No changes are being made to the lighting
<b>Use Type: Commercial</b>			
Access			Additional access is being provided to the site. It does not impact the new buildings
Exterior Elements	X		
Landscaping and Screening			No changes are being made to the landscaping at this time
Scale	X		
Site Design	X		

Notes:

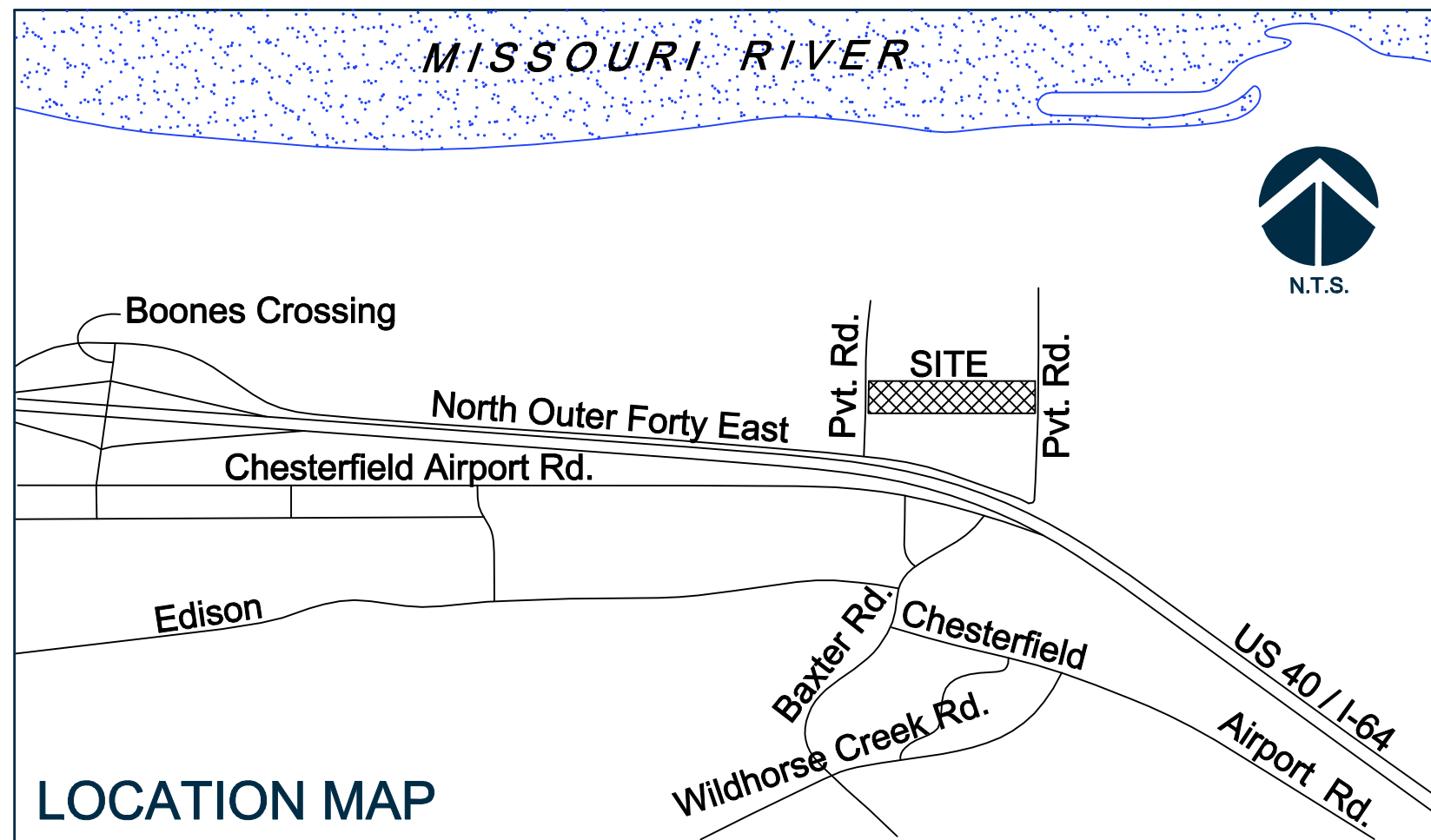
(1) A check in this column refers to the item being addressed in the submission, but with potential variation from the guidelines that review by the Board is specifically requested.

