



II. B.

690 Chesterfield Pkwy W • Chesterfield MO 63017-0760
Phone: 636-537-4000 • Fax 636-537-4798 • www.chesterfield.mo.us

February 6, 2009

Architectural Review Board
City of Chesterfield
690 Chesterfield Parkway West
Chesterfield, MO 63017

Re: Long Road Dental Office: Site Development Plan, Architectural Elevations, Landscape Plan, and Architect's Statement of Design for a 0.5 acre tract of land zoned "PI" Planned Industrial District located 0.1 mile south of the intersection of Chesterfield Airport Rd. and Long Rd.

Board Members:

Ann Florsek Architect LLC, and Harrison and Associates, P.C., have submitted on behalf of Long Road Dental Office, a Site Development Plan, Architectural Elevations, Landscape Plan, and Architect's Statement of Design for the above referenced project. The Department of Planning and Public Works has reviewed this request and submits the following report.

Submittal Information

The request is for an approximately 4,300 sf. medical office building, located on a parcel zoned "PI" Planned Industrial District under the terms and conditions of City of Chesterfield Ordinance Number 2510. The exterior building materials will be comprised of brick, stone and EFIS. The roof is proposed to be a hipped roof with a front gable with fiberglass architectural shingles. Please see the attached checklist to review the project's compliance with the City of Chesterfield's Design Guidelines.

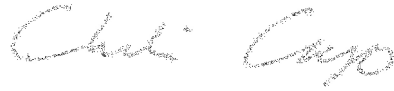
Departmental Input

The submittal was reviewed for compliance with the City of Chesterfield's Design Guidelines. In addition, the plan was reviewed for compliance with City of Chesterfield Ordinance 2510, which governs the site. Landscape and lighting are being addressed through site plan review for adherence to City of Chesterfield Tree Manual and Lighting Ordinance.

Actions Requested

The Department of Planning and Public Works requests action by the Architectural Review Board on the information presented.

Respectfully Submitted,



Charlie Campo
Project Planner

Respectfully Submitted,



Mara M. Perry, AICP
Senior Planner

Attachments

1. ARB Design Review Checklist
2. Architectural Review Packet Submittal

CITY OF CHESTERFIELD
Design Guidelines: Review Checklist

Project Name: Long Rd. Dental Office
Date of Review: 2-12-09

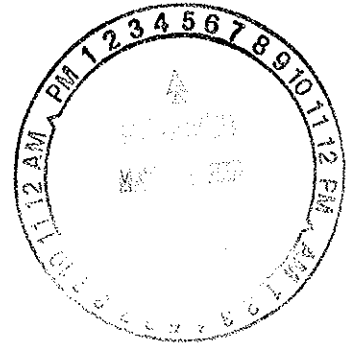
Guideline Description	Addressed as Written	Addressed with Modification (1)	Comments and Reference (2)
CHAPTER ONE: Site Layout			
A. Physical Features	X		
B. Vegetation	X		
C. Site Relationships	X		
D. Pedestrian & Vehicular Circulation	X		
E. Pedestrian Orientation	X		
CHAPTER TWO: Building all Structures			
I. All Structures:			
A. General Architectural Guidelines	X		

Guideline Description	Addressed as Written	Addressed with Modification (1)	Comments and Reference (2)
B. Scale	X		
C. Design	X		
D. Relation to Adjacent Development	X		
E. Material/Colors	X		
II. Residential Structures:			
A. General Residential Architecture	NA		
B. Multiple-Family Architecture	NA		
III. Non-residential Structures:			
A. General	X		
B. Building Equipment Service	X		
C. Fast Food Restaurant Guidelines	NA		
D. Auto Service Station Guidelines	NA		
E. Shopping Center Guidelines	NA		
F. Chesterfield Valley Guidelines	X		

Guideline Description	Addressed as Written	Addressed with Modification (1)	Comments and Reference (2)
CHAPTER THREE: Landscape Design			Landscaping is being addressed through site plan review
CHAPTER FOUR: Miscellaneous			
A. Signage			Not submitted for approval at this time
B. Lighting			Lighting is being addressed through site plan review
C. Utilities	X		
D. Stormwater Drainage			Drainage is being addressed through site plan review
E. Energy Conservation	X		
F. Screening (Fences & Walls)	X		

Notes:

- (1) A check in this column refers to the item being addressed in the submission, but with potential variation from the guidelines that review by the Board is specifically requested.
- (2) *Comments* provide additional information regarding the status of specific design guidelines. *Reference* is to the specific Architectural Review guideline as stated in the booklet entitled *Architectural Review Process*, Amended May 2001.