(2) Comments provide additional information regarding the status of specific design guidelines.

Form revised: February 2009

SHEET INDEX: 00 - COVER SHEET  
 01 - PROPERTY STATISTICS  
 02 - ARCHITECT STATEMENT  
 03 - AERIAL PHOTO  
 04 - BIRD'S EYE AERIAL PHOTOS  
 05 - COLOR SITE PLAN  
 06 - COLOR ELEVATIONS & RENDERING  
 07 - SITE PHOTOS  
 08 - PHOTOS: EXISTING UTILITY BUILDING  
 09 - PHOTOS: EXISTING LANDSCAPING

- SUBMITTAL -  
**ARCHITECTURAL REVIEW BOARD**  
 - TO -  
**CITY OF CHESTERFIELD, MISSOURI**  
 - BY -  
**VOLZ INCORPORATED**  
 - PROJECT -  
**PROPOSED UTILITY BUILDING**  
**CHESTERFIELD VALLEY NURSERY**  
**16801 N. OUTER FORTY RD.**  
**CHESTERFIELD, MISSOURI 63005**



**ARCHITECTURAL REVIEW BOARD**  
**SUBMITTED: JANUARY 2009**

**VOLZ** | ENGINEERING \* LAND PLANNING \* LAND SURVEYING \* TRANSPORTATION \* CONSTRUCTION MANAGEMENT  
 Incorporated | 10849 INDIAN HEAD INDUSTRIAL BOULEVARD \* ST. LOUIS, MISSOURI 63132.1166 \* 314.426.6212 main \* 314.890.1250 fax \* www.volzinc.com



**ARCHITECTURAL REVIEW BOARD  
Project Statistics Application**

**Project Title:** Chesterfield Valley Nursery

**Developer:** Jim Graeler **Architect:** Rob-Bilt Inc. **Engineer:** Volz Incorporated

**Location:** 1 mile +/- East of Boone's Crossing on the North side of Hwy. 40.

**PROJECT STATISTICS:**

**Size of site (in acres):** 10.38 **Total Square Footage:** 3000 **Building Height:** 15'

**Proposed Usage:** Utility and equipment storage

**Exterior Building Materials:** Siding

**Construction Type:** Frame and siding

**Roof Material & Design:** "tin" roof - siding

**Screening Material & Design:** None

**Landscape Guidelines:** X Commercial Institutional Valley Residential

**Building Setbacks:** 25' Front 25' Side 25' Rear N/A Max Bldg Ht. N/A Min. Lot Req.

**Description of art or architecturally significant features (if any):**

None

**ADDITIONAL PROJECT INFORMATION:**

G/Planning/Procedure Manual (Public)/ARB/Project Statistics App./01-P1of1  
G/Planning/ARB/Arch. Review Book/Project Statistics App.

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3. **General Requirements for Site Design:** The following should be addressed, as applicable, for all projects.

- a. **Site Relationships:** Developments should emphasize site relationships to provide a seamless transition between phases of a project, which are compatible with neighboring developments, and which also provide a transition from the street to the building.  
**The proposed construction for this site is that of an additional utility structure and compliments the existing use of the site.**
- b. **Circulation System and Access:** Circulation systems shall be designed to avoid conflicts between vehicular, bicycle, and pedestrian traffic to and from buildings on the site. Circulation pattern shall be safe, obvious, and simple.  
**The layout for this site continues to allow free movement of equipment, trucks and trailers as is standard in operations now.**
- c. **Topography:**  
(1) Utilize topography for screening, buffering, and transition between uses and developments.  
(2) Retain the natural slope and topography while minimizing changes to the existing topography. Avoid abrupt or unnatural appearing grading design.  
(3) Round proposed cut and fill slopes, both horizontally and vertically.  
**Topography for this site will remain virtually unchanged. Screening and buffering requirements are already in place. The proposed construction is in the middle of the existing parcel and compliments the existing use so we see no need for transitions of any kind.**
- d. **Retaining Walls:**  
(1) Minimize the height and length of retaining walls. Screen with appropriate landscaping, where appropriate.  
(2) Incorporate design elements of other architectural or natural features of the project.  
(3) Use terracing as an alternative to tall or prominent retaining walls, particularly in highly visible areas on hillsides.  
(4) Use stone, masonry or textured concrete walls.  
(5) Use of Timber Tie walls is not permitted.  
**No retaining walls are proposed with this construction.**

4. **General Requirements for Building Design:** These requirements shall apply to all structures.

- a. **Scale:**  
**The proposed structure for this site is shown in a rendering provided in the ARB submittal and expresses scale of the new structure with its surroundings.**
- b. **Design:**  
(1) Design and coordinate all façades with regard to color, types and numbers of materials, architectural form and detailing.  
**The proposed structure is a loose replica of the existing utility structure.**  
(2) Avoid linear repetitive streetscapes.  
**This site has no streetscape**  
(3) Avoid stylized, "corporate" and/or franchise designs that use the building as advertising.  
**So sort of advertising or corporate design will be incorporated into the design of the proposed structure.**  
(4) Provide architectural details particularly on façades at street level.  
**Architectural plans have been submitted in the ARB presentation.**  
(5) Encourage art elements such as wall sculptures, murals, and artisan created details etc throughout a project.  
**Art elements can not be incorporated into the construction of this particular utility building.**  
(6) Encourage designs that enhance energy efficiency.  
**The proposed structure is only a utility feature and therefore uses very little energy at standard.**  
(7) Encourage the use of environmentally conscious building techniques and materials.  
**Construction and material options are very limited for this type of construction.**  
(8) Provide entry recesses, plazas, roof overhangs, wall fins, projecting canopies or other similar features indicating the building's entry points while providing protection.  
**The proposed construction is not intended for pedestrian traffic. The use is strictly utility based.**

- (9) Paint and trim temporary barriers/walls to complement the permanent construction excluding tree protection fencing.  
**We don't foresee a need for temporary structures during the process of construction.**
- (10) Screen rooftop equipment on all visible sides with materials that are an integral part of the architecture. Parapet walls or screen walls shall be treated as an integral part of the architecture and shall not visually weaken the design of the structure.  
**The proposed structure has no roof mounted equipment**

- c. **Materials and Colors:**  
**Material and color choices will match that of the existing utility building. Photos are supplied in the ARB presentation packet.**
- d. **Landscaping Design and Screening:**  
**No additional landscaping is planned for this site.**
- e. **Signage:** Signs and sign packages are reviewed through a separate process. All signs shall adhere to the City of Chesterfield Code and/or the Sign Package for the site. For existing buildings under review for additions or alterations the following shall apply:  
(1) Integrate signs into the building or development design theme.  
(2) Signs shall not be in visual competition with other signs in the area.  
(3) New signs proposed for existing buildings shall be compatible with existing building signage. Where no sign package exists, unifying elements such as size, shape, or materials shall be used to create continuity.  
(4) Use of individual letters is preferred to cabinet-type signs.  
**The proposed sign for this site will be applied for separately.**
- f. **Lighting:** Site Lighting is reviewed through a separate process. All lighting shall adhere to the City of Chesterfield Code. For architectural lighting and building light fixtures the following shall apply:  
(1) Building mounted lighting, including both utilitarian and decorative applications, shall be limited to fully shielded, cut-off optics, flat lens luminaires.  
(2) Exterior building lighting shall be architecturally integrated with the building style, material, and color. The color of exterior lamps shall be consistent with that on surrounding buildings.  
**No additional lighting is proposed for this site.**