ARCHITECTURAL REVIEW BOARD
Project Statistics Application

Project Title: Long Road Dental Office

Developer: Jack Wolf Architect: Ann Florsek Engineer: Robert Harrison

Location: 139 & 143 Long Rd., Chesterfield, MO 63005

PROJECT STATISTICS:

Size of site (in acres): 0.5 Total Square Footage: 4290 Building Height: 1.5 stories

Proposed Usage: dental office/office space

Exterior Building Materials: brick/stone/stucco

Construction Type: wood frame on concrete slab

Roof Material & Design: fiberglass architectural shingle/hip w/front gable

Screening Material & Design: trash enclosure to match building; utilities screened with landscaping

Landscape Guidelines: Commercial Institutional Valley Residential

Building Setbacks: 75' Front 15'/20' Side 10' Rear 25' Max Bldg Ht. 36% Min. Lot Req.

Description of art or architecturally significant features (if any): Georgian style architecture; no free standing art work

ADDITIONAL PROJECT INFORMATION:

G/Planning/Procedure Manual (Public)/ARB/Project Statistics App./01-P1of1
G/Planning/ARB/Arch. Review Book/Project Statistics App.

City of Chesterfield Design Guidelines Architect's Statement

Located in the flood plain, the site is flat, grassy land of approximately one half acre. To the immediate south is the fire house, to the north is vacant land, and a daycare business adjoins the rear property line. A small office building is across the street.

Chapter One / Site Layout

A. Physical Features

1. Essentially level flood plain topography remains
2. **Topography variations not available to use for screening**
3. Natural site conditions are retained, i.e. level ground with absence of unique natural features
4. **Existing topography retained**
5. Retaining walls not required

B. Vegetation

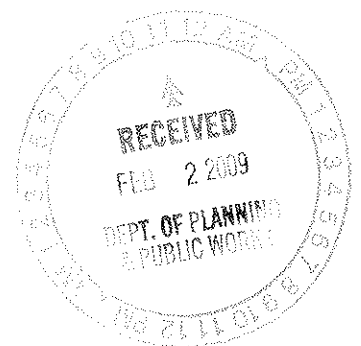
1. **Existing vegetation is grassy ground cover**
2. Landscaping compliments symmetrical building elevation

C. Site Relationships of Design

1. **This building is similar in size and characteristics to typical small office and retail developments on Long Road and the nearby streets. On the north side of the building, the dental operatory rooms provide views towards the undeveloped property, for the benefit of the patients. They are not expansive in size, to minimize the heat gain/loss from the northern exposure. Similarly, the southern windows will provide a view for the occupants of the space. The 4'-0" roof overhang will take advantage of the solar angles, providing seasonal benefits. There are no windows on the west elevation, mitigating climate impact. Fronting the street on the east are large windows.**
2. The building use is similar to surrounding commercial uses. Negative impacts (noise, security issues, etc.) should not occur.
3. Screened trash enclosure located at rear of the property
4. Front yard landscaping similar to other properties on Long Road
5. **Landscaping is provided in the front yard.**
6. Not a phased project

D. Pedestrian and Vehicular Circulation

1. **Sidewalks provide circulation to office entrances.**
2. Trees accent parking area
3. The parking lot follows standard guidelines, providing a functional, efficient means to accommodate required number of spaces, adequate drainage, and overall circulation patterns.
4. Not applicable
5. **OK**
6. Bicycle parking not included
7. **Cross access easement provided.**



8. The building setback lines and easements determine building pad, towards the rear of the property. **The cross access easement is located in the front of the property.**
9. Landscaping is provided between the parking and the building

E. Pedestrian Orientation

1. **Sidewalks with adjacent landscaping is provided**
2. Continuous public sidewalk is provided with accessible ramps at the driveway.
3. Does not apply to small scale of the project.
4. **Not applicable**
5. The building facade facing the street includes large, non-reflective windows. Building sign to be provided.
6. **Public access is through the front of the building.**

Chapter Two / Buildings

I. ALL STRUCTURES

A. General Architectural Guidelines

1. **The design of the single story office building has common features of Georgian architectural style, which is appropriate for the building use, establishing a sense of stability, permanence and comfort.**

B. Scale

1. Single story building is consistent with neighborhood
2. **Single story building, covered entrances, brick and stone detailing relate to human scale**
3. Design is compatible with others in the area

C. Design

1. **The Georgian character of the building is unique on this block.**
2. **Front elevation: building offsets at each end, covered portico articulates main entrance.**
3. **Not a franchise building**
4. Parapet and screen walls not required
5. **Except for stone quoins, all elevations are equal**
6. All elevations use same material and color
7. No rooftop equipment
8. **Covered entrance and wide overhangs provide doorway protection**
9. Insulation values exceed St. Louis County minimum requirements
10. Not a phased project

D. Relation to Adjacent Development

1. Scale relates to day care (west); vacant land (north); and fire house (south) is a **specialized building use**
2. **Wide roof overhang and cornice, raised covered entrances, brick facade and detailing, and hip roofs are similar features**
3. **No multiple buildings**
4. **Primary material: brick selected in traditional color**
5. **Functional use of outdoor space: parking and pedestrian circulation**

E. Materials/Colors

1. **Materials: Architectural shingle roof, EFIS roof cornice, brick facade with stone detailing**
2. Consistent building materials used throughout
3. Consistent building materials and features used
4. Not applicable
5. Consistent building materials and finishes used

II. RESIDENTIAL ARCHITECTURE

Not applicable

III. NON-RESIDENTIAL ARCHITECTURE

A. General

1. **Consistent building materials used**
2. Covered doorways, landscaping along walkways
3. Front elevation: building offsets at each end, covered portico articulates main entrance. Consistent building materials and features used
4. Not applicable

B. Building Equipment and Services

1. **Access by driveway to rear of building**
2. Located indoors or near service (trash) area
3. Not applicable
4. **Located in back of building**

C. Fast Food Restaurant Guidelines - Not applicable

D. Auto Service Station – Not applicable

E. Shopping Center Guidelines - Not applicable

F. Chesterfield Valley Guidelines

1. *General Guidelines for Chesterfield Valley*

1. Not applicable
 2. Not applicable
 3. Not applicable
 4. Not applicable
 5. Not applicable
 6. Lighting provided in parking lot
 7. 5' wide public sidewalk provided
 8. Utility installation below ground
 9. Primary facade faces Long Road
 10. Open space percentage = 36.24%
 11. Tree planting complies, maximum average 40' apart
2. *Specific Guidelines in Geographic Sub-areas of Chesterfield Valley*
Not Applicable

Chapter Three / Landscape Design

1. Formal and symmetrical image presented, complimenting front elevation
2. OK
3. Planting between parking and building, and along property lines
4. Curbs separate planting areas
5. Trees border paved area
6. Artwork not included
7. Landscaping symmetrical and tree masses proposed on rear property line
8. Monument sign located
9. Landscape planting varies in height , massing , type, etc., depending on location
10. No existing unique natural features to aid landscape design
11. Irrigation system complies
12. Berms not used
13. Not applicable

Chapter Four / Miscellaneous

A. Signage – Not applicable. To be submitted as signage package.

B. Lighting

1. Illumination complies
2. OK
3. Complies
4. Complies
5. Landscape lighting from soffit above
6. Raised light pole bases: Sonotube-formed concrete
7. Neon not used

C. Utilities

1. Installed underground and screened if needed

D. Storm Water Drainage

1. Drainage to be directed to inlets
2. Storm water directed to inlets
3. Storm water directed for proper drainage
4. Not applicable