FROM NORTH

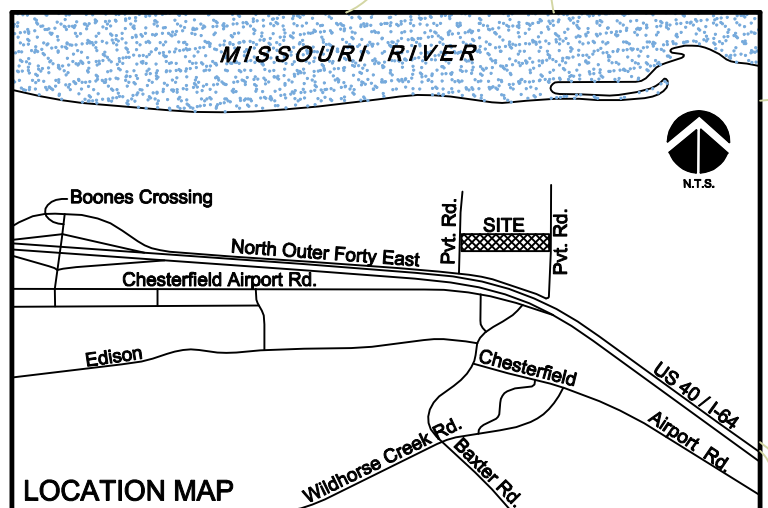
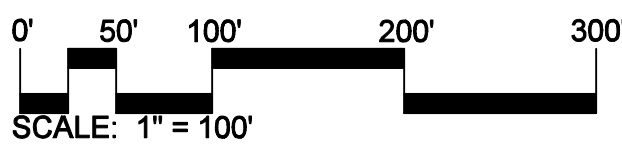
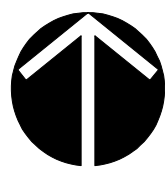
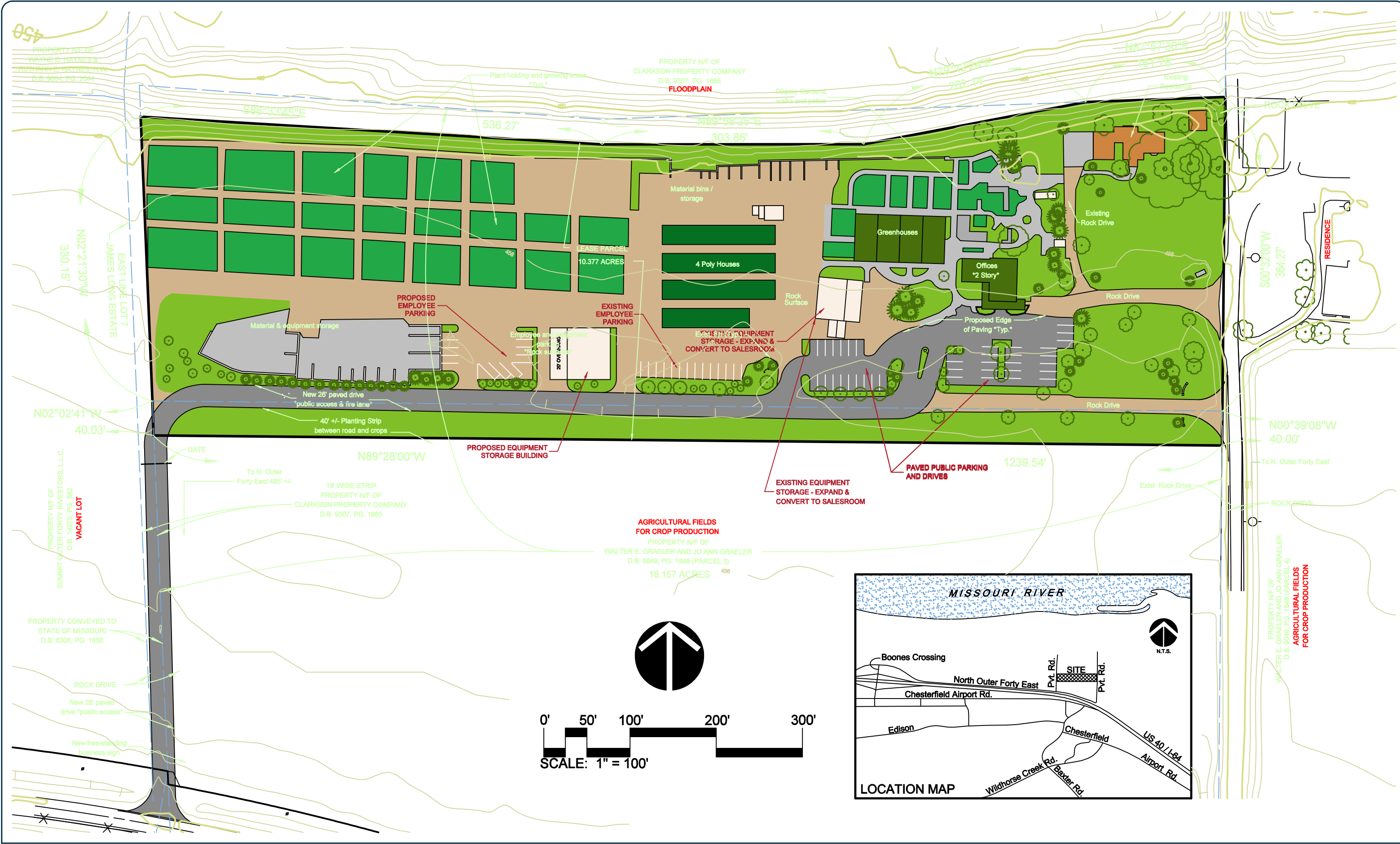