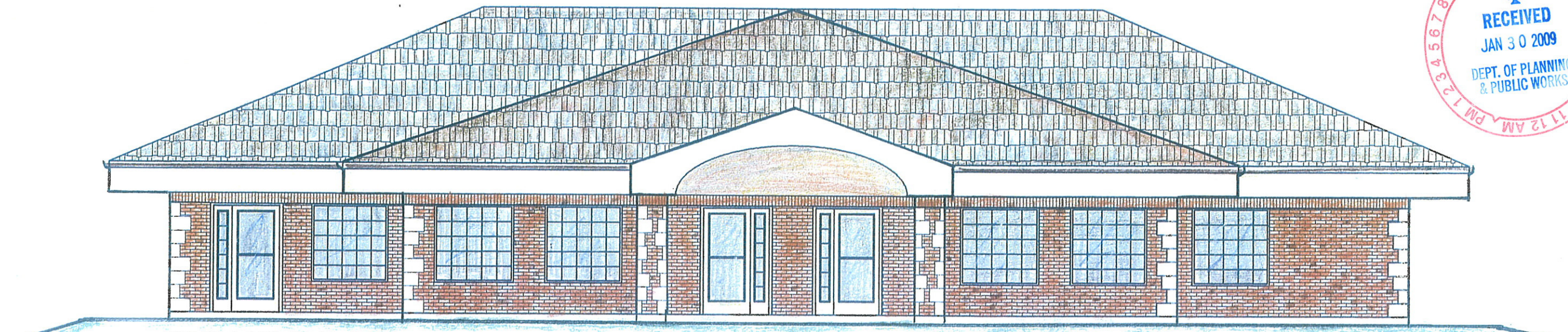
E. Energy Conservation

1. See Site Layout, Relationships of Design C.1. (page 1)

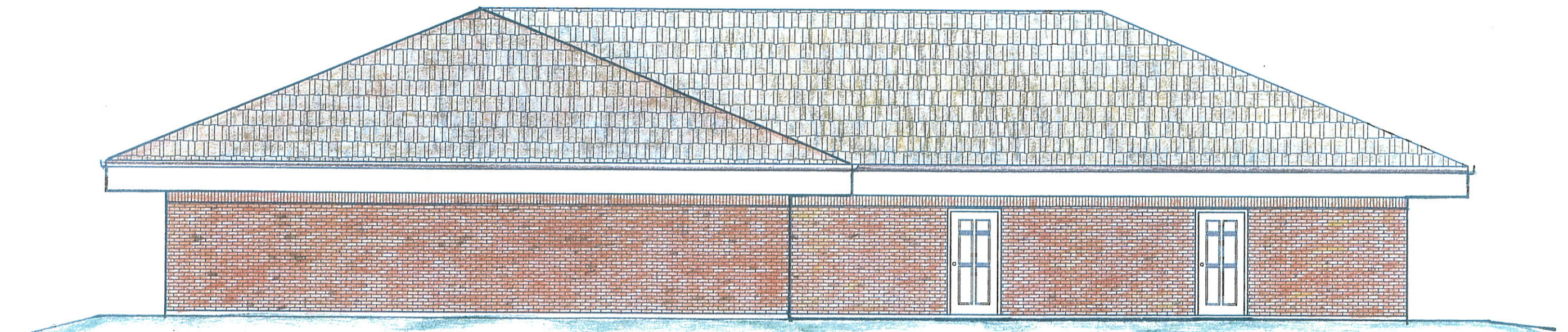
F. Screening (Fences and Walls)

1. Not applicable
2. Same materials for trash enclosure
3. No fencing
4. No fencing
5. No fencing
6. Screened trash enclosure and meters, etc., located at rear of property



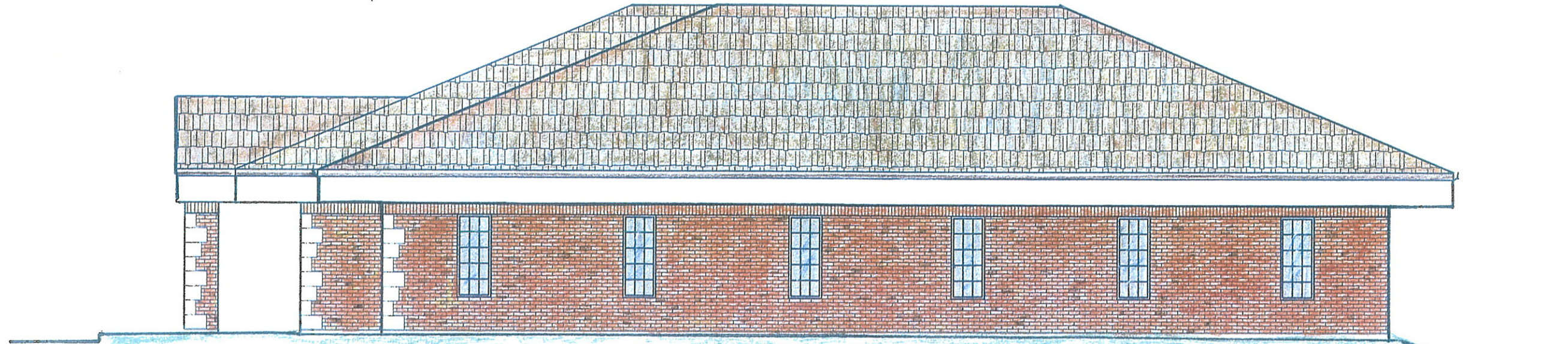


FRONT ELEVATION
SCALE 1/8" = 1'



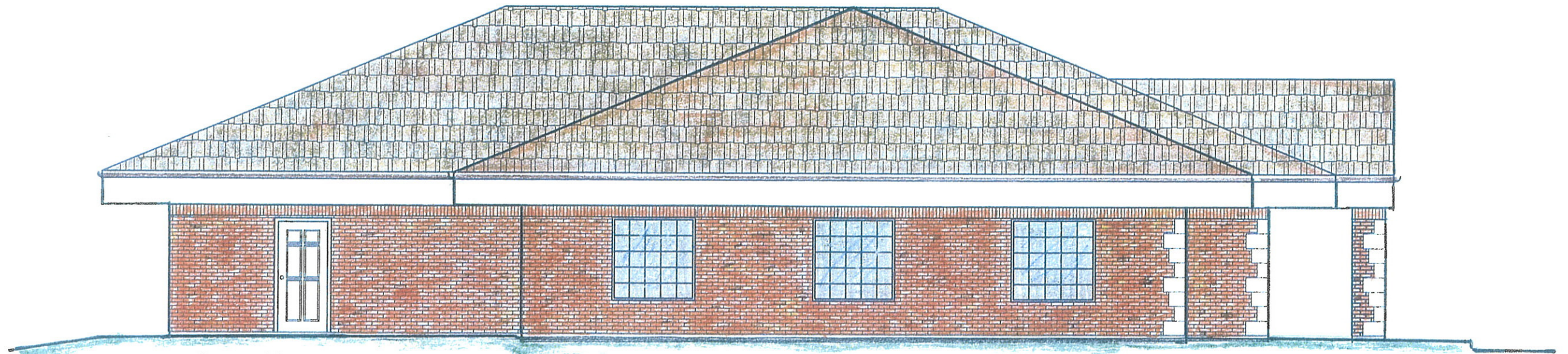
REAR ELEVATION
SCALE 1/8" = 1'