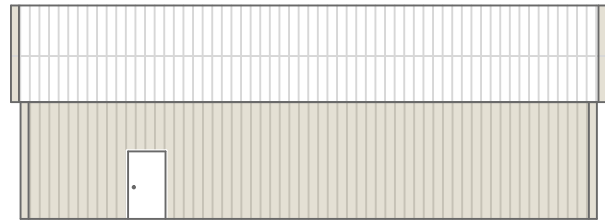
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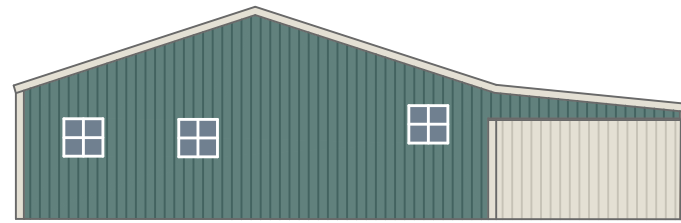
FROM EAST







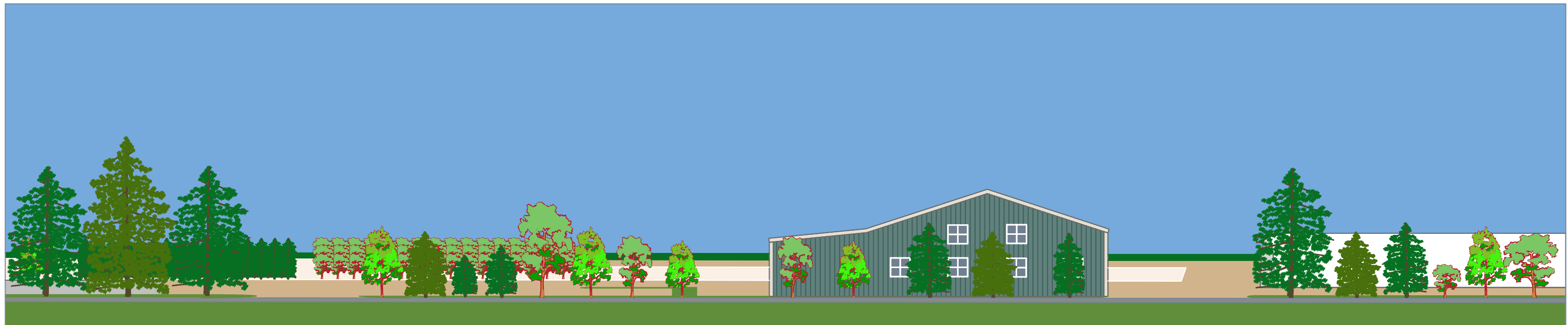
**WEST ELEVATION**



**NORTH ELEVATION**



**EAST ELEVATION**



**SOUTH BUILDING ELEVATION AND SITE RENDERING**

NORTH



EAST



SOUTH



WEST