PROFESSIONAL OFFICE BUILDING
143 LONG ROAD
CHESTERFIELD, MISSOURI 63005



NORTH ELEVATION

SCALE: 1/8" = 1'



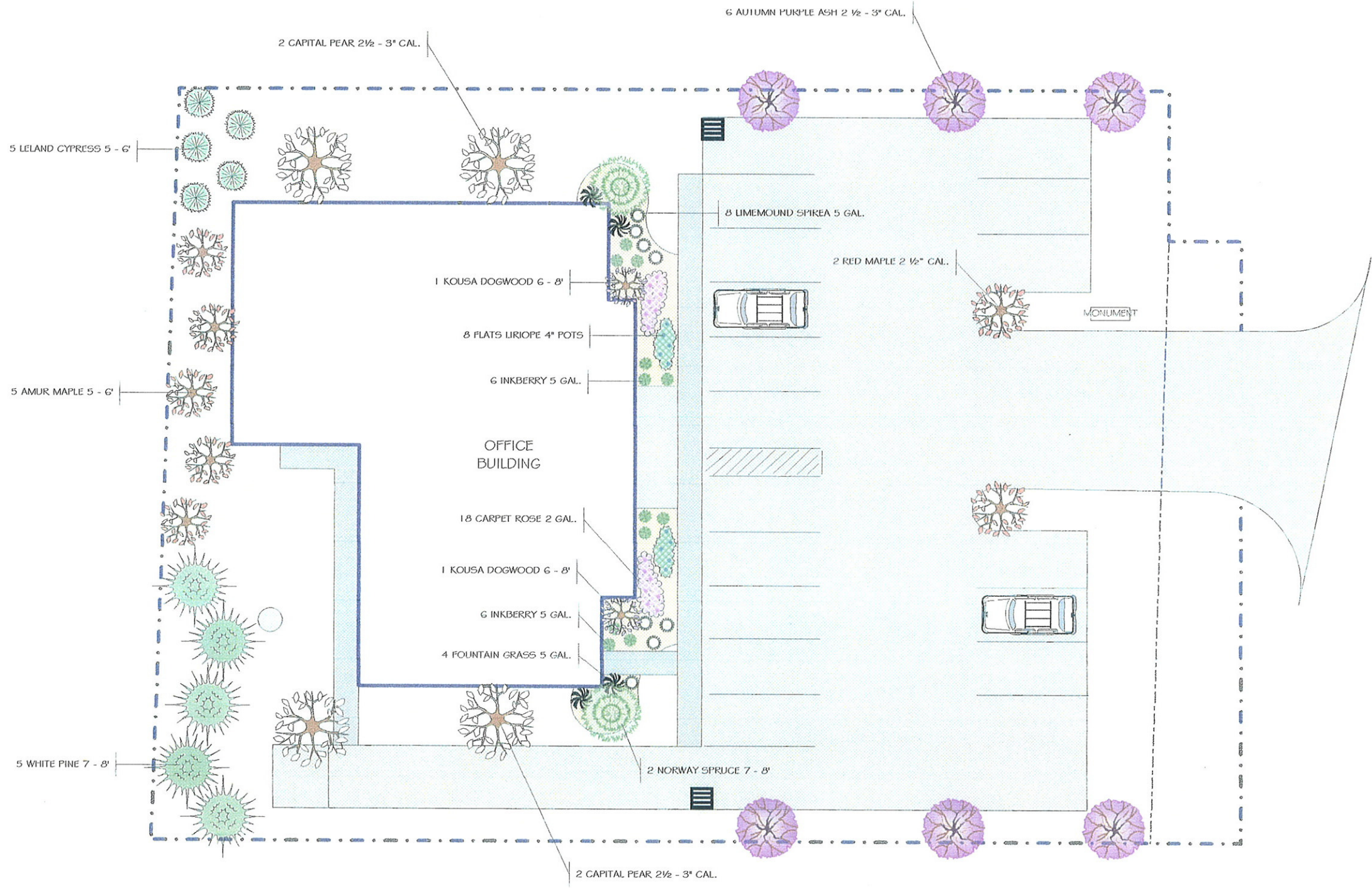
SOUTH ELEVATION

SCALE: 1/8" = 1'

PROFESSIONAL OFFICE BUILDING

143 LONG ROAD

CHESTERFIELD, MISSOURI 63005



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DESIGNED BY: Bill Weishaar Jr.
SCALE: 1" = 20' 0"
ORIGINAL DATE: Friday, July 23, 2004
REVISED DATE: 07/29/04 - 09/08/04 - 05/08/08 - 05/09/08
GRAPHIC ART: MHS / DMM / MHS / HNW / MHS

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OF CHESTERFIELD

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LANDSCAPE DEVELOPMENT PLAN FOR
JACK WOLF
OFFICE BUILDING
Long Road Office Building



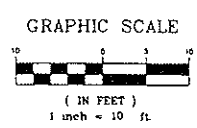
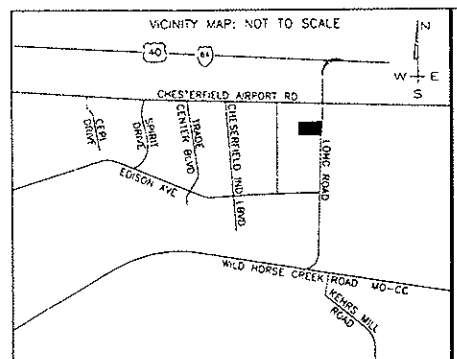
DESIGN CONCEPT RENDERING

Professional Office Building

143 Long Road

Chesterfield, Missouri 63005

SITE DEVELOPMENT PLAN
 PART OF LOT 2 OF DAMIAN KROENUNG ESTATE,
 US SURVEY 1010, TWP 45 N, RNG 4 E AND
 OUT-PARCEL B OF CHESTERFIELD BUSINESS PARK,
 ST. LOUIS COUNTY, MISSOURI



- LEGEND**
- = FOUND IRON PIPE
 - = UTILITY POLE
 - = FLOWLINE CULVERT
 - = HANDICAP PARKING SIGN
 - (M) = MEASURED DATA
 - (R) = RECORD PLAT DATA
 - (D) = DEED DATA
 - = EXISTING CONTOUR
 - - - = PROPOSED CONTOUR
 - = MSD PRESSURE MAIN

LINE TABLE

L1(R&M)	N89°35'42"E	8.01'
L2(W)	S69°47'05"W	14.01'

NORTH PER RECORD PLAT
 A SUBDIVISION OF A TRACT OF LAND BEING PART
 OF LOT 2 OF DAMIAN KROENUNG ESTATES
 'URBAN PROPERTY'

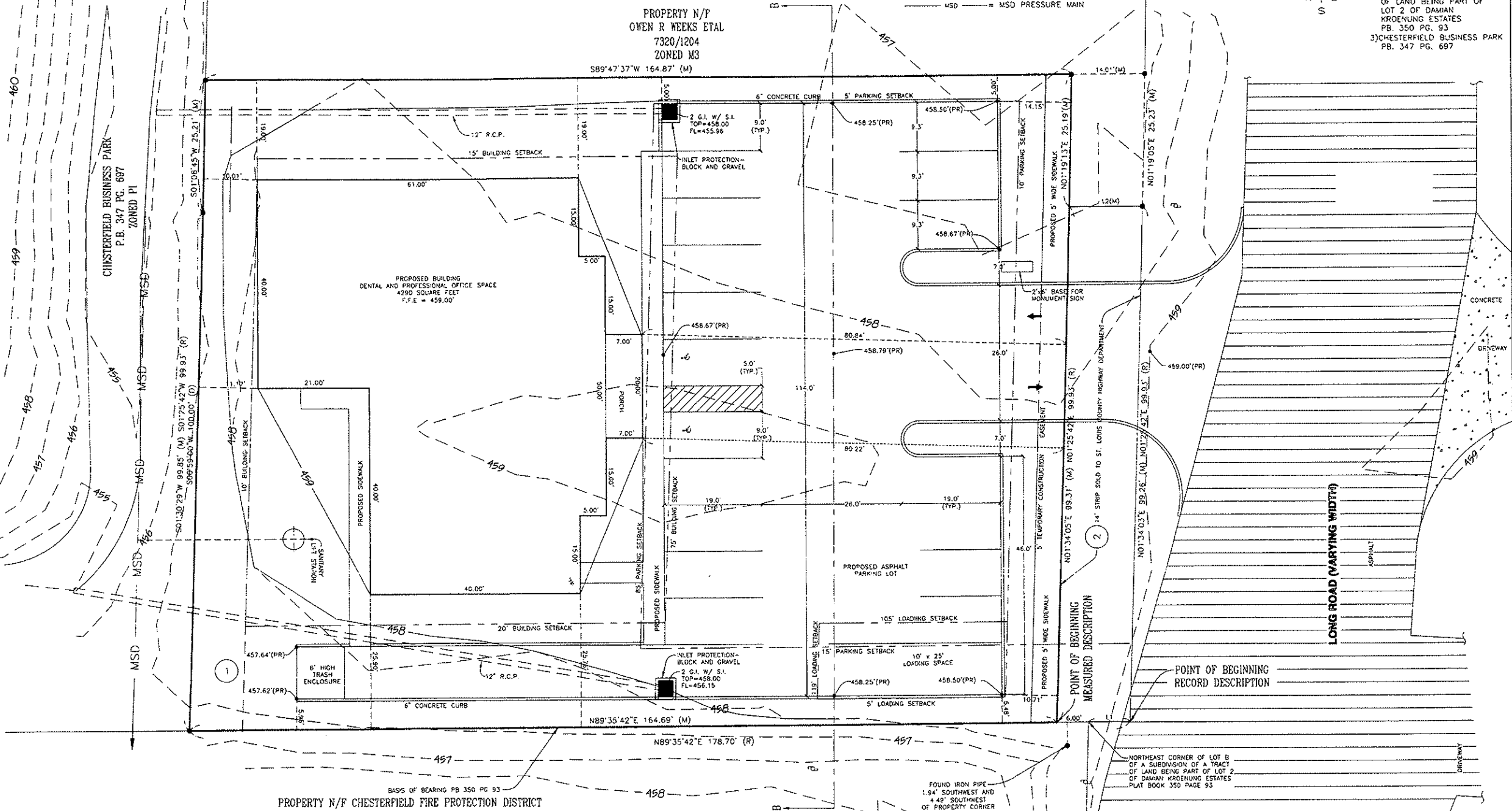
REFERENCES:
 1) LEGAL DESCRIPTION
 BK. 17649 PG. 4421
 2) RECORD PLAT
 A SUBDIVISION OF A TRACT
 OF LAND BEING PART OF
 LOT 2 OF DAMIAN
 KROENUNG ESTATES
 PB. 350 PG. 93
 3) CHESTERFIELD BUSINESS PARK
 PB. 347 PG. 697

RECORD LEGAL DESCRIPTION
 BOOK 17649 PAGE 4421

A TRACT OF LAND BEING PART OF LOT 2 OF PARTITION OF DAMIAN KROENUNG ESTATES, IN U.S. SURVEY 1010, TOWNSHIP 45 NORTH, RANGE 4 EAST, AND PART OF OUT-PARCEL B OF CHESTERFIELD BUSINESS PARK RECORDED IN PLAT BOOK 347 PAGE 697 OF THE ST. LOUIS COUNTY RECORDS, FURTHER DESCRIBED AS FOLLOWS: BEGINNING AT A POINT LYING ON THE WEST RIGHT OF WAY LINE OF LONG ROAD, VARYING WIDTH, BEING DISTANT NORTH 89 DEGREES 35 MINUTES 42 SECONDS EAST 8.01 FEET FROM THE NORTHEAST CORNER OF LOT B OF A SUBDIVISION OF A TRACT OF LAND BEING PART OF LOT 2 OF DAMIAN KROENUNG ESTATES RECORDED IN PLAT BOOK 350 PAGE 93 OF THE ST. LOUIS COUNTY RECORDS, SAID POINT BEING THE SOUTHEAST CORNER OF PROPERTY HEREIN DESCRIBED; THENCE ALONG SAID WEST LINE OF LONG ROAD, NORTH 01 DEGREES 34 MINUTES 03 SECONDS EAST 99.26 FEET TO AN IRON PIPE AT THE SOUTHEAST CORNER OF A 14 FOOT WIDE DEDICATION STRIP PER SAID CHESTERFIELD BUSINESS PARK, PLAT BOOK 347 PAGE 697; THENCE LEAVING SAID WEST LINE OF LONG ROAD, SOUTH 89 DEGREES 47 MINUTES 09 SECONDS WEST 14.01 FEET TO A POINT BEING THE SOUTHWEST CORNER OF SAID 14 FOOT DEDICATION STRIP; THENCE ALONG THE WEST LINE OF SAID 14 FOOT DEDICATION STRIP, NORTH 01 DEGREES 19 MINUTES 13 SECONDS EAST 25.19 FEET TO AN IRON PIPE AT THE NORTHWEST CORNER OF SAID 14 FOOT DEDICATION STRIP; THENCE SOUTH 89 DEGREES 47 MINUTES 37 SECONDS WEST 164.87 FEET TO AN IRON PIPE BEING THE NORTHWEST CORNER OF PROPERTY HEREIN DESCRIBED; THENCE SOUTH 01 DEGREES 06 MINUTES 45 SECONDS WEST 25.21 FEET TO AN IRON PIPE; THENCE SOUTH 01 DEGREES 30 MINUTES 29 SECONDS WEST 99.85 FEET TO AN IRON PIPE LYING ON THE NORTH LINE OF SAID LOT B, PLAT BOOK 350 PAGE 93, SAID PIPE ALSO BEING THE SOUTHWEST CORNER OF PROPERTY HEREIN DESCRIBED; THENCE ALONG SAID NORTH LINE OF LOT B, NORTH 89 DEGREES 35 MINUTES 42 SECONDS EAST 78.70 FEET TO THE POINT OF BEGINNING.

MEASURED LEGAL DESCRIPTION

A TRACT OF LAND BEING PART OF LOT 2 OF PARTITION OF DAMIAN KROENUNG ESTATES, IN U.S. SURVEY 1010, TOWNSHIP 45 NORTH, RANGE 4 EAST, AND PART OF OUT-PARCEL B OF CHESTERFIELD BUSINESS PARK RECORDED IN PLAT BOOK 347 PAGE 697 OF THE ST. LOUIS COUNTY RECORDS, FURTHER DESCRIBED AS FOLLOWS: BEGINNING AT A POINT LYING ON THE WEST LINE OF A 14 FOOT STRIP OF LAND SOLD TO ST. LOUIS COUNTY, BEING DISTANT SOUTH 89 DEGREES 35 MINUTES 42 SECONDS WEST 6.00 FEET FROM THE NORTHEAST CORNER OF LOT B OF A SUBDIVISION OF A TRACT OF LAND BEING PART OF LOT 2 OF DAMIAN KROENUNG ESTATES RECORDED IN PLAT BOOK 350 PAGE 93 OF THE ST. LOUIS COUNTY RECORDS, SAID POINT BEING THE SOUTHEAST CORNER OF PROPERTY HEREIN DESCRIBED; THENCE ALONG THE WEST LINE OF 14 FOOT STRIP SOLD TO ST. LOUIS COUNTY, NORTH 01 DEGREES 34 MINUTES 05 SECONDS EAST 99.31 FEET TO SOUTHWEST CORNER OF A 14 FOOT WIDE DEDICATION STRIP PER SAID CHESTERFIELD BUSINESS PARK, PLAT BOOK 347 PAGE 697; THENCE ALONG THE WEST LINE OF SAID 14 FOOT WIDE STRIP PER PLAT BOOK 347 PAGE 697, NORTH 01 DEGREES 19 MINUTES 13 SECONDS EAST 25.19 FEET TO AN IRON PIPE AT THE NORTHWEST CORNER OF SAID 14 FOOT DEDICATION STRIP; SAID PIPE BEING THE NORTHEAST CORNER OF PROPERTY HEREIN DESCRIBED; THENCE SOUTH 89 DEGREES 47 MINUTES 37 SECONDS WEST 164.87 FEET TO AN IRON PIPE; THENCE SOUTH 01 DEGREES 06 MINUTES 45 SECONDS WEST 25.21 FEET TO AN IRON PIPE; THENCE SOUTH 01 DEGREES 30 MINUTES 29 SECONDS WEST 99.85 FEET TO AN IRON PIPE LYING ON THE NORTH LINE OF SAID LOT B, PLAT BOOK 350 PAGE 93, SAID PIPE ALSO BEING THE SOUTHWEST CORNER OF PROPERTY HEREIN DESCRIBED; THENCE ALONG SAID NORTH LINE OF LOT B, NORTH 89 DEGREES 35 MINUTES 42 SECONDS EAST 154.69 FEET TO THE POINT OF BEGINNING.



- EASEMENT/EXCEPTION NOTES**
- 10' WIDE EASEMENT GRANTED TO MSD BY INSTRUMENT RECORDED IN BOOK 8390 PAGE 1373.
 - RIGHT OF WAY OF LONG ROAD EXCEPTED FROM SUBJECT PROPERTY.

SURVEYOR'S CERTIFICATE

THIS IS TO CERTIFY THAT WE HAVE SURVEYED A TRACT OF LAND BEING PART OF LOT 2 OF PARTITION OF DAMIAN KROENUNG ESTATES, IN U.S. SURVEY 1010, TOWNSHIP 45 NORTH, RANGE 4 EAST, AND PART OF OUT-PARCEL B OF CHESTERFIELD BUSINESS PARK RECORDED IN PLAT BOOK 347 PAGE 697 OF THE ST. LOUIS COUNTY RECORDS, ACCORDING TO THE DOCUMENT THEREOF RECORDED IN BOOK 17649 PAGE 4421 OF THE ST. LOUIS COUNTY RECORDS, LESS AND EXCEPTING A 14 FOOT STRIP SOLD TO ST. LOUIS COUNTY FOR LONG ROAD RIGHT OF WAY AND THAT THE RESULTS ARE CORRECTLY SHOWN HEREON.



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20A WOODMERE POINT COURT
 ST. CHARLES, MO 63303
 PH: (636) 939-4600
 FX: (636) 939-4600

FOR:	JACK E. WOLF 109 LONG ROAD CHESTERFIELD, MO 63005 636.544.7567	PROJECT ADDRESS:	143 LONG ROAD	Date	10-04-03
DRAWING NAME	LONG-R04-02-08.DWG	PROJECT LOCATION	CHESTERFIELD, MO 63005	Dwn. By	KRD
		PROJECT NAME	LONG ROAD SITE PLAN	Aprvd. By	RJH
				Scale	1" = 10'

Date	Revisions	Date	Revisions	Date	Revisions
8/17/04	BUILDING & PARKING LOT REVISIONS	11/21/05	REVISED MEASURED LEGAL DESCRIPTION	04/16/08	REVISED PER CITY OF CHESTERFIELD
8/30/04	ADDED MEASURED LEGAL DESCRIPTION AND TITLE REVISIONS	01/06/06	REVISED PER CITY OF CHESTERFIELD PLANNER, RESCALED PLAN		
11/02/05	ADDED ADDITIONAL PROPERTY; PARKING LOT REDESIGN	03/28/06	REVISED PER CITY OF CHESTERFIELD PLANNER, REDESIGNED STORM DRAINAGE		

